

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, FEBRUARY 16, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of January 19, 2014

2. Architectural Board consideration of an application for a sign permit for Heraeus Electro-Nite, 541 S. Industrial Dr.

Contractor: Badger Lighting & Signs, Box 510-451, New Berlin, WI 53151

3. Architectural Board consideration of proposed awnings and signs for Carl Zeutzus, State Farm Insurance Agency, 135 Cottonwood Ave.

Contractor: Signarama, 601 Ryan St., St. B, Pewaukee, WI 53072

4. Items related to proposed development of the Four Winds West Subdivision:
 - a. Consideration of a Petition to annex property from the Town of Merton owned by Clark and Joy Vilter (53 acres)
 - b. Consideration of a Land Use Plan Amendment to designate the newly annexed land as Low Density Cluster Development and consideration of a recommendation to the Village Board.
 - c. Consideration of a preliminary plat for Four Winds West
 - d. Consideration of a request to rezone the property to RS-1 Single-Family Residential.

Applicant: Jim Sileno, SCI Real Estate, 5429 N 118th Court, Milwaukee, WI 53225

Property Owner: Clark/Joy Vilter, N56W30020 Highway K, Hartland, WI 53029

5. Plan Commission review and consideration of an application for review of site and building plans for construction of a 11,500 sq. ft. car wash/detailing building and a 2,300 sq. ft. retail building and related Certified Survey Map, Planned Unit Development and Conditional Use Permits for the property located at 400 E. Industrial Drive.
 - a. Consideration of Site and Building Plans, Planned Unit Development and CSM.
 - b. Consideration of proposed Conditional Use Permits
 - c. Motion to set a Public Hearing to consider the proposed Conditional Use Permit(s) for March 16, 2015

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

Joint Architectural Board/Plan Commission Agenda

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6. Plan Commission review and consideration of a proposed concept plan for construction of a 32-bed Memory Care CBRF and related Land Use Plan Amendment, Zoning, Conditional Use and Certified Survey Map the properties located at 430, 438 and 444 Merton Ave.

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027

Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

7. Plan Commission review and consideration of a final plat for Sanctuary of Hartland
8. Adjourn

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JANUARY 19, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, Randy Swenson and Jack Wenstrom. Commissioner Connie Casper resigned as of this meeting and there is one open position.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer.

Roll Call

1. Motion (Swenson/Wenstrom) to approve the Jt. Architectural Board/Plan Commission Minutes of December 15, 2014. Carried (6-0).

2. Architectural Board consideration of an application for a sign permit for Board & Brush LLC, 110 W Capitol Drive

Applicant: Julie Selby, 800 N Blue Spruce Circle, Hartland, WI 53029

The Business Improvement District Board has approved the sign as submitted.

Motion (Hallquist/deCourcy-Bower) to approve an application for a sign permit for Board & Brush LLC, 110 W Capitol Drive. Carried (6-0).

3. Architectural Board consideration of an application for a sign permit for SunWest Mortgage Company, 140 North Ave.

Applicant: Jim Liebert, 140 North Ave., Hartland, WI 53029

Contractor: Creative Sign, 505 Lawrence Dr., Depere, WI 54115

The application is for wall, multi-tenant and window signs. The BID has approved these signs.

Motion (Hallquist/Swenson) to approve an application for a sign permit for SunWest Mortgage Company, 140 North Ave. Carried (6-0).

Item No. 5 was discussed prior to No. 4

5. Items related to proposed development of the Four Winds West Subdivision:
 - a. Consideration of a Petition to annex property from the Town of Merton owned by Clark and Joy Vilter (53 acres)
 - b. Discussion of Land Use Plan Amendment
 - c. Consideration of a conceptual plat for Four Winds West

Applicant: Jim Sileno, SCI Real Estate, 5429 N 118th Court, Milwaukee, WI 53225

Property Owner: Clark/Joy Vilter, N56W30020 Highway K, Hartland, WI 53029

Joint Architectural Board/Plan Commission Minutes

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a., b. and c. were discussed together.

George Erwin presented the proposed development. This is the same developer that created the Four Winds Subdivision.

Joy and Clark Vilter are retaining a small piece of property for a new home and barn. They are developing 53 acres into 49 lots with the RS-1 zoning. There is 1.1 acre per unit or about 22,000 s.f., with 110 ft. frontage. The annexation application has been submitted to the Department of Administration. The applicants are hoping to develop in the spring or summer. The project will have 3 areas of open space and a landscape buffer area between the subdivision and Arrowhead school district property to the south. The subdivision is anticipated to be served by water and sewer.

The deed restrictions will be similar to Four Winds Subdivision to the east. The lots are slightly larger and will be more of a high end development. Jim Sileno arrived at the meeting.

The properties to the north of this development will be a homestead for Joy and Clark Vilter consisting of a home, a barn for livestock and the surrounding acreage.

Administrator Cox asked the Commission how they would want to extend the Land Use designation? The suggestion was that it carry across in the same way as Four Winds – a low density cluster that relies on some buffering and some open space.

The applicants stated that their concept for pedestrians will be to have sidewalks in the subdivision that will lead out to CTH E. They were instrumental in putting sidewalk on the east side of CTH E which connects Four Winds Subdivision to Swallow School. The sidewalk system gives access to the Bark River and the Ice Age Trail.

To address the fact that there is a longer cul de sac, the plan shows north of Lot 38 and adjacent to the west and south sides of outlots 3 and 4 there is a paved access path that would be useable as an access route for emergency vehicles in the event that there was a situation that required that.

The Arrowhead property is planned to have athletic fields (i.e. Lacrosse fields) and parking. Mr. Sileno stated that the purchase agreement with Arrowhead is for them to construct a berm with plantings. They are also restricted to have any lighting diffused onto the subdivision property. Arrowhead is aware of this proposed subdivision. The purchase agreement stated that, if possible, the subdivision would accommodate some of the stormwater as well. Arrowhead plans on a parking lot with a small concession stand and bathrooms. The land is in the Town of Merton, but there is sewer and water available if they need it. The high school's property is approximately 40 acres.

The annexation will hold until the February 23 Village Board Meeting which will be a Public Hearing and the Land Use Plan could be considered as well. The Plan Commission will see this all again in February. The annexation, the Land Use Plan and the full preliminary plat will be in February as well and then again in March. We are in that three month review process and the Village Board will do various processes in between.

Joint Architectural Board/Plan Commission Minutes

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For the Land Use Plan Amendment, the Plan Commission will recommend to the Village Board that they schedule a Public Hearing and that Public Hearing Notice will indicate that the Plan Commission will make comments and consider the matter at the Plan Commission's February Meeting and the Village Board at the Public Hearing on February 23.

Motion (Hallquist/Wenstrom) to set a Public Hearing at the February 16, 2015 Plan Commission Meeting. Carried (6-0).

It was suggested that a through street be designated between lots 3 and 4 (the intersection of Joy Court and Four Winds Court would be a four way intersection). Mr. Erwin and Mr. Sileno did not agree, as they felt that it would be a road to nowhere, since no development is planned to the north and Settlers Lane is a private road.

There was a consensus that the preliminary plat is agreeable to the Plan Commission. However, they would like to see the right-of-way as a four way intersection at Joy Court and Four Winds Court.

4. Plan Commission and Architectural Board review and consideration of Site and Building Plans for Hartland Riverwalk Apartments at 208 E. Capitol Dr. (between E. Capitol Drive and Lawn Street)

Applicant: Joe McCormick, 411 W. Main Street #106, Madison, WI 53703

Mr. McCormick presented the new site and landscape plan for the Riverwalk Apartments. There will be 50 one bedroom and 27 two bedroom units, 133 Parking stalls, 74 of which are underground. Four trees on the site can be saved. The path from Lawn Street to the south side of the development will be 10 feet wide in order to accommodate a sewer maintenance truck. The path is straightened out from what was shown on past proposals. A bridge across the Bark River will connect to the municipal parking area. There will be a centrally located pergola with a grilling area, chairs and a retaining wall.

It was suggested that some kind of barrier or bollard be placed at each end of the 10 foot path so that cars are not able to enter the path.

Mr. McCormick is still entertaining the idea of working out a cross-easement with the bank for possible shared parking on their property -- the north parking row to the west.

The east side of the Riverwalk lot line will have an 8 foot solid cedar fence, taking care not to cut down any of the adjacent property owners trees.

Part of this development will include 400 feet of 8 inch watermain on Lawn Street. The 8 inch sewer main will be connected under E. Capitol Drive to create a loop.

Mr. McCormick showed the lighting plan with the foot candle levels at code. The light fixtures in the parking lot will be 15 foot LED facing down and toward the apartment buildings.

Joint Architectural Board/Plan Commission Minutes

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The elevations of the apartment building on Lawn Street and the commercial building fronting E. Capitol Drive have not changed from the last meeting.

There will be lights on all night at the entrances. There will be a need for lighting on the pathways between the buildings – bollard lighting was recommended. As the project moves forward, lighting for the bridge will need to be discussed, perhaps as a Village responsibility.

Mr. McCormick was asked if he had a design for the Lawn Street intersection. He thought we should wait and see if the traffic warrants a need for redesigning. Mr. deCourcy-Bower thought there may be no need to change the intersection. He compared it to The Sanctuary development off of Maple Avenue. No additional intersection reconfiguration was deemed necessary for about the same amount of additional traffic.

There was discussion regarding stop signs for the Lawn Street intersection. There might be a need for a stop sign for left turning traffic on westbound Lawn Street. A free right turn is possible. We have contemplated a stop sign going south on Lawn. People exiting the underground parking will have a stop sign. It was suggested that a stop sign all ways would be less confusing to drivers. Current residents would like to see stop signs at the intersection, in view of the fact that the high school students like to use the street as a thoroughfare and drive too fast – morning and afternoon.

The thoroughfare affect from E. Capitol Drive through to Lawn Street will need two traffic calming devices. The plan shows one plateau that separates the commercial parking from the apartment parking. It was also decided that an additional device should be placed between the trees about half way through the parking lot.

Is it not planned to have the apartment parking lot signed designating apartment parking only.

Snow storage will go along the fence line and on two small islands. For larger snow storms, snow will have to be hauled away. The distance between the 8 foot high fence and the parking lot is seven feet. The plants for these areas are hardy in that they are salt tolerant and can be buried in snow.

Mr. McCormick has not planned on placing any benches, vegetation or lights offsite.

He is hoping to start building in June or July.

Motion (deCourcy-Bower/Swenson) to recommend to the Village Board Approval of Site and Building Plans for Hartland Riverwalk Apartments at 208 E. Capitol Dr. (between E. Capitol Drive and Lawn Street). Carried (6-0).

Joint Architectural Board/Plan Commission Minutes

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5. Adjourn

Motion (Amtmann/Wenstrom) to adjourn. Carried (6-0). Meeting adjourned at 8:15 PM.

Respectfully submitted by
Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 541 SOUTH INDUSTRIAL DRIVE			
Lot	Block	Subdivision	Key No. HAV
Owner HERAEUS ELECTRO-NITE			Phone
Address SAME AS ABOVE		City HARTLAND	State WI Zip 53029
Contractor BADGER LIGHTING & SIGNS		Phone 414 574-1187	FAX
Address Box 510-451		City NEW BERLIN	State WI Zip 53151
E-Mail Address			

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 01/20/15 Date of Meeting: 02/16/15 Item No. 1

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 541 SOUTH INDUSTRIAL DR TAX KEY # _____
OWNER HERAEUS ELECTRO-NITE PHONE 262-367-4421
ADDRESS SAME CITY _____ STATE _____ ZIP _____
CONTRACTOR BADGER LIGHTING & SIGNS PHONE 414-574-1187
ADDRESS P.O. Box 510-451 CITY NEW STATE WI ZIP 53151
BERLIN

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

"HERAEUS ELECTRO-NITE"
W/ KNIGHT LOGO

OVERALL DIMENSIONS OF SIGN 1 AT 61" H X 130" W COLOR OF BACKGROUND SAND STONE
1 AT 68" X 138"

SIZE OF LETTERS IN INCHES 22" AND 12" COLOR OF LETTERS BLACK

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

ALUMINUM & PLEXI GLASS

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ \$15,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Fred Zedler DATE 1-15-15

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____



MSI GENERAL CORPORATION
 1400 WISCONSIN AVENUE
 WISCONSIN, WI 53186
 PHONE: 414.224.7544
 FAX: 414.224.7544
 WWW.MSIGENERAL.COM

PROJECT ADDRESS:
 Herareus Electro-Nite Co. LLC
 541 S. Industrial Dr.
 Hartford, WI 53029

1	16-12-2014 COLUMN, BEAMS,
2	22-05-2014 FLOOR FINISHES,
3	16-12-2014 FLOOR FINISHES,
4	16-12-2014 FINISHES, AREA REV.
5	04-02-2014 PLAN REVISIONS,
6	10-27-2013 OWNER CHANGES,
7	10-27-2013 OWNER CHANGES,
8	11-21-2014 FINISH UPDATES,
9	12-16-2014 LOBBY FLOORHEAD,
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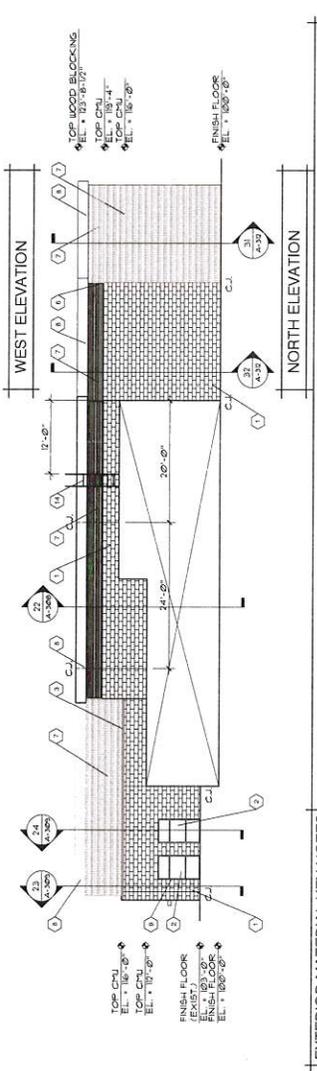
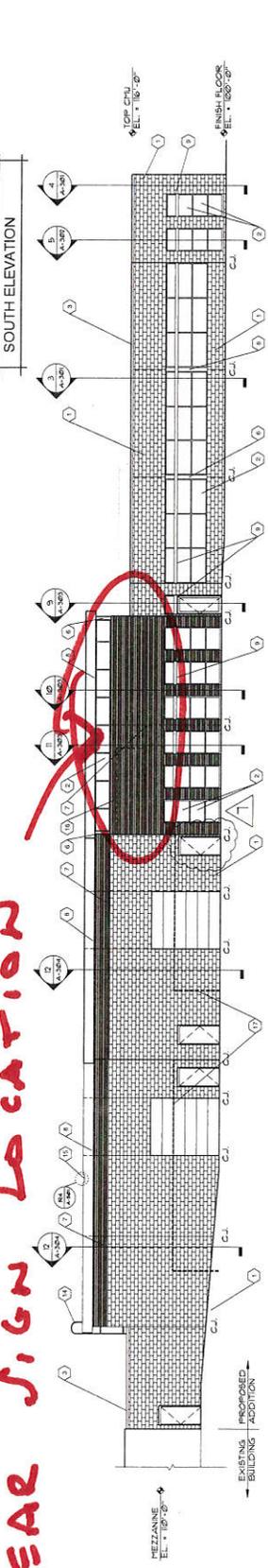
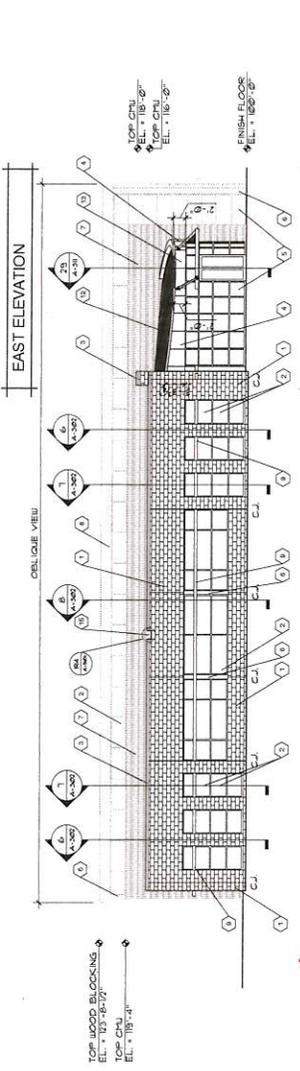
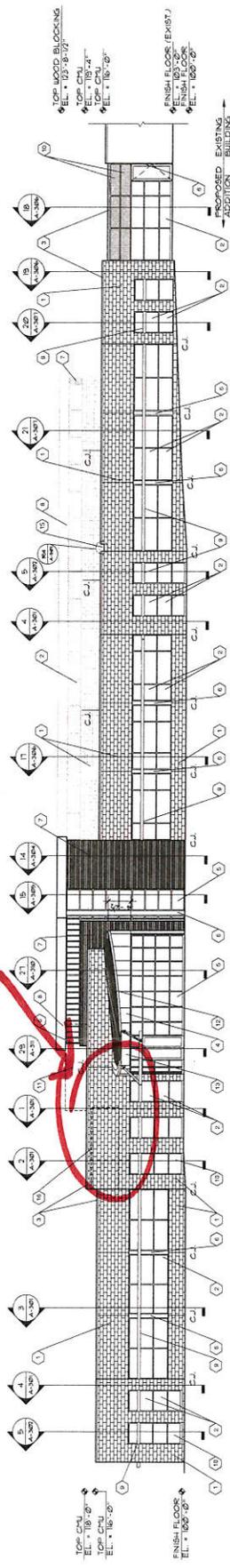


PROJECT ADDRESS:
 Herareus Electro-Nite Co. LLC
 541 S. Industrial Dr.
 Hartford, WI 53029

Drawn By:
 4-2-2014
 Sheet Title:
 EXTERIOR ELEVATIONS
 Sheet Number:
 A-201
 Project Number:
 4366

FRONT SIGN LOCATION

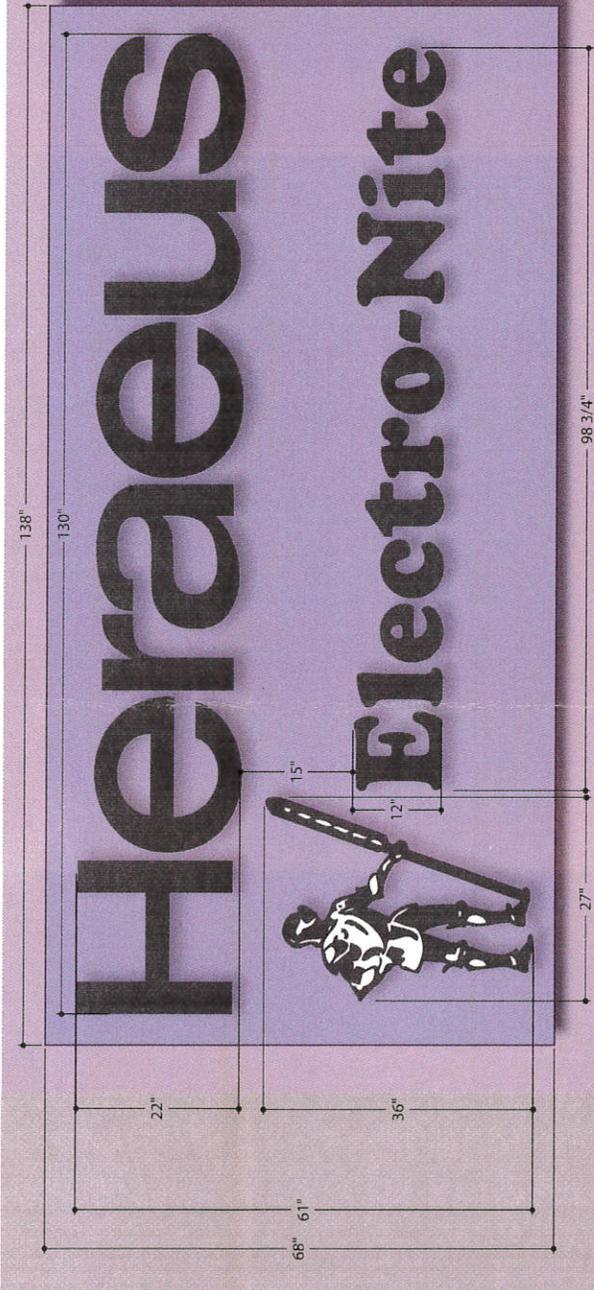
REAR SIGN LOCATION



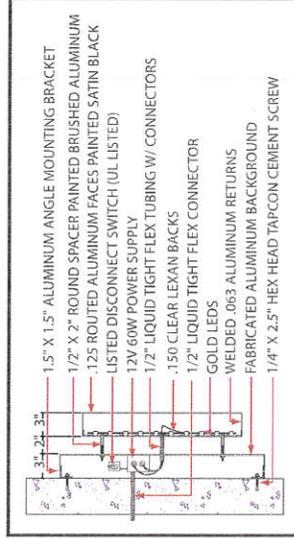
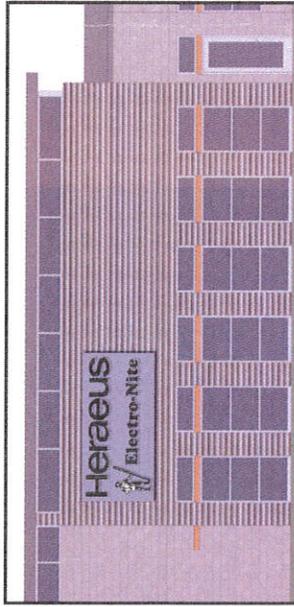
- EXTERIOR MATERIAL KEY NOTES**
- SMOOTH FACE CMU PAINTED COLOR
 - BENJAMIN MOORE A-C1 (DARK FOG)
 - CLEAR ANODIZED ALUMINUM WINDOWS W/ THERMAL BREAK & TINTED GREY TONE GLASS W/ LOW 'E'
 - PRE-FINISHED BREAK METAL CLADDING (COLOR: UNK-CLAD SLATE GRAY)
 - PRE-FINISHED BREAK METAL CLADDING (COLOR: UNK-CLAD SLATE GRAY)
 - ALU. RID #7 PRE-FINISHED ALUMINUM SUNSHADE (COLOR: UNK-CLAD SLATE GRAY)
 - SYSTEM W/ THERMAL BREAK & TINTED GREY TONE GLASS W/ LOW 'E'
 - PRE-FINISHED BREAK METAL CLADDING COVER (STEEL FRAME) (COLOR: UNK-CLAD SLATE GRAY)
 - PRE-FINISHED DEEP REB WALL PANEL IN HORIZONTAL (COLOR: UNK-CLAD SLATE GRAY)
 - PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: SHEWAN WILLIAMS SW 6658 ROBUST ORANGE)
 - PRE-FINISHED BREAK METAL CLADDING (COLOR: UNK-CLAD SLATE GRAY)
 - INSULATED ALUMINUM WINDOW S/W PAGES (ROBUST ORANGE)
 - METAL ADDRESS LABELS TO DIFFERENT ROOF (COLOR: UNK-CLAD SLATE GRAY)
 - INSULATED MARM GREY SPANDREL GLASS @ TOP & BOTTOM
 - PRE-FINISHED BREAK METAL CLADDING (COLOR: UNK-CLAD SLATE GRAY)
 - LOCATION OF RAIL CYCLOPE FENCE & SLIDING GATE
 - LOCATION OF RAIL CYCLOPE FENCE
 - LETTER SIGNAGE
 - LOCATION OF RAIL CYCLOPE FENCE
 - PRE-FINISHED BREAK METAL CLADDING (COLOR: UNK-CLAD SLATE GRAY)

ELEVATIONS 1/8" = 1'-0"

WISCONSIN
ELEVATION



** SITE SURVEY NEEDED TO DETERMINE EXACT MOUNTING HOLE LOCATIONS BECAUSE OF CORRUGATED CEMENT FACADE



GENERAL SPECIFICATIONS:

ONE (1) SET OF INTERNALLY ILLUMINATED HALO LIT LED CHANNEL LETTERS WITH FABRICATED ALUMINUM BACKGROUND

ONE (1) NON-ILLUMINATED 3" DEEP BACKGROUND WITH AKZO NOBEL BRUSHED ALUMINUM PAINTED FINISH

FABRICATED 3" DEEP .080 ALUMINUM RETURNS WELDED TO ROUTED .125" ALUMINUM FACES WITH AKZO NOBEL SATIN BLACK PAINTED FINISH

ROUTED .150" CLEAR LEXAN BACKS

"KNIGHT LOGO" TO HAVE 3M REFLECTIVE WHITE VINYL OVERLAY LETTERS TO BE INTERNALLY ILLUMINATED WITH GOLD LED LIGHTING SYSTEM

LETTERS AND LOGO TO BE MOUNTED USING 1/2" X 2" ROUND ALUMINUM SPACERS

ELECTRICAL: LOCATION FOR POWER CONNECTION TO RACEWAY WILL BE LOCATED MIDDLE BACK UNLESS OTHERWISE STATED BY CUSTOMER

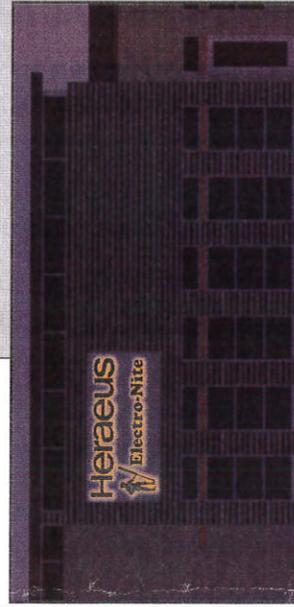
ELECTRICAL REQUIREMENTS: CUSTOMER TO PROVIDE FINAL ELECTRICAL CONNECTION

SQUARE FOOTAGE: 65.17 SQ. FT.

AKZO NOBEL SATIN BLACK

3M REFLECTIVE WHITE (280-10) VINYL OVERLAY

AKZO NOBEL BRUSHED ALUMINUM



ACCOUNT: MSI- HERAEUS ELECTRO-NITE DESIGNER: LM

LOCATION: HARTLAND, WISCONSIN DATE: 12-17-2014

SALES REP: FRED ZABEL DRAWING: BACK OPTION 04

CUSTOMER APPROVAL: _____ AUTHORIZED SIGNATURE _____ DATE _____

READY FOR PRODUCTION MISSING INFORMATION: COLORS ACCURATE SIZES OTHER _____

CORRECT COPY ARTWORK

ELECTRICAL 120 V 277 V NON-ILLUMINATED LEFT CTR RIGHT

LOCATION: _____



DESIGN PERMIT MANUFACTURE INSTALL

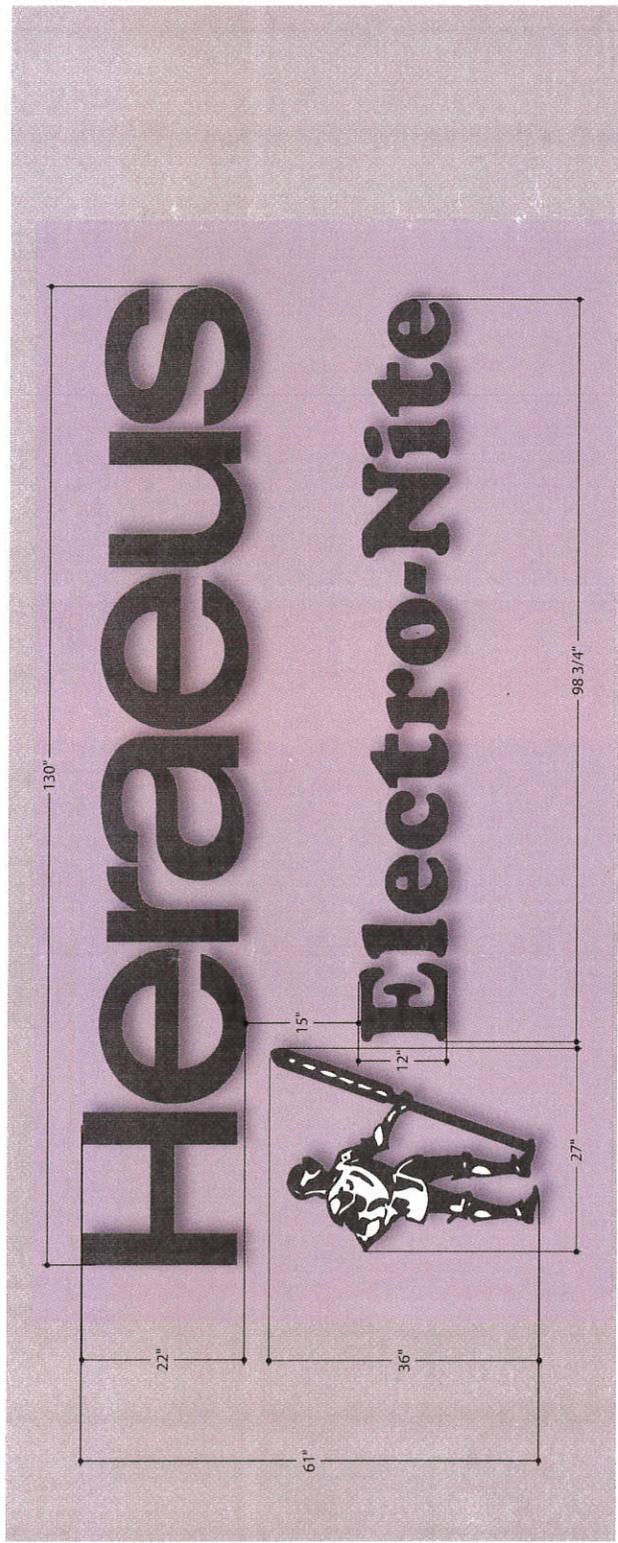
New Berlin, Wisconsin
Phone: (262) 787-8000 Fax: (262) 787-8040
www.badgerlightingandsigns.com



© 2014 Badger Lighting and Signs

NOTE: THE COLORS SHOWN IN THIS DRAWING ARE CONCEPTUAL ONLY AND DO NOT REPRESENT ACTUAL PAINT, VINYL, ACRYLIC OR LIGHTING COLORS. ACTUAL SAMPLES MAY BE PROVIDED UPON CUSTOMER'S REQUEST.

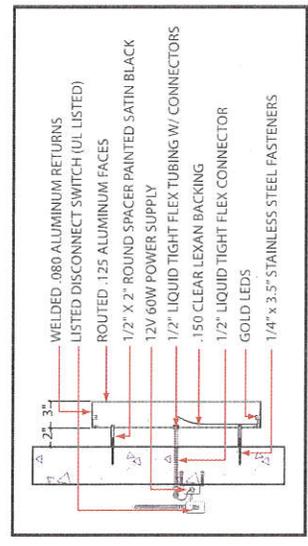
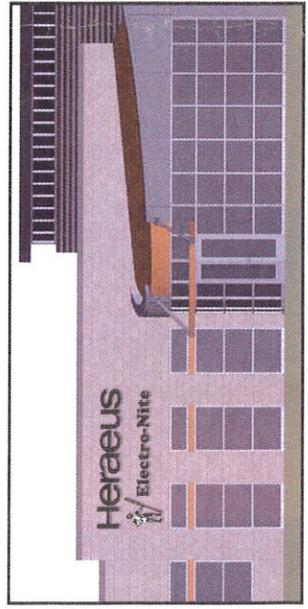
EAST ELEVATION



GENERAL SPECIFICATIONS:

- ONE (1) SET OF INTERNALLY ILLUMINATED HALO LIT LED CHANNEL LETTERS
- FABRICATED 3" DEEP .080 ALUMINUM RETURNS WELDED TO ROUTED .125" ALUMINUM FACES WITH AKZO NOBEL SATIN BLACK PAINTED FINISH
- ROUTED .150" CLEAR LEXAN BACKS
- *"KNIGHT LOGO" TO HAVE 3M REFLECTIVE WHITE VINYL OVERLAY LETTERS TO BE INTERNALLY ILLUMINATED WITH GOLD LED LIGHTING SYSTEM
- LETTERS AND LOGO TO BE MOUNTED USING 1/2" X 2" ROUND ALUMINUM SPACERS
- ELECTRICAL:** LOCATION FOR POWER CONNECTION TO RACEWAY WILL BE LOCATED MIDDLE BACK UNLESS OTHERWISE STATED BY CUSTOMER
- ELECTRICAL REQUIREMENTS:** CUSTOMER TO PROVIDE FINAL ELECTRICAL CONNECTION
- SQUARE FOOTAGE: 55.07 SQ. FT.

- AKZO NOBEL SATIN BLACK
- 3M REFLECTIVE WHITE (D90-10) VINYL OVERLAY



ACCOUNT: MSI-HERAEUS ELECTRO-NITE DESIGNER: LM
 LOCATION: HARTLAND, WISCONSIN DATE: 11-20-2014
 SALES REP: FRED ZABEL DRAWING: FRONT OPTION_03
 CUSTOMER APPROVAL: _____ DATE: _____ DRAWING NOT TO SCALE
 AUTHORIZED SIGNATURE _____

READY FOR PRODUCTION MISSING INFORMATION: COLOR(S) ACCURATE SIZE(S) OTHER _____
 CORRECT COPY ARTWORK

ELECTRICAL: 120 V 277 V NON-ILLUMINATED LFT CTR RGT
 LOCATION: LFT CTR RGT

THE CONTENTS IN THE ORIGINAL AND UNPUBLISHED DRAWING ARE THE SOLE PROPERTY OF BADGER LIGHTING AND SIGNS AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION
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BADGER LIGHTING & SIGNS
 DESIGN • PERMIT • MANUFACTURE • INSTALL
 New Berlin, Wisconsin
 Phone: (262) 787-8000 Fax: (262) 787-8040
 www.badgerlightingandsigns.com

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ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION
 APPLICATION FOR ARCHITECTURAL BOARD

Job Address 135 Cottonwood Ave Hartland, WI 53029			
Lot 68	Block	Subdivision	Key No. HAV 729.109
Owner Carl Zeutzius		EMAIL CARLZ@WI.RR.COM	Phone 262-613-5949
Address 135 Cottonwood Ave		City Hartland	State WI Zip 53029
Contractor SIGNARAMA		Phone 2-691-9994 FAX 2-691-9995	EMAIL KEW@SIGNARAMA.COM
Address 601 Ryan St Ste B		City Pewaukee	State WI Zip 53072

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

4 wall signs
 2 awnings

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 02/06/15 Date of Meeting: 02/16/15 Item No. 1



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**DEPARTMENT OF BUILDING INSPECTION
 APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 135 Cottonwood Ave Hartland, WI TAX KEY # 729.109
 OWNER Carl Zeutzius PHONE 262-613-5949
 ADDRESS 135 Cottonwood Ave CITY Hartland STATE WI ZIP 53029
 CONTRACTOR Sign Anama PHONE 262-691-9994
 ADDRESS 601 Ryan St St B CITY Pewaukee STATE WI ZIP 53072

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

See Attached

OVERALL DIMENSIONS OF SIGN 40" x 33" COLOR OF BACKGROUND white

SIZE OF LETTERS IN INCHES 3.2" to 4.75" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) High Density Urethane

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ See Attached Cost sheet

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Carl Zeutzius DATE 2-5-2015

PLANS APPROVED: ARCHITECTURAL BOARD _____

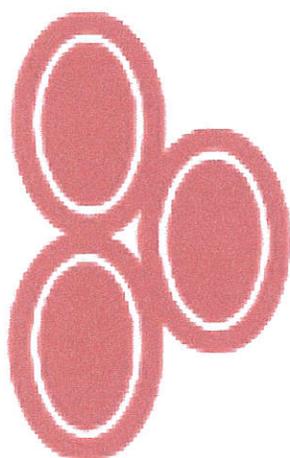
APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

COMMENTS: _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

135

State Farm



CARL

ZEUTZIUS

262-367-4100

FOR APPROVAL ONLY. NOT INTENDED TO BE USED AS FINAL ART BY VENDOR.

This page is for cost estimates and to show correct appearance only. State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art **after this Proposed Layout has been approved.**

12" x 24" - Two Signs, Left and Right Directional
 State Farm® logo is approx. 2.75"
 Address is Minion regular
 Agent name is approx. 1.8" and 1.5" high Minion semi-bold



NOTE TO AGENT/ VENDOR: This page is for estimating cost and to show correct appearance only.

State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art. The final art files are intended to be used for this sign and this sign only.

USE OF THE STATE FARM LOGO FOR ANY OTHER PROJECT IS AN UNAUTHORIZED USE OF THE STATE FARM TRADEMARK.

CONTACT:

Paul Kritzmire (309) 766-7405 (phone)
 paul.kritzmire.dmk0@statefarm.com (e-mail) with any problems or questions regarding Illustrator final art file from State Farm.

See color specifications at right for all colors.

Color Specifications:

3M™ TRANSLUCENT VINYL FOR RED:

3M 033 Trans Red Series #3630 or
 Arlon #2500-33 Red Vinyl

OPAQUE VINYL FOR RED:

Arlon #2100-223 Peacock Red

SHERWIN WILLIAMS PAINT COLOR FOR RED:

For all paint systems, red should match
 Sherwin Williams - SW 6869 Stop

SHERWIN WILLIAMS PAINT COLORS FOR GOLD:

SW 6136 Harmonic Tan (closest to Pantone 4515) or SW 0043 Peristyle Brass (darker gold if needed)

SHERWIN WILLIAMS PAINT COLORS FOR WHITE:

SW 7005 Pure White

COMPANY NAME/CONTACT:
ADDRESS:
PHONE#:

**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION
PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**

12"

 **State Farm**
CARL
ZEUTZIUS 

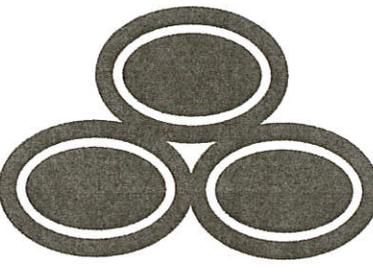
24"

GLOBAL VIEW CAPITAL ADVISORS
D. EMIL WEATHERBEE

6.5"

PATRICK RUSSELL
ATTORNEY AT LAW

6.5"

33"
135
State Farm

CARL
ZEUTZIUS
262-367-4100

40"

Signarama Pewaukee
601B Ryan St Pewaukee, WI 53072
Phone: 262-691-9994 Fax: 262-691-9995

DATE: _____
PRINT: _____

**THIS ORIGINAL DESIGN AND ALL INFORMATION CONTAINED THEREIN IS THE PROPERTY OF SIGNARAMA-PEWaukee AND ITS USE IN ANY
OTHER MANNER IS STRICTLY PROHIBITED.**

RENDERING IS INTENDED AS A SAMPLE ONLY. COLOR, TEXTURE, MEASUREMENTS, AND ACTUAL APPEARANCE MAY VARY SLIGHTLY FROM COMPLETED WORK AND IS CONSIDERED NORMAL & USUAL.
Please check layout (artwork, spelling, dimensions) and return with signature. Production cannot begin until written approval is received. Additional charges will be applied for any changes that are needed after approval is received. Signarama is not responsible for any errors in spelling, layout, or dimensions that have been approved by the customer. The proof is for listed items only. Any changes or deletions by the customer not shown or charged herein will be billed separately.

**I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE
CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN:
CUSTOMER APPROVAL SIGNATURE:**

10% DEPOSIT DUE AT TIME OF ORDER (full amount if under \$100), balance due upon time of completion.
I HAVE READ AND AGREE TO ALL TERMS

FOR APPROVAL ONLY. NOT INTENDED TO BE USED AS FINAL ART BY VENDOR.
 This page is for cost estimates and to show correct appearance only. State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art **after this Proposed Layout has been approved.**

26" x 90"
 State Farm® logo approx. 10" high.
 Agent name approx. 4" cap ht.



AWNINGS:
 For awnings that have copy use white flex substrate with Arlon #2025 Black Plastiprint.
 For awnings that do not have copy use Weathertyte Black # 839901 or Sunbrella Jet Black # 6008.

NOTE TO AGENT/VENDOR: This page is for estimating cost and to show correct appearance only.
 State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art. The final art files are intended to be used for this sign and this sign only.
 USE OF THE STATE FARM LOGO FOR ANY OTHER PROJECT IS AN UNAUTHORIZED USE OF THE STATE FARM TRADEMARK.

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See color specifications at right for all colors.

Color Specifications:
3M® TRANSLUCENT VINYL FOR RED:
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 Arlon #2500-33 Red Vinyl
OPAQUE VINYL FOR RED:
 Arlon #2100-223 Peacock Red
SHERWIN WILLIAMS PAINT COLOR FOR RED:
 For all paint systems, red should match
 Sherwin Williams - SW 6869 Stop
SHERWIN WILLIAMS PAINT COLORS FOR GOLD:
 SW 6136 Harmonic Tan (closest to Pantone 4515) or SW 0043 Peristyle Brass (darker gold if needed)
SHERWIN WILLIAMS PAINT COLORS FOR WHITE:
 SW 7005 Pure White

MEMORANDUM

TO: Plan Commission
FROM: David E. Cox, Village Administrator
DATE: February 12, 2015
SUBJECT: Four Winds West



At your meeting on Monday, you will be asked to undertake a number of actions related to the proposed Four Winds West subdivision. As a reminder, the project includes development of 48 single-family lots on approximately 52 acres (after netting out the CTH E Right of Way to be dedicated). The average size of lots on the proposed Preliminary Plat is 27,457 sq. ft. with a range of 22,082 sq. ft. to 50,314 sq. ft. After revision based on Plan Commission comments, the subdivision now includes three outlots and a reservation for a 60 foot Right of Way to the north at Joy Court.

The following items need to be considered by the Plan Commission:

1. Annexation of the entire parcel from the Town of Merton. The Plan Commission must provide a recommendation to the Village Board prior to annexation. The Commission is asked to make a recommendation at this meeting based on the Commission's satisfaction with the Preliminary Plat and anticipated development.
2. Amendment of the Land Use Plan to designate the area as Low Density Cluster Development as shown in the attached Resolution. The Plan Commission is asked to act on the Resolution making a recommendation to the Village Board and staff recommends approval.
3. Review of the Preliminary Plat. The Plan Commission is asked to give initial review of the Preliminary Plat submission. Detailed plans and final review and action on the Plat will be held to the March meeting pursuant to Village Code.
4. Review of the proposed zoning designation for the property. The Developer has requested RS-1 Single-Family zoning for the property, which is consistent with the proposed development and is the same zoning designation as the original Four Winds subdivision. Again, final action on the zoning will be held to the March meeting in accordance with Village Code.

The Village Board will be holding a public hearing on the Land Use Plan amendment at its meeting on Monday, February 23 and anticipates action to amend the Plan at that meeting based on the Plan Commission recommendation. Additionally, at the meeting, the Board will be considering amendment to the Village's Sanitary Sewer Service Area and may approve the annexation.

DCFour Winds West PC Concept

Attachments

cc: President and Village Board

VILLAGE OF HARTLAND PLAN COMMISSION

RESOLUTION NO. _____

**A VILLAGE PLAN COMMISSION RESOLUTION RECOMMENDING
ADOPTION OF AN AMENDMENT TO
THE VILLAGE OF HARTLAND COMPREHENSIVE DEVELOPMENT PLAN: 2035**

WHEREAS, the Village of Hartland, pursuant to the provisions of Section 62.23 of the Wisconsin Statutes, has created a Village Plan Commission; and

WHEREAS, it is the duty and function of the Village Plan Commission, pursuant to Section 62.23(2) of the Wisconsin Statutes, to make, adopt and amend a comprehensive plan for the physical development of the Village of Hartland; and

WHEREAS, the Village of Hartland has adopted *The Village of Hartland Comprehensive Development Plan: 2035*, and the attendant recommended land use plan as a guide for the future development of the Village of Hartland and its environs; and

WHEREAS, the Village of Hartland has received a request to amend the Recommended Land Use Plan (Map 9-6) of said Plan to designate lands proposed for annexation and development west of CTH E and north of CTH K including the annexed portion of Parcel MRTT 0396999005 Low Density Cluster Development as shown in the attached Exhibit A; and

WHEREAS, the Village Plan Commission considered the request at public meeting on February 16, 2015; and

WHEREAS, the Village Plan Commission has carefully considered the proposed Plan amendment at public meetings in addition to the meeting referenced above; and

WHEREAS, the Village Plan Commission considers the Plan Amendment to be a necessary guide to the future development of the Village and environs.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Section 62.23(3)(B) of the Wisconsin Statutes, the Village of Hartland Plan Commission hereby recommends adoption of and amendment to the Recommended Land Use Plan (Map 9-6) of *The Village of Hartland Comprehensive Development Plan: 2035* to designate lands proposed for annexation and development west of CTH E and north of CTH K including the annexed portion of Parcel MRTT 0396999005 Low Density Cluster Development; and

BE IT FURTHER RESOLVED, that the Clerk of the Village of Hartland on behalf of the Plan Commission transmits a certified copy of this resolution, after recording the action on the adopted plan, to the Board of Trustees of the Village of Hartland, Waukesha County, Wisconsin, to the State Department of Administration, Southeastern Wisconsin Regional Planning Commission, and to Waukesha County.

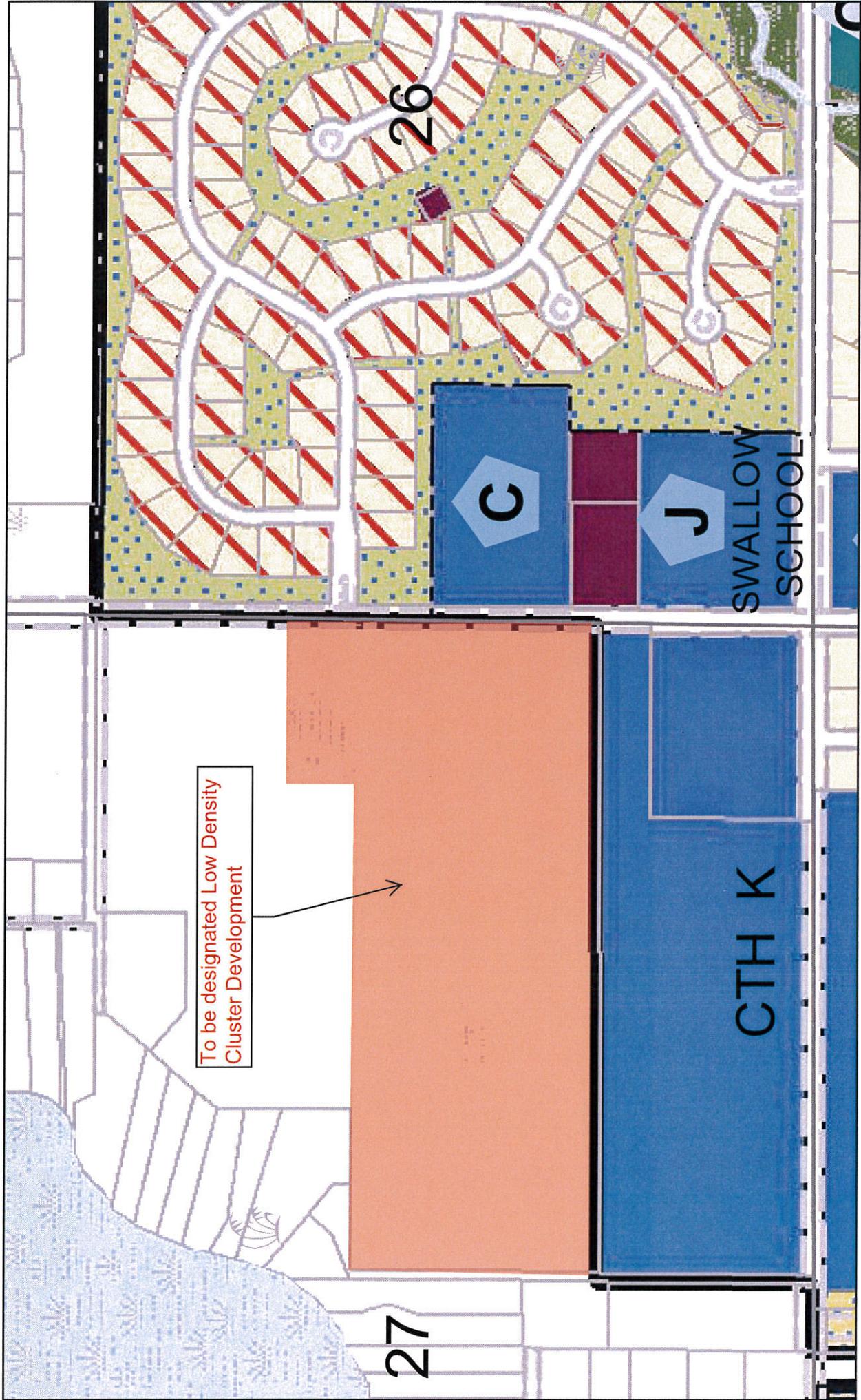
Passed and adopted this 16th day of February, 2015, by the Village of Hartland Plan Commission.

ATTEST:

David C. Lamerand, Chairperson

Darlene Igl, CMC/MMC, Village Clerk

EXHIBIT A



RECEIVED

JAN 26 2015

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

Village of Hartland

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit

OR

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00

Six to Fourteen Parcels - \$300.00

Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review

\$50.00 (Minimum)

Reapplication for Previously Reviewed Plat

\$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date Filed:	Fee Paid:
Date of Meeting:	Receipt No.:

1. Name: Four Winds West Development, LLC

Address of Owner/Agent: James A. Sileno - Agent

5429 N. 118th Ct. Milwaukee, WI 53225

Phone Number of Owner/Agent: 414-466-0111

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.

Present use IS Agricultural

Intended use Single Family lots

James A. Sileno
Signature of Petitioner

5429 N. 118th Ct. MIL WI 53225

Address

414-466-0111

Phone



Village of Hartland
Professional Services Reimbursement Form

The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Responsible Party Name, Mailing Address, Signature and Date:

A. James A. Sileno Jarrust Sileno _____
Printed Name Signature Date

B. 5429 N. 118th Ct. Milwaukee WI 53225
Street City State Zip

C. Phone 414-466-0111 Fax: 414-466-9984 E-Mail Jim@Sciencelstate.com

Property Owner Name, Mailing Address, Signature & Date:

A. Joy & Clark Vilter Joy Vilter 1-5-15
Printed Name Signature Date

B. N56 W 30020 Highway K Hartland WI 53029
Street City State Zip

C. Phone 262-367-2803 Fax: _____ E-Mail fourwindsfarm@aol.com

Village Official Accepting Form & Date

INTERNAL USE ONLY

Amount Due: \$ _____ Check #: _____ Date Paid: ___/___/___ Rec'd By: _____

Plan Commission Project Number: _____

February 5, 2015

Mr. David Cox
Administrator
Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

RE: Four Winds West Preliminary Plat Review

Dear Mr. Cox:

Per your request, we have completed our Four Winds West Preliminary Plat (dated December 23, 2014) review for compliance with the December 2014 Preliminary Plat Review Check List, and the Village of Hartland Code of Ordinances. We offer the following comments and concerns:

1. Per Sec. 50-67 (3): All references to the Southeast one-quarter should be the Fractional Southeast one-quarter.
 2. Per Sec. 50-67 (6): The owner on the tax roll is Vilter. Four Winds Development LLC must submit a recorded copy of the conveyance of land.
 3. Per Sec. 50-68 (2): The County website indicates an area of wetland in the proximity of Lot 28.
 4. Per Sec. 50-69 (4): The width of Four Winds Court at North Avenue (CTH "E") is not clear, please clarify.
 5. Per Sec. 50-69 (22): No soil borings are shown on the plat.
 6. Per Sec. 50-69 (23): The roadways to be dedicated to the Village of Hartland and Waukesha County must be shown. 50 foot no access restrictions at all intersections must be shown.
- In the notes, Outlot 4 does not exist.
 - In the bearing reference, southeast is misspelled.
 - The Village would be favorable with a 30' setback adjacent to the future right-of-way between Lots 2 and 3.

We recommend that the items listed above be addressed to the satisfaction of the Village of Hartland prior to the approval of this Preliminary Plat.

Mr. David Cox
Four Winds West Preliminary Plat Review
February 5, 2015
Page 2

If you have any questions or comments, please feel free to contact me.

Very truly yours,

RUEKERT & MIELKE, INC.



Bruce K. Cross, P.L.S. (WI)
Senior Land Surveyor
bcross@ruekert-mielke.com

Very truly yours,

RUEKERT & MIELKE, INC.



Ryan T. Amtmann, P.E. (WI, IL)
Principal/Vice President
ramtmann@ruekert-mielke.com

BKC/RTA:jkc

cc: John R. Stigler, P.L.S., Jahnke & Jahnke Associates, Inc.
File

MEMORANDUM

TO: Plan Commission
FROM: David E. Cox, Village Administrator
DATE: February 13, 2015
SUBJECT: Hartland Service Site Enhancements



At your meeting on Monday, the Commission will be asked to consider a CSM, PUD, Conditional Use Permits (CUP) and site and building plans related to the further development of the Hartland Service site at the northwest corner of Cottonwood Avenue and E. Industrial Drive. The development includes the incorporation of two additional properties into the existing parcel, the replacement of the existing detail shop with a new car wash and the addition of another retail building. The new additional retail building is intended to serve a restaurant with drive up service.

CSM

The four parcels involved in the site are being combined into one single parcel via Certified Survey Map (CSM). Additionally, portions of the site are being dedicated to the Village for Right of Way. In the case of the northern parcel, the original parcel was described as extending to the center line of Cottonwood Avenue. The dedication will officially create the ROW of proper width to include the road and other public facilities. The dedication on the corner of Cottonwood and Industrial is intended to incorporate the existing sidewalk facility, which was apparently constructed slightly off the then-existing ROW.

PUD

While the combining of the site into one parcel simplifies matters as it relates to access and other considerations, it does require use of a Planned Unit Development (PUD) Overlay to authorize three primary buildings on the single site and to coordinate the three uses. Each of the uses are considered conditional under the PUD and individual Conditional Use Permits should be issued for the new car wash and the proposed drive through at the retail building. Due to the fact that Automotive Service is also a Conditional Use in the B-2 District but considering the service facility has existed at that location for many years and is not changing, it would be appropriate to include authorization for the existing service business in the PUD approval without requiring a separate Conditional Use Permit. Only an expansion of the service business would trigger any additional review or CUP.

CUP

As noted, both the new car wash and the drive through for the retail business are considered Conditional Uses in the B-2 zoning district. The Plan Commission should review and consider the impact of the proposed car wash facility on the site and surrounding areas and determine

Plan Commission
Hartland Service Site Enhancements
February 13, 2015
Page 2

appropriate conditions for its operation. These conditions may include access restrictions, screening for noise and sight and perhaps hours of operation. The proposed retail/restaurant building does not have a specific user at this point. As such, while the existence of the building and its general interaction with the rest of the site could be handled in the PUD approval, it would be appropriate to hold consideration of the specific Conditional Use Permit for that facility until the user is known

Site and Building Plans

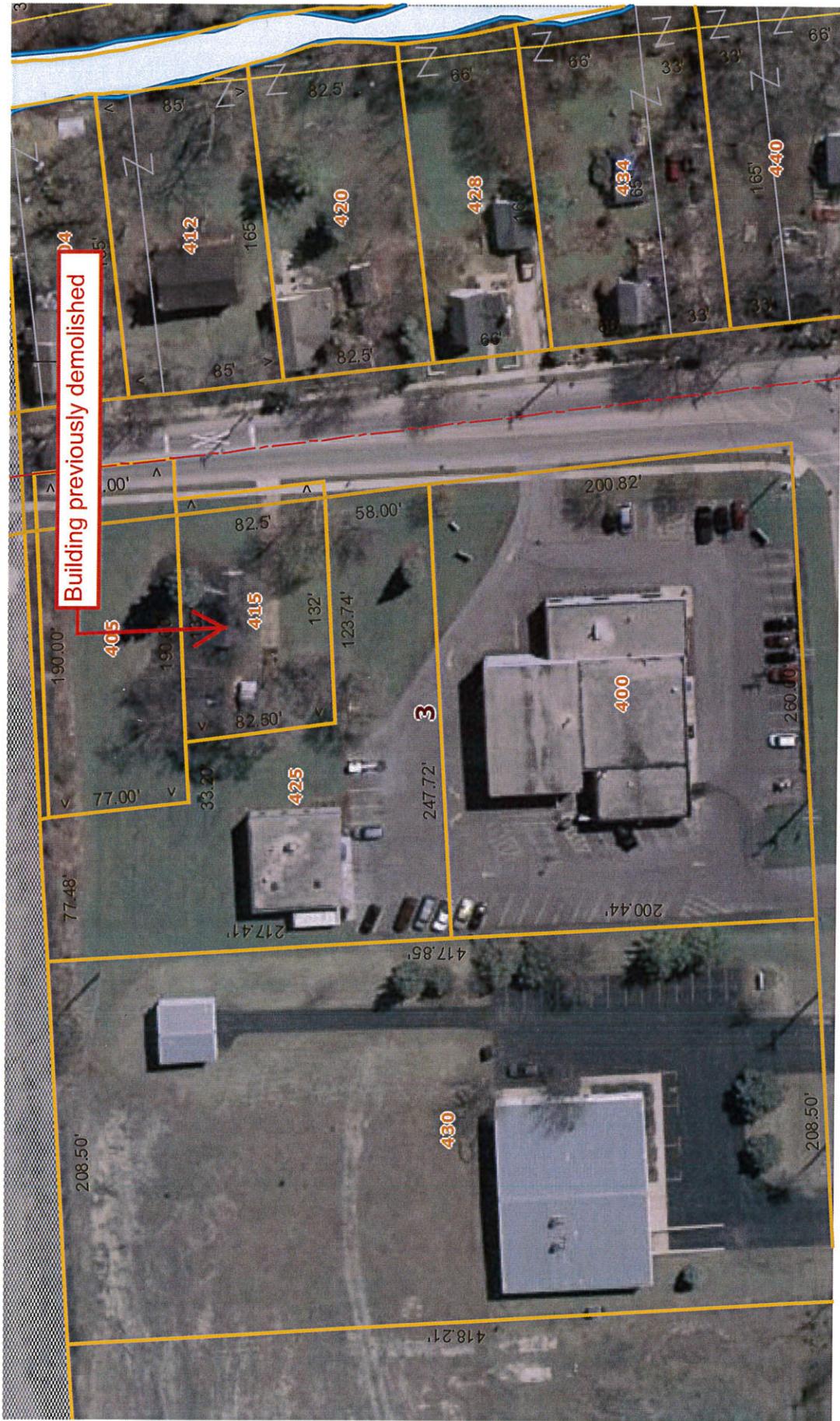
As usual, the Plan Commission/Architectural Board should review the site layout, vehicular access, internal traffic patterns, landscaping, building appearance and other items related to the overall site and appearance. This review may include review of the sign plans and parking needs.

DCPC Hartland Service

Attachment

cc: President and Village Board
Mike Kusch, Kusch Investments, LLC

Hartland Service Site - Existing Conditions





RECEIVED

JAN 23 2015

Village of Hartland

ADMINISTRATION
210 COTTONWOOD AVENUE
HARTLAND, WI 53029
PHONE (262) 367-2714
FAX (262) 367-2430

APPLICATION FOR PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Form with fields: Project Description, Proposed Use, Project Location, Project Name, Owner, Address, Engineer/Architect, Contact Person, Phone, FAX, E-mail, State, Zip.

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
Scale and north arrow
All structures (include building elevations and height)
Drainage and grades (include design calculations for drainage)
Storm Water Management Plan
Utilities and easements (sewer, water, storm etc.)
Calculation of lot coverage
Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
Grading and erosion control
Landscaping, including a Tree Protection Plan
Exterior lighting details
Exterior HVAC equipment location
Dumpster location (screening required)
Street right-of-way
Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: 1-23-15 Date of Meeting: Return Comments by:

pd \$300
#158350

Project Name

Hartland Service Retail Building

Project Address

400 East Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

Retail Building Data

Building Area	2,300 S.F.
Construction Type	IIB
Number of Stories	1
Occupancy	
A-2 (Restaurant)	2,300 sq/ft
Dining Area	840 sq/ft
Food Prep Area	1,460 sq/ft
Occupant Load	
Per IBC 2009 Table 1004.1.1	
Dining Area	20
Food Prep Area	8

Site Data
 Refer to Project 4381 Title Sheet

Architects Seal

Engineers Seal

58
 YEARS
 OF
 DESIGN
 EXCELLENCE

SHEET INDEX

NO.	DESCRIPTION	REVISIONS																											
		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	
G-001	COVER SHEET																												
C-100	REFER TO PROJECT 4381																												
C-101	REFER TO PROJECT 4381																												
C-501	REFER TO PROJECT 4381																												
A-101	FLOOR PLAN																												
A-102	ROOF PLAN																												
A-201	EXTERIOR ELEVATIONS																												

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PLAN COMMISSION SET 01.23.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Retail Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY/ STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson

Sheet Title:
COVER SHEET

Sheet Number:
G-001

Project Number: P11162

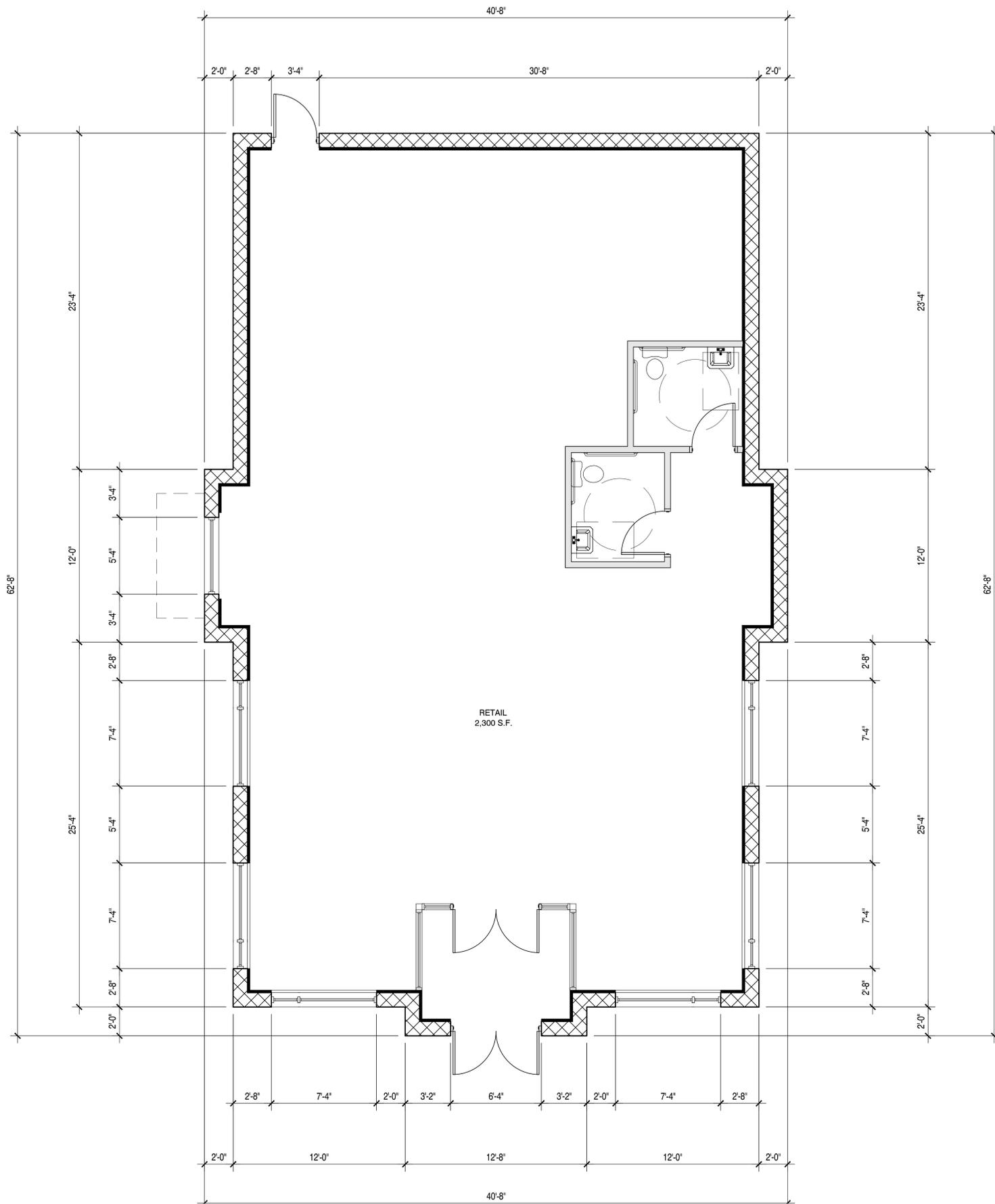
4381A

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



WALL TYPES

FLOOR PLAN NOTES



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 01.23.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Retail Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson
 Sheet Title:
FLOOR PLAN
 Sheet Number:
A-101
 Project Number: P11162
4381A

FLOOR PLAN 1/4" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

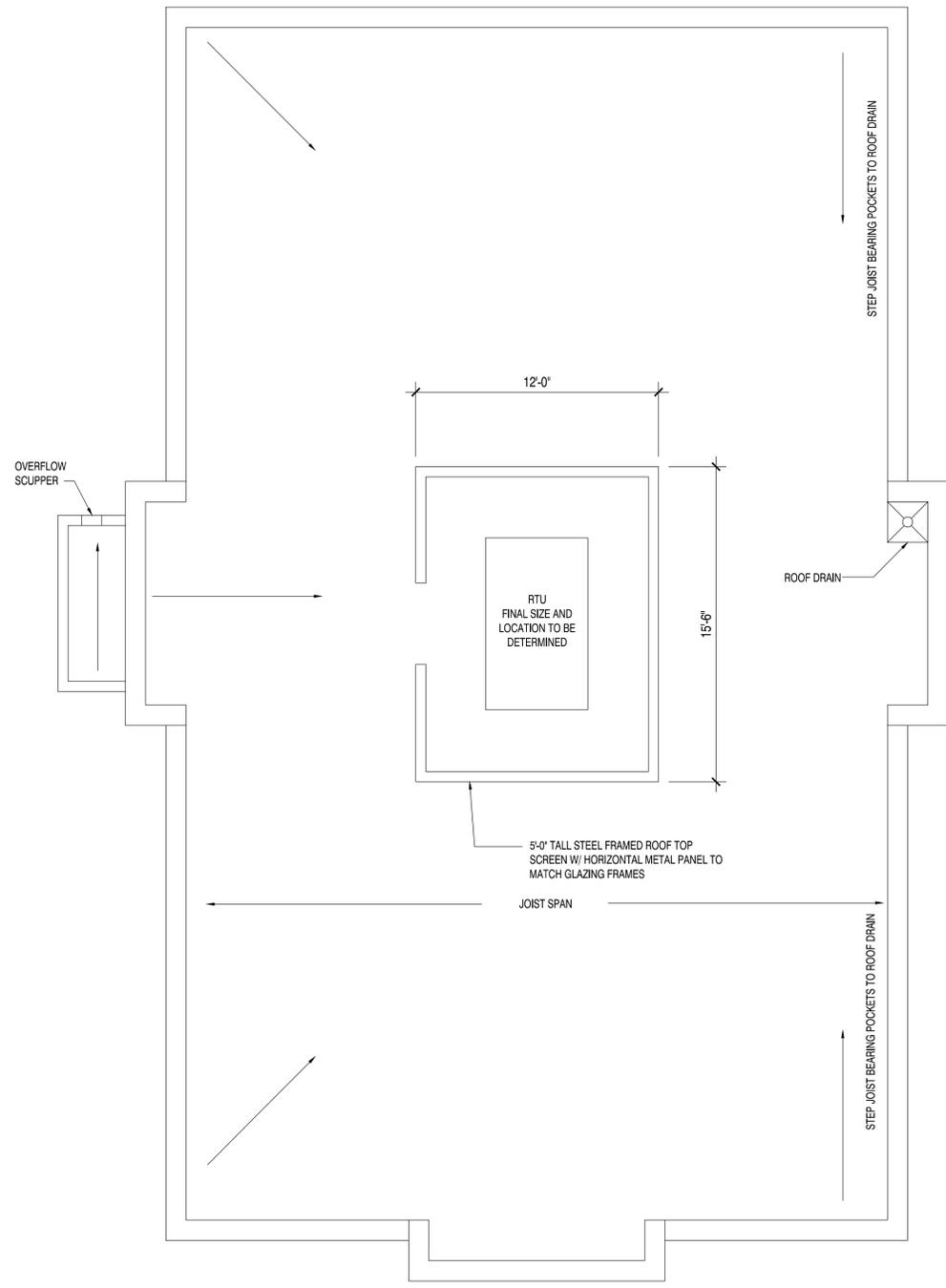
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PLAN COMMISSION SET 01.23.15	

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Retail Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson
 Sheet Title:
ROOF PLAN
 Sheet Number:
A-102
 Project Number: P11162
4381A



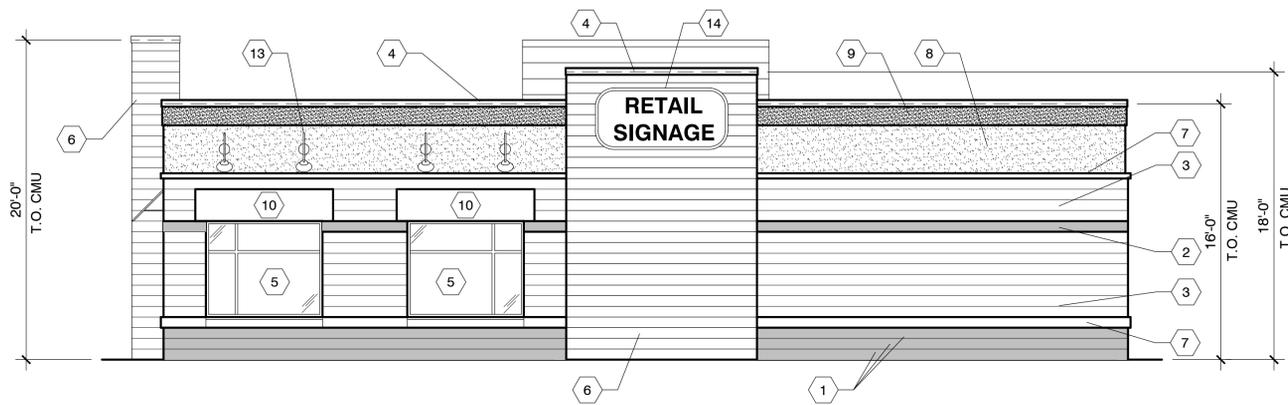
ROOF PLAN 1/4" = 1'-0"

MANAGERS

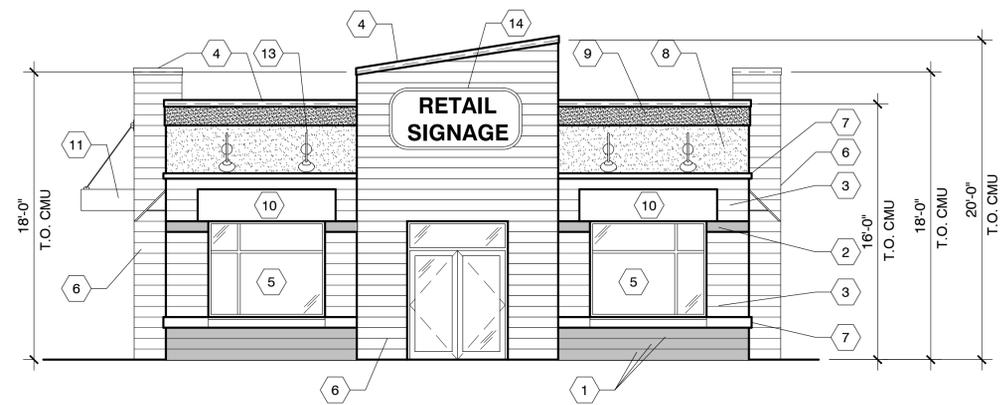
ENGINEERS

CONTRACTORS

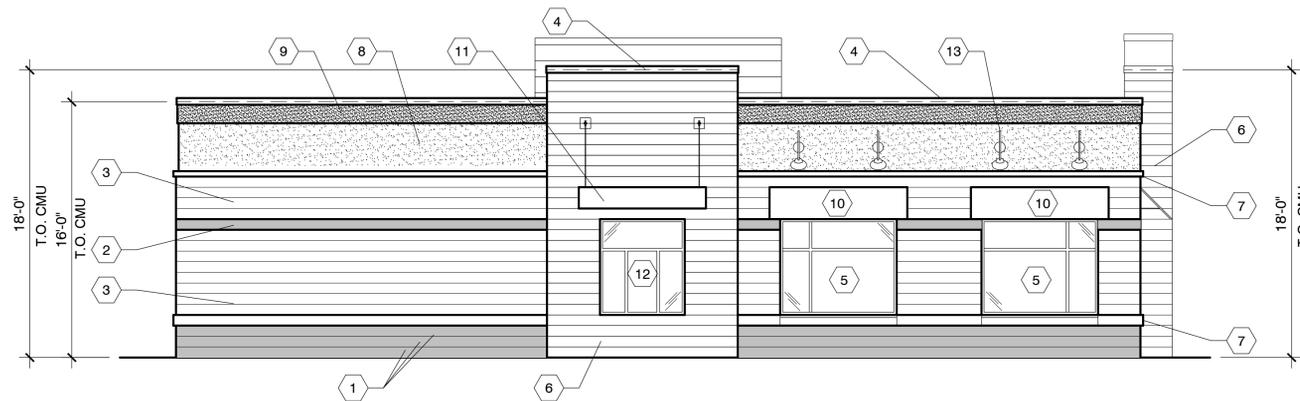
ARCHITECTS



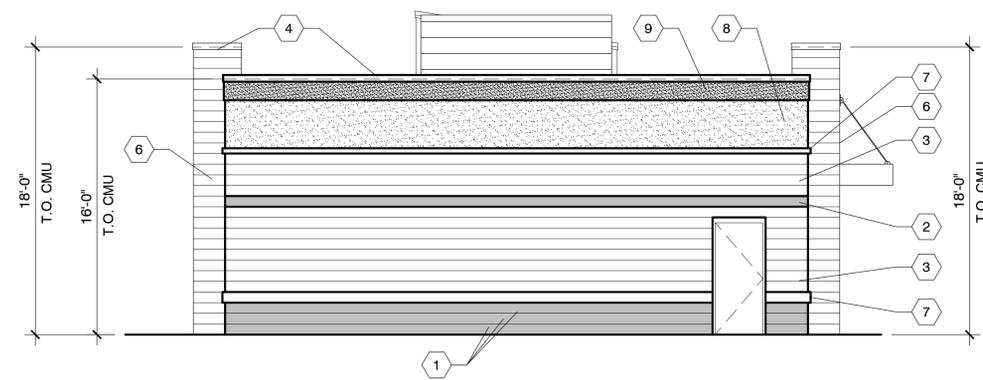
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

ELEVATION NOTES

- 1 PAINTED SPLIT FACE CMU (SHERWIN WILLIAMS 7069 IRON ORE)
- 2 PAINTED SMOOTH-FACE BAND (SHERWIN WILLIAMS 7069 IRON ORE)
- 3 PAINTED SPLIT FACE CMU (SHERWIN WILLIAMS 7065 ARGOS)
- 4 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH GLAZING FRAMES)
- 5 GREY TONE INSULATED 'LOW E' GLASS IN CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING
- 6 PRE COLORED HARDI-PLANK SIDING W/ 8" EXPOSURE
- 7 PRE-CAST CONCRETE SILL/BAND
- 8 EIFS PAINTED SHERWIN WILLIAMS 7064 PASSIVE
- 9 EIFS PAINTED COLOR SPECIFIED BY RETAIL TENANT
- 10 WALL MOUNTED CANOPY SPECIFIED BY RETAIL TENANT
- 11 TUBE STEEL FRAMED CANOPY OVER DRIVE THRU WINDOW
- 12 DRIVE THRU WINDOW
- 13 DECORATIVE WALL MOUNTED EXTERIOR LIGHT FIXTURE
- 14 WALL MOUNTED RETAIL SIGN



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SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 01.23.15

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Date: 01.14.15 Drawn By: Pete Anderson

EXTERIOR ELEVATIONS

Sheet Number:
A-202
 Project Number: P11162
4381A

ELEVATIONS 3/16" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

Project Name

Hartland Service Car Wash and Detail Building

Project Address

400 East Industrial Drive

Hartland, WI 53029



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Car Wash & Car Detail Building Data

Car Wash / Detail Building	
Building Area	11,505 S.F.
Construction Type	IIB
Number of Stories	1
Occupancy	
B (Carwash area)	3,960 sq/ft
B (Car Detail Area)	5,400 sq/ft
B (Office)	2,145 sq/ft
Occupant Load	
(This calculation does not include the dedicated carwash area)	
Per IBC 2009 Table 1004.1.1	76
Egress Width	
(This calculation does not include the dedicated carwash area)	
Required	15.2"
Provided	128"
Exit Access Travel Distance	200'
Fire Protection	None
Sanitary Facility Requirements	
Men (38)	
Required	
Water Closet	2
Lavatory	1
Provided (Includes unisex shower room)	
Water Closet	3
Lavatory	2
Women (38)	
Required	
Water Closet	2
Lavatory	1
Provided (Includes unisex lavatory)	
Water Closet	2
Lavatory	2
Janitor's Sink	
Required	1
Provided	1
Drinking fountain	
Bottled water will be available in the waiting room	

Existing Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Existing Detail Building (To be Demolished)	2,525 S.F.
Existing House (To be Demolished)	850 S.F.
Existing Shed (To be Demolished)	220 S.F.
Existing Hard Surface (Buildings Excluded)	37,985 S.F.
Total Existing Hard Surface (Buildings Included)	52,450 S.F.
Total Existing Green Space	46,400 S.F.
Existing Green Space Ratio	47%
Existing Parking Stalls	
Standard Parking Stalls	52
Accessible Parking Stalls	3

Proposed Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Proposed Auto Detail Building	11,505 S.F.
Proposed Retail Building	2,300 S.F.
Existing Hard Surface to Remain	
(Existing Buildings Excluded)	36,478 S.F.
Proposed Hard Surface (Buildings Excluded)	26,920 S.F.
Total Proposed & Existing Hard Surface	
(Buildings Excluded)	63,398 S.F.
Total Hard Surface (Buildings Included)	88,073 S.F.
Total Green Space	10,777 S.F.
Existing Green Space Ratio	11%
Existing Parking Stalls to Remain	
Standard Parking Stalls	20
Accessible Parking Stalls	2
Proposed Parking Stalls	
Standard Parking Stalls	22
Accessible Parking Stalls	2
Total Parking Provided	
Standard Parking Stalls	42
Accessible Parking Stalls	4

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX

NO.	DESCRIPTION	REVISIONS																											
		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	
G-001	COVER SHEET																												
C-100	DEMO SITE PLAN																												
C-101	SITE PLAN																												
C-501	SITE DETAILS																												
A-101	FLOOR PLAN																												
A-102	ROOF PLAN																												
A-201	EXTERIOR ELEVATIONS																												

REVISIONS:

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PLAN COMMISSION SET 01.23.15

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400 East Industrial Drive
CITY / STATE / ZIP
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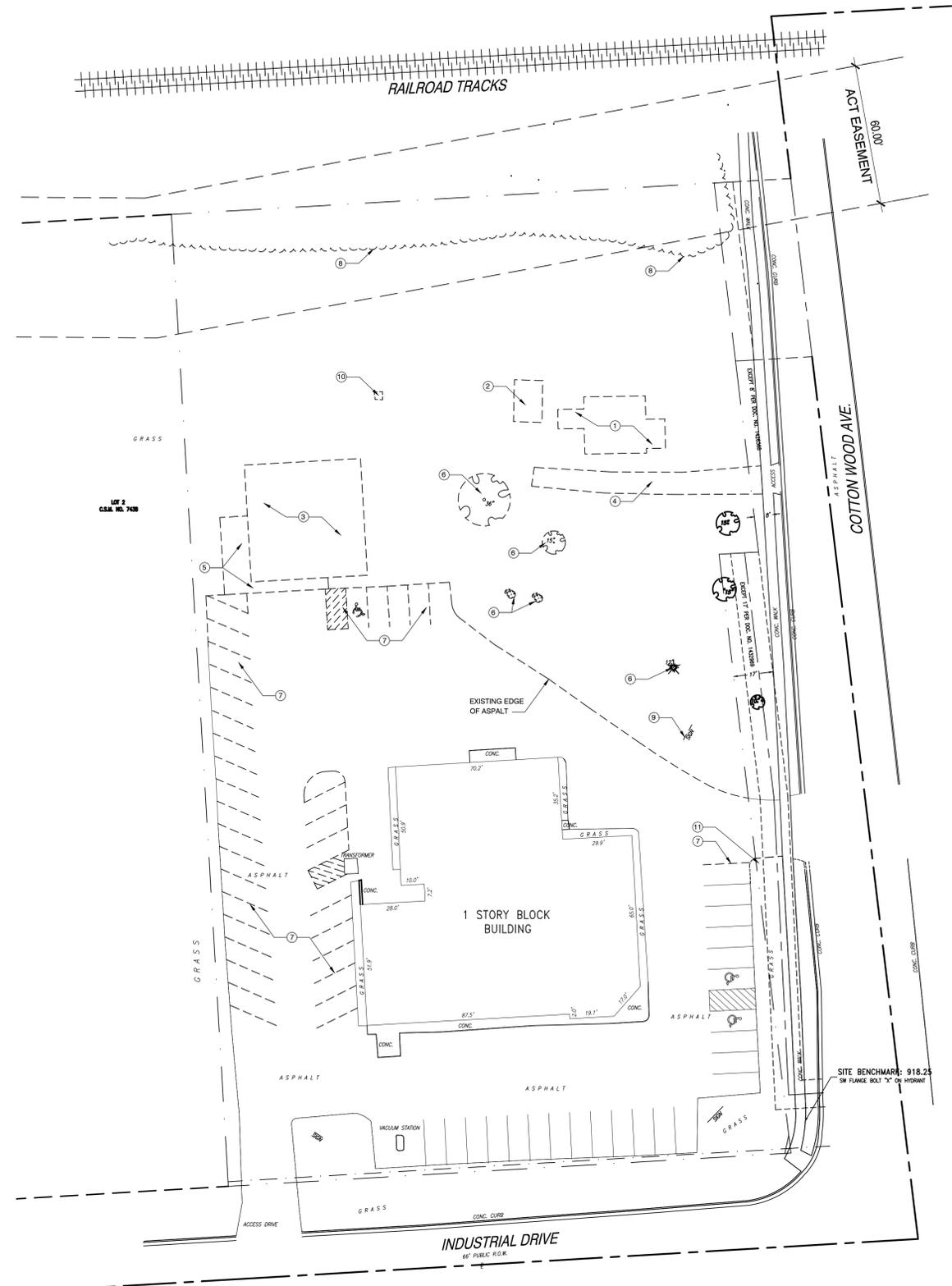
Date: 01.14.15 Drawn By: Pete Anderson
Sheet Title: COVER SHEET
Sheet Number: G-001
Project Number: 4381 P11162

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE DEMOLITION NOTES

- 1 EXISTING HOUSE REMOVED BY OWNER
- 2 EXISTING SHED REMOVED BY OWNER
- 3 COMMERCIAL BUILDING TO BE DEMOLISHED
- 4 EXISTING GRAVEL DRIVE TO BE REMOVED
- 5 EXISTING CONCRETE TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING PARKING STALL STRIPING TO BE REMOVED
- 8 EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- 9 EXISTING MONUMENT SIGN TO BE REMOVED
- 10 EXISTING TRANSFORMER TO BE REMOVED
- 11 WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE. REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH



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REFERENCE KEYNOTES

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
11 80 LB PRECAST LIVE LOAD(03410) 12 80 LB PRECAST LIVE LOAD(03410) 13 100 LB PRECAST LIVE LOAD(03410) 14 125 LB PRECAST LIVE LOAD(03410) 15 150 LB PRECAST LIVE LOAD(03410) 16 200 LB PRECAST LIVE LOAD(03410)	31 CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02001 & 03000) 32 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 33 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 34 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 35 CONCRETE REIN. W/ 600 #6 @ 10 W.F. (03000) 36 CONCRETE REIN. W/ 600 #6 @ 10 W.F. (03000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000) 48 8" CONCRETE BRICK UNIT(04000) 49 12" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (05000, 06100 & 06500) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (05010, 05015, 05020 & 07000) 53 METAL STAIR UNIT W/ GRIP STRIP TREADS CLOSED RISERS(05000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05500) 55 1 1/2" DIA. METAL RAILING(05500)	71 PERIMETER INSULATION(07000) 72 PERITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) 73 5/8" BATTED ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION (07000) 74 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 75 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) 76 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL 77 24 GAGE PREFINISHED METAL LINER PANEL 78 2" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" VINYL FACED BLANKET INSULATION(07000) 81 2" VINYL FACED BLANKET INSULATION(07000) 82 2" VINYL FACED BLANKET INSULATION(07000) 83 2" VINYL FACED BLANKET INSULATION(07000)	81 SUSPENDED CEILING SYSTEM(09010) 82 METAL SOFFIT PANEL	91 2" DIA. FLAG POLE 92 MONUMENT SIGN 93 DUMPSTER ENCLOSURE 94 ROOF HATCH AND LADDER
Division 02- Site	Division 06- Woods and Plastics					
21 3" 1/4" x 1 3/4" ASPHALT OVER 6" STONE BASE(02010, 02020) 22 4" 1/2" x 1 1/2" ASPHALT OVER 6" STONE BASE(02010, 02020) 23 5" 3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(02010, 02020) 24 HANDICAPPED PARKING STALL SIGN	61 1/2" EXPANSION JOINT MATERIAL(06000) 62 CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(02000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000) 48 8" CONCRETE BRICK UNIT(04000) 49 12" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (05000, 06100 & 06500) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (05010, 05015, 05020 & 07000) 53 METAL STAIR UNIT W/ GRIP STRIP TREADS CLOSED RISERS(05000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05500) 55 1 1/2" DIA. METAL RAILING(05500)	71 PERIMETER INSULATION(07000) 72 PERITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) 73 5/8" BATTED ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION (07000) 74 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 75 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) 76 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL 77 24 GAGE PREFINISHED METAL LINER PANEL 78 2" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" VINYL FACED BLANKET INSULATION(07000) 81 2" VINYL FACED BLANKET INSULATION(07000) 82 2" VINYL FACED BLANKET INSULATION(07000)	81 SUSPENDED CEILING SYSTEM(09010) 82 METAL SOFFIT PANEL	91 2" DIA. FLAG POLE 92 MONUMENT SIGN 93 DUMPSTER ENCLOSURE 94 ROOF HATCH AND LADDER

SITE DEMOLITION PLAN 1" = 30'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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SINGLE SOURCE RESPONSIBILITY™

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PLAN COMMISSION SET 01.23.15

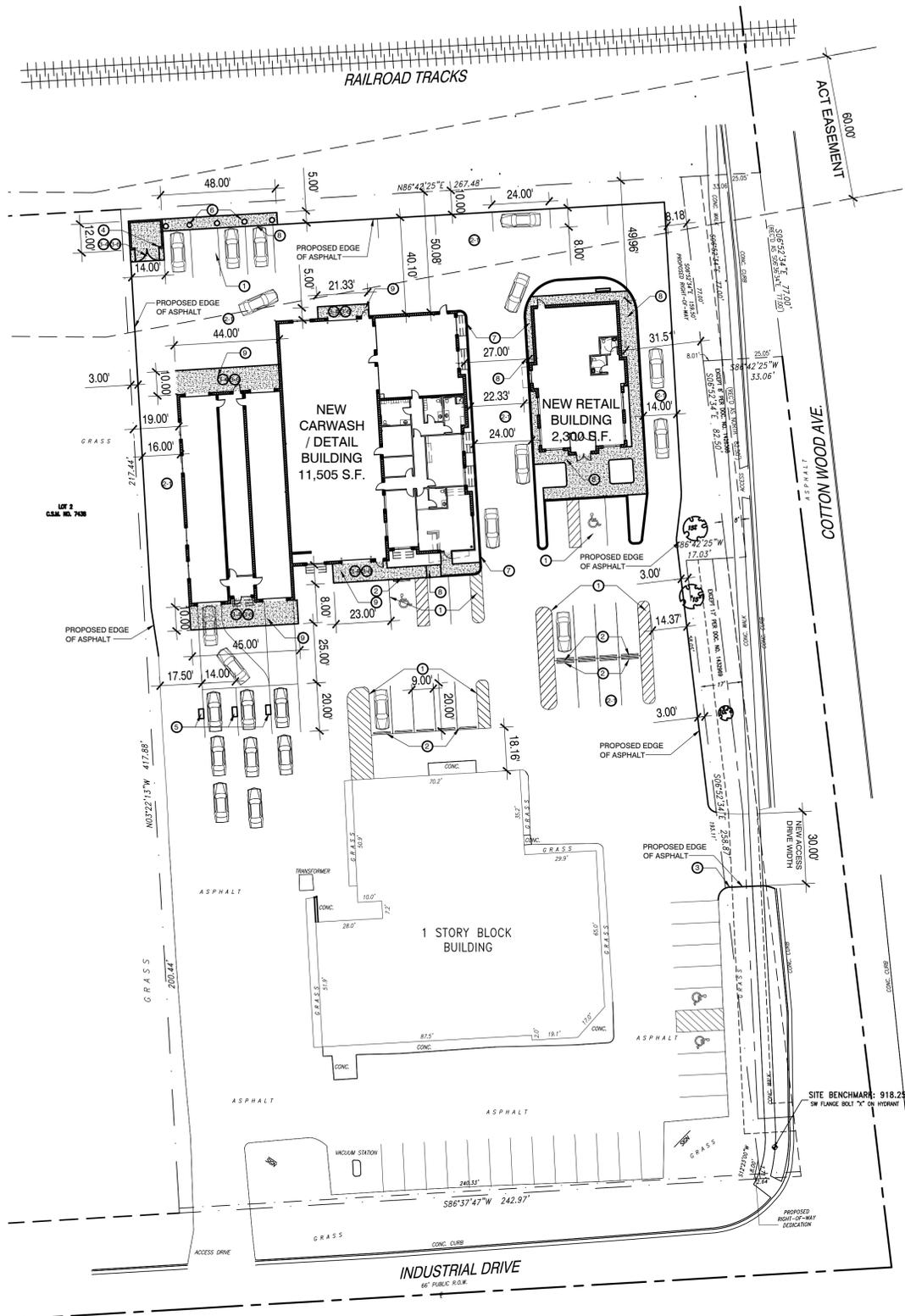
PROJECT ADDRESS:

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400 East Industrial Drive
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Hartland, WI 53029

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SITE PLAN NOTES

- 1 NEW PARKING LOT STRIPING
- 2 CONCRETE WHEEL STOPS
- 3 WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- 4 14'-0" X 12'-0" X 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- 5 CAR WASH PAY STATION
- 6 VACUUM STATION
- 7 CONCRETE CURB
- 8 CONCRETE WALK/SLAB
- 9 CONCRETE APRON

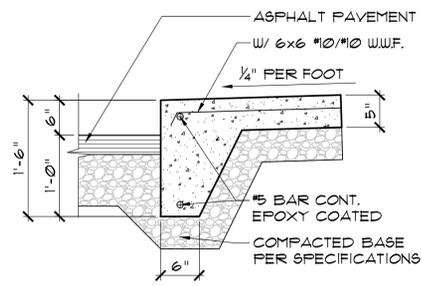


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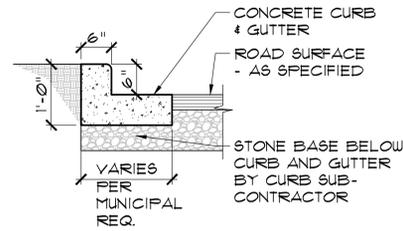
1 SITE PLAN 1" = 30'-0"

Date: 01.14.15 Drawn By: Pete Anderson
 Sheet Title: SITE PLAN
 Sheet Number: C-101
 Project Number: P11162
 4381



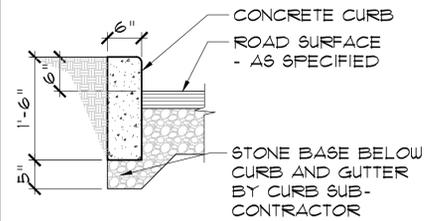
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C1 CONCRETE CURB/ASPHALT



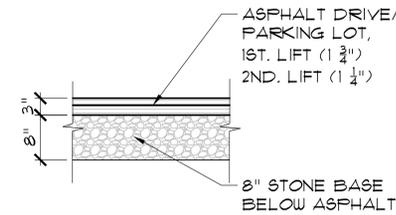
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C2 CONCRETE CURB



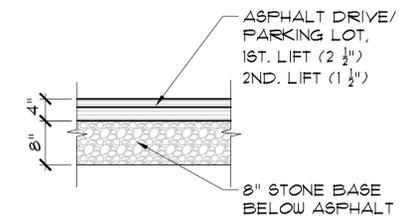
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C3 CONCRETE CURB



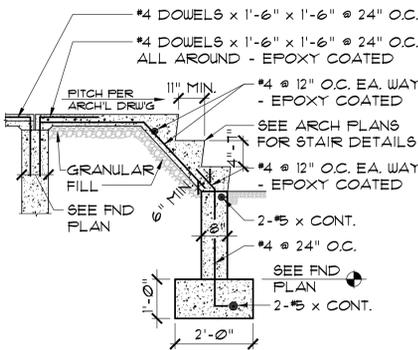
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"



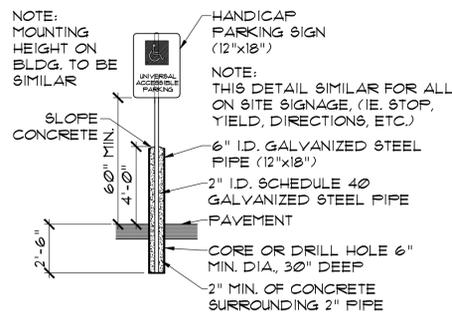
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C5 ASPHALT DRIVE - 4"



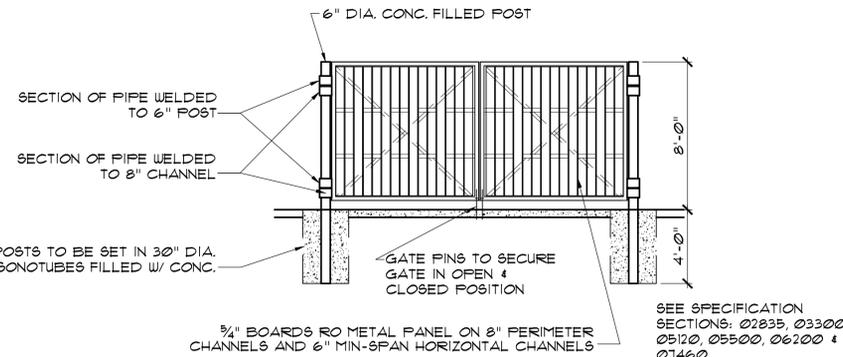
SEE SPECIFICATION SECTIONS: 02200 & 03300

C6 CONCRETE STAIR

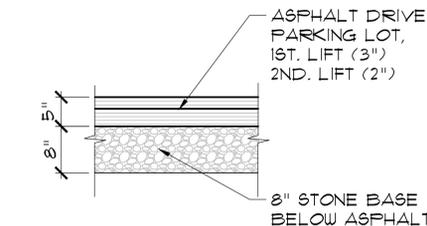


SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN

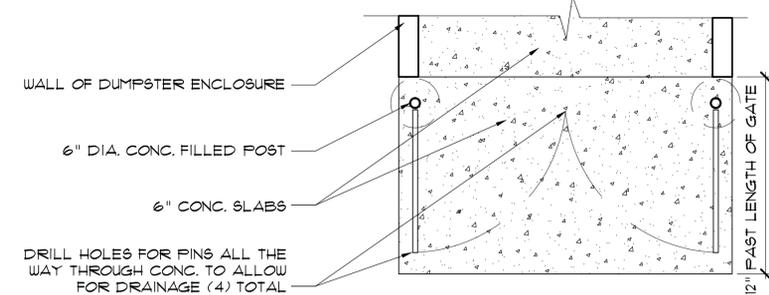


C8 DUMPSTER ENCLOSURE GATE - ELEVATION



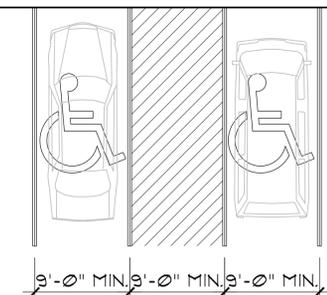
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C9 ASPHALT DRIVE - 5"



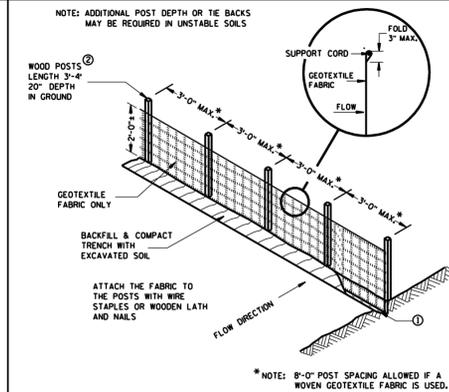
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C10 DUMPSTER ENCLOSURE GATE - PLAN

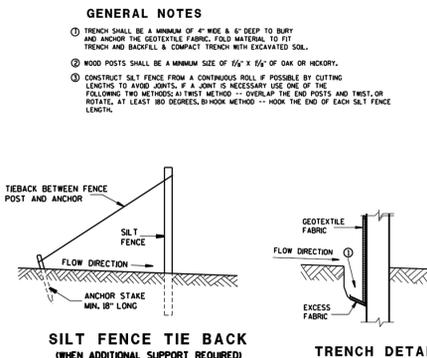


SEE SPECIFICATION SECTIONS: 02510, 03300 & 03350

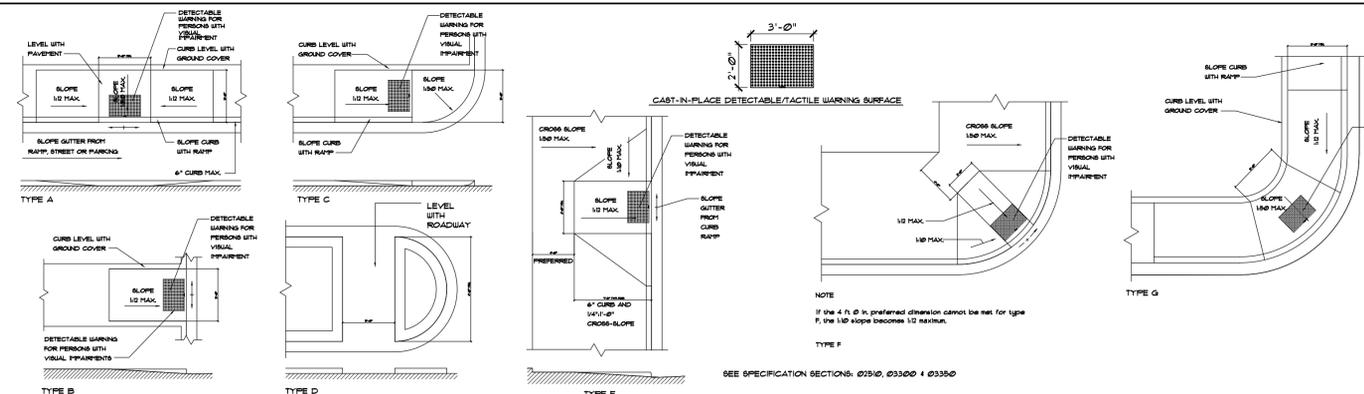
C11 PARKING SPACE ACCESS AISLE



C13 SILT FENCE

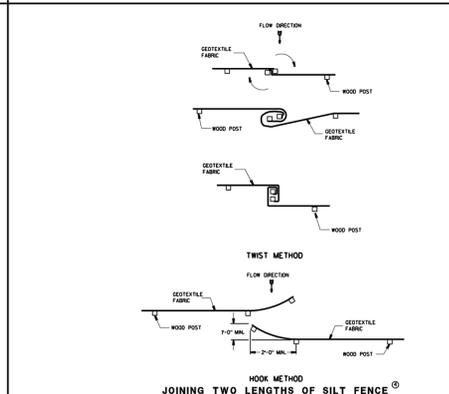


C13A SILT FENCE NOTES & SECTIONS



SEE SPECIFICATION SECTIONS: 03300 & 03350

C12 SIDEWALK RAMPS



C13B SILT FENCE DETAILS



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

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PLAN COMMISSION SET 01.23.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Detail Building
STREET ADDRESS
400 East Industrial Drive
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson

SHEET TITLE: SITE DETAILS

SHEET NUMBER: C-501

PROJECT NUMBER: P11162

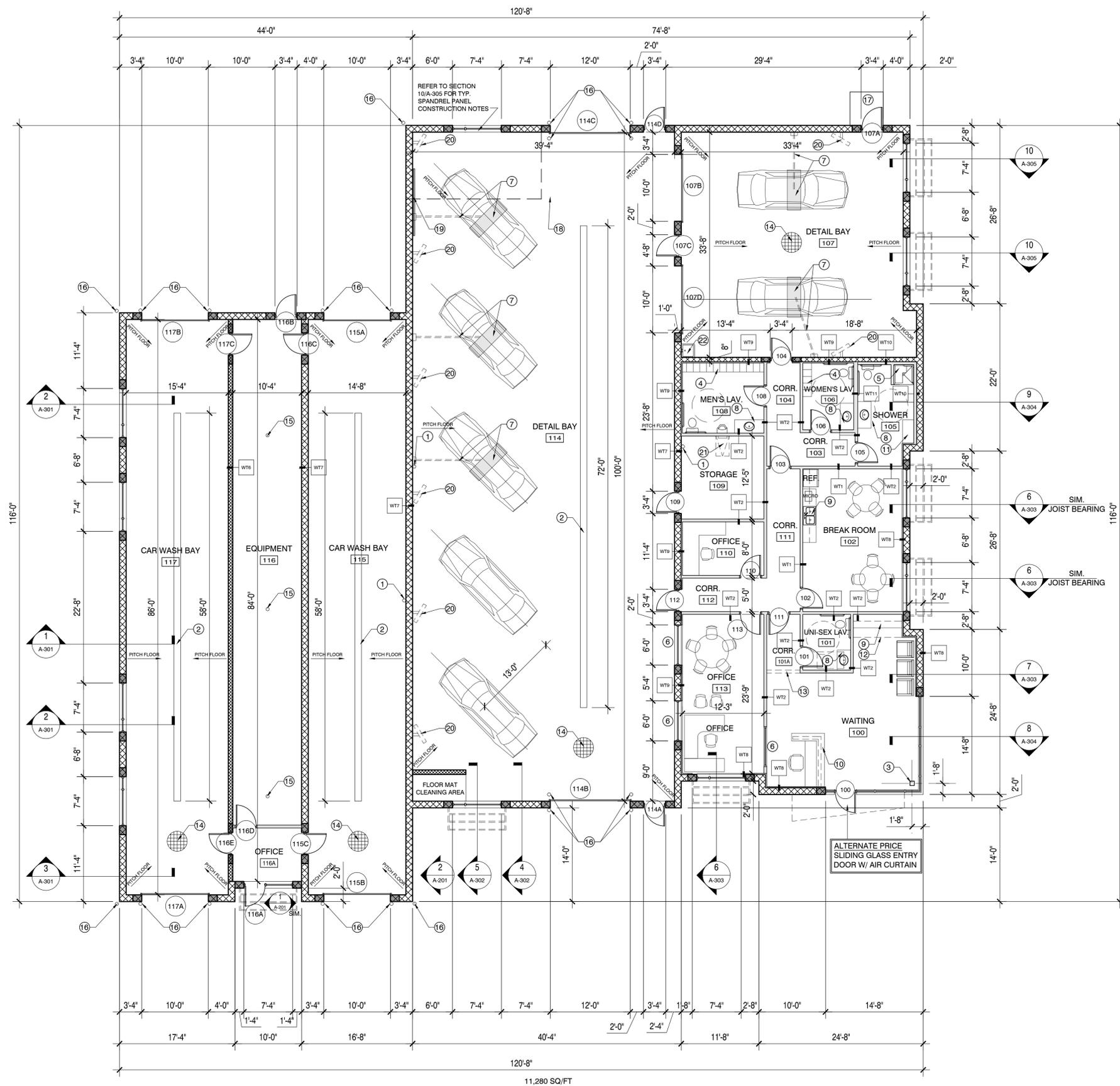
4381

MANAGERS

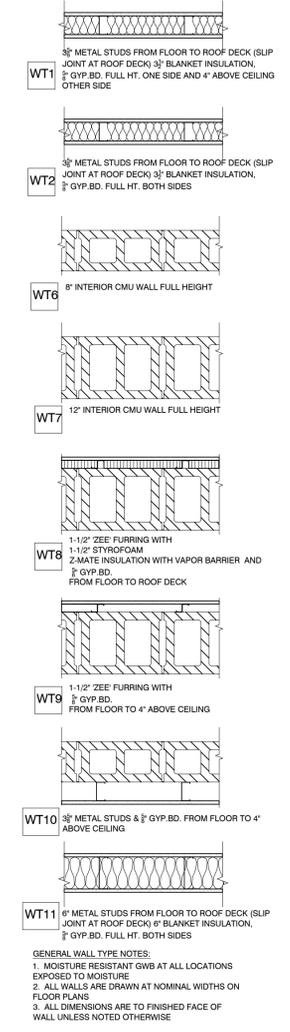
ENGINEERS

CONTRACTORS

ARCHITECTS



WALL TYPES



GENERAL WALL TYPE NOTES:
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE

FLOOR PLAN NOTES

- ① ROOF DRAIN
- ② 12" WIDE TRENCH DRAIN W/ STEEL GRATE- REFER TO FLOOR PLAN FOR LENGTHS (PITCH SURROUNDING CONCRETE TO DRAIN)
- ③ STEEL COLUMN WRAPPED W/ PRE-FINISHED BREAK METAL TO MATCH GLAZING FRAMES
- ④ 12" X 18" X 72" SINGLE TIER METAL LOCKERS
- ⑤ ADA COMPLIANT 36" X 36" PRE-FABRICATED SHOWER STALL
- ⑥ 6'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ ONE WAY GLASS ALIGN WINDOW HEAD W/ DOOR HEAD AT MASONRY WALL
- ⑦ (5) REINFORCED CONCRETE PITS & CONDUIT FOR HYDRAULIC LINE TO WALL FOR OWNER SUPPLIED HYDRAULIC LIFT & WALL MOUNTED CONTROL PANEL
- ⑧ PLASTIC LAMINATE VANITY COUNTER TOP
- ⑨ PLASTIC LAMINATE BASE CABINETS, UPPER WALL CABINETS & COUNTER TOP
- ⑩ PLASTIC LAMINATE RECEPTION DESK W/ SUPPORT WALL, WORK COUNTER TOP & TRANSACTION COUNTER TOP
- ⑪ 42" X 20" ADA COMPLIANT CHANGING BENCH
- ⑫ STEEL STUD FRAMED GYPSUM BOARD SOFFIT (B.O. SOFFIT AT 8'-0" A.F.F.)
- ⑬ STEEL STUD FRAMED BULKHEAD (B.O. BULKHEAD AT 8'-0" A.F.F.)
- ⑭ CATCH BASIN
- ⑮ FLOOR DRAIN (FINAL LOCATIONS TO BE DETERMINED BY CARWASH EQUIPMENT SUPPLIER)
- ⑯ 6"Ø x 4'-0" HIGH CONCRETE FILLED STEEL PIPE BOLLARD
- ⑰ REINFORCED CONCRETE SLAB & STOOP
- ⑱ INSTALL POWER & DATA SUPPLIES AS REQUIRED FOR MEDIA PROJECTOR
- ⑲ DROP DOWN MEDIA PROJECTOR SCREEN
- ⑳ 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- ㉑ WALL MOUNTED STEEL LADDER & ROOF HATCH ABOVE
- ㉒ FLOOR MOUNTED JANITOR'S SINK



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REVISIONS:

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PLAN COMMISSION SET 01.23.15

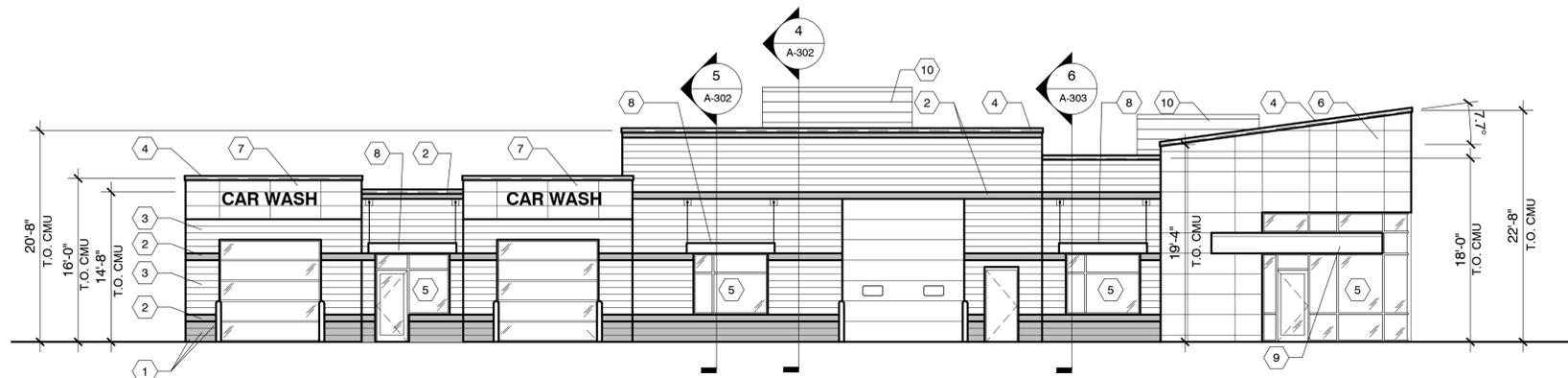
PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Car Wash Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY/ STATE / ZIP
 Hartland, WI 53029

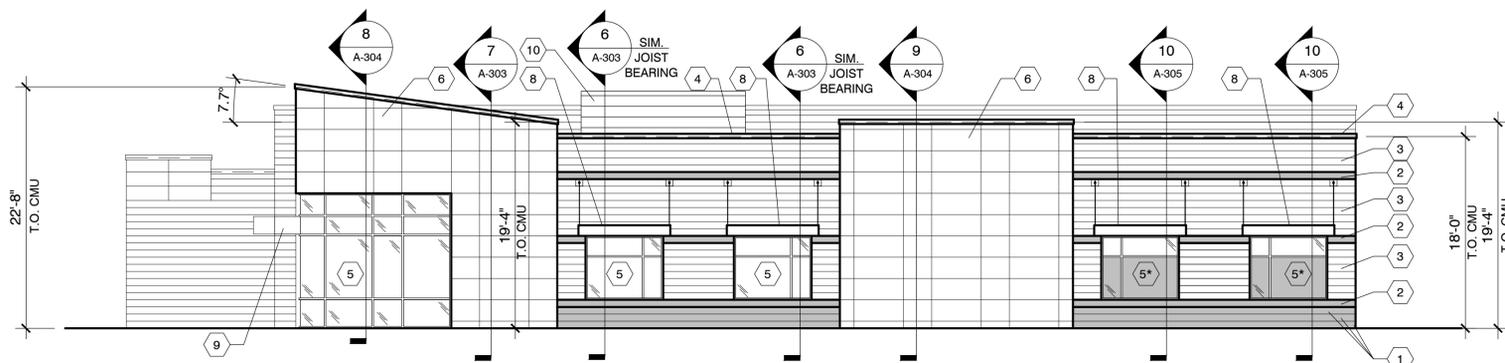
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson

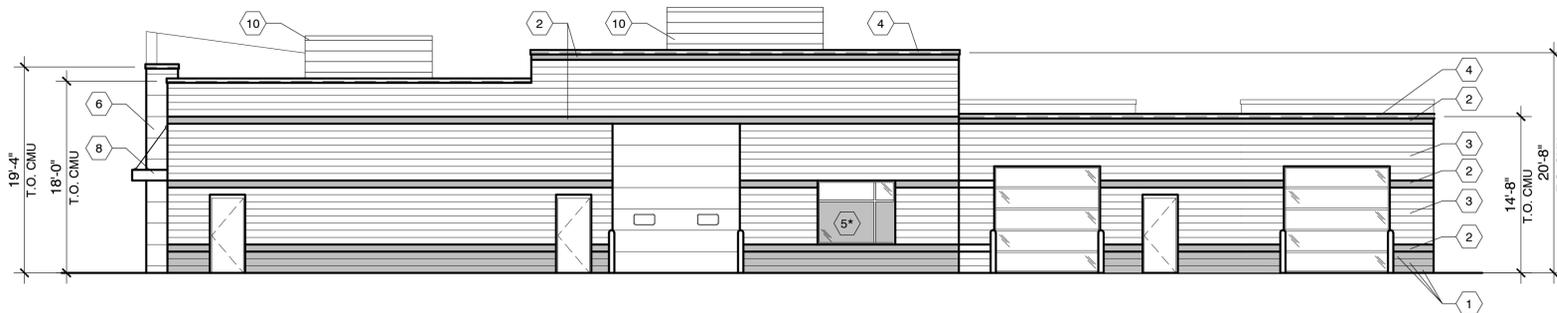
Sheet Title:
FLOOR PLAN
 Sheet Number:
A-101
 Project Number: P11162
4381



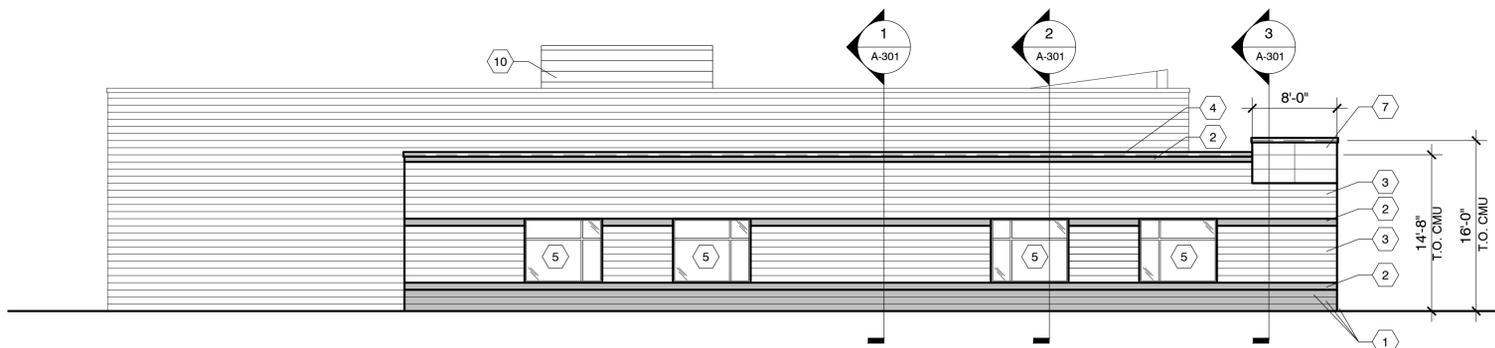
SOUTH ELEVATION



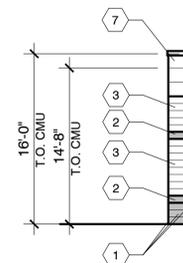
EAST ELEVATION



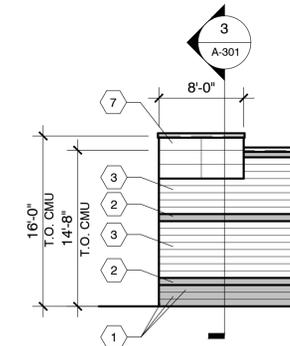
NORTH ELEVATION



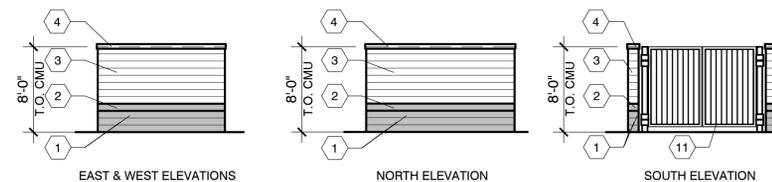
WEST ELEVATION



1 PARTIAL WEST & SIM EAST ELEVATION



2 PARTIAL EAST ELEVATION



3 DUMPSTER ENCLOSURE ELEVATIONS

ELEVATION NOTES

- 1 PAINTED SPLIT FACE CMU (SHERWIN WILLIAMS 7069 IRON ORE)
- 2 PAINTED SMOOTH-FACE BAND (SHERWIN WILLIAMS 7069 IRON ORE)
- 3 PAINTED SPLIT FACE CMU (SHERWIN WILLIAMS 7065 ARGOS)
- 4 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH GLAZING FRAMES)
- 5 GREY TONE INSULATED 'LOW E' GLASS IN CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING
- 5* DESIGNATES SPANDREL PANELS
- 6 ALUCOBOND DRY SEAL PANEL SYSTEM W/ PANEL JOINTS AS SHOWN (NATURAL GRAPHITE)
- 7 ALUCOBOND DRY SEAL PANEL SYSTEM W/ PANEL JOINTS AS SHOWN (RED)
- 8 12" STEEL TUBE FRAMED SUN SHADES W/ STEEL SUPPORT RODS & BRACKETS (PAINTED)
- 9 STEEL FRAMED ENTRY CANOPY WRAPPED IN BREAK METAL TO MATCH GLAZING FRAMES
- 10 5'-0" TALL STEEL FRAMED ROOF TOP SCREEN W/ HORIZONTAL METAL PANEL TO MATCH GLAZING FRAMES
- 11 STEEL FRAMED DUMPSTER GATES- REFER TO STANDARD DETAILS ON C-501



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REVISIONS:

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PLAN COMMISSION SET 01.23.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 01.14.15 Drawn By: Pete Anderson

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:

A-201

Project Number: P11162

4381

ELEVATIONS 1/8" = 1'-0"

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

RECEIVED

FEB 02 2015

Village of Hartland

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 2-2-15	Fee Paid: 300 ⁰⁰
Date Filed: 2-2-15	Receipt No.: 159200

- Name: Hartland Service Inc.
Address of Owner/Agent: 400 East Industrial Drive
Hartland, WI 53029
Phone Number of Owner/Agent: 920-650-5032
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use.
New car wash and retail building


Signature of Petitioner

P.O. Box 7, Oconomowoc, WI 53066
Address

920-650-5032

Phone
2007 Forms/Petition for Land Division
Revised 10/07



“EXHIBIT A”

THAT I have survey, divided and mapped a redivision of Lots 1 and 2 of Certified Survey Map No. 5128 and lands in the Southwest 1/4 of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, bounded and described as follows:

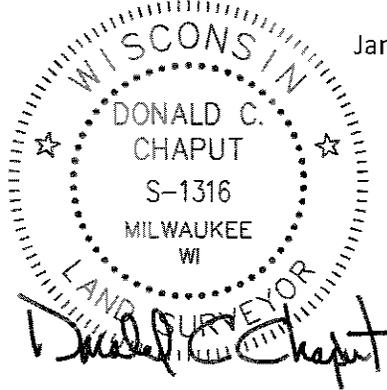
COMMENCING at the Southwest corner of the Northeast 1/4 of said Section; thence North 00°23'53" East along the West line of the Northeast 1/4 of said Section 347.63 feet to a point on the North line of Industrial Drive; thence North 86°37'47" East along said North line 981.27 feet to the point of beginning of the lands hereinafter described; thence North 03°22'13" West 417.88 feet to a point on the South line of the CP Rail System; thence North 86°42'25" East along said South line 267.48 feet to a point on the centerline of Cottonwood Ave.; thence South 06°52'34" East along said centerline 77.00 feet to a point; thence South 86°42'25" West 33.06 feet; thence South 06°52'34" East 82.50 feet to a point; thence South 86°42'25" West 17.03 feet to a point; thence South 06°52'34" East 258.87 feet to a point on the North line of Industrial Drive; thence South 86°37'47" West along said North line 242.97 feet to the point of beginning.

Containing 101,403 square feet or 2.3279 acres of land.

CERTIFIED SURVEY MAP NO. _____

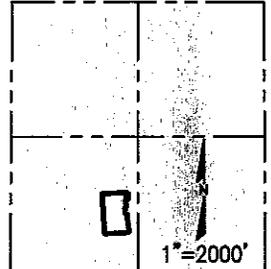
A redivision of Lots 1 and 2 of Certified Survey Map No. 5128 and lands in the Southwest 1/4 of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

January 20, 2015



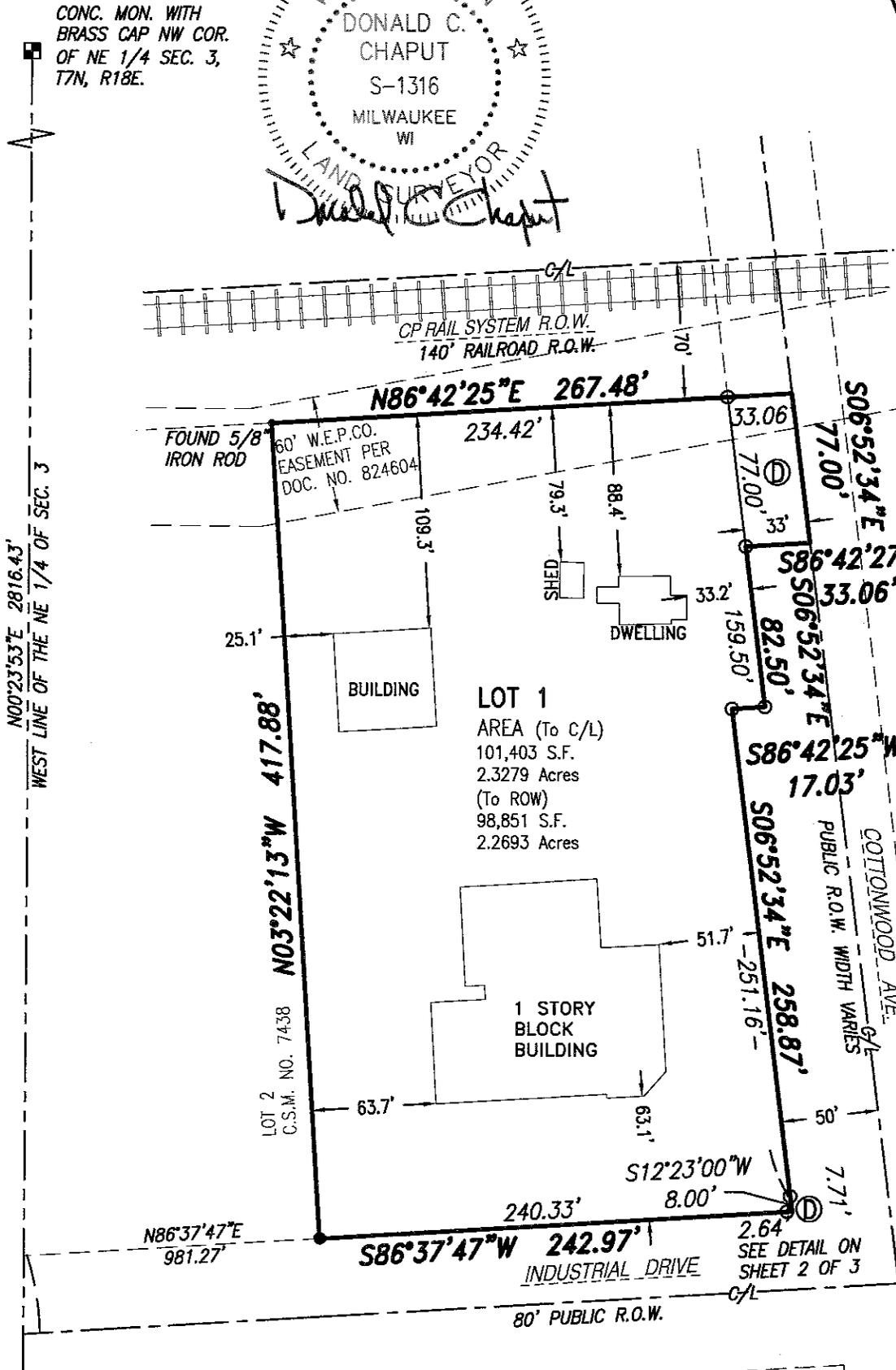
VICINITY MAP

NE 1/4 SEC. 33
T8N, R18E.



Subdivider:
Kusch Investments, LLC
N65W30981 Beaver Lake Rd
Hartland, WI 53029

Subdivider:
F V and K Revocable Real
Estate Trust
5569 N. Highway "83"
Hartland, WI 53029



LOT 1
AREA (To C/L)
101,403 S.F.
2.3279 Acres
(To ROW)
98,851 S.F.
2.2693 Acres

**1 STORY
BLOCK
BUILDING**

BUILDING

DWELLING

SHED

FOUND 5/8" IRON ROD

60' W.E.P.CO. EASEMENT PER DOC. NO. 824604

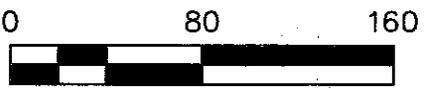
N00°23'53"E 2816.43'
WEST LINE OF THE NE 1/4 OF SEC. 3

N00°23'53"E 347.63'

- Indicates found 1" iron pipe.
- Indicates set 1.315" O.D. iron pipe 18" in length, weighing 1.68 lbs. per lineal foot.
- Ⓧ Indicates land dedicated to the Village of Hartland for street purposes.

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone) NAD 27, in which the West line of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, bears N00°23'53"E.

This instrument was drafted by Donald C. Chaput Professional Land Surveyor S-1316



CONC. MON. WITH BRASS CAP SW COR. OF NE 1/4 SEC. 3, T7N, R18E.

CHAPUT LAND SURVEYS LLC

234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

Drawing No. 1815-grb/deb
Sheet 1 of 3 Sheets

CERTIFIED SURVEY MAP NO. _____

A redivision of Lots 1 and 2 of Certified Survey Map No. 5128 and lands in the Southwest 1/4 of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE

Kusch Investments LLC, a Wisconsin limited liability company, hereby certify that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Section 236.34 of the Wisconsin Statutes, the Land Division Ordinance of the Village of Hartland in surveying, dividing and mapping the same.

Member

STATE OF WISCONSIN}
 :SS
 COUNTY}

Personally came before me this ___ day of _____, 2014, the above named _____, to me known as the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My commission expires. _____
My commission is permanent.

VILLAGE BOARD APPROVAL

Resolved that the Certified Survey Map located in the Southwest 1/4 of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, Village of Hartland is approved by the Village Board of the Village of Hartland.

Date

David Lamerand, Village President

Date

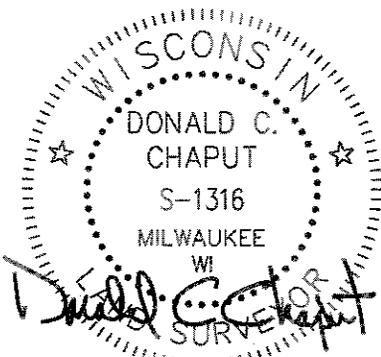
Darlene Igl, Village Clerk

VILLAGE OF HARTLAND PLAN COMMISSION APPROVAL

Resolved that the Certified Survey Map located in the Southwest 1/4 of the Northeast 1/4 of Section 3, Town 7 North, Range 18 East, Village of Hartland is approved by the Village Plan Commission of the Village of Hartland.

Date

David Lamerand, Chairperson



January 20, 2015

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1815-grb/deb
Sheet 3 of 3 Sheets

February 5, 2015

Mr. David Cox
Administrator
Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

RE: Kusch Certified Survey Map Review

Dear Mr. Cox:

Per your request, we have completed our Kusch Certified Survey Map (dated January 20, 2015) review for compliance with Wisconsin Administrative Code Chapter A-E 7, Wisconsin Statute Chapter 236, utilizing the December 2014 Plat Review Check List, and the Village of Hartland Division 4 Code of Ordinances. We offer the following comments and concerns:

1. Per Chapter A-E 7: No comments.
2. Per Chapter 236.34 (1m) (c), which references 236.20 (2): The distance of the west line of the Northeast one-quarter was recorded as 2816.42 feet.
3. Per Chapter 236.34 (1m) (c), which references 236.20 (2) (f): A Chaput Land Surveys LLC Topographic Map dated September 3, 2014 with a latest revision on January 16, 2015 indicates numerous easements that must be shown on the Certified Survey Map.
4. Per Chapter 236.34 (1m) (c), which references 236.20 (3) (d): Lot 2, C.S.M. No. 7438 must be underscored.
5. Per Chapter 236.34 (1m) (d) (2): In the opening line of the Surveyor's Certificate, registered must be corrected to professional. The description cannot commence from the center of a section. This must be corrected.
6. Per Chapter 236.34 (1m) (e): The dedication of streets, public areas must noted on the map as "dedicated to the public".

Mr. David Cox
Kusch Certified Survey Map Review
February 5, 2015
Page 2

7. Per Division 4, Sec. 50-136 (1): The Vicinity Map is in the incorrect Section and Township. This must be corrected.
8. Per Division 4, Sec. 50-136 (2): Setback lines must be shown.
9. Per Division 4, Sec. 50-136 (3): Easements must be shown.
10. Per Division 4, Sec. 50-136 (9): The name and address of the owner must be shown.
11. Per Division 4, Sec. 50-136 (10): The proposed use of existing structures to be retained must be shown.
12. Per Division 4, Sec. 50-136 (13): The centerline of Industrial Drive must be shown as being parallel to the south line of Lot 1.
13. Per Division 4, Sec. 50-137: The Plan Commission may require additional information.
14. The existing shed and dwelling have been removed and, therefore, may be removed from the C.S.M.
15. The northerly 236.50 along Cottonwood Avenue could be indicated on the C.S.M. to restrict vehicular access.
16. Are there one or two subdividers?
17. The bearing of S86°42'27"W in the northeast portion of the Exhibit is shown as S86°42'25"W in the description.
18. Add Consent of Mortgagee at the Certificate page.
19. Change the date on the Certificate page from 2014 to 2015.

We recommend that the items listed above be addressed to the satisfaction of the State of Wisconsin and the Village of Hartland prior to the approval of this Certified Survey Map.

Mr. David Cox
Kusch Certified Survey Map Review
February 5, 2015
Page 3

If you have any questions or comments, please feel free to contact me at the below phone number.

Very truly yours,

RUEKERT & MIELKE, INC.



Bruce K. Cross, P.L.S. (WI)
Senior Land Surveyor
bcross@ruekert-mielke.com

Very truly yours,

RUEKERT & MIELKE, INC.



Ryan T. Amtmann, P.E. (WI, IL)
Principal/Vice President
ramtmann@ruekert-mielke.com

BKC:jkc

cc: Donald C. Chaput, Chaput Land Surveys, LLC, Don@ChaputLandSurveys.com.
File

MEMORANDUM

TO: Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: February 13, 2015
SUBJECT: Merton Avenue Memory Care CBRF

At your meeting on Monday, you will be asked to give concept review to a proposed 32 unit memory care community based residential facility (CBRF) for the southeast corner of Merton Avenue and Sunny Slope Drive. Preparation for development of the 1.25 acre site includes demolition of all structures including five rental residential units.

Currently, the Land Use Plan for the Village identifies the properties as part of the Retail Sales and Services – Community Shopping Center sector associated with Hartbrook Drive. (See attached map). In order to proceed with the requested rezoning and the development, the Plan Commission is asked to consider whether it would be willing to amend the Land Use Plan to designate the properties to one of the Multi-Family Residential Development categories. Of the two choices, High Density and Senior Housing, the Senior Housing designation likely fits the intended use better despite the fact that the project will be significantly more dense than the plan contemplates. If the Commission finds this amendment acceptable, the proposed zoning would be RM-1 Multiple Family Residential District in which a licensed CBRF serving 16 or more persons is a Conditional Use.

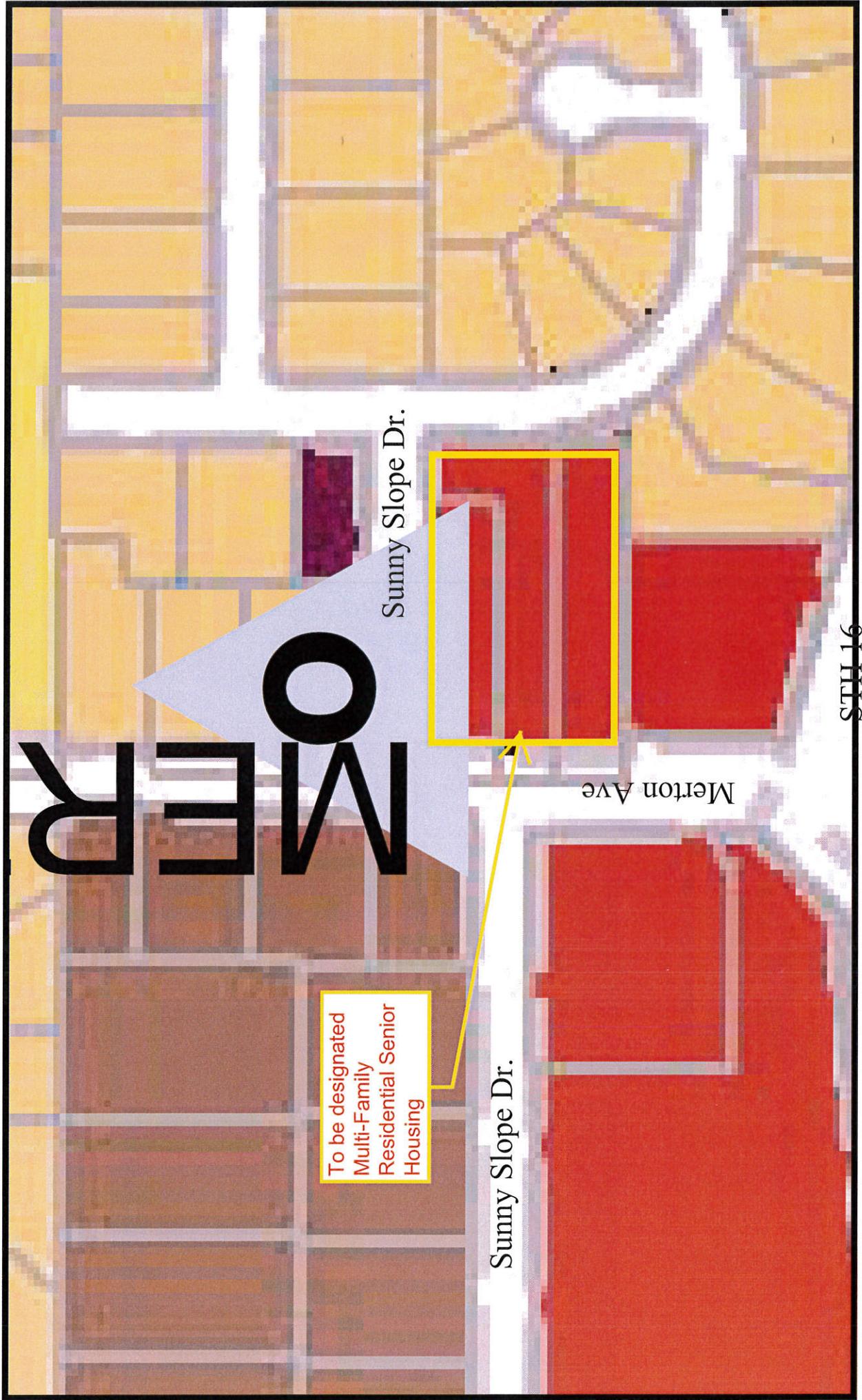
The Plan Commission is requested to determine whether the concept, as presented, is acceptable or whether adjustments should be made. Based on the Commission's comments, and assuming a generally positive response, the matter would be scheduled for detailed review beginning in March. Additionally, the Village Board will be asked to give concept review at its meeting on Monday, February 23.

DCPC Memory Care CBRF

Attachment

cc: President and Village Board
Jay Schnorenberg, JPS Limited, LLC (Via E-Mail)

EXHIBIT A



To be designated
Multi-Family
Residential Senior
Housing

Sunny Slope Dr.

Merton Ave

Sunny Slope Dr.

STH 16



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**APPLICATION FOR
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description				PROPOSED 32 BED CBRF			
Proposed Use			CBRF			No. of Employees	
Project Location				Merton AVE			
Project Name				Hartland Senior Living LLC			
Owner		JPS LIMITED. LLC		Phone		414-881.2112	
Address		126 E. PROSPECT AVE.		City		HARTFORD	
				State		WI	
				Zip		53027	
Engineer/Architect		TRIC ENGINEERING		Phone		262-790-1480	
				FAX		262-790-1481	
Address		12660 W. NORTH AVE		City		BROOKFIELD	
				State		WI	
				Zip		53005	
Contact Person		Phone		FAX		E-mail	

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: 2-10-15	Date of Meeting: 2/16/15	Return Comments by:
-----------------------	--------------------------	---------------------

Pd. \$300
 159504

**Village of Hartland
Professional Services Reimbursement Form**

The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Responsible Party Name, Mailing Address, Signature and Date:

A. JAY P Schmoenberg J P Schmoenberg 2-9-15
 Printed Name Signature Date

B. 126 E Prospect St Hartland WI 53027
 Street City State Zip

C. Phone 714-881-2112 Fax: _____ E-Mail peelme@56c9166a1.net

Property Owner Name, Mailing Address, Signature & Date:

A. _____
 Printed Name Signature Date

B. _____
 Street City State Zip

C. Phone _____ Fax: _____ E-Mail _____

 Village Official Accepting Form & Date

INTERNAL USE ONLY

Amount Due: \$ _____ Check #: _____ Date Paid: ___/___/___ Rec'd By: _____

Plan Commission Project Number: _____

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

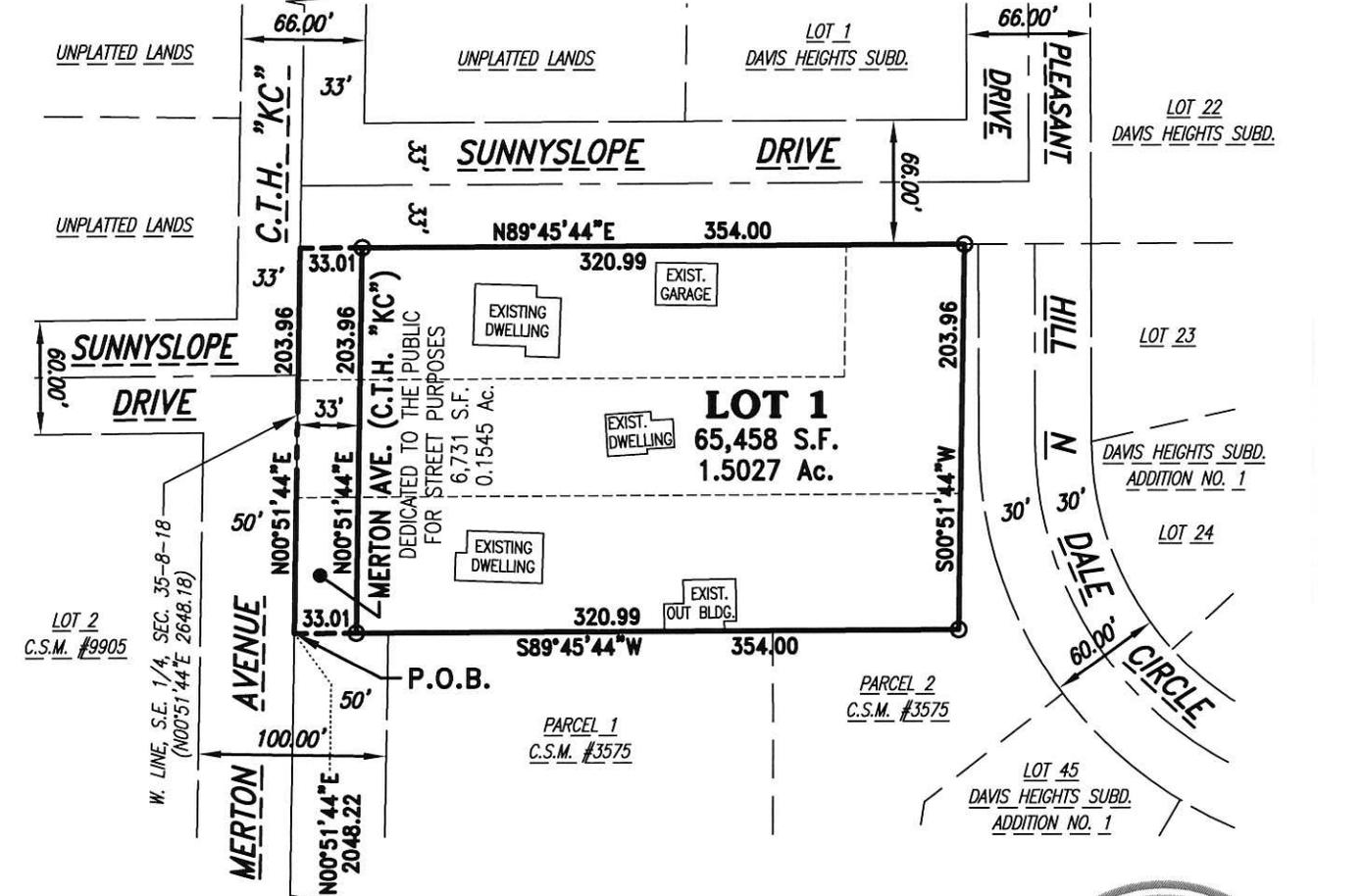
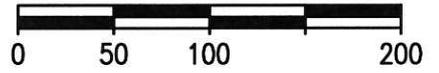
BEING A CONSOLIDATION OF LANDS LOCATED IN A PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

CENTER, SEC. 35-8-18
 CONC. MON. W/BRASS CAP
 WIS. STATE PLANE COORD.
 SYSTEM-SOUTH ZONE
 N - 409,908.14
 E - 2,445,092.83

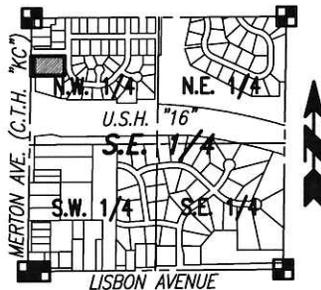
OWNER:
 JPS LIMITED, LLC
 c/o JAY SCHNOREBERG
 126 E. PROSPECT AVENUE
 HARTLAND, WI 53027
 PHONE: 414-881-2112



SCALE: 1" = 100'



S. 1/4 CORNER, SEC. 35-8-18
 CONC. MON. W/BRASS CAP
 WIS. STATE PLANE COORD.
 SYSTEM-SOUTH ZONE
 N - 407,260.52
 E - 2,445,052.99



LOCALITY MAP:
 S.E. 1/4, SEC. 35,
 T. 8 N., R. 18 E.
 SCALE: 1" = 2000'



12660 W. North Avenue
 Building "D"
 Brookfield, WI 53005
 Phone: (262) 790-1480
 Fax: (262) 790-1481

NOTES:

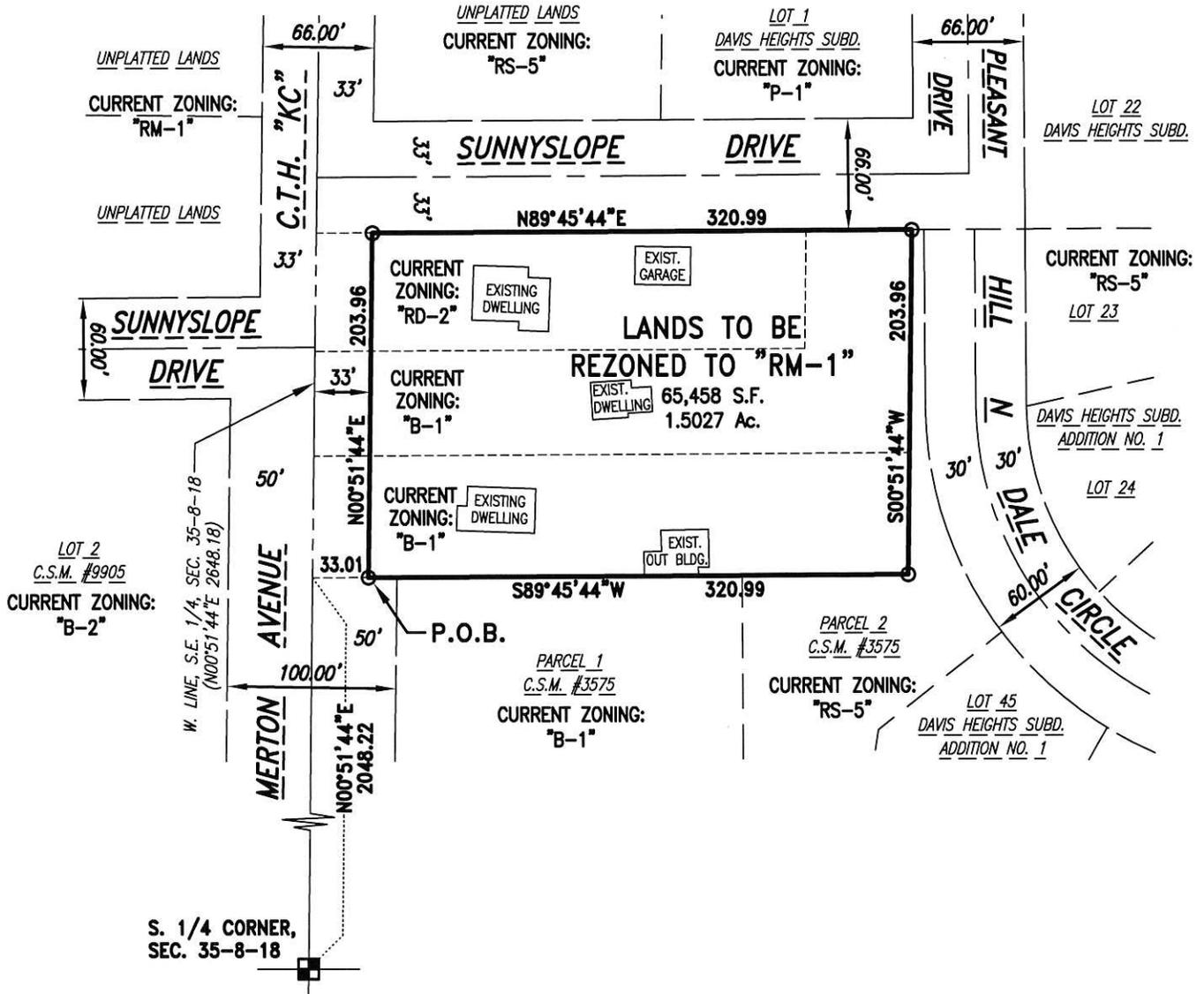
- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE WEST LINE OF THE S.E. 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, BEARS NORTH 00°51'44" EAST.
- ALL EXISTING STRUCTURES LOCATED WITHIN THE SUBJECT PARCEL TO BE RAZED.
- TELEPHONE LINES, ELECTRIC LINES, CABLE TELEVISION LINES, TELECOMMUNICATIONS LINES, AND OTHER SIMILAR UTILITY SERVICES SHALL BE PLACED UNDERGROUND UNLESS THE APPLICANT OR UTILITY CAN DEMONSTRATE THAT UNDERGROUNDING IS NOT FEASIBLE.



JOB NO. 15-002-886-01
 SHEET 1 OF 4

REZONING EXHIBIT "A"

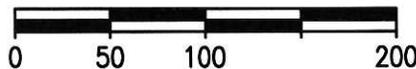
ALL THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



12660 W. North Avenue
 Building "D"
 Brookfield, WI 53005
 Phone: (262) 790-1480
 Fax: (262) 790-1481



SCALE: 1" = 100'



REZONING EXHIBIT "B"

LANDS TO BE REZONED TO "RM-1"

LEGAL DESCRIPTION:

All that part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the South 1/4 Corner of said Section 35; Thence North 00°51'44" East and along the West line of the said Southeast 1/4 Section and the Centerline of "Merton Avenue" (C.T.H. "KC"), 2048.22 feet to a point; Thence North 89°45'44" East, 33.01 feet to a point on the East Right-of-Way line of said "Merton Avenue" (C.T.H. "KC") and the place of beginning of lands hereinafter described;

Thence North 00°51'44" East and along the said East Right-of-Way line, 203.96 feet to a point; Thence North 89°45'44" East and along the South Right-of-Way line of "Sunnyslope Drive", 320.99 feet to a point; Thence South 00°51'44" West, 203.96 feet to a point; Thence South 89°45'44" West and along the North line of Certified Survey Map No. 3575, 320.99 feet to the point of beginning of this description.

Said parcel contains 65,458 Square Feet (or 1.5027 Acres) of land, more or less.

Date: 2/9/15




Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

PRELIMINARY CERTIFIED SURVEY MAP NO.

**BEING A CONSOLIDATION OF LANDS LOCATED IN A PART OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF
HARTLAND, WAUKESHA COUNTY, WISCONSIN.**

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
)ss
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a consolidation of Lands located in a part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the South 1/4 Corner of said Section 35; Thence North 00°51'44" East and along the West line of the said Southeast 1/4 Section and the Centerline of "Merton Avenue" (C.T.H. "KC"), 2048.22 feet to the place of beginning of lands hereinafter described;

Continuing thence North 00°51'44" East and along the said West line of the said Southeast 1/4 Section and said Centerline, 203.96 feet to a point; Thence North 89°45'44" East and along the South Right-of-Way line of "Sunnyslope Drive" and the Westerly extension thereof, 354.00 feet to a point; Thence South 00°51'44" West, 203.96 feet to a point; Thence South 89°45'44" West and along the North line of Certified Survey Map No. 3575 and the Westerly extension thereof, 354.00 feet to the point of beginning of this description. Excepting therefrom the West 33.00 feet dedicated to the Public for Street Purposes.

The gross area of said Parcel contains 72,189 Square Feet (or 1.6572 Acres) of land, more or less. The net area of said Parcel after the 1/2 width Public Road Dedication of "Merton Avenue" (C.T.H. "KC") contains 65,458 Square Feet (or 1.5027 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of **JPS LIMITED, LLC**, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Chapter 50 of the Ordinances of the Village of Hartland in surveying, dividing and mapping the same.

Dated this _____ day of _____, 20_____.

Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

**BEING A CONSOLIDATION OF LANDS LOCATED IN A PART OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF
HARTLAND, WAUKESHA COUNTY, WISCONSIN.**

OWNER'S CERTIFICATE OF DEDICATION:

JPS LIMITED, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Corporation has caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and applicable Land Division Regulations of the Village of Hartland, this _____ day of _____, 20 ____.

JPS LIMITED, LLC

Jay Schnorenberg, Managing Member

STATE OF WISCONSIN)
) ss
COUNTY OF)

Personally came before me this _____ day of _____, 20____, Jay Schnorenberg, Managing Member of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be the Managing Member of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: _____
Notary Public, _____ County, WI
My commission expires: _____

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the above certificate of **JPS LIMITED, LLC**, owner, this _____ day of _____, 20 ____.

STATE OF WISCONSIN)
) ss
COUNTY OF)

Personally came before me this _____ day of _____, 20____, _____ of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Print Name: _____
Notary Public, _____ County, WI
My commission expires: _____

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

**BEING A CONSOLIDATION OF LANDS LOCATED IN A PART OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF
HARTLAND, WAUKESHA COUNTY, WISCONSIN.**

VILLAGE OF HARTLAND PLANNING COMMISSION APPROVAL:

Approved by the Planning Commission of the Village of Hartland on this _____ day of
_____, 20____.

David Lamerand, Village President

Date

Darlene Igl, Secretary

Date

VILLAGE OF HARTLAND BOARD APPROVAL:

Resolved, that this Certified Survey Map, being a consolidation of Lands located in a part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Hartland on this _____ day of _____, 20____.

David Lamerand, Village President

Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of Trustees of the Village of Hartland.

Darlene Igl, Village Clerk

Date

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00

Six to Fourteen Parcels - \$300.00

Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review

\$50.00 (Minimum)

Reapplication for Previously Reviewed Plat

\$10.00 ~~with 1000~~

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: Chris Miller

Address of Owner/Agent: Sanctuary of Hartland, LLC

Phone Number of Owner/Agent: 847-456-2156

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.

Present Use - Vacant Land

Intended Use - Residential Subdivision

Signature of Petitioner

301 Pawling Ave Hartland, WI
Address

847-456-2156
Phone



EXHIBIT "A"

SANCTUARY OF HARTLAND

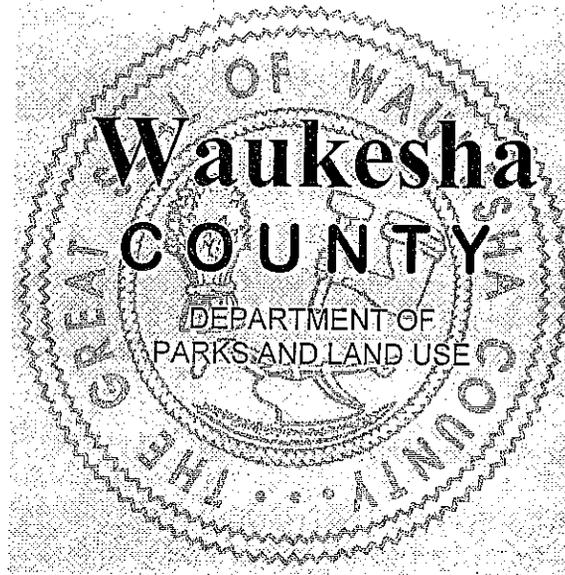
LEGAL DESCRIPTION:

All that part of the Northwest 1/4, Northeast 1/4 and Southwest 1/4 of the Northwest 1/4 Section 2, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest corner of the said Northwest 1/4 Section; Thence South 00°18'24" East and along the West line of the said Northwest 1/4 Section and the centerline of "Maple Avenue", 454.89 feet to the place of beginning of lands hereinafter described;

Thence North 83°35'45" East and along the South line of a 48 foot addition to "D.K. Warrens Addition to Hartland" (A Subdivision Plat of Record), 1205.15 feet to a point; Thence South 00°28'11" East and along the said South line, 1.22 feet to a point; Thence North 83°35'45" East and along the said South line, 134.13 feet to a point on the West line of Unplatted Lands; Thence South 00°17'25" West and along the said West line of said Unplatted Lands and continuing along the West line of "The Woodlands of Hartland" (A Subdivision Plat of Record), 1411.56 feet to a point on the North Right-of-Way line of the "C.P. Rail System"; Thence South 86°23'26" West and along the said North Right-of-Way line, 262.43 feet to a point; Thence North 00°18'24" West and along the East line of Unplatted Lands, 485.45 feet to a point; Thence South 89°41'36" West and along the North line of said Unplatted Lands and the Westerly extension thereof, 1055.00 feet to a point on the said West line of the said Northwest 1/4 Section and the centerline of said "Maple Avenue"; Thence North 00°18'24" West and along the said West line of the said Northwest 1/4 Section and said centerline, 60.00 feet to a point; Thence North 89°41'36" East and along the South line of Unplatted Lands, 186.50 feet to a point; Thence North 00°18'24" West and along the East line of said Unplatted Lands and continuing along the East line of a 16.50 foot addition to "Stephen Warrens 3rd Addition to the Village of Hartland" (A Subdivision Plat of Record), 737.01 feet to a point; Thence South 85°26'38" West and along the North line of lands added to Lot 1 of said Subdivision, 161.95 feet to a point on the East Right-of-Way line of said "Maple Avenue"; Thence South 89°41'36" West, 25.00 feet to a point on the said West line of the said Northwest 1/4 Section and the centerline of said "Maple Avenue"; Thence North 00°18'24" West and along the said West line of the said Northwest 1/4 Section and said centerline, 15.11 feet to the point of beginning of this description.

The Gross area of said Parcel contains 1,145,633 Square Feet (or 26.3001 Acres) of land, more or less. The Net area of said Parcel after the 1/2 width Road Dedication of "Maple Avenue" contains 1,143,722 Square Feet (or 26.2562 Acres) of land, more or less.



TO: State of Wisconsin Department of Administration – Plat Review

NOTICE OF: Conditional Certification of No Objection to Final Plat

DATE OF REVIEW: January 29, 2015

RE: Subdivision Plat known as: **Sanctuary of Hartland: File No. 1871**

LOCATION: Part of the NW ¼ of Section 2, T7N, R18E, Village of Hartland

SUBMITTED BY: State of Wisconsin Department of Administration – Plat Review

SURVEYOR: Grady Gosser
TRIO Engineering, LLC
12660 W. North Avenue, Bldg. "D"
Brookfield, WI 53005

DATE RECEIVED: January 12, 2015

DATE OF PLAT: December 22, 2014

SUBDIVIDER: Sanctuary of Hartland, LLC
301 Pawling Avenue
Hartland, WI 53029

APPLICABILITY: The above subject plat has been reviewed by the staff of the Waukesha County Department of Parks and Land Use pursuant to the provisions of Section 236 Wisconsin Statutes and applicable County Ordinances. Any person aggrieved by an objection to a plat or a failure to approve a plat may appeal therefrom as provided in Section 62.23 of the Wisconsin State Statutes within thirty (30) days of notification of the rejection of the plat.

REMARKS: Conditional Certification of No Objection to this Final Plat is based on the following conditions being satisfied prior to the recordation of the Final Plat:

1. The word "assessments" shall be replaced with the word "charges" in the 8th note on sheet 2 of 3.
2. Utility easement language is noted on sheet 3 of 3. However, there are no associated easements on the face of the plat. Please identify the utility easement location on the face of the plat or remove the note, if there are no easements within the plat boundaries.

In addition, we recommend the following:

3. The Village should consider requiring that proposed Outlot 2 be dedicated to the Village for road purposes and that a road be constructed to public road standards and extend east to connect to existing Tenny Avenue. Without a road extension, Court "A" consists of a very long cul-de-sac serving a large number of lots, which does not promote road continuity. The existing road to the east, Tenny Avenue, also serves many lots as a long cul-de-sac.
4. We recommend that soil testing be conducted in areas that contain soils indicative of seasonal high groundwater conditions to ensure that basements will not be constructed within the seasonal high groundwater table. Particular attention should be given to Lots 15 and 16 where soils may contain hydric inclusions and ponding since there is a kettle present.

SIGNED:


Jason Fruth
Planning & Zoning Manager

For information regarding this review, please contact Amy Barrows at (262) 548-7790.

cc: Sanctuary of Harland, LLC, Developer
Waukesha County Register of Deeds
Grady Gosser, Surveyor
SEWRPC
Hartland Sewer Service District
WDNR-Plat Review
Village of Hartland Clerk
WE Energies-Plat Review
AT&T-Plat Review
File

February 5, 2015

Mr. David Cox
Administrator
Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

RE: Sanctuary of Hartland Final Plat Review

Dear Mr. Cox:

Per your request, we have completed our Sanctuary of Hartland Final Plat (dated December 22, 2014) review for compliance with Wisconsin Administrative Code Chapter A-E 7, Wisconsin Statute Chapter 236, and the Village of Hartland Code of Ordinances. We offer the following comments and concerns.

1. Due to the no objection of the plat as indicated in an email from Renee Powers, Plat Review, on January 28, 2015 and the Waukesha County Department of Parks and Land use correspondence of Conditional Certification of No Objection dated January 29, 2015, we have not reviewed the plat for Chapter 236 compliance. We do however, have the following concerns:
2. Due to the A-E 7.06 requirement of linear measurements of 1 part in 3,000 and the external boundary of the unplatted lands to the South of Outlot 6, there could end up being a dispute over the 0.07' clear shown on the plat. To mitigate this concern, the strip of Outlot 5 could be widened or a vehicular access easement could be placed in a detail on the plat. An example Exhibit A is attached. Also, please clearly show in a detail where the dividing point is between Outlot 6 and 5.
3. Per Sec. 50-92 (9): The Village of Hartland wants Outlot 2 to be transferred to the Village of Hartland
4. Per Sec. 50-136 (2): The Village of Hartland does not desire to have a blanket easement (upon, across within and beneath the surface of each lot) as indicated in the Utility Easement Provisions on Sheet 3 of 3 of the plat. Pursuant to Sec. 50-66 (4), utility easements are to be placed along rear or side lot lines. The suggested width of the utility easements should be 12.00 feet.
5. Please change reference from Storm Water Detention facilities to Storm Water Management facilities.

Mr. David Cox
Sanctuary of Hartland Final Plat Review
February 5, 2015
Page 2

We recommend that the items listed above be addressed to the satisfaction of the Village of Hartland prior to the approval of this Subdivision Plat.

If you have any questions or comments, please feel free to contact me at the below phone number.

Very truly yours,

RUEKERT & MIELKE, INC.



Bruce K. Cross, P.L.S. (WI)
Senior Land Surveyor
bcross@ruekert-mielke.com

Very truly yours,

RUEKERT & MIELKE, INC.



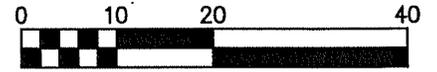
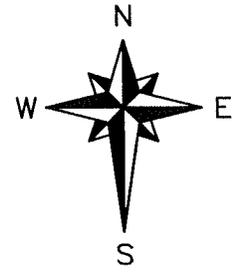
Ryan T. Amtmann, P.E. (WI, IL)
Principal/Vice President
ramtmann@ruekert-mielke.com

BKC:jkc

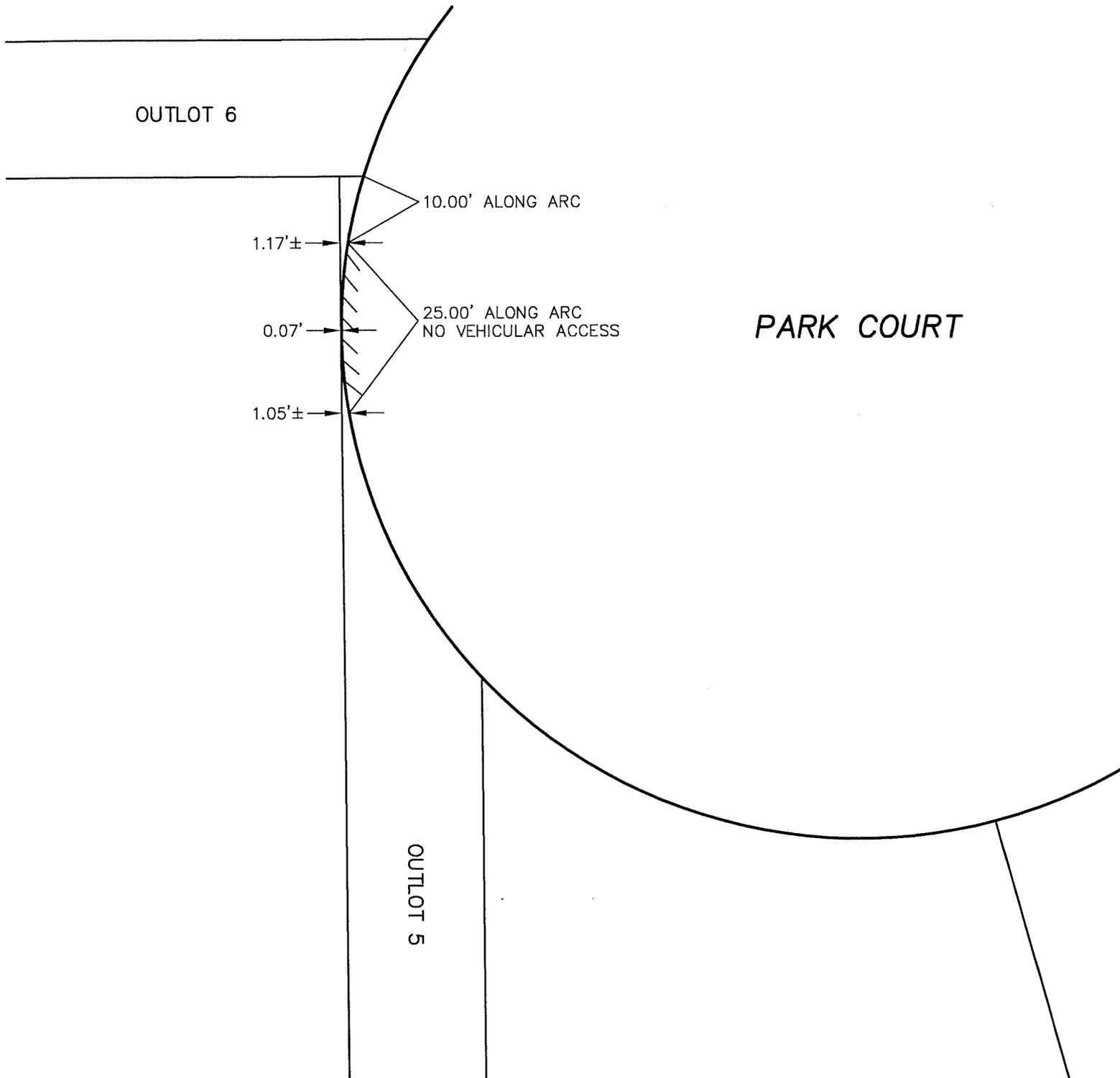
Attachment

cc: Josh Pudelko, MS, PE, Trio Engineering
File

EXHIBIT "A"



SCALE IN FEET



SANCTUARY OF HARTLAND

ALL THAT PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2,
TOWN 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

ZONING DATA:

CATEGORY - "RS-4",
Minimum Lot Area = 10,000 S.F.
Minimum Lot Width = 80 ft. Ⓢ FSB
Minimum Building Offsets:
Front Setback/Street 30 ft.
Side Yard 10 ft. Min.
Rear Yard 25 ft. (25' Total)

OWNER:

SANCTUARY OF HARTLAND, LLC
301 PAWLING AVENUE
HARTLAND, WI 53029
PHONE: (262) 369-0531

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

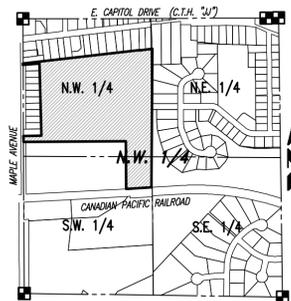
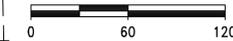
Department of Administration



ACCESS EASEMENT LINE TABLE:

Line #	BEARING	LENGTH
L1	N87°40'09"E	69.09'
L2	N84°04'16"E	133.63'
L3	S69°10'40"E	42.77'
L4	S37°58'15"E	42.77'
L5	S11°13'11"E	52.25'
L6	S47°08'23"E	31.90'
L7	S83°03'36"E	32.93'
L8	S64°47'16"E	55.15'
L9	S46°30'57"E	107.85'
L10	S51°23'54"E	26.04'
L11	S44°12'08"E	18.00'

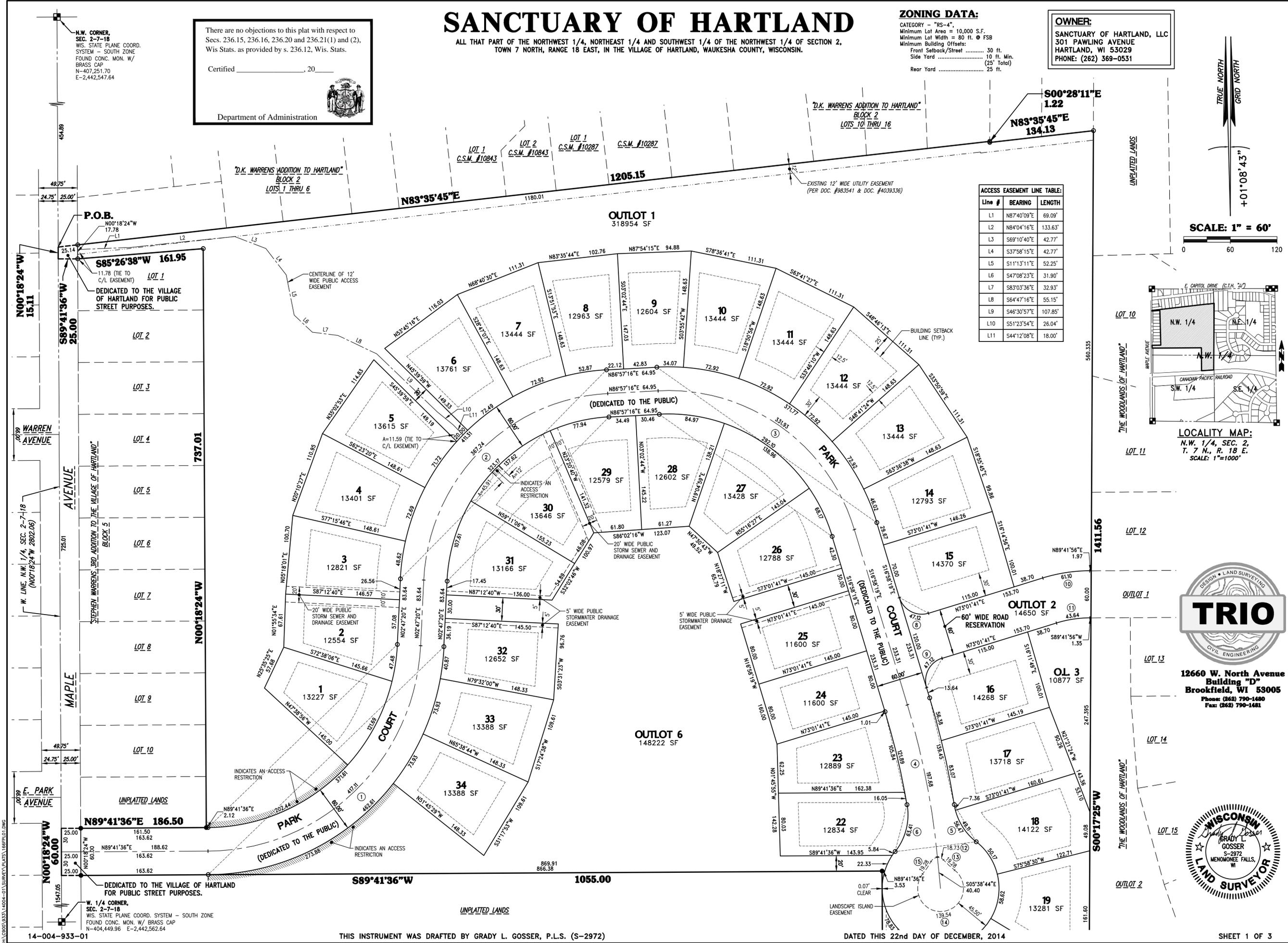
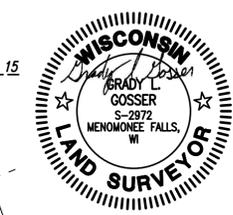
SCALE: 1" = 60'



LOCALITY MAP:
N.W. 1/4, SEC. 2,
T. 7 N., R. 18 E.
SCALE: 1"=1000'

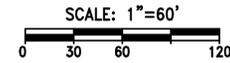
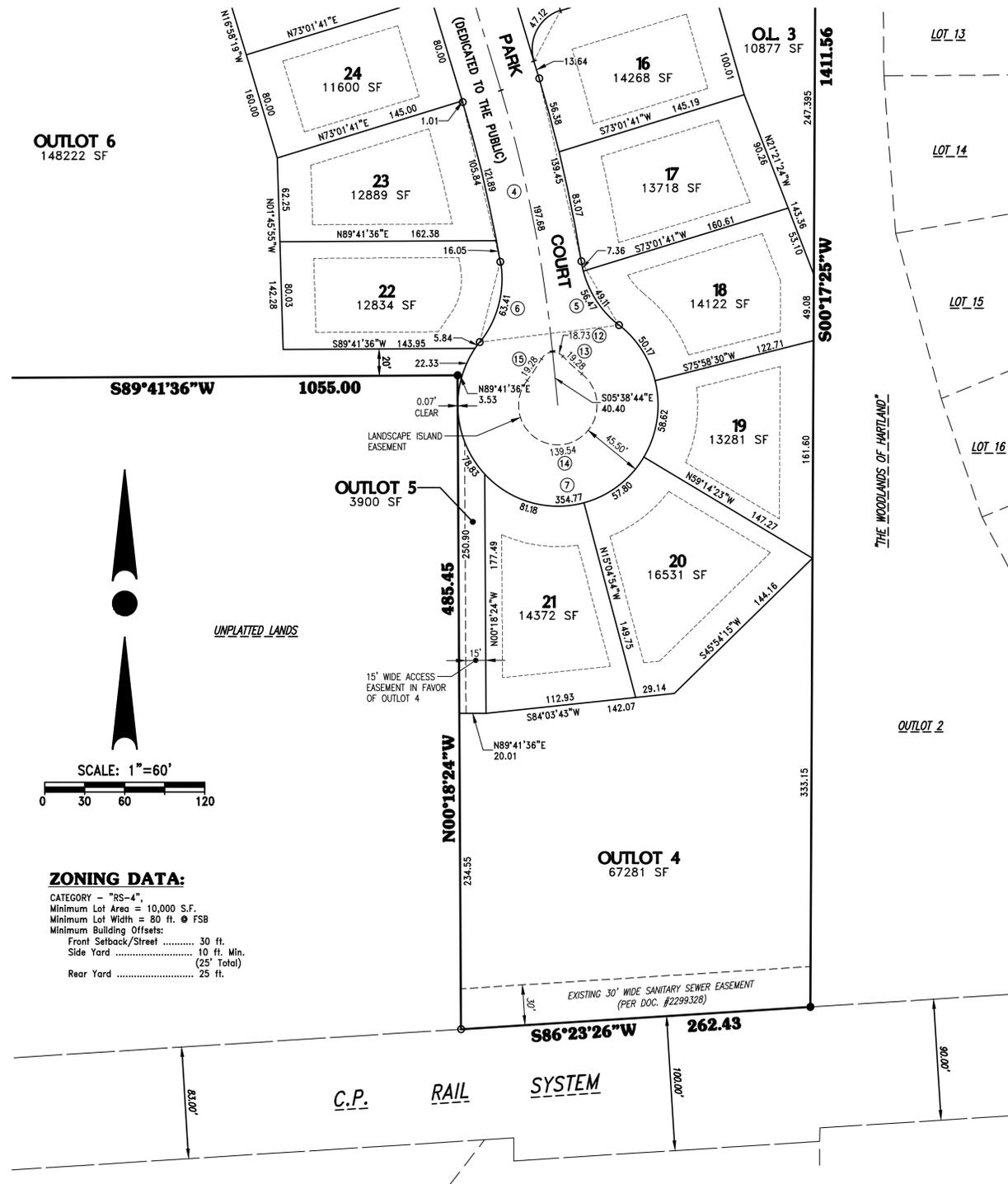


12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



SANCTUARY OF HARTLAND

ALL THAT PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWN 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



ZONING DATA:

CATEGORY - "RS-4"
Minimum Lot Area = 10,000 S.F.
Minimum Lot Width = 80 ft. ● FSB
Minimum Building Offsets:
Front Setback/Street 30 ft.
Side Yard 10 ft. Min.
(25' Total)
Rear Yard 25 ft.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT	
1	C/L	275.00	86°54'16"	417.11	378.26	N46°14'28"E	N89°41'36"E	N02°47'20"E	
	NORTHWEST	245.00	86°54'16"	371.61	337.00	N46°14'28"E	N89°41'36"E	N02°47'20"E	
	OUTLOT 1	245.00	47°20'32"	202.44	196.73	N66°01'20"E	N89°41'36"E	N42°21'04"E	
	1	245.00	28°27'34"	121.69	120.45	N28°07'17"E	N42°21'04"E	N13°53'30"E	
	2	245.00	11°06'10"	47.48	47.40	N08°20'25"E	N13°53'30"E	N02°47'20"E	
	SOUTHEAST	305.00	86°54'16"	462.61	419.53	N46°14'28"E	N89°41'36"E	N02°47'20"E	
	OUTLOT 6	305.00	51°27'05"	273.88	264.78	N63°58'03.5"E	N89°41'36"E	N38°14'31"E	
	34	305.00	13°53'15"	73.93	73.75	N31°17'53.5"E	N38°14'31"E	N24°21'16"E	
	33	305.00	13°53'16"	73.93	73.75	N17°24'38"E	N24°21'16"E	N10°28'00"E	
	32	305.00	7°40'40"	40.87	40.84	N06°37'40"E	N10°28'00"E	N02°47'20"E	
2	C/L	250.00	84°09'56"	367.24	335.10	S44°52'18"W	S86°57'16"W	S02°47'20"W	
	NORTHWEST	280.00	84°09'56"	411.31	375.31	S44°52'18"W	S86°57'16"W	S02°47'20"W	
	3	280.00	9°56'54"	48.62	48.55	S07°45'47"W	S12°44'14"W	S02°47'20"W	
	4	280.00	14°52'26"	72.69	72.48	S20°10'27"W	S27°36'40"W	S12°44'14"W	
	5	280.00	14°40'33"	71.72	71.52	S34°56'56.5"W	S42°17'13"W	S27°36'40"W	
	OUTLOT 1	280.00	4°05'36"	20.00	20.00	S44°20'01"W	S46°22'49"W	S42°17'13"W	
	6	280.00	14°50'04"	72.49	72.29	S53°47'51"W	S61°12'53"W	S46°22'49"W	
	7	280.00	14°55'14"	72.92	72.71	S68°40'30"W	S76°08'07"W	S61°12'53"W	
	8	280.00	10°49'09"	52.87	52.79	S81°32'41.5"W	S86°57'16"W	S76°08'07"W	
	SOUTHEAST	220.00	84°09'56"	323.17	294.89	S44°52'18"W	S86°57'16"W	S02°47'20"W	
	31	220.00	28°01'34"	107.61	106.54	S16°48'07"W	S30°48'54"W	S02°47'20"W	
	30	220.00	35°50'26"	137.62	135.38	S48°44'07"W	S66°39'20"W	S30°48'54"W	
	29	220.00	20°17'56"	77.94	77.54	S76°48'18"W	S86°57'16"W	S66°39'20"W	
3	C/L	250.00	76°04'25"	331.93	308.08	N55°00'31.5"W	N16°58'19"W	S86°57'16"W	
	NORTHEAST	280.00	76°04'25"	371.77	345.05	N55°00'31.5"W	N16°58'19"W	S86°57'16"W	
	9	280.00	6°58'26"	34.07	34.06	N89°33'31"W	N86°04'18"W	S86°57'16"W	
	10	280.00	14°55'14"	72.92	72.71	N78°36'41"W	N71°09'04"W	N86°04'18"W	
	11	280.00	14°55'14"	72.92	72.71	N63°41'27"W	N56°13'50"W	N71°09'04"W	
	12	280.00	14°55'14"	72.92	72.71	N48°46'13"W	N41°18'36"W	N56°13'50"W	
	13	280.00	14°55'14"	72.92	72.71	N33°50'59"W	N26°23'22"W	N41°18'36"W	
	14	280.00	9°25'03"	46.02	45.97	N21°40'50.5"W	N16°58'19"W	N26°23'22"W	
	SOUTHWEST	220.00	76°04'25"	292.10	271.11	N55°00'31.5"W	N16°58'19"W	S86°57'16"W	
	28	220.00	22°07'43"	84.97	84.44	N81°58'52.5"W	N70°55'01"W	S86°57'16"W	
	27	220.00	36°11'28"	138.96	136.67	N52°49'17"W	N34°43'33"W	N70°55'01"W	
	26	220.00	17°45'14"	68.17	67.90	N25°50'56"W	N16°58'19"W	N34°43'33"W	
4	C/L	1000.00	11°19'35"	197.68	197.36	N11°18'31.5"W	N05°38'44"W	N16°58'19"W	
	EAST	1030.00	7°45'27"	139.45	139.35	N13°05'35.5"W	N09°12'52"W	N16°58'19"W	
	16	1030.00	3°08'12"	56.38	56.38	N15°24'13"W	N13°50'07"W	N16°58'19"W	
	17	1030.00	4°37'15"	83.07	83.05	N11°31'29.5"W	N09°12'52"W	N13°50'07"W	
	WEST	970.00	7°12'00"	121.89	121.81	N13°22'19"W	N09°46'19"W	N16°58'19"W	
	23	970.00	6°15'07"	105.84	105.79	N13°50'45.5"W	N10°43'12"W	N16°58'19"W	
	22	970.00	0°56'53"	16.05	16.05	N10°14'45.5"W	N09°46'19"W	N10°43'12"W	
5	TOTAL	75.00	43°08'22"	56.47	55.14	S30°47'03"E	S09°12'52"E	S52°21'14"E	
	17	75.00	5°37'17"	7.36	7.36	S12°01'30.5"E	S09°12'52"E	S14°50'09"E	
	18	75.00	37°31'05"	49.11	48.24	S33°35'41.5"E	S14°50'09"E	S52°21'14"E	
6	TOTAL	75.00	48°26'42"	63.41	61.54	N14°27'02"E	N38°40'23"E	N09°46'19"W	
	18	75.00	38°19'44"	50.17	49.24	N33°11'22"W	N14°01'30"W	N52°21'14"W	
	19	75.00	44°47'07"	58.62	57.14	N08°22'03.5"E	N30°45'37"E	N14°01'30"W	
	20	75.00	44°09'29"	57.80	56.38	N52°50'21.5"E	N74°55'06"E	N30°45'37"E	
	21	75.00	62°00'59"	81.18	77.27	S74°04'24.5"E	S43°03'55"E	N74°55'06"E	
	OUTLOT 5	75.00	60°13'01"	78.83	75.25	S12°57'24.5"E	S17°09'06"W	S43°03'55"E	
	OUTLOT 6	75.00	17°03'39"	22.33	22.25	S25°40'55.5"W	S34°12'45"W	S17°09'06"W	
	22	75.00	4°27'38"	5.84	5.84	S36°26'34"W	S38°40'23"W	S34°12'45"W	
8	15	30.00	90°00'00"	47.12	42.43	S61°58'19"E	S16°58'19"E	N73°01'41"E	
	16	30.00	90°00'00"	47.12	42.43	S28°01'41"W	S73°01'41"W	S16°58'19"E	
	10	210.00	16°40'15"	61.10	60.89	S81°21'48.5"W	S89°41'56"W	S73°01'41"W	
	11	150.00	16°40'15"	43.64	43.49	S81°21'48.5"W	S89°41'56"W	S73°01'41"W	
	12	EASEMENT	10.00	107°18'27"	18.73	16.11	S83°09'34.5"W	N43°11'12"W	S29°30'21"W
	13	EASEMENT	120.50	9°10'02"	19.28	19.26	S47°46'13"E	S43°11'12"E	S52°21'14"E
	14	EASEMENT	29.50	27°10'37"	139.54	41.34	N83°09'34.5"E	S38°40'23"W	N52°21'14"W
	15	EASEMENT	120.50	9°10'02"	19.28	19.26	N34°05'22"E	N38°40'23"E	N29°30'21"E

GENERAL NOTES:

- - Indicates Set 1.270" outside diameter x 18" long Reinforcing Bar weighing 4.303 lbs. per lineal foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1.502 lbs. per lineal foot.
- - Indicates Found 1" Iron Pipe.
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to nearest second and computed to the nearest half-second.
- All bearings are referenced to the Grid North of the Wisconsin State Plane Coordinate System (NAD 1927 datum) - South Zone, in which the West line of the N.W. 1/4 of Section 2, T. 7 N., R. 18 E., is taken to bear North 00°18'24" West.
- The Easements for Public Access, Public Stormwater Drainage and Public Storm Sewer and Drainage are herein granted to the Village of Hartland.
- The Landscape Island Easement is herein granted to each individual Lot Owner within this Subdivision. The Owners of the residential Lots within this Subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore the landscaping within said Landscape Island Easement. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots within this Subdivision.
- The Owners of the residential Lots within this Subdivision shall each own an equal undivided fractional interest in Outlots 1, 2, 3, 4 and 6 of this Subdivision. Waukesha County shall not be liable for fees or special assessments in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Outlot 2 contains an Emergency Access Drive and a 60' Wide Road Reservation.
- Outlot 5 to be retained by the Owner/Developer (SANCTUARY OF HARTLAND, LLC) for future development.
- Stormwater Detention Facilities are located on Outlots 1, 4 and 6 of this Subdivision. The Owners of the residential Lots within this Subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore said Stormwater Detention Facilities. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots within this Subdivision.
- Access Restrictions as shown on Lot 30 and Outlots 1 and 6 indicate no access is permitted to said Lot or Outlot at that location.

BASEMENT RESTRICTION FOR GROUNDWATER NOTE:

Although all Lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some Lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

H:\CG00\933\1404-01\SURVEY\PLANS\166PLOT.DWG

SANCTUARY OF HARTLAND

ALL THAT PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWN 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped all that part of the Northwest 1/4, Northeast 1/4 and Southwest 1/4 of the Northwest 1/4 Section 2, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest corner of the said Northwest 1/4 Section; Thence South 00°18'24" East and along the West line of the said Northwest 1/4 Section and the centerline of "Maple Avenue", 454.89 feet to the place of beginning of lands hereinafter described;

Thence North 83°35'45" East and along the South line of a 48 foot addition to "D.K. Warrens Addition to Hartland" (A Subdivision Plat of Record), 1205.15 feet to a point; Thence South 00°28'11" East and along the said South line, 1.22 feet to a point; Thence North 83°35'45" East and along the said South line, 134.13 feet to a point on the West line of Unplatted Lands; Thence South 00°17'25" West and along the said West line of said Unplatted Lands and continuing along the West line of "The Woodlands of Hartland" (A Subdivision Plat of Record), 1411.56 feet to a point on the North Right-of-Way line of the "C.P. Rail System"; Thence South 86°23'26" West and along the said North Right-of-Way line, 262.43 feet to a point; Thence North 00°18'24" West and along the East line of Unplatted Lands, 485.45 feet to a point; Thence South 89°41'36" West and along the North line of said Unplatted Lands and the Westerly extension thereof, 1055.00 feet to a point on the said West line of the said Northwest 1/4 Section and the centerline of said "Maple Avenue"; Thence North 00°18'24" West and along the said West line of the said Northwest 1/4 Section and said centerline, 60.00 feet to a point; Thence North 89°41'36" East and along the South line of Unplatted Lands, 186.50 feet to a point; Thence North 00°18'24" West and along the East line of said Unplatted Lands and continuing along the East line of a 16.50 foot addition to "Stephen Warrens 3rd Addition to the Village of Hartland" (A Subdivision Plat of Record), 737.01 feet to a point; Thence South 85°26'38" West and along the North line of lands added to Lot 1 of said Subdivision, 161.95 feet to a point on the East Right-of-Way line of said "Maple Avenue"; Thence South 89°41'36" West, 25.00 feet to a point on the said West line of the said Northwest 1/4 Section and the centerline of said "Maple Avenue"; Thence North 00°18'24" West and along the said West line of the said Northwest 1/4 Section and said centerline, 15.11 feet to the point of beginning of this description.

The Gross area of said Parcel contains 1,145,633 Square Feet (or 26.3001 Acres) of land, more or less. The Net area of said Parcel after the 1/2 width Road Dedication of "Maple Avenue" contains 1,143,722 Square Feet (or 26.2562 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of SANCTUARY OF HARTLAND, LLC, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations and ordinances of the Village of Hartland in surveying, dividing and mapping the same.

Dated this 22nd Day of DECEMBER, 20 14.



Grady L. Gosser

Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas, and communications service is hereby granted by

SANCTUARY OF HARTLAND, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

WISCONSIN BELL, INC., d/b/a AT&T Wisconsin, a Wisconsin Corporation, Grantee, and

TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

SANCTUARY OF HARTLAND, LLC, a Wisconsin Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Limited Liability Company has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

APPROVING AGENCIES:

1. Village of Hartland

AGENCIES WHO MAY OBJECT:

1. State of Wisconsin, Department of Administration
2. Waukesha County, Department of Parks and Land Use

Witness the hand and seal of said Owner this _____ day of _____, 20____.

SANCTUARY OF HARTLAND, LLC

Chris Miller, Member

STATE OF WISCONSIN)
) SS
COUNTY OF)

Personally came before me this _____ day of _____, 20____, the above named Chris Miller, Member of the above named Limited Liability Company, to me known to be the person who executed the foregoing instrument, and to me known to be such Member of said Limited Liability Company, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Limited Liability Company, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE:

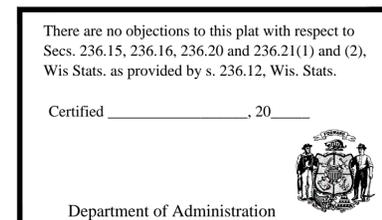
SECURANT BANK & TRUST, a corporation duly organized and existing by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Plat, and does hereby consent to the above certificate of SANCTUARY OF HARTLAND, LLC, owner, this _____ day of _____, 20____.

SECURANT BANK & TRUST

STATE OF WISCONSIN)
) SS
COUNTY OF)

Personally came before me this _____ day of _____, 20____, the above named _____, _____ of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Pamela F. Reeves, being duly elected, qualified and acting Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of this _____ Day of _____, 20____ on any of the land included in the Plat of "SANCTUARY OF HARTLAND".

Dated this _____ Day of _____, 20____.

Pamela F. Reeves, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Ryan Bailey, being duly appointed, qualified and acting Treasurer of the Village of Hartland, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ Day of _____, 20____ on any of the land included in the Plat of "SANCTUARY OF HARTLAND".

Dated this _____ Day of _____, 20____.

Ryan Bailey, Village Treasurer

VILLAGE BOARD APPROVAL:

Resolved, that the plat of "SANCTUARY OF HARTLAND", in the Village of Hartland, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Hartland, on this _____ Day of _____, 20____.

David Lamerand, Village President

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of Trustees of the Village of Hartland.

Darlene Igl, Village Clerk

HARTLAND PLAN COMMISSION:

Approved by the Planning Commission of the Village of Hartland on this _____ Day of _____, 20____.

David Lamerand, Village President

Darlene Igl, Secretary