

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, SEPTEMBER 21, 2020
7:00 PM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

Public Comments: Please be advised the Joint Architectural Board/Plan Commission will receive comments from the public related to any item(s) on the agenda for a three minute time period per person, with time extensions per the Chairman's discretion.

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of the August 17, 2020 meeting.
2. Architectural Board review and consideration of an application for pavilion on the Neuens property, 668 Greenway Terrace.
3. Architectural Board review and consideration of plans for sign replacement for Superior Storage, 470 E. Industrial Drive.
4. Architectural Board review and consideration of plans for the installation of an overhead door for MSI General, 651 Industrial Court.
5. Architectural Board review and consideration of plans for an exterior renovation for Dr. Richard Bailey, 557 Cottonwood Ave.
6. Items related to the proposed Planned Unit Development for Hartland East Apartments located on Campus Drive east of Lake Country Lutheran.
 - a. Plan Commission review and consideration of the general development plan
 - b. Plan Commission review and consideration of petition for rezoning the property
7. Presentation of request for Annexation of Arrowhead High School and adjacent farm land for Presentation only. **NO ACTION TO BE TAKEN BY THE PLAN COMMISSION AT THIS MEETING.**
8. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

9. Adjourn.

Tim Rhode, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes). Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

Individuals attending public meetings in person will be required to **maintain appropriate social distancing**, (i.e., maintain a 6-foot distance) and be **free of symptoms** related to COVID-19.

To participate in the Village of Hartland "Zoom" meeting with video,
<https://us02web.zoom.us/j/86274590060?pwd=NHQrUWlNN3M3VHRJc0NKNmlsZFZJZz09>

To participate in the Village of Hartland "Zoom" meeting (audio only), please dial 1(312)626-6799. The Meeting ID is 862 7459 0060 and the password is 416655.

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES - AMENDED
MONDAY, AUGUST 17, 2020
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Present: Jeff Pfannerstill, James Schneeberger, Tim Hallquist and Ann Wallschlager. Jeff Bierman, David de Courcy-Bower and Dino Xykis attended via Zoom.

Others Present: Administrator Rhode, Ryan Amtmann, Attorney De La Mora, Building Inspector Hussinger and Deputy Clerk Bushey.

Call to Order- 7:00 pm

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of July 20, 2020.

Motion (DeCourcy-Bower/Schneeberger) to approve the minutes for the meeting on July 20,,2020, with amendments to include DeCourcy-Bower not in favor of connection to Willow Drive and Schneeberger comment.

Carried (7-0).

2. Plan Commission review and consideration of Extraterritorial Certified Survey Map in the Town of Delafield-

Kathy Gutenkunst was present and said they are merging 2 properties to create one and this is Extraterritorial.

Motion (deCourcy-Bower/Schneeberger) to recommend approval to the Village Board for the Extraterritorial Certified Survey Map in the Town of Delafield. Carried (7-0).

3. Architectural Board review and consideration of an application for replacement of signage for Grandma's House Child Care Center, 229 E. Capitol Drive-

Representative from Grandma's House was present and said they would like to upgrade the signage with the new logo. The sign is the same size as the current one and non-illuminated.

Motion (DeCourcy-Bower/Schneeberger) to approve the replacement of signage for Grandma's House Child Care Center contingent on BID approval. Carried (7-0).

4. a. Architectural Board and Plan Commission review and consideration of plans for construction of Units 35-40 and Units 43-44 in the Bristlecone Pine Condominiums-

Bryan Lindgren was present and explained the other amount of condominiums didn't need approval as they are already platted and ready to go so this is for the other 8. He said they have HOA approval and the architectural style matches is consistent with the existing buildings in

Bristlecone. Xykis asked about the square footage requirement, and Lindgren said each condo unit is 2000 sq. ft ranch. DeCourcy-Bower said from a materials point of view, it is somewhat consistent with what's existing, and he thinks it is good they are going to be developed but he wants to make sure that as time goes on, there is not going to be mismatch in materials and cause maintenance issues for the association down the road. Lindgren said they worked with Halquist Stone to match the existing stones in the existing buildings. He said regarding the roofing they are transitioning from the cedar to shingle roofing. There was also brief discussion on moving away from cedar siding. DeCourcy-Bower asked about the siding and said the only reason he brought it up, is he wanted to make sure down the road there wasn't some that used more expensive siding and others that used cheaper.

Xykis asked if the roofs on the houses in Bristlecone were cedar and the condominiums would be shingle. Lindgren said yes, several years ago the HOA approved the amendment to change to dimensional shingles.

Bierman asked if there would be pitch change in the height and Lindgren it matched the architectural profile.

Motion (DeCourcy-Bower/Schneeberger) to recommend approval of the construction of units 35-40 and units 43-44 in the Bristlecone Pines. Carried (7-0).

b. Plan Commission review and consideration for Amendment #17 of the Declaration of Covenants, Conditions, and restriction of the Bristlecone Pines.

Lindgren said the vacant land includes an outlot at the end of Sweetbriar Lane. He said a section in the HOA said if the outlot #5 is ever changed, the change in outlot #5 only needed approval of the Golf Course owner and Village of Hartland. He said the Golf Course owner already signed off on it and now it has been referred to the Village to sign off on the change as well. Administrator Rhode gave an example of the tennis courts change and said this is a similar process. Rhode stated that it needs to be signed off on by the Condo Association, the Golf Course owner and the Village, the Village is the last to sign off on it.

DeCourcy-Bower commented on connectivity to the trails, and said it would be nice to have pedestrian access to Merton Ave. Schneeberger asked if it will be a public or private road, it was stated it is public. Lindgren commented that it would hard to connect outlot 5 because of vegetation and DeCourcy-Bower wondered if they could cut out the corner. Rhode reminded everyone that the motion would be a recommendation to the Village Board.

Motion (DeCourcy-Bower/Hallquist) to recommend approval to the Village Board as is with a preference of some type of accessibility if the Board so moves. Carried (7-0).

5. Items related to potential Development of property on Campus Drive east of Lake Country Lutheran: Lot #2:

It was stated this development is for apartments and it came in March for preliminary review but withdrew the project at that time. Representative from Rinka explained the layout of the revised design. The development consists of 6 buildings, 78 - 1-bedroom units and 72 - 2-bedroom units

and is more of a walkable community. Some basic points he touched on were reducing the infrastructure by minimizing the alleys, the walkability, maintain the walking paths, maintain existing greenspace, walkup units, wood doors, landscaping, signs. The development has gone from 138 units to 150 units with the units having masonry type siding.

Proposed parking is 108 attached garages and 42 detached garages (all garages distributed across 6 buildings). The development will have proposed amenities of community room, fitness room, management office and outdoor patio and pool.

Wallschlager asked if a road was going between units 2 & 3.

Rhode said the rezone has already been approved and Amtmann provided the memos. Amtmann said the Village Board and Plan Commission has previously seen this. He said the development to the north was approved at the last meeting and the project to the North is a week away from getting started. He said the memo contains items that were provided. He said there will be a Joint Stormwater Management Easement and Maintenance agreement. Rhode pointed out that previous exhibits from the previous meeting were not included in the packet. He said they could be found listed from the last meeting. He said the rezone application is for R-M1, as this will allow for 10% increase in density. There was discussion regarding density, DeCourcy-Bower asked about the density calculation. Lindgren said ½ acre does not include ACO. DeCourcy-Bower asked where the 10% come from and Hussinger said the zoning code. DeCourcy-Bower asked Amtmann if they were taking advantage of the ACO, and Amtmann said no they are not. Xykis asked if 150 was within the limits.

DeCourcy-Bower commented on the road connections and said he thought it would be worth while looking at connection to Campus and Scenic Drive. He said the left turn out of there will be a challenge and he has concerns about the cul-de-sac as well. He thinks people will use Scenic Drive more. He thinks the buildings look great. Schneeberger asked where the dumpsters will be.

Amtmann said they are located at the end of the garages and enclosed.

Amtmann pointed out several things in his memo such item #3, the traffic study needs to be referenced and included in the PUD petition. He commented on item #8 regarding the kettle and suggested that they need to do a basic concept level layout on the property to the south and how it would serve the sewer, water and storm water would be handled. He pointed out item 10 regarding applicant confirming adequate parking for residents and guest. He said from staff perspective it is like the ones in the past.

Bierman asked if some of the strips between buildings 3&4 and 5&6 were sloped curbing for people to pull up onto that for guest parking. He also asked how many parking spaces there for guests for 150 units because it states there are 14 spaces for guests. It was stated that the sloped curbing would help with the snow plowing. There was discussion on the curb and the amount of parking spaces. Hussinger said he will need a count for the parking spaces.

Wallschlager about screening for lot 3. There was discussion on the screening and it was stated that the intent of the screening is to knock down headlights on adjacent properties. Amtmann asked them to explain the landscape plan along the southern property line. Fosler said at the present time there is not much shown for screening on the southern line considering the property adjacent is for future commercial use. Rhode said what staff brought up was the commercial lot and there is a big kettle behind the garages that you can see.

He would like to see a rough layout and a little more detail of how potentially the 2 lots, lot 2 & lot 3 tie together.

Bierman asked about the trail system and parking. He commented on how important the trail system is for the school and that parking could be an issue during cross-country meets. Kyle Hansen from Lake Country Lutheran was present and commented on the trails and how they typically are able to accommodate for parking at the school or near the school. He said they would make families aware that this is private property. Attorney De La Mora asked how many times a year do they host meets and it was stated about 2x a year with close to several hundred participants. De La Mora asked if they arrived by buses and it was stated some arrive by busses. There was brief discussion on parking for use of the trails. Mr. Hansen said most of the trail system is on the school property and the start and finish for meets is on school property.

Wallschlager asked about the square footage of the garages and it was stated they vary in depth. DeCourcy-Bower commented on the evaluation of connectivity and having some sort of agreement. Rhode said this will move forward to the next meeting and pointed out that this does not connect to Willow Drive.

Motion (DeCourcy-Bower/Schneeberger) to move concept forward to the next Architectural and Plan Commission meeting. Carried (7-0).

6. Announcements-

Administrator Rhode President Pfannerstill apologizes for not being able to make it to the meeting and thanks to Ryan Bailey for doing the Zoom portion of the meeting.

7. Adjournment-

Adjourned at 8:14 pm.

Respectfully submitted by
Recording Secretary,

Deidre Bush y, Deputy Clerk



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot 75	Block	Subdivision River Meadow	Key No. HAV
Owner John and Dyhanne Neuens			Phone 414-630-7223
Address 668 Greenway Terrace		City Hartland	State WI Zip 53029
Contractor Groundskeeper/ K2	Phone 414-305-4013	FAX	E-Mail Address
Address		City	State Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
4. Applications shall include professional-level drawings of all elevations showing the existing and proposed conditions.
5. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
6. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Street right-of-way
 - n. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
7. Additional information may be requested by the Architectural Board or Staff.
8. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
9. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

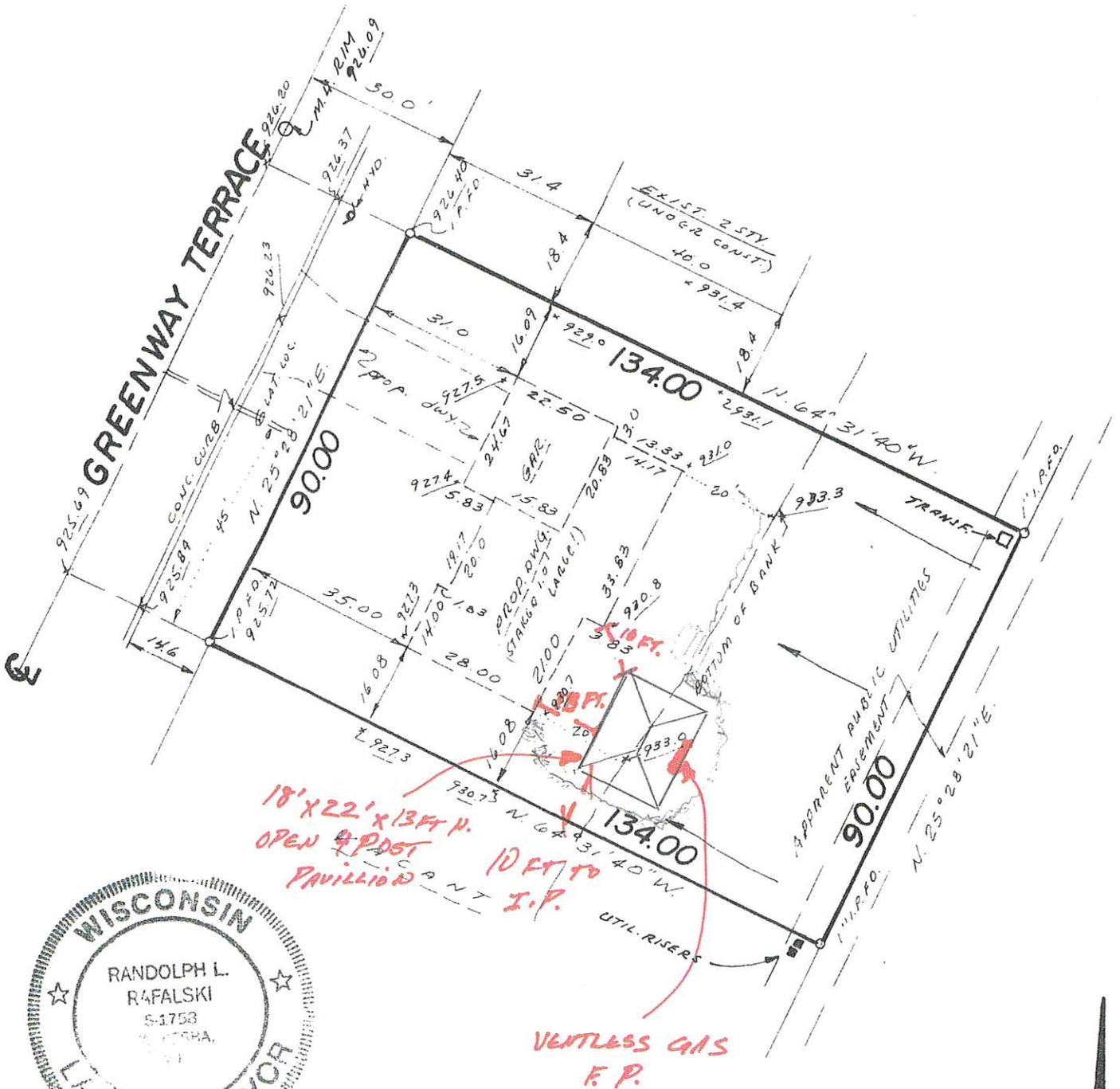
668 Greenway Ter

Plat of Survey

Survey For: WOLTER BROS. BUILDERS
Location: Greenway Terrace

KAMBEN

Description: LOT 75 RIVER MEADOW ADDITION 2, being a part of the Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 35, Town 9 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.

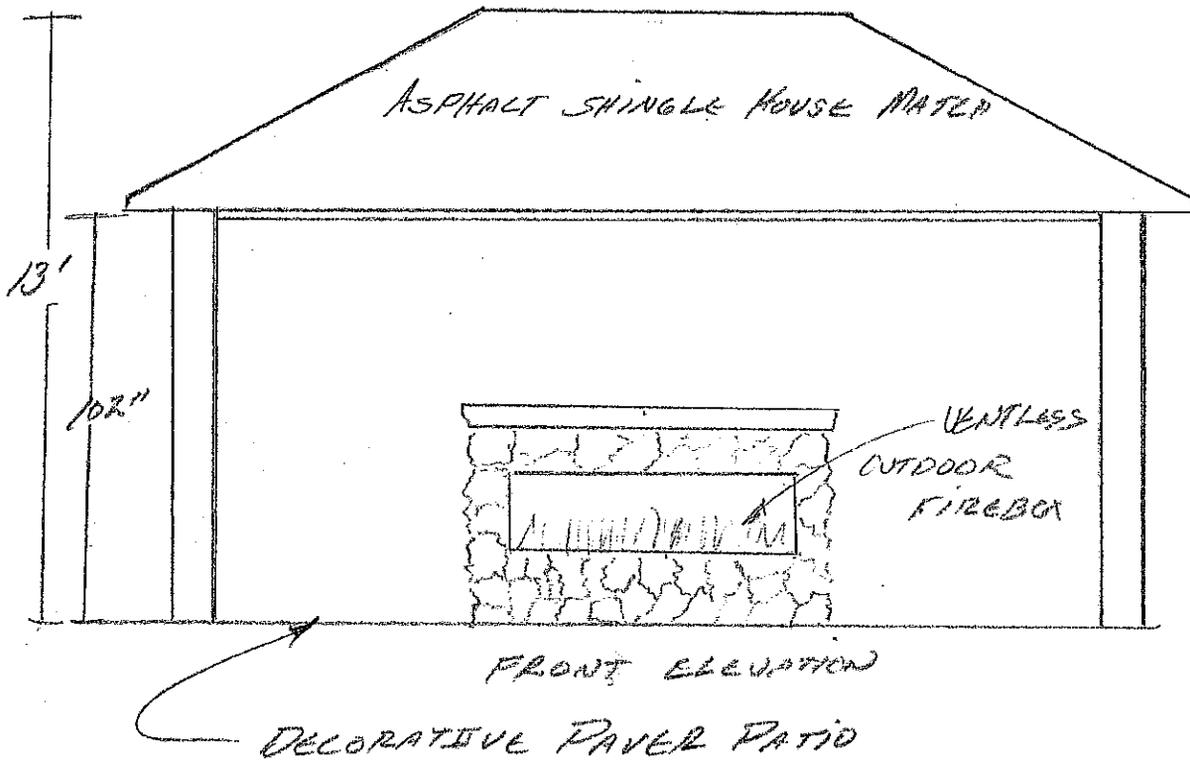
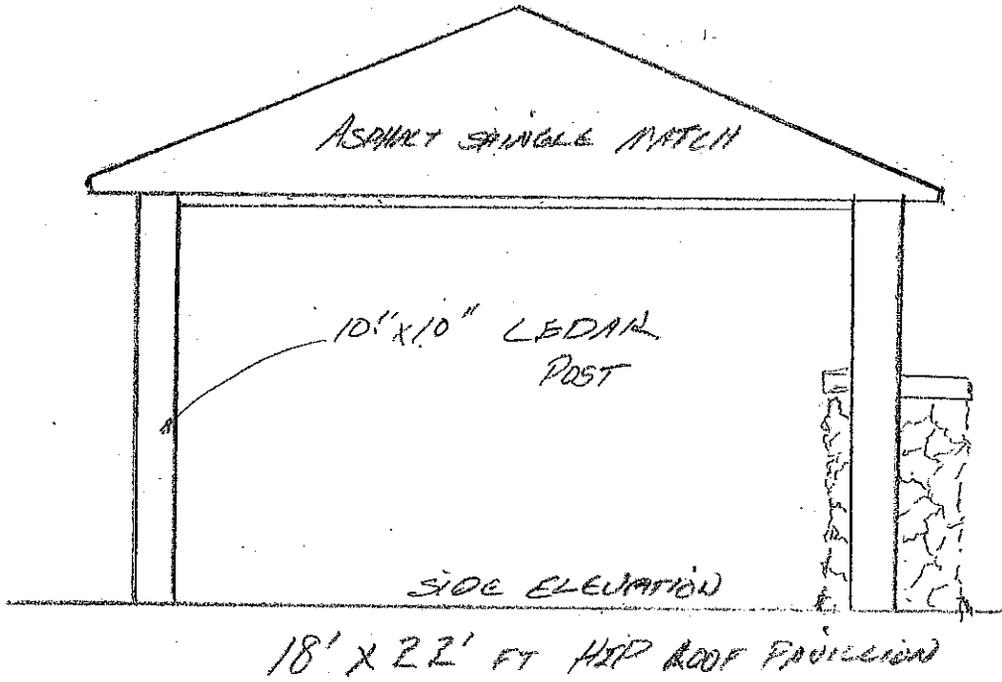


NOTES:
 SUGGESTED YARD GRADE =
~~EL. 929.0~~ 930.5
 (TO BE CHECKED BY BLDG., VILLAGE.)



INTERLINE SURVEY
 SERVICES, INC.

668 GREENWAY TERRACE



BRIAN L BEVERSDORF AND VICKI L
BEVERSDORF
664 GREENWAY TER
HARTLAND WI 53029

CHARALAMPOS ATHANASIOU AND
MELPOMENI MARANTIDOU
613 GREENWAY TER
HARTLAND WI 53029-1184

CHRISTOPHER BAUER AND CHRISTINE
BAUER
722 GREENWAY TER
HARTLAND WI 53029

CHRISTOPHER P & BONNIE P ELLERD
REVOCABLE TRUST
714 RIVER MEADOW DR
HARTLAND WI 53029

CRAIG HILL AND ELIZABETH HILL
606 GREENWAY TER
HARTLAND WI 53029

DENNIS DANAHEY AND VICKI DANAHEY
723 MARQUETTE CT
HARTLAND WI 53029

EDWARD BESONEN AND MARY LOU
BESONEN
680 RIVER MEADOW DR
HARTLAND WI 53029

EDWARD K PICKENS AND CHRISTINE M
PICKENS
686 BRIARCLIFF CT
HARTLAND WI 53029-1177

GLENN N AND MARY L SCHROEDER
REVOCABLE
627 BRIARCLIFF CT
HARTLAND WI 53029-1178

GREGORY KARAS AND JILL KARAS
735 MARQUETTE CT
HARTLAND WI 53029-1176

GRETCHEN F BLOSS AND KIMBERLI M
WANDSNIDER
672 BRIARCLIFF CT
HARTLAND WI 53029

HERBERT J AND JUNE LYONS REVOCABLE
TRUST
677 GREENWAY TER
HARTLAND WI 53029

ISAAC J VERDEGAN AND JULIE A
MCDONALD
707 BRIARCLIFF CT
HARTLAND WI 53029

JAMES BALLANTINE AND MARY
BALLANTINE
689 BRIARCLIFF CT
HARTLAND WI 53029-1178

JEFFREY MEEHAN AND ALISON B
MEEHAN
621 BRIARCLIFF CT
HARTLAND WI 53029

JOHN M NEUENS AND DYHANNE
NEUENS
668 GREENWAY TER
HARTLAND WI 53029-1184

KATHERINE A KAMRATH AND ROBERT C
RIEGE
665 RIVER MEADOW DR
HARTLAND WI 53029

LAUREL KINZIGER
609 RIVER MEADOW DR
HARTLAND WI 53029

MARK A & LORI S FIGURSKI 2013
LIVING TRUST
652 GREENWAY TER
HARTLAND WI 53029

MARK R ROBEL AND CHRISTINE M
ROBEL
646 RIVER MEADOW DR
HARTLAND WI 53029

MARK RIESINGER AND KARLA RIESINGER
657 GREENWAY TER
HARTLAND WI 53029

NICK SCHAF AND MICHELLE SCHAF
671 BRIARCLIFF CT
HARTLAND WI 53029

WILLIAM & MICHELLE BOETTCHER
635 BRIARCLIFF CT
HARTLAND WI 53029-1178

PINE & WHITNALL LLP
6980 INDUSTRIAL LOOP PO BOX 196
GREENDALE WI 53129

ZUERCHER JOINT REVOCABLE TRUST
653 BRIARCLIFF CT
HARTLAND WI 53029-1178

PINE & WHITNALL LLP
6980 INDUSTRIAL LOOP PO BOX 196
GREENDALE WI 53129

ROBERT KURKIEWICZ AND MARGARET
KURKIEWICZ
702 GREENWAY TER
HARTLAND WI 53029

SCOTT JANSEN AND KIM OWENS
684 GREENWAY TER
HARTLAND WI 53029

STEVEN J KEYMAR AND KATHLEEN A
KEYMAR
643 GREENWAY TER
HARTLAND WI 53029

TANNER J KNECHT AND SAMANTHA J
KNECHT
660 GREENWAY TER
HARTLAND WI 53029-1184



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 470 E Industrial Dr.			
Lot	Block	Subdivision	Key No. HAV0729947000
Owner Steve Juiris		EMAIL sjuiris@gmail.com	Phone 847-254-6340
Address 470 E Industrial Dr		City Hartland	State WI Zip 53029
Contractor Appleton Sign		Phone 920-734-1622 FAX 920-734-1622	EMAIL emilyr@appletonsign.com
Address 2400 Holly Rd		City Neenah	State WI Zip 54956

The Architectural Board meets on the **THIRD MONDAY** of the Month at ⁷~~6:30~~ p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

Sign A

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 470 E Industrial Dr TAX KEY # 0729947000
OWNER Superior Storage PHONE 847-254-16340
ADDRESS 470 E Industrial Dr CITY Hartland STATE WI ZIP 53029
CONTRACTOR Appleton Signs Co PHONE 920-734-11201
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Superior Storage

OVERALL DIMENSIONS OF SIGN 38.5" x 108" COLOR OF BACKGROUND N/A

SIZE OF LETTERS IN INCHES 15.5" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 4700

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 8-27-2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

sign B

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 470 E Industrial Dr TAX KEY # 0729947000
OWNER Superior Storage PHONE 847-254-6340
ADDRESS 470 E Industrial Dr CITY Hartland STATE WI ZIP 53029
CONTRACTOR Appleton Sign PHONE 920-734-1101
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Superior Storage (262) 317-2300 superiorstorage.com

OVERALL DIMENSIONS OF SIGN 101" x 132" COLOR OF BACKGROUND white

SIZE OF LETTERS IN INCHES indicated on drawing (multiple sizes) COLOR OF LETTERS red + white

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

aluminum + acrylic

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 19,000

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 8.27.20

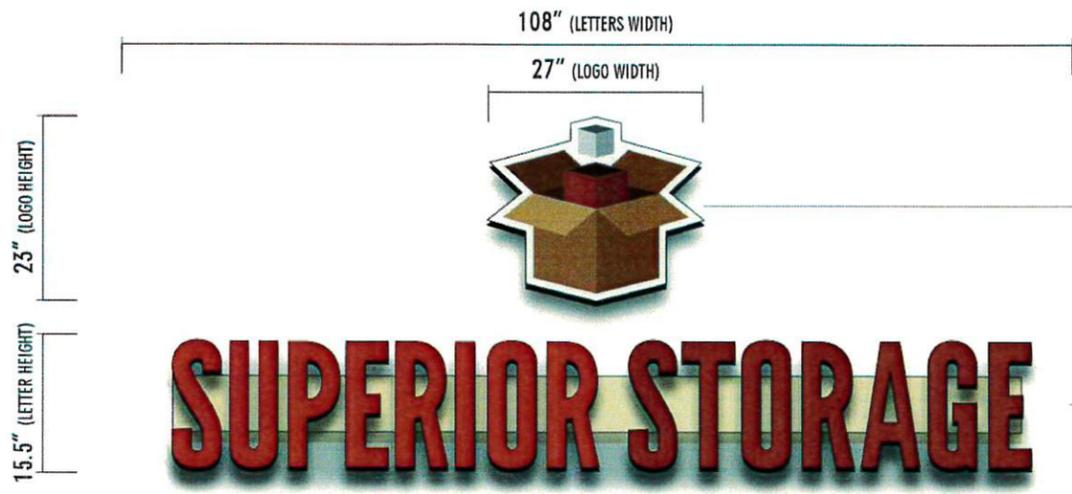
PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

A

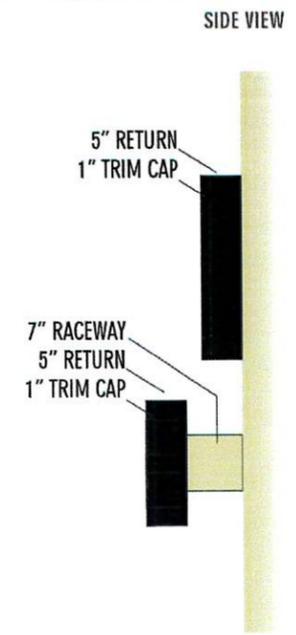
DETAIL VIEW



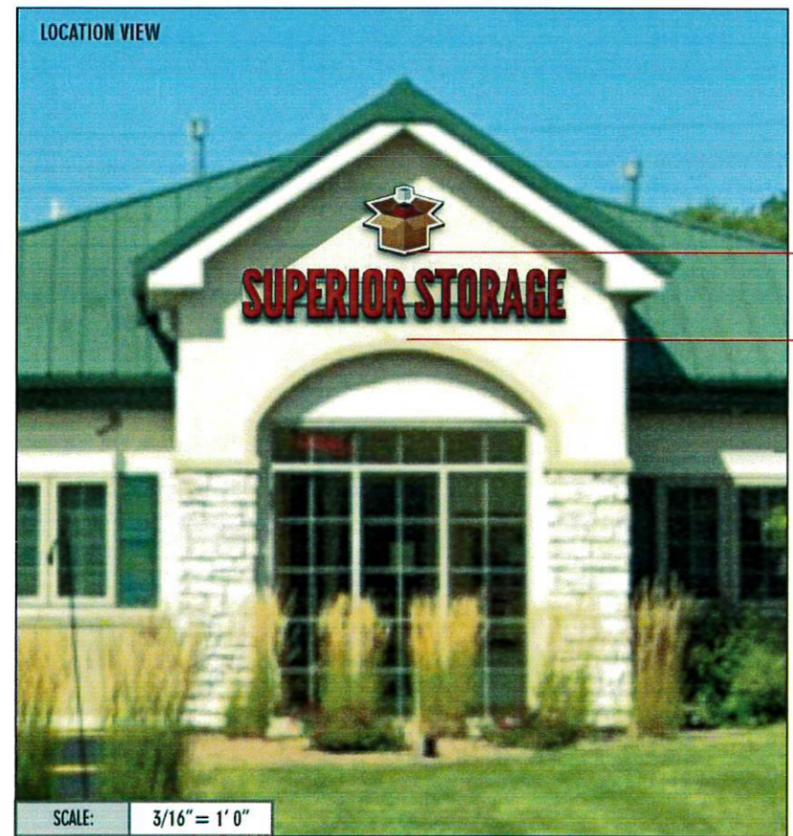
SUPERIOR STORAGE

FACE LIT CHANNEL FORMED LOGO - INTERNALLY LIT W/ WHITE LEDS
WHITE ACRYLIC FACES WITH FULL COLOR DUAL LAYER DIGITALLY PRINTED VINYL
PRE-FINISHED BLACK TRIM CAP AND BLACK RETURNS
MOUNTED FLUSH TO BUILDING

FACE LIT CHANNEL LETTERS - INTERNALLY LIT W/ WHITE LEDS
WHITE ACRYLIC FACES W/ TWO COLOR CUT VINYL
PRE-FINISHED BLACK TRIM CAP AND BLACK RETURNS
MOUNTED TO BUILDING ON 7" RACEWAY - PAINTED TO MATCH BUILDING



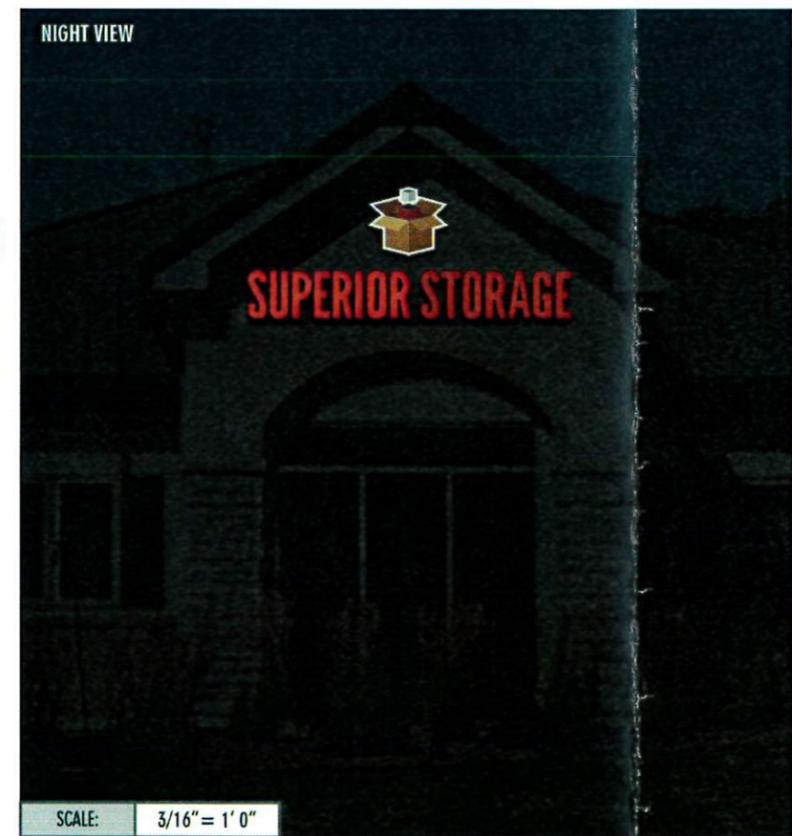
SCALE: 1/2" = 1' 0"



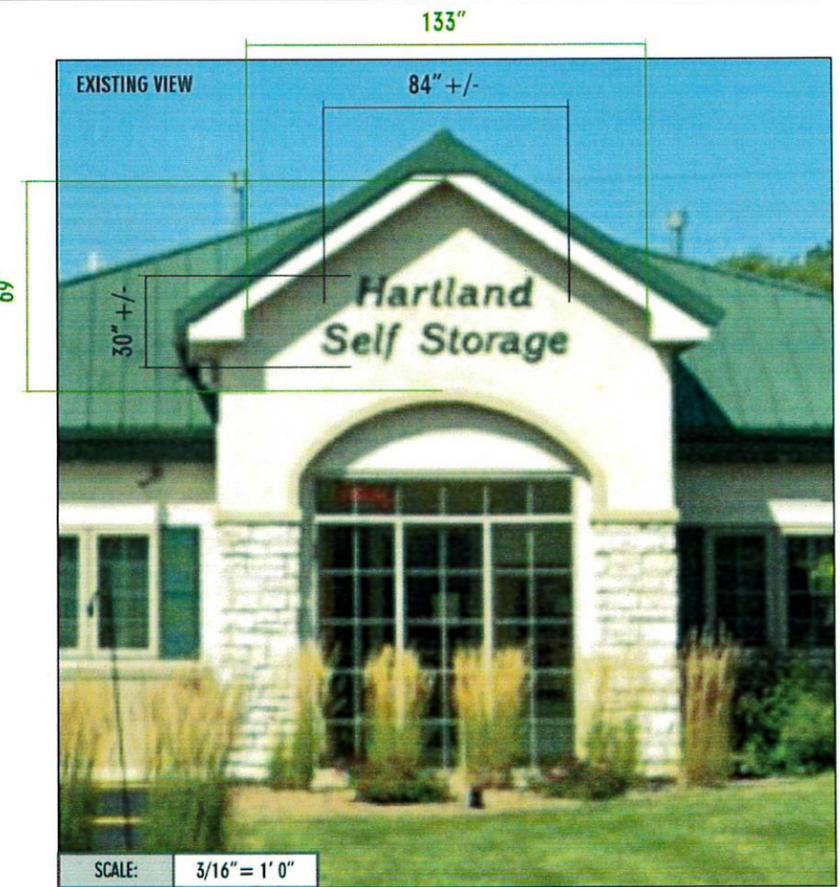
29" (CEILING ACCESS)

SCALE: 3/16" = 1' 0"

CUSTOMER TO SUPPLY POWER ABOVE DROP CEILING



SCALE: 3/16" = 1' 0"



SCALE: 3/16" = 1' 0"

REMOVE AND DISPOSE OF EXISTING LETTERS

AppletonSIGN
COMPANY
2400 Holly Road • Neenah, WI 54956
Tel: 920.734.1601 • Fax: 920.734.1622
www.AppletonSIGN.com

CLIENT:	SUPERIOR STORAGE
STREET ADDRESS:	470 E INDUSTRIAL DR
CITY / STATE:	HARTLAND, WI
SCOPE:	REBRAND
DATE:	7/7/20
SALES:	JOSH TURKOW
DESIGNER:	MIKE FRASSETTO

GENERAL SPECIFICATIONS	
VOLTAGE:	120v - 277v POWER SUPPLIES USED
POWER DRAW:	2 AMPS - TOTAL
SQUARE FOOTAGE:	16 - APPROX.

COLOR SCHEDULE	
1	DUAL LAYER DIGITALLY PRINTED GRAPHICS
2	PAINT SW 6155 RICE GRAIN
3	ORACAL 8500017 CHERRY RED
4	ORACAL 8500016 CRIMSON
5	PRE-FINISHED BLACK RETURNS
6	PRE-FINISHED BLACK TRIM-CAP

REQUIRED ITEMS	
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS ?	

REVISION SCHEDULE	
8/27/20	SURVEY UPDATE

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X
BY SIGNING THIS DOCUMENT, YOU ARE AGREEING TO ALL SPECIFICATIONS SCOPE WORK DESCRIBED ON THIS DRAWING & THE PROPOSAL MATCHING THE DESIGN ID PRODUCTION OF THIS PROJECT WILL NOT BE ALLOWED WITHOUT A SIGNATURE.

A: MANUFACTURE AND INSTALL ONE(1) SET OF FACE LIT RACEWAY MOUNTED CHANNEL LETTERS - ENTRANCE

OPT. #1

200569-02

1

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DETAILED DESIGN!

CLIENT:	SUPERIOR STORAGE
STREET ADDRESS:	470 E INDUSTRIAL DR
CITY / STATE:	HARTLAND, WI
SCOPE:	REBRAND
DATE:	7/7/20
SALES:	JOSH TURKOW
DESIGNER:	MIKE FRASSETTO

GENERAL SPECIFICATIONS	
VOLTAGE:	120v - 277v POWER SUPPLIES USED
POWER DRAW:	3 AMPS - TOTAL
SQUARE FOOTAGE:	58.25 - APPROX.

COLOR SCHEDULE	
1	PAINT TO MATCH PMS 7421C
2	PAINT SW 6155 RICE GRAIN
3	PAINT SATIN WHITE
4	ORACAL 8500017 CHERRY RED
5	ORACAL 8500016 CRIMSON
6	DUAL LAYER DIGITALLY PRINTED GRAPHICS

REQUIRED ITEMS	
<input checked="" type="checkbox"/>	CLEAN ART?
<input checked="" type="checkbox"/>	FIELD SURVEY?
<input checked="" type="checkbox"/>	COLORS?
<input checked="" type="checkbox"/>	MISC. ITEMS ?

REVISION SCHEDULE	
8/27/20	SURVEY UPDATE

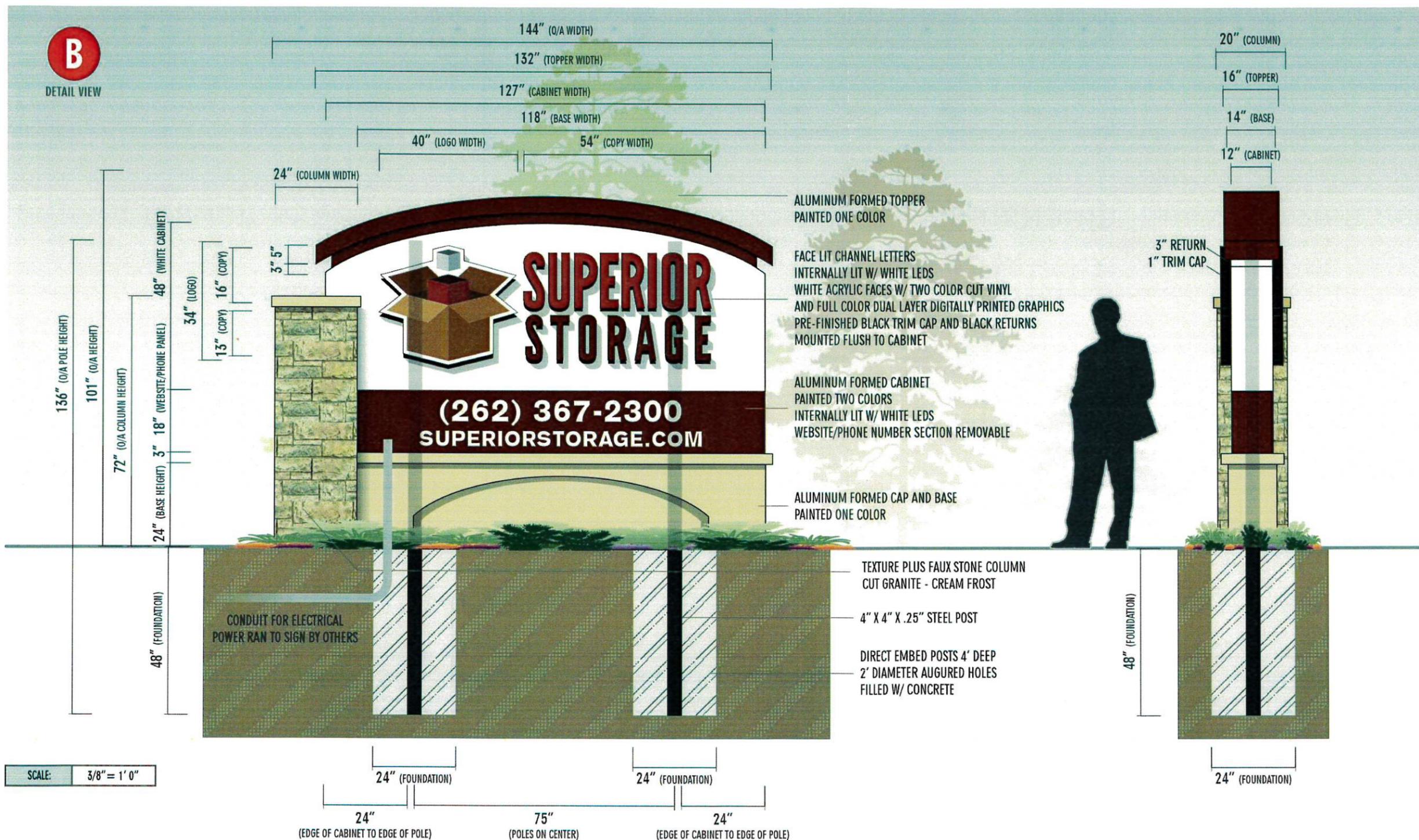
PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

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B

DETAIL VIEW



SCALE: 3/8" = 1' 0"

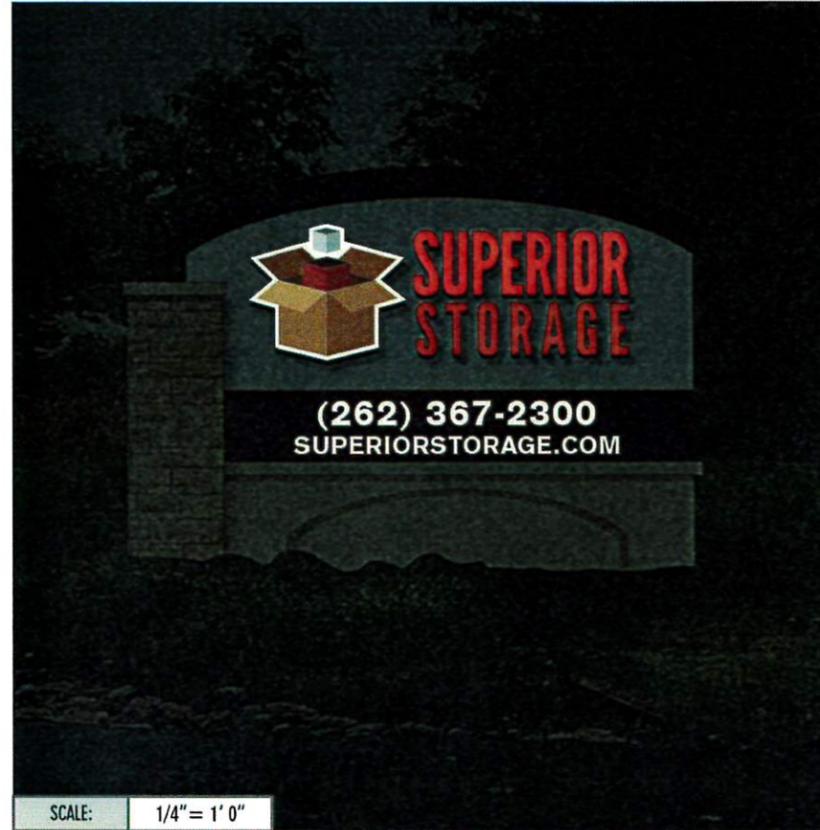
B: MANUFACTURE AND INSTALL ONE(1) D/F INTERNALLY LIT MONUMENT SIGN

OPT. #3 200569-02 1

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DETAILED DESIGN!

LOCATION VIEW



REMOVE AND DISPOSE OF EXISTING POST AND PANEL SIGN

CLIENT:	SUPERIOR STORAGE
STREET ADDRESS:	470 E INDUSTRIAL DR
CITY / STATE:	HARTLAND, WI
SCOPE:	REBRAND
DATE:	7/7/20
SALES:	JOSH TURKOW
DESIGNER:	MIKE FRASSETTO

GENERAL SPECIFICATIONS

VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	

COLOR SCHEDULE

REQUIRED ITEMS

<input checked="" type="checkbox"/> CLEAN ART?	
<input checked="" type="checkbox"/> FIELD SURVEY?	
<input checked="" type="checkbox"/> COLORS?	
<input checked="" type="checkbox"/> MISC. ITEMS ?	

REVISION SCHEDULE

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X

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B: MANUFACTURE AND INSTALL ONE(1) D/F INTERNALLY LIT MONUMENT SIGN

OPT. #3

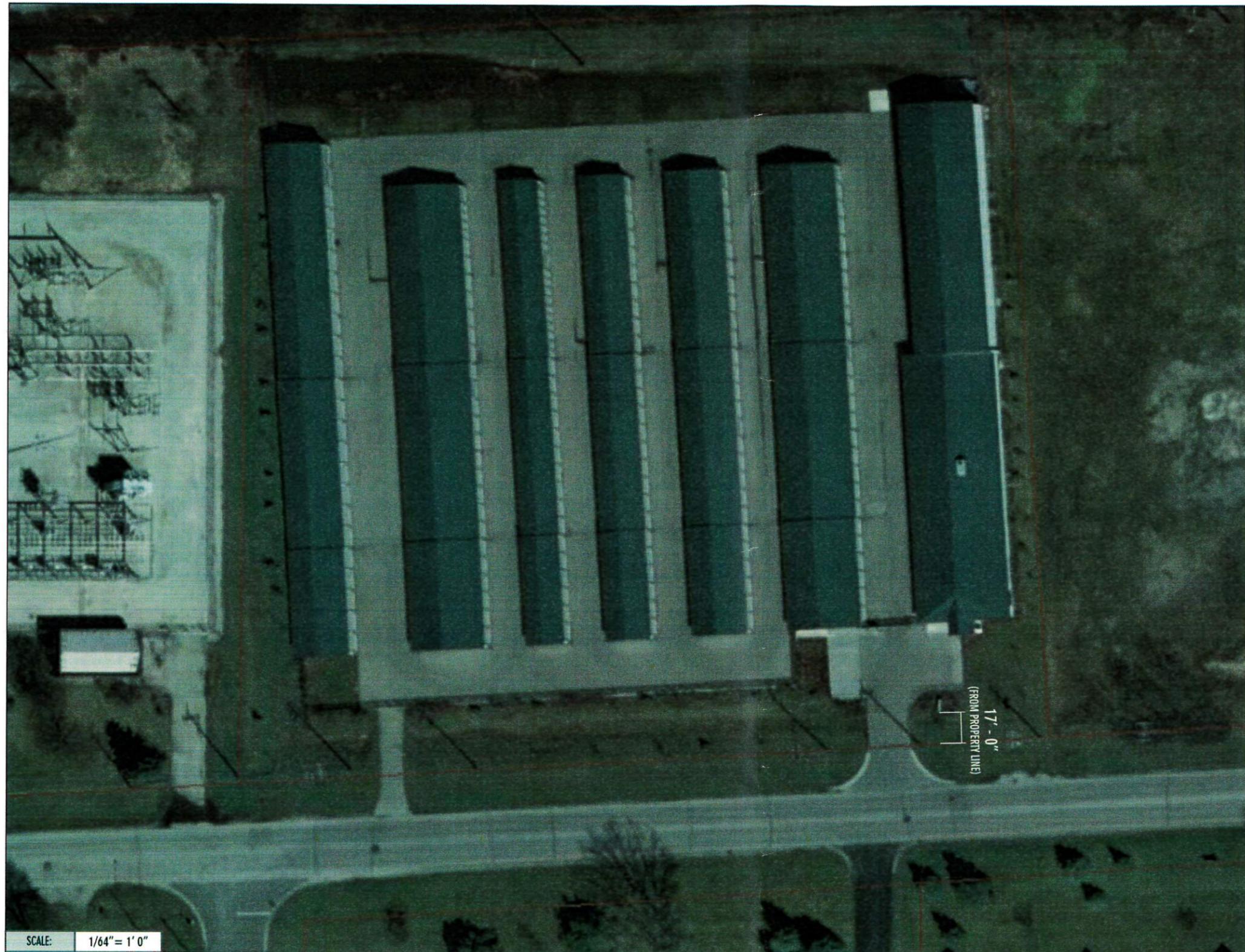
200569-02

2

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DETAILED DESIGN!



MATCH DISTANCE OF EXISTING SIGN

CLIENT:	SUPERIOR STORAGE
STREET ADDRESS:	470 E INDUSTRIAL DR
CITY / STATE:	HARTLAND, WI
SCOPE:	REBRAND
DATE:	7/7/20
SALES:	JOSH TURKOW
DESIGNER:	MIKE FRASSETTO

GENERAL SPECIFICATIONS	
VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	

COLOR SCHEDULE	

REQUIRED ITEMS	
<input checked="" type="checkbox"/> CLEAN ART?	
<input checked="" type="checkbox"/> FIELD SURVEY?	
<input checked="" type="checkbox"/> COLORS?	
<input checked="" type="checkbox"/> MISC. ITEMS ?	

REVISION SCHEDULE	

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X

BY SIGNING THIS DOCUMENT, YOU ARE AGREEING TO ALL SPECIFICATIONS, SCOPE WORK DESCRIBED ON THIS DRAWING & THE PROPOSAL MATCHING THE DESIGN. ID PRODUCTION OF THIS PROJECT WILL NOT BE ALLOWED WITHOUT A SIGNATURE.

ELMORE MACHINERY CORP
403 EAST AVE
EAGLE WI 53119-2109

ELMORE MACHINERY CORP
403 EAST AVE
EAGLE WI 53119-2109

EYE COMMUNICATION SYSTEMS
1823 EXECUTIVE DR
OCONOMOWOC WI 53066-4832

HARTLAND MEADOWS RETIREMENT
APARTMENTS LLC
W320N1161 BUTTERNUT RIDGE CT
DELAFIELD WI 53018-2257

HARTLAND SELF STORAGE LLC
74 HALBACH CT
FOND DU LAC WI 54937-8626

HARTLAND STATION LLC
249 PAWLING AVE
HARTLAND WI 53029-2052

ILLINOIS TOOL WORKS INC
PO BOX 110
HARTLAND WI 53029-0110

KOEPEL HOLDINGS LLC
PO BOX 46
OCONOMOWOC WI 53066-0046

ROBERT F KALKE JR
370 PROSPECT AVE
HARTLAND WI 53029

RONALD JAEGER AND ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029

STACY L SMITH
248 PAWLING AVE
HARTLAND WI 53029-2013

STELLAR V LLC
N28W29721 OAKWOOD GROVE RD
PEWAUKEE WI 53072

STONEWOOD STORAGE ASSOCIATES
LIMITED PARTNERSHIP
PO BOX 145
HARTLAND WI 53029

SUPERIOR OF WISCONSIN INC
559 PROGRESS DR PO BOX 168
HARTLAND WI 53029-0168

WISCONSIN ELEC POWER CO
231 W MICHIGAN AVE
MILWAUKEE WI 53203

Z&Z REALTY LLC
PO BOX 320
HARTLAND WI 53029-0320



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot	Block	Subdivision	Key No. HAV
Owner MSI General Corp.		EMAIL kenk@msigeneral.com	Phone 262-367-3661
Address 651 Industrial Court		City Hartland	State WI Zip 53029
Contractor MSI General Corp	Phone 262-367-3661	FAX 362-367-7390	EMAIL kenk@msigeneral.com
Address W215 E. Wisconsin Ave.		City Nashotah	State WI Zip 53029

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

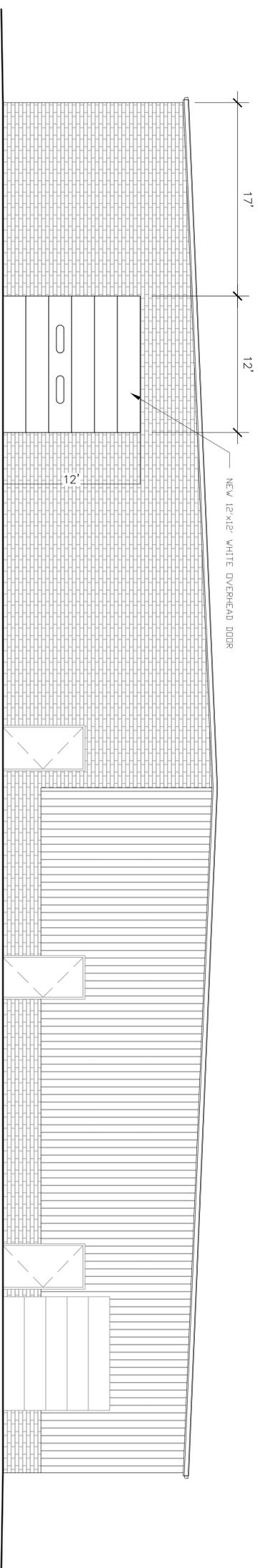
1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.



LOCATION MAP
NO SCALE



1 EXISTING NORTH ELEVATION (PHOTO)



2 PROPOSED NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATION

3/16" = 1'-0"



MSI GENERAL CORPORATION
P.O. BOX 7
OCONOMOWOC, WI 53066
PHONE: 262-567-3661

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal: xxx/xx/xxxx
Bid: xxx/xx/xxxx
Contract: xxx/xx/xxxx
Local Submittal / Permit: 09/02/2020
As-Built: xxx/xx/xxxx

REVISIONS:

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PROJECT ADDRESS:

PROJECT NAME
MSI Tenant Renovation
STREET ADDRESS
651 Industrial Court
CITY/STATE /ZIP
Hartland, WI, 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSIGENERAL MASTER SPECIFICATION

Architect: Engineer: Reviewed By:

BFV AGR BGR

Sheet Title:
EXTERIOR ELEVATION

Sheet Number:

A201

Project Number: P

ARCHITECTS

CONTRACTORS

ENGINEERS

MANAGERS

1994 HOLDINGS LLC
PO BOX 695
PEWAUKEE WI 53072-0695

CBS PROPERTIES LLC
805 CARDINAL LN
HARTLAND WI 53029-2319

G HOWE LAKE COUNTRY LLC
W305N1587 SILVERWOOD LN
DELAFIELD WI 53018

ICE AGE PARK AND TRAIL FOUNDATION
INC
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ICE AGE PARK AND TRAIL FOUNDATION
INC
207 E BUFFALO ST STE 515
MILWAUKEE WI 53202-5712

LANDMARK CREDIT UNION
PO BOX 510870
NEW BERLIN WI 53151-0870

MESCHING PROPERTIES LLC
PO BOX 379
HARTLAND WI 53029-0379

MSI GENERAL CORP
PO BOX 7
OCONOMOWOC WI 53066-0007

NETNEL LLC
602 INDUSTRIAL CT
HARTLAND WI 53029-2312

RANDALL REALTY LLC
1604 MANHATTAN DR
WAUKESHA WI 53186-3900

SCHAEFER PROPERTIES LLP
1615 NOTRE DAME BLVD
ELM GROVE WI 53122-1754

STONEWOOD STORAGE
720 INDUSTRIAL CT PO BOX 145
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 557 Cottonwood Ave.			
Lot	Block	Subdivision	Key No. HAV
Owner Dr. Richard Bailey		EMAIL richard@baileyfamilydental.com	Phone (414) 751-4000
Address 557 Cottonwood Ave.		City Hartland	State WI Zip 53029
Contractor MSI General		Phone 414-550-5138 FAX	EMAIL juliem@msigeneral.com
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

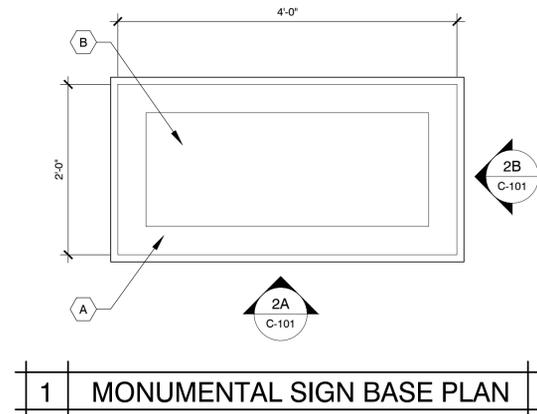
- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

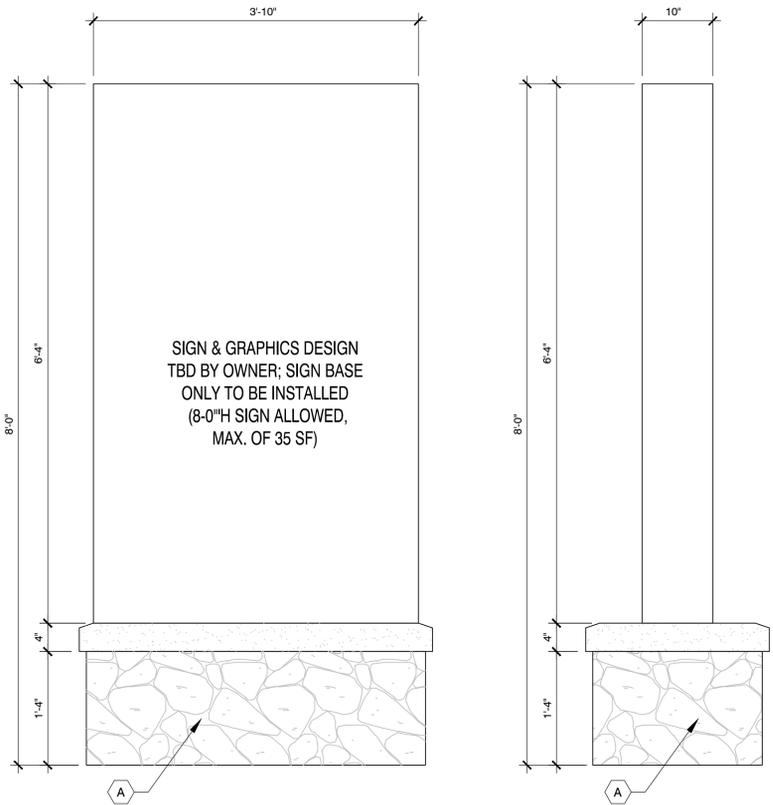
- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

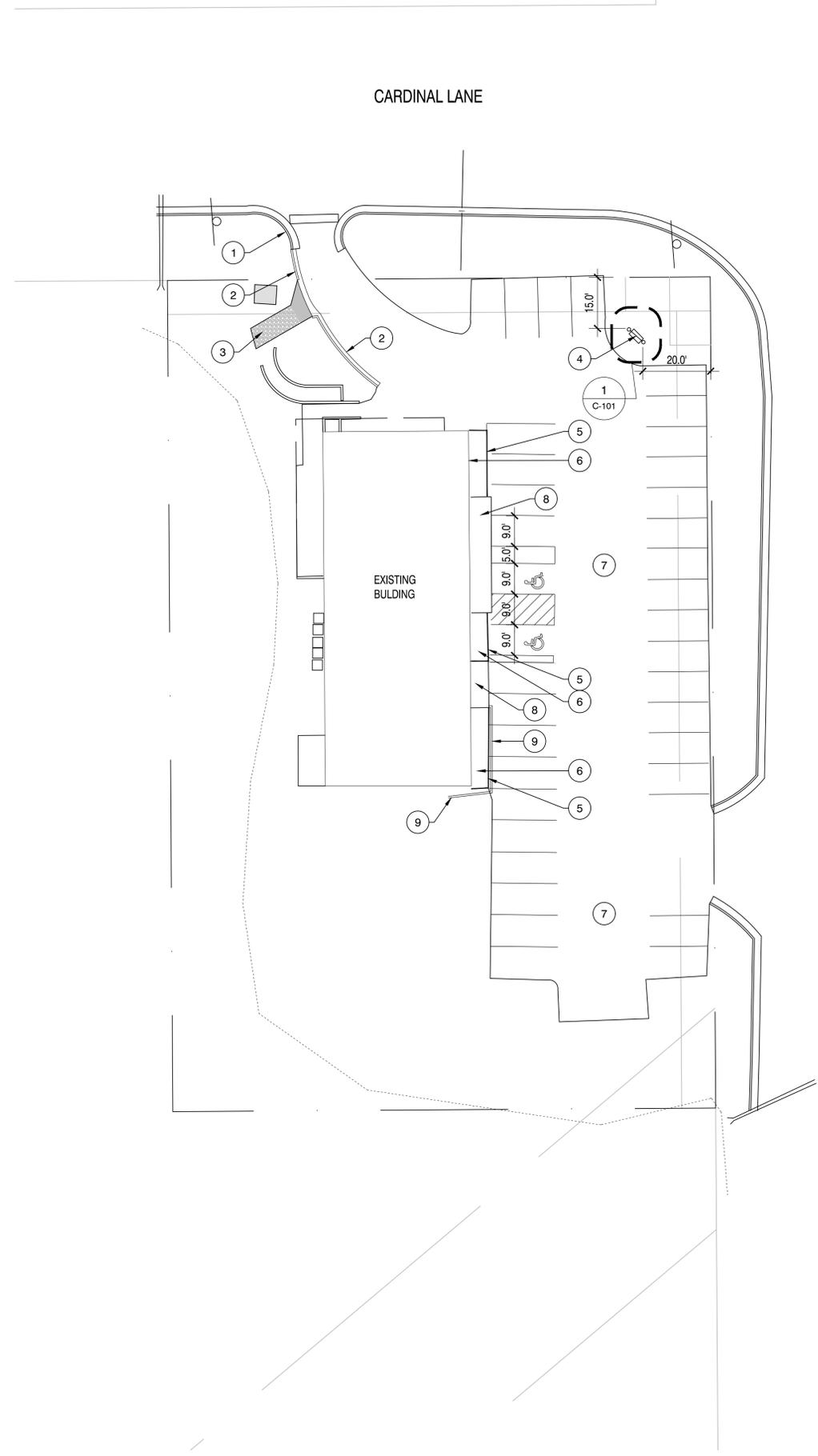
Date Applied: *Don Wittig* Date of Meeting: _____ Item No. _____



1 MONUMENTAL SIGN BASE PLAN



2 MONUMENTAL SIGN BASE ELEVATIONS A & B



SITE PLAN NOTES

- 1 REMOVE AND REPLACE APPROX. 4' LENGTH OF EXISTING STREET CURB THAT IS DAMAGED.
 - 2 NEW CONCRETE CURB AND GUTTER WITH OPENING AT EXISTING RIP-RAP FOR WATER DRAINAGE, FIELD VERIFY.
 - 3 EXISTING RIP-RAP STONE TO REMAIN
 - 4 REMOVE AND REPLACE EXISTING SIGN WITH NEW MONUMENTAL SIGN BY OWNER. PROVIDE ELECTRIC TO SIGN. NEW STONE BASE WITH STONE CAP TO MATCH STONE ON BUILDING. REMOVE EXISTING LANDSCAPING AROUND SIGN; OWNER TO REPLACE LANDSCAPING.
 - 5 REMOVE EXISTING RAILROAD TIES AND REPLACE WITH NEW STONE RETAINING WALL AND STONE CAP. REPAIR ASPHALT AS REQUIRED. STONE STYLE AND COLOR: TBD.
 - 6 REMOVE ALL EXISTING LANDSCAPING AND SOIL. REPLACE WITH NEW GRAVEL AND SOIL FOR NEW LANDSCAPING BY OWNER.
 - 7 SEAL AND RE-STRIPE ENTIRE PARKING LOT
 - 8 REMOVE AND REPLACE EXISTING CONCRETE STOOP OR STEPS; PATCH ASPHALT EDGE AS REQUIRED
 - 9 BURY DOWNSPOUT BELOW FROST LINE ALONG NEW STONE WALL AND TOWARDS THE SOUTH
- A 4" STONE WITH STONE CAP; STONE STYLE AND COLOR:TBD
 B CMU MASONRY
- GENERAL NOTE:**
 -TOP DRESS AND SEED ALL DISTURBED AREAS OF SITE DURING CONSTRUCTION.
 -PATCH ASPHALT ALONG ALL NEW RETAINING WALLS, CONCRETE STOOP, CONCRETE STEPS AND CONCRETE CURB/GUTTER AS REQUIRED.



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 PHONE: 262-367-3661

WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal:	
Bid:	08/31/20
Contract:	
State Submittal / Permit:	
As-Built:	

REVISIONS:

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PROJECT ADDRESS:

PROJECT NAME
 Dr. Bailey Exterior Renovation
 STREET ADDRESS
 557 Cottonwood Ave.
 CITY/STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect:	Engineer:	Reviewed By:
xxx	xxx	xxx

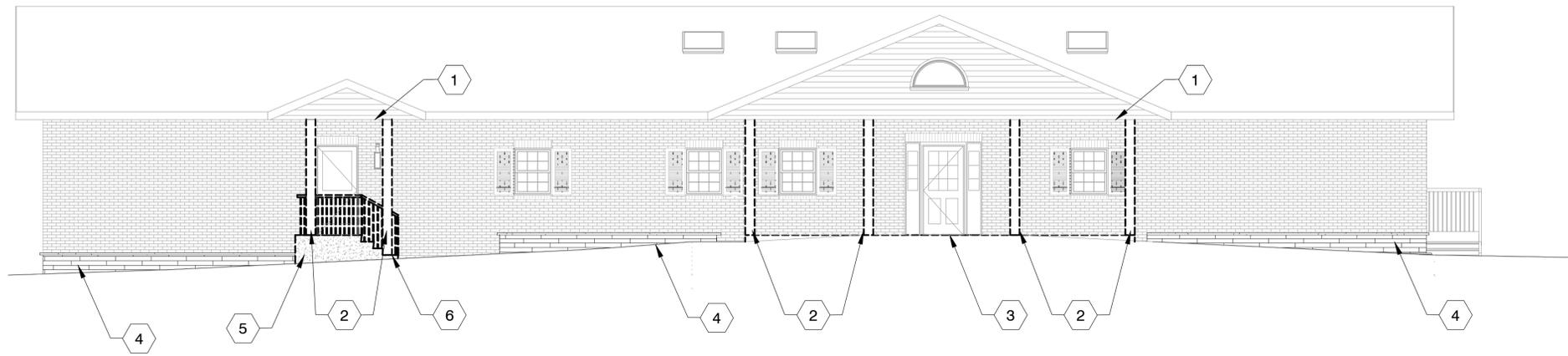
Sheet Title:
SITE PLAN
 Sheet Number:
C-101
 Project Number:
P12644

MANAGERS

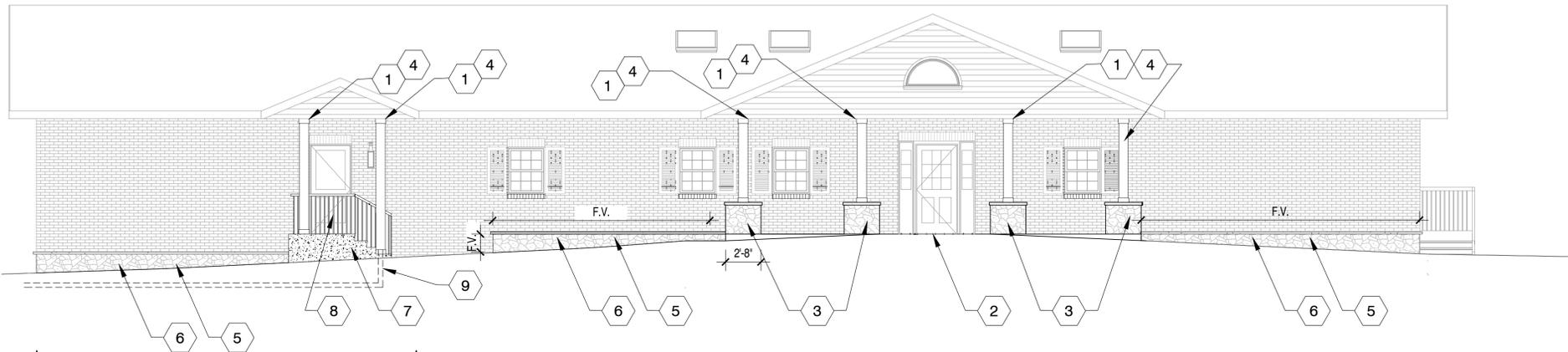
ENGINEERS

CONTRACTORS

ARCHITECTS



EXISTING SOUTH ELEVATION - DEMO



PROPOSED SOUTH ELEVATION



PROPOSED EXTERIOR RENDERING



PROPOSED STONE EXAMPLE

EXTERIOR DEMO NOTES

- 1 DURING CONSTRUCTION SHORE UP EXISTING OVERHANG
- 2 REMOVE EXISTING WOOD COLUMNS
- 3 REMOVE CONCRETE STOOP
- 4 REMOVE ALL SHRUBS, SOIL AND RAILROAD TIES
- 5 REMOVE CONCRETE STEPS, WOOD RAILING
- 6 REMOVE BOTTOM OF THE DOWNSPOUT

EXTERIOR ELEVATION NOTES

- 1 NEW AZEK COLUMNS WITH TRIM
- 2 FORM AND POUR NEW STOOP WITH REINFORCED CONCRETE IN SAME LOCATION AND SIZE
- 3 2'-8" X 2'-8" X 2'-8" STONE COLUMN BASES WITH STONE CAP- SEE ATTACHED PICTURE
- 4 PAINT COLUMNS TO MATCH EXISTING DARK BRONZE COLOR
- 5 NEW STONE RETAINING WALLS
- 6 FILL BEDS WITH GRAVEL AND SOIL (SHRUBS OR PLANTS BY OWNER)
- 7 NEW POURED CONCRETE STEPS
- 8 REPLACE WOOD RAIL WITH ALUMINUM RAILING SYSTEM; COLOR: DARK BRONZE
- 9 NEW BOTTOM OF DOWNSPOUT TO BE BURIED BELOW GRADE AND DISCHARGE ALONG THE SOUTH SIDE OF THE BUILDING

GENERAL NOTE:
EXISTING MASONRY BRICK, ASPHALT SHINGLES, SIDING, TRIM, WINDOWS, SHUTTERS, AND DOORS TO REMAIN AS-IS.



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal: _____
Bid: 08/31/20
Contract: _____
State Submittal / Permit: _____
As-Built: _____

REVISIONS:

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PROJECT ADDRESS:

PROJECT NAME
Dr. Bailey Exterior Renovation
STREET ADDRESS
557 Cottonwood Ave.
CITY/ STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: _____ Engineer: _____ Reviewed By: _____
xxx xxx xxx

EXTERIOR ELEVATIONS

Sheet Number:
A-201
Project Number: _____ P

P12644

ELEVATIONS 3/16" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

445 CARDINAL LLC
445 CARDINAL LN
HARTLAND WI 53029-2332

BARK RIVER PROPERTIES
2831 N GRANDVIEW BLVD STE 222
PEWAUKEE WI 53072-5584

CIRCLE J PROPERTIES LLC
PO BOX 131
HARTLAND WI 53029-0131

ICE AGE PARK & TRAIL FOUNDATION
INC
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ICE AGE PARK & TRAIL FOUNDATION INC
2110 MAIN ST
CROSS PLAINS WI 53529-9596

JAMIE B THOMSON 2013 LIVING TRUST
530 COTTONWOOD AVE
HARTLAND WI 53029-2309

JAMIE B THOMSON 2013 LIVING TRUST
530 COTTONWOOD AVE
HARTLAND WI 53029-2309

MICHAEL R WHITE REVOCABLE TRUST OF
1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

STEPHANIE JEAN MOEBIUS
100 CARDINAL LN
HARTLAND WI 53029-2337

SW 2017 1 LLC & J F CLEARCOTTON
LLC
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288

TW COTTONWOOD HARTLAND LLC &
MW COTTONWOOD HARTLAND LLC
510 HARTBROOK DR STE 206
HARTLAND WI 53029-1401

TW COTTONWOOD HARTLAND LLC &
MW COTTONWOOD HARTLAND LLC
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183



**Village of Hartland
Administration**

210 Cottonwood Ave, Hartland, WI 53029
www.villageofhartland.com

Committee: Plan Commission	Date: 9-16-2020
Plan Commission Item Number: 7	Date: 9-21-2020
Submitted By: Tim Rhode, Village Administrator	

Subject:
PRESENTATION ONLY on request of Arrowhead High School South Campus, North Campus, and Former Vilter Farms petition for direct annexation from the Town of Merton to the Village of Hartland.

Details:
Arrowhead High School is requesting a direct annexation from the Town of Merton to the Village of Hartland. The annexation process requires the Plan Commission to review the request and evaluate several factors, one of which is the future zoning of the parcels requesting annexation. This request was reviewed and forwarded from the Village Board on September 14th, however, our Village public notice practice requires that notice is sent to any property within 600 ft of the property line. The staff did not have adequate time to mail to the residents for discussion and action on our September Plan Commission meeting. The Agenda item will be back on the Plan Commission October Agenda for action.
Representatives from Arrowhead High School will be present to make a presentation.

Financial Remarks: N/A for Plan Commission Meeting

Options & Alternatives:
Sec. 46-152. – Plan Commission Duties
Sec. 46-153. - Referrals.
(2) All annexations or incorporations to the Village
Sec. 46-176 – Established; enumeration; boundaries; vacation;
(d) *Annexations* to or consolidations with the village subsequent to the effective date of the ordinance from which this chapter is derived shall be placed in the A-1 agricultural/holding district, unless the *annexation* ordinance temporarily places the land in another district. Within one year, the plan commission shall evaluate and recommend a permanent classification to the village board. *Annexations* or consolidations containing floodplain shall be placed in the following districts:
(1) All floodways and unnumbered A Zones shall be placed in the FWO floodway overlay district.
(2) All other floodplains shall be placed in the FFO floodplain fringe overlay district.

Executive Recommendation:
Review the documents presented by the applicant Arrowhead Highschool. No action can be taken at the September Plan Commission meeting, and the item will return for the October Plan Commission.

PETITION FOR DIRECT ANNEXATION PURSUANT TO WISCONSIN STATUTE 66.0217

The Arrowhead Union High School District and Board of Education as owners of all of the real property in the territory identified as the "Arrowhead High School South Campus, North Campus, and the former Vilter Farm" (full legal description is set forth below in legal description of the property, Section II and the scale map attached hereto as Appendix 1) and the electors residing in the territory identified as "the former Vilter Farm" (full legal description is set forth below in legal description of the property, Section II and the scale map attached hereto as Appendix 1) hereby respectfully petition the Village Board of the Village of Hartland to transfer the below identified territory in Section II from the Town of Merton to the Village of Hartland. The petition is being filed as a petition for the direct annexation by unanimous approval as set forth in Wisconsin Statute 66.0217. The territory identified below in Section II of the petition is presently in the Town of Merton.

I. Purpose of Petition

The purpose of this petition is to seek the approval from the Village of Hartland to enact an ordinance to transfer the real property in the territory identified as Section II of the petition and the scale map attached hereto as Appendix 1 from the Town of Merton to the Village of Hartland.

II. Legal Description of the of Territory Proposed to be Annexed

The legal description of the territory proposed to be annexed is as follows:

Parcel 1:

All that part of the North 1/2 of the Northeast 1/4 of Section 34, Township 8 North, Range 18 East, Town of Merton, Waukesha County, Wisconsin bounded and described as follows, to-wit:

Beginning at the North Quarter corner of said Section 34, and running thence South 1°3'30" West along the West line of said Northeast 1/4 1322.65 feet to a point in the North line of Arrowhead Heights; thence South 89°47'15" East along said North line 193.08 feet to a point in the North line of Arrowhead Drive; thence 101.02 feet along a curve on said North line (the chord of which bears North 84°31'19" East 100.85) to a point; thence continuing along said North line South 89°47'15" East 1439.11 feet to a point; thence South 1°44' West along the East line of said Arrowhead Drive 10.00 feet to a point in the South line of said North 1/2; thence South 89°47'15" East along said South line 378.66 feet to a point; thence North 1°11'30" East 150.00 feet to a point; thence South 89°47'30" East 217.80 feet to a point in the centerline of County Trunk Highway "E" and the East line of said Northeast 1/4; thence North 01°11' East along said East line and said centerline 571.72 feet to a point; thence North 89°46' West 600.00 to a point; thence North 01°11'30" East 600.00 feet to a point in the centerline of County Trunk Highway ""K" and in the North line of said Northeast 1/4; thence North 89°46' West along said North line and centerline 2050.61 feet to the point of beginning, including the East 33.00 feet and the North 33.00 feet which are reserved for highway purposes. EXCEPTING Therefrom the lands contained in conveyance to The Village of Hartland in Document No. 3668351.

Parcel 2:

All that part of the South 1/2 of Northeast 1/4 of Section 34, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin, described as follows: Commencing at a point on the East and West quarter section line, distant East 641.7 feet from the center of the said section; and thence continuing East on said line 1494.86 feet; thence North 21°19'20" East on Easterly line of lands described in Volume 326 of Deeds on page 63 as Document #250640; thence North 21°19'20" East on said line 266.7 feet to the South line of a certain 3.2 acre tract; thence North 89°53.5' West on said line 62 feet; thence North 0°27' West on West line of said 3.2 acre tract 328.0 feet; thence on North line of the said tract North 89°48' East 117.70 feet; thence on West line

of the said tract North 3°23'40" East 170.4- feet to the North line of the aforesaid lands described in said Document #250640; thence North 89°41' West on said line 237.0 feet thence North 1°44' East on the East line of the aforesaid lands 655.0 feet to the 1/16th line of the said quarter section; thence North 89°51' West on said line 1439.90 feet; thence South 1316.80 feet to the point of beginning, excepting therefrom the North 50 feet thereof and excepting further therefrom so much of the East 50 feet thereof, running Southerly from the North line thereof to the South line extended of the premises conveyed by Warranty Deed recorded as Document 3412570; granting, however to the said party of the second part a perpetual easement for road purposes any over and across the said North 50 feet thereof, and so much of the said East 50 feet thereof running, Southerly from the North line thereof to the South line extended of the premises conveyed by Warranty Deed recorded as Document #412570.

Address: 700 North Avenue

Tax Key # MRTT 0421-998-001

Parcel 3:

That part of the Southwest 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 27, Township 8 North, Range 18 East, Town of Merton, Waukesha County, Wisconsin more fully described as follows: Commencing at the Southwest Corner of the Southeast 1/4 of said Section 27, Thence N89°45'33" East, 273.90 feet along the South line of said Southeast 1/4 of Section 27 to the point of beginning of hereinafter described lands, thence N00°44'19" East, 784.30 feet along the Easterly line of lands as described in Volume 110 of Deeds on page 261; thence N89°45'34" East, 2373.64 feet to a point on the centerline of C.T.H. "E"; thence S00°48'59" West, 189.92 feet along said centerline of C.T.H. "E"; thence N89°18'32" West, 40.00 feet to the Northeast corner of Parcel 1, Certified Survey Map No. 7611 and the Westerly Right-of-Way of C.T.H. "E"; thence S00°48'57" West, 545.04 feet along said Right-of-Way and the Easterly line of Parcel 1 of Certified Survey Map No. 7611 to a point on the Northerly Right-of-Way line of C.T.H. "K" and the South line of Parcel 1, Certified Survey Map No. 7611; thence S89°45'33" West, 678.99 feet along said Northerly Right-of-Way line and the South line of Parcel 1, Certified Survey Map No. 7611; thence S01°41'06" West 50.03 feet to a center line of C.T.H. "K" to the point of beginning. Excepting that part lying within C.T.H. "K" for public road purposes

Address: N56W30020 County Road K

Tax Key #MRTT 0396-999-006

III. Population of the Territory Proposed to be Annexed

The population of the territory is eight (8). As used herein, the "population" means the population of the territory as shown by an actual count certified as acceptable by the department.

IV. Relevant Statutory Provisions

The following relevant statutory provisions are provided solely as a reference for any signatories to the petition.

66.0217(2) DIRECT ANNEXATION BY UNANIMOUS APPROVAL. Except as provided in this subsection and sub. (14), and subject to ss. 66.0301 (6) (d) and 66.0307 (7), if a petition for direct annexation signed by all of the electors residing in the territory and the owners of all of the real property in the territory is filed with the city or village clerk, and with the town clerk of the town or towns in which the territory is located, together with a scale map and a legal description of the property to be annexed, an annexation ordinance for the annexation of the territory may be enacted by a two-thirds vote of the elected members of the governing body of the city or village without compliance with the notice requirements of sub. (4). In an annexation under this subsection, subject to sub. (6), the person filing the petition with the city or village clerk and the town clerk shall, within 5 days of the filing, mail a copy of the scale map and a legal description of the territory to be annexed to the department and the governing body shall review the advice of the department, if

any, before enacting the annexation ordinance. No territory may be annexed by a city or village under this subsection unless the territory to be annexed is contiguous to the annexing city or village.

66.0217(5) ANNEXATION PETITION.

- (a) An annexation petition under this section shall state the purpose of the petition, contain a legal description of the territory proposed to be annexed and have attached a scale map. The petition shall also specify the population of the territory. In this paragraph, "population" means the population of the territory as shown by the last federal census, by any subsequent population estimate certified as acceptable by the department or by an actual count certified as acceptable by the department.
- (b) No person who has signed a petition may withdraw his or her name from the petition. No additional signatures may be added after a petition is filed.
- (c) The circulation of the petition shall commence not less than 10 days nor more than 20 days after the date of publication of the notice of intention to circulate. The annexation petition is void unless filed within 6 months of the date of publication of the notice.

V. Signatures of all of the electors residing in the territory and the owners of all of the real property in the territory

Please note that before you sign this petition, that no person who has signed the petition may withdraw his or her name from the petition. No additional signatures may be added after the petition is filed.

We the undersigned respectfully petition the Village Board of the Village of Hartland to annex the territory identified above in Section II of the petition that is presently in the Town of Merton.

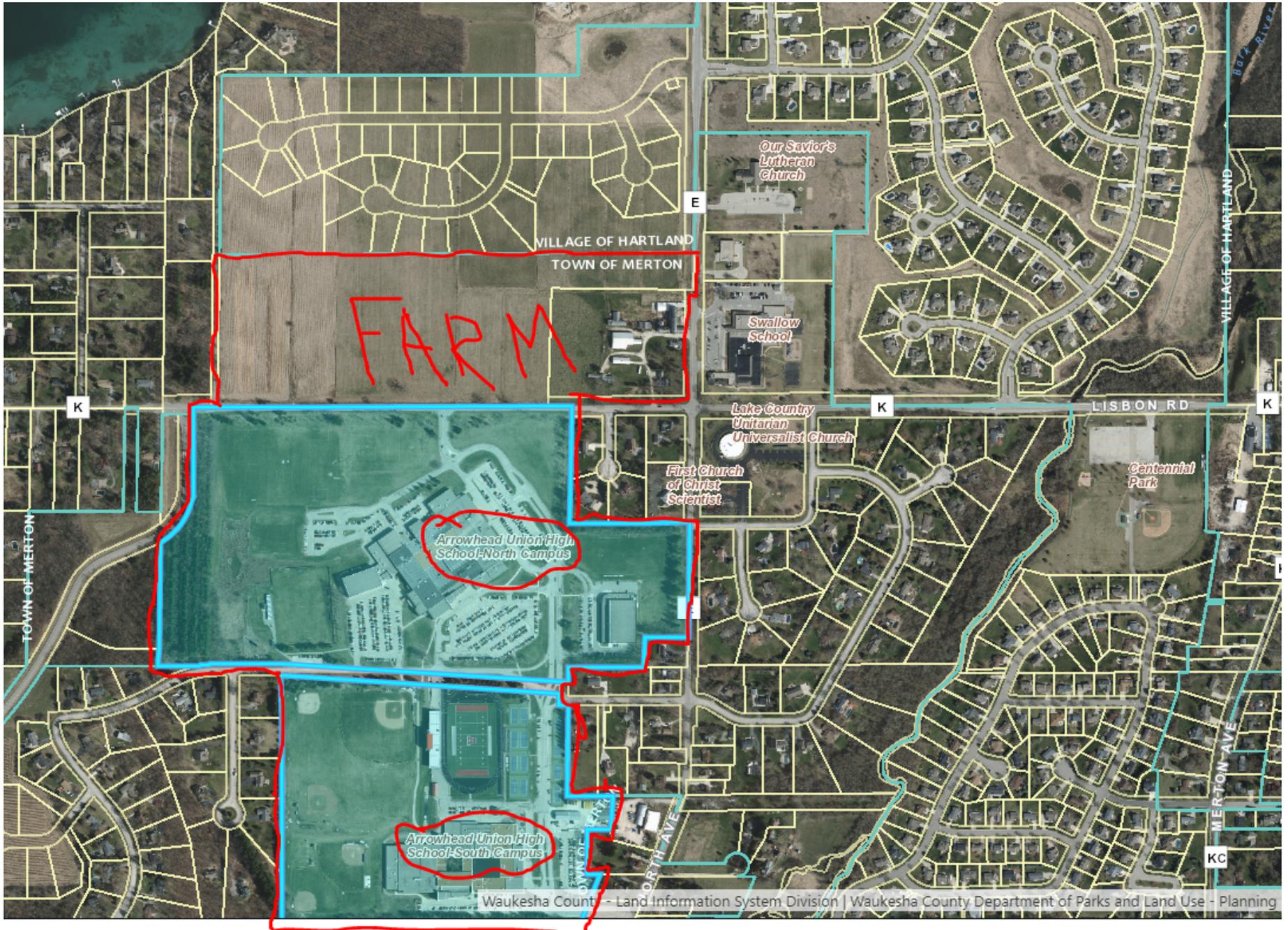
SIGNATURE	NAME (PRINTED)	MUNICIPALITY FOR VOTING PURPOSES	STREET AND NUMBER	DATE OF SIGNING
	Mr. and Mrs. Brazelton (house by the barn (pop.4))	Town of Merton	N56W30020 Hwy. K Hartland, WI 53029	
	Ms. Melanie Schmidt (duplex (pop.2))	Town of Merton	N56W30020 Hwy. K Hartland, WI 53029	
	Mr. Joe Mihas (main home (pop.3))	Town of Merton	N56W30020 Hwy. K Hartland, WI 53029	

I, Robert J. Rosch, residing at W301N6737 Miranda Way, Hartland, WI 53029, personally circulated the **PETITION** and personally obtained each of the signatures on this **PETITION**. As the circulator of this petition I know that signatories to this **PETITION** are electors of the jurisdiction or district in which the petition is circulated; that as the circulator I know that they signed the paper with full knowledge of its content; that as the circulator I know their respective residences given and that as the circulator I know that each signer signed on the date stated opposite his or her name. I am, as the circulator, a qualified elector of this state, or if not a qualified elector of this state, that I am, as the circulator, a U.S. citizen age 18 or older who, if he or she were a resident of this state, would not be disqualified from voting under s. 6.03, Wis. stats.; and as the circulator I am aware that falsifying the certification is punishable under s. 12.13 (3) (a). The circulator shall indicate the date that he or she makes the certification next to his or her signature.

Signature of Circulator

Date of Circulator's Signature

APPENDIX 1 – Scale map of the territory identified in Section II, Legal Description of the Territory Proposed to be Annexed



Arrowhead High School South Campus, North Campus, and former Vilter Farm outlined in RED - May 22, 2020