



ADMINISTRATION
210 COTTONWOOD AVENUE
HARTLAND, WI 53029
PHONE (262) 367-2714
FAX (262) 367-2430
www.villageofhartland.com

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, MARCH 16, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of February 16, 2015
2. Architectural Board consideration of an application for the construction of a 24' x 30' detached garage at 518 E. Capitol Drive.

Applicant: Jane Schutte, 518 E. Capitol Drive, Hartland, WI 53029
Contractor: J. D. Griffiths, 8401 W. Calumet Road, Milwaukee, WI 53223

3. Architectural Board consideration of an application for placement of a mural by Marlene Millevolte, Lake Country Fine Arts at 112 W. Capitol Drive

Owner: Behrend Property, LLC., 220 E Capitol Dr., Hartland, WI 53029

4. Architectural Board and Plan Commission consideration of proposed façade modifications, CSM and plan of operation including outdoor dining for a proposed restaurant at 122 Cottonwood Ave.
 - a. Review and consideration of proposed Plan of Operation including outdoor dining and parking.
 - b. Review and consideration of Certified Survey Map to divide the properties.
 - c. Review and consideration of the proposed façade improvements.

Applicant/Owner: Cottonwood Investments, d/b/a Beer Snobs, Inc., 724 Winston Way, Hartland, WI 53029

Contractor: Michael Thomas Development, 154 Granville Rd., Cedarburg, WI 53012

5. Architectural Board and Plan Commission concept review and consideration of an application for site and building plans and Conditional Use Permit for construction of a car wash expansion/addition for the property located at 400 E. Industrial Drive.

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

6. Architectural Board and Plan Commission review and consideration of a plan for construction of a 32-bed Memory Care CBRF and related Land Use Plan Amendment, Zoning, Conditional Use and Certified Survey Map for the properties located at 430, 438 and 444 Merton Ave.
 - a. Consideration of Site and Building Plans and CSM
 - b. Consideration of proposed Conditional Use Permit
 - c. Motion to set a Public Hearing to consider the proposed Conditional Use Permit for April 20, 2015

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027
Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

7. Items related to proposed development of the Four Winds West Subdivision:
 - a. Consideration of a preliminary plat for Four Winds West
 - b. Consideration of a request to rezone the property to RS-1 Single-Family Residential.

Applicant: Jim Sileno, SCI Real Estate, 5429 N 118th Court, Milwaukee, WI 53225
Property Owner: Clark/Joy Vilter, N56W30020 Highway K, Hartland, WI 53029

8. Plan Commission review and consideration of an extraterritorial Certified Survey Map for properties owned by Force Properties, LLC located in the Town of Delafield at W293 N3080 Poplar Dr.
9. Discussion of conceptual TIF #4 adjustments and potential creation of TIF #6 including review of projected time line.
10. Adjourn

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: March 13, 2015
SUBJECT: Agenda Information – March 16, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 3 Related to a mural at Lake Country Fine Arts

Background: The owner of LC Fine Arts currently has a mural on the building at this location. The proposed mural, which is partially underwritten by the Hartland Business Improvement District, is intended to highlight the Village's ice age history and its connection to the Ice Age Trail. The Hartland BID is leading an effort supported by the Village to get the Village named as a Trail Community by the Ice Age Trail Alliance. If named, Hartland would likely be the second such community in the State. The designation will improve the partnership between the Village and the Alliance and lead to cross marketing of events and activities. The Hartland BID has reviewed and approved the current design with the condition that the proper Trail Community logo be placed adjacent to the mural.

Recommendation: Approve the proposed mural.

Item 4 Related to the proposed improvements and outdoor dining at Beer Snobs.

Background: The owner of the property and the proposed purchaser of 122 Cottonwood (SE corner of Cottonwood and Haight have proposed a CSM to divide the property, which is currently in condominium ownership with the building to the south, and exterior improvements related to developing a restaurant at this location. The application includes a discussion of parking in the area as well as a proposal for a significant outdoor dining area. The Plan Commission is encouraged to pay particular attention to the parking and outdoor dining. According to the Village Code, the official parking need for this use appears to be 12 spaces consisting of 8 for patrons and 4 for employees. Of this amount, 7 spaces are available in the off-street parking spaces east of the building. The balance would be on-street or public off-street parking, the availability of which is described in the packet. However, it should be noted that the area north of the building, which consists of the sidewalk and parking area, are part of the property and not public right of way. There are an additional three to five parking spaces in that area as well. As you will note from the application packet, considerable public parking is available in the area, which is not heavily used during the restaurant's anticipated hours. An additional consideration is the use of a portion of the privately held area adjacent to Haight Street that is currently used for parallel parking. The restaurant owners are proposing to install a raised concrete patio in the area currently occupied by the two western most parking spaces for outdoor dining. Based on the desire to encourage a lively downtown atmosphere and, as part of that, outdoor dining, staff does not object to the patio concept, but would encourage some conditions on allowing it. Staff would allow the property to remain private rather than request a right of way dedication. Additionally, staff would suggest that an easement to the Village for the benefit of the public be required to allow public access to a six foot wide side walk adjacent to the

building, which the restaurant could not block and would be required to keep clear during the winter. Further, staff would suggest that when the area concrete is reconstructed, that the patio area be a distinctive color separate from the sidewalk and the curb area so that the area of the outdoor dining and the side walk is clearly defined. Further, we suggest that some sort of appropriate fencing, railing or other protection be placed around, at minimum, the street side of the outdoor dining area.

Recommendation: Recommend approval of the CSM as presented, approval of the operations plan including patio and outdoor dining with conditions as noted, approval of a waiver to the parking requirements for the two spaces they are deficient and approval of the exterior appearance.

Item 5 Related to a revised concept plan for a carwash expansion at Hartland Service.

Background: Based on the Plan Commission's comments from the February meeting, the owner has returned a new concept plan that does not include a second building for a retail use. The new concept proposal includes an expansion of the carwash similar to the original proposal except that the wash bays are oriented east/west instead of north/south. Generally, staff finds the concept acceptable but would be concerned with a number of details including, specifically, the exit of the wash on the east side and how headlight and noise impacts will be reduced for properties on Cottonwood. Additionally, traffic flow will be of concern especially as it relates to the existing entrance off of Cottonwood and traffic congestion on the south side of the existing building where the emissions testing occurs. As part of this review and approval process, staff will still recommend the issuance of a Conditional Use Permit for the carwash as required by the Zoning Code.

Recommendation: Recommend acceptance of the concept plan with comments related to the items indicated above.

Item 6 Related to the Merton Ave Memory Care CBRF.

Background: The Plan Commission gave concept review to this proposed 32 unit memory care community based residential facility (CBRF) for the southeast corner of Merton Avenue and Sunny Slope Drive and gave favorable consideration. The Commission is asked to give initial review to the increased details for the proposal including the amendment to the Land Use Plan, the Zoning change, the CSM, site plans and Conditional Use permit. Currently, the Land Use Plan for the Village identifies the properties as part of the Retail Sales and Services – Community Shopping Center sector associated with Hartbrook Drive. The requested change is to designate the properties to High Density/Senior Housing. The proposed zoning would be RM-1 Multiple Family Residential District in which a licensed CBRF serving 16 or more persons is a Conditional Use. Upon initial review, the Commission is asked to set the public hearing date for review of the Conditional Use for Monday, April 20 as part of that Commission meeting. Based on initial review of the plans to date, staff will recommend that any outside mechanical units be placed away from residential properties and properly screened. Additionally, we suggest a review of operational activities to ensure that parking and deliveries are accommodated, that refuse storage is properly located and screened from adjacent properties and that snow removal

and similar issues are addressed. It should be noted that staff was contacted by the owners of the commercial area to the south with a concern about the potential location of the refuse enclosure adjacent to his north property line at his entrance.

Recommendation: Review the proposal to date and set the public hearing for April 20.

Item 7 Related to Four Winds West.

Background: The Commission is giving second review to the proposed Four Winds West subdivision and Preliminary Plat. The project includes development of 48 single-family lots on approximately 52 acres (after netting out the CTH E Right of Way to be dedicated). The average size of lots on the proposed Preliminary Plat is 27,457 sq. ft. with a range of 22,082 sq. ft. to 50,314 sq. ft. The parcel was annexed from the Town of Merton and the Land Use Designation has been changed to Low Density Cluster Development. At issue for the Plan Commission at this meeting is Review of the Preliminary Plat and preliminary engineering and review of the proposed zoning designation as RS-1 Single-Family zoning, which is consistent with the proposed development and is the same zoning designation as the original Four Winds subdivision.

Recommendation: Review the Preliminary Plat and recommend conditional approval for both the Plat and the zoning.

Item 8 Related to and Extraterritorial CSM.

Background: The owners of a site in the Town of Delafield are requesting approval of a Certified Survey Map being used to combine three properties into one parcel. It is noted that the existing Town road seems to encroach onto the property and that the driveway for the property seems to be encroaching on the neighbor's land. This latter situation was likely created when the Town vacated a platted but undeveloped road in which the driveway was located. Both of these are matters for the Town but are worth noting.

Recommendation: Review and approve the requested CSM.

DC:PC Agenda Info 3-16

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, FEBRUARY 16, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist and Dave Lamerand.
Excused: Randy Swenson and Jack Wenstrom. One open position.

Others Present: Building Inspector/Zoning Administrator Hussinger, Administrator Cox
and Deputy Clerk Meyer.

Roll Call

1. Motion (deCourcy-Bower/Hallquist) to approve the Jt. Architectural Board/Plan Commission Minutes of January 19, 2015. Carried (4-0).
2. Architectural Board consideration of an application for a sign permit for Heraeus Electro-Nite, 541 S. Industrial Dr.

Contractor: Badger Lighting & Signs, Box 510-451, New Berlin, WI 53151

The applicant described the two illuminated signs—one for the east side of the building and one for the west side of the building. The signs are halo-lit letters. The Plan Commission stated that the lighting must be turned off by 10:00 PM.

Motion (Hallquist/deCourcy-Bower) to approve the signs for Heraeus Electro-Nite, 541 S. Industrial Dr, contingent upon the lighting being turned off by 10:00 PM. Carried (4-0).

3. Architectural Board consideration of proposed awnings and signs for Carl Zeutzius, State Farm Insurance Agency, 135 Cottonwood Ave.

Contractor: Signarama, 601 Ryan St., St. B, Pewaukee, WI 53072

Mr. Zeutzius described the signs that will contain the updated State Farm logo. The signs are made of high-density urethane. Mr. Zeutzius is not certain if he will use a spotlight shining down on the main sign. The application is for four wall signs and two awnings -- they are identical in size to the previous ones. The BID Board has approved the signs. The signs will probably be installed in June.

Motion (Hallquist/deCourcy-Bower) to approve the proposed awnings and signs for Carl Zeutzius, State Farm Insurance Agency, 135 Cottonwood Ave. Carried (4-0).

Dave Lamerand added that if it is decided to use the spotlight on the sign, it should be turned off at 10:00 PM.

4. Items related to proposed development of the Four Winds West Subdivision:

- a. Consideration of a Petition to annex property from the Town of Merton owned by Clark and Joy Vilter (53 acres)

Motion (Hallquist/deCourcy-Bower) to recommend to the Village Board approval of a Petition to annex property from the Town of Merton owned by Clark and Joy Vilter (53 acres). Carried (4-0).

- b. Consideration of a Land Use Plan Amendment to designate the newly annexed land as Low Density Cluster Development and consideration of a recommendation to the Village Board.

Motion (deCourcy-Bower/Hallquist) to recommend to the Village Board approval of a Land Use Plan Amendment to designate the newly annexed land as Low Density Cluster Development. Carried (4-0).

- c. Consideration of a preliminary plat for Four Winds West

There are a few changes to the concept plan. The names of the roads have changed, but they are likely to change again.

A 60-foot reservation for right-of-way was added between lots 2 and 3. The applicant is still working on an emergency entrance between lots 38 and 37. It will either go out to Highway E, or now that Mr. Sileno has seen Arrowhead's plan for their field expansion, he prefers to have that hook up to a potential service road. Arrowhead will be going to the Town of Merton Plan Commission for conceptual approval of their Phase I on March 4.

A group of Beaver Lake residents was present and several of them had questions. (Staff and Board answers to the public's questions are in parenthesis after their questions.)

Eric Haertle, W303N5888 Montclair Road:

Is the density different than the other development? (No, it is the same as Four Winds and Mary Hill)

Mr. Haertle asked if the DNR is involved. (No, it is not required for them to be involved). But, you have 48 home sites within 1/8th of a mile of Beaver Lake. This is going to significantly reduce the value of my property, with five neighbors abutting my driveway. Once the developer breaks ground and there is an issue with Beaver Lake, there is no turning back. For example, tapping into the aquifers. (There will not be tapping into the aquifers. This will be serviced from the existing Village of Hartland wells. Sanitary sewer is preferred by the DNR instead of septic systems. Pumping tests on the wells have been done. What is planned here is not going to change the aquifer.)

Mr. Haertle asked about the subdivision having berms on the south side of the development but not on the north and west side where it abuts Beaver Lake residents' properties. Is there any kind of separation that we can get?

Jim Liebert, a life-long area resident stated that his business has been in downtown Hartland for over 40 years. Behind his Beaver Lake house there is a gully and he has stood in waist-deep water from runoff from the farm. That water then goes into Beaver Lake. He distributed pictures of the area he was talking about. He is concerned that more hard surface from the subdivision will increase the problem without proper berming and planting. The west side of this subdivision could have substantial problems with storm water runoff. (Village of Hartland storm water provisions are that, as a minimum, no more water than is there today can be added. The Village looks to try and improve that. According to the State mandates, we will be putting in storm sewers to run the water away from that area. The other subdivisions in Hartland where there were runoff problems have been improved after the development.)

Mr. Liebert wondered if a representative from the Beaver Lake Association could be included in some of the planning to verify and contribute conversation to know that the developer is taking prohibitive direction to eliminate this storm water runoff. (It is not possible to eliminate the runoff. As the developer's engineer works through developing the storm water plan, and that goes through review on our end, we can share that. We haven't seen the engineering plans for the storm water system at this point. When we do, we'll critique and review them. The studies they do to determine how the water needs to be contained before it leaves the site can certainly be shared with you.)

Mr. Liebert asked if it is a possibility that there will be berms or a large holding pond on the southwest corner of the development. (We don't know that it will be there necessarily. There are at least two on the site already on the preliminary plan.)

Mr. Liebert pointed out that they are way on the east side. (That's true. The developer doesn't show it as a pond right now, but they are still in their planning process. They may need to have one there if they can't figure out a way to move the water where they want it.)

Paul Rabb, President of the Friends of Beaver Lake: He lives in the Town of Merton on Beaver Lake Road. There is not a development of this size anywhere near Beaver Lake. There are many new homes and wells in the area. Do we really know that the drawdown will not impact our wells? Has there been a study? (The drawdown testing that was done before the drilling of the well that's in Four Winds Subdivision was done at a rate of 2,000 gallons per minute for two solid days. The level of the aquifer didn't drop more than a foot. The Village pumps from that well about 60% of that number -- about 1200 gallons per minute -- for 4 – 8 hours a day, depending upon water needs in the system.

We calculate this subdivision would change this number by less than 8 minutes, which is pretty insignificant. There are a number of other wells in the Village – this is not the only well in the system, but it has the largest capacity. The line on the preliminary plat shows where the County's influence stops as it relates to shoreland zoning. However, the Village's rules are stricter than the County's. We have an obligation to enforce their rules if they are stricter than ours, which they are not.)

Jim Selino stated that the 40 acres south of the subdivision owned by Arrowhead will be turned into turf fields. Their studies show that they don't even need to put in storm water retention because the fields act as an aquifer replenisher because of the soil. All the water on the fields will filter into the aquifer and be cleaned.

When the plans are ready the Village will contact Mr. Rabb and Mr. Liebert to review them.

Kathy Liebert, a Beaver Lake resident, asked if there will be a landscape plan. (There will be to the extent that it will deal with public roads and the outlots, not the individual lots.)

One resident was concerned that the map was outdated – especially with regard to Montclair Road. (The map was taken from the Waukesha County GIS).

There was a question of the road reservation going north. The Village is requiring it for long-term planning. The use of that road reservation would depend upon what is done with the property to the north in the future.

Eric Haertle asked how long ago was the study on the well? (2009) He feels that this development doesn't fit the area.

Mr. Rabb felt that a reconfiguring of the properties, adding a buffer zone and green space on the west side would be best for the neighbors of Beaver Lake.

The average size lot is 27,000 s.f. – the same lot size as Mary Hill Subdivision, River Reserve and Bristlecone Pines. It is less dense than The Traditions and The Sanctuary. It is similar to the new Windrush Subdivision that was approved last year. The lots range from 22,000 s.f. on the small end to 50,000 s.f. on the large end. The density would be 32,000 per home site with the outlots.

The deed restrictions will be identical to the other Four Winds Subdivision.

Rick Eastman, W305N6186 Beaver View Road: Given the density of this project, wouldn't it be prudent to update the draw study that is 6 years old? Also, the sewer system, once treated, does it go into the aquifer? (No, it does not. Sewage will be treated at the Del-Hart Sewage Treatment Plant which is located in the City of Delafield. We will probably update the draw study.)

Mr. Eastman was concerned about the additional traffic on HWY E, especially around Swallow School. (Hwy E's road capacity has room for expansion.)

Melissa Thompson, Superintendent at Swallow School, stated that she is concerned about the cars coming southbound on HWY E that will add an extra 100 cars per day, especially during the times that cars are dropping off and picking up students. She hopes there would be a strong look at the safety issues. At times there are five to ten cars backed up waiting to turn left into the school. Oftentimes cars go on the shoulder or ditch to pass these cars. She has emailed Police Chief Rosch about her concerns. Anyway she can be of help; she would love to be involved.

The Beaver Lake residents continued to ask for berming or buffering between them and the subdivision.

Mr. Sileno did not think it would be necessary. Berming is not always the best thing to do. He felt the owners of the lots would most likely plant trees and bushes as a buffer anyway.

David Cox stated that the Village could look at some options that might make sense on that northwest side.

Present Lamerand stated that tonight's comments have been noted and will be taken into consideration with the development.

Carried over to the next Plan Commission meeting on March 16, with additional engineering to be completed.

- d. Consideration of a request to rezone the property to RS-1 Single-Family Residential.

Applicant: Jim Sileno, SCI Real Estate, 5429 N 118th Court, Milwaukee, WI 53225

Property Owner: Clark/Joy Vilter, N56W30020 Highway K, Hartland, WI 53029

This is the same zoning as similar subdivisions. It will be carried over to the next Plan Commission meeting on March 16.

5. Plan Commission review and consideration of an application for review of site and building plans for construction of a 11,500 sq. ft. car wash/detailing building and a 2,300 sq. ft. retail building and related Certified Survey Map, Planned Unit Development and Conditional Use Permits for the property located at 400 E. Industrial Drive.

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

a. Consideration of Site and Building Plans, Planned Unit Development and CSM.

John Kutz and Peter Anderson from MSI and Owners Mike, Debbie and Jeff Kusch were present.

The applicant will combine four lots into a single lot, which will have a Planned Unit Development concept with three primary structures on the site. The two new facilities would have Conditional Use Permits that would be dealt with in this process. The status of the restaurant building would proceed speculatively. The owners are working on a tenant, but it would be developed at the same time as the rest of the project. A couple of tenants are interested at this time. A planned drive-thru would need to go through the Conditional Use process, but the specifics would be held at a later date. Everything else could be discussed and dealt with through the PUD process.

The plan is to have the architecture tie together on the site.

The existing car wash area will probably be used to expand the auto repair business. There is a double car wash and a detailing business in the new building. Currently it takes 4 minutes per car to go through the car wash. The west car wash will be an 85 foot conveyor that has the ability to wash 90 cars per hour. There will be two lanes feeding this car wash and it will be staffed by an employee. It will have seven blowers (as opposed to three now), with extended nozzles that will change position with the height of the car. After that there are two 10 foot tall chamois on the sides and one big one at the top. As you exit, there will be four free vac stations, which will be on all the time during the daytime hours. The electric motor will be inside the storage bay, so you won't hear the motor run.

The touchless bay would be the east bay, and that will be open 24/7. Because it is also an 85 foot bay, it will increase the car count from 16 – 18 per hour to 20 - 22 per hour. The current bay is 50 feet long and the next car has to wait until the first car is completely done before entering. With an 85 foot bay, the next car can start while the first car is going through the driers. The site will have the capability of washing a total of 1,000 cars per day.

The car washes will be much quieter than the current car wash. The blowers are farther inside the building and are facing the berm in front of the railroad tracks. The detail center will also buffer the sound to Cottonwood Avenue.

The Plan Commission was concerned about how the storm water is being addressed on this site. There is quite a bit of undeveloped property that will have a lot of pavement.

Part of the review will be on March 23 and the storm water plan will be presented at that meeting. Some preliminary calculations have been gone over with the Village. The applicant will be addressing all of the Village's requirements. The technical storm water plan will be coming next week.

Currently the green space ratio on the site it is at 47%. After all site improvements, it will be 11%. There will be a landscape plan as well.

David deCourcy-Bower wants to make sure that there is sufficient buffer for the current residents across the street on Cottonwood Avenue. He has concerns with the restaurant and the drive through and how the space is managed. He also asked if the Village wanted to upgrade the railroad crossing, is this site plan compatible with that the needed space for that project. Mr. Amtmann stated that they will be starting work on the quiet zone crossing and median treatments this summer.

Another concern was security adjacent to the tracks to the north of the property. Something would be needed to deter someone from cutting through and crossing the tracks. Mr. Kutz stated that there is quite a bit of scrub brush along the railroad tracks, but they will be buffering the north property line with landscaping, as well.

There is quite a bit of disjointed parking in this project. It doesn't flow and it looks like a lot of pedestrian/vehicle conflict.

Mr. Kutz stated that there is a space for the restaurant and the detailing facility. There are no curbs that might interfere with storm water runoff or plowing of the lot. Currently there is no landscaping within the parking lot. All green space is around the perimeter and in front of the restaurant. The applicant is willing to work through any requested changes for parking.

Chairman Lamerand stated that there are too few parking spaces for the restaurant. Adding the retail to this site makes it extremely difficult. It doesn't have adequate parking and it doesn't have a good traffic flow. Mr. Kutz added that 90% of the customers would be drive-thru. There would only be two or three tables where people would stay and eat.

There was concern regarding the traffic flow from the car wash bays through the restaurant traffic and parking area. Mr. Kutz stated that the intent is to have signage to clearly identify where to drive when coming in.

Mr. Kutz said that this development, for the owner, is contingent upon having the retail space. The retail space is 2300 s.f.; a typical size for a smaller stand alone restaurant geared more towards a drive-thru, with only two or three tables inside.

There was concern with the residential properties across the street. We're introducing a lot of traffic through this property in an area of the Village where a drive-thru is not necessarily in line with the Village Center. The overall driving pattern needs to be simplified.

The applicant needs to look at the traffic flow, the amount of parking spaces that are going to be needed, and if there is going to be some sort of retail building.

Staff was looking at combining the three parcels so that we can put together a plan that works, rather than dealing with three different parcels. The two that were Hartland Service before and the two that are now going to be added. They are B-2 zoning.

The driveway to the old Wilde house was abandoned in order to advance the driveway further from the railroad tracks.

Chairman Lamerand stated his concern about the green space, which should be 60-40%. The Plan Commission could grant a variance, but 11% is pretty extreme. We'd have to look into if that has been done anywhere else in the Village and how that has been impacted.

Another concern is the traffic flow, the amount of parking spaces and is that the best place for that type of retail operation. What affects would it have across the street?

Mr. Lamerand stated that it's too much for the site and he doesn't see the Plan Commission accepting this proposal. If the retail building was not there, the site would be workable.

Mr. Kutz mentioned that in the industrial park there are lots with 10 – 15% green space. Precedence has been set for that. The preliminary plan leaves a larger buffer along Cottonwood Avenue than the Village requires.

Mike Kusch stated that he can respect that the Commission doesn't like the retail proposal. He can go back to the drawing board and come up with a Plan B.

Dave Lamerand said that this site is not conducive to retail.

Mr. Kusch added that if we eliminated the retail space, we could add a bay in the detailing facility and obtain added revenue that way. We could clean up the traffic flow and then have another discussion. He wants to do what is right for the area. There is a lot going on in the auto repair business and he could just expand some of his services.

Chairman Lamerand agreed and suggested he could create some office rentals.

Motion (de-Courcy-Bower/Hallquist) to recommend to the Village Board approval of the Certified Survey Map for the property located at 400 E. Industrial Drive. Carried (4-0)

b. Consideration of proposed Conditional Use Permits

Tabled

c. Motion to set a Public Hearing to consider the proposed Conditional Use Permit(s) for March 16, 2015

Tabled. No Public Hearing set.

6. Plan Commission review and consideration of a proposed concept plan for construction of a 32-bed Memory Care CBRF and related Land Use Plan Amendment, Zoning, Conditional Use and Certified Survey Map the properties located at 430, 438 and 444 Merton Ave.

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027

Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

There are three parcels involved. The applicant would remove the three houses that are currently there and combine into one parcel.

The building would be a single story structure with a 32-bed Memory Care CBRF. The occupants do not drive. It is not proposed to be a tax exempt parcel. There will be a fenced in patio in the back and a porch on the front. All the doors are secured. There will be a caregiver present when residents are outside. There are two courtyards in the center of the building. The outside fencing will be a 5 foot high black wrought iron fence. There will be no visible mechanicals. The roof is pitched and the building is sprinkled. Traffic will be minimal. The entrance will be off Merton Avenue. There is sidewalk on both sides of Merton Avenue. The dumpster can be made of block with arbor vitas for screening or it can be fenced.

The Plan Commission thought this concept fit nicely into the area.

The applicant will return to the March 16 Plan Commission Meeting with additional details.

The Village will look at a potential crosswalk at Merton Avenue and Sunnyslope Drive.

7. Plan Commission review and consideration of a final plat for Sanctuary of Hartland

The final plat is consistent with the preliminary plat. One item we are getting clarification on is where the dividing line is between outlot 6 and outlot 5.

Steve Eberle of 204 Maple Avenue asked about the huge hole being dug behind his property. He did receive a letter regarding the excavation, but it seems different than what was described in the letter.

Ryan Amtmann addressed the question. When they are digging utility trenches within the road right-of-way for sewer and water, they got down to a level where there are rocks which aren't suitable to be put back. They are going to backfill the trenches with more suitable soil from another area of the Sanctuary.

Mike Ziembra, 128 Maple Avenue, asked the Commission if they have seen the hole behind his house, which is 30 – 40 feet deep and a straight wall down. He passed around his iPad to show pictures. He has a 6 year old son in his house and the construction fencing around the hole isn't safe. There seems to be only one worker who works the giant bulldozer, the backhoe and the truck. He fills the dump truck, leaves with the truck and comes back with an empty truck and starts over again. Mr. Ziembra is worried that children or dogs will fall into the hole. The fence is not safe.

Ryan Amtmann will check on the OSHA standards and make sure the fence complies.

Mr. Ziembra wondered about what the taking out of the large rocks from underground will do for the drainage on the land?

Mr. Amtmann replied the drainage is designed to go into the storm sewer system under the road. The lots are going to drain into that system and the storm pipes discharge into a series of two ponds. The net water leaving the site will be less than what is going on now.

Mr. Eberle asked if they are going to take out the trees behind his lot. They have destroyed a few with their trucks already. In previous discussions, the trees were going to stay, but some have been cut down or are marked to be cut down. Chris Miller had stated that he would save as many trees as possible.

Ryan Amtmann will check to make sure the trees that were part of the landscape plan are being protected. It is not acceptable if they are cutting trees that are not supposed to be cut. The developer will have to replace trees that were damaged or cut down.

Mr. Ziembra also was concerned about the standing water in the pond. It is frozen now, but it looks fairly deep. He is worried about kids walking into the pond and not being able to walk out.

Mr. Eberle is not pleased with the fact that the trees that have been removed for the road into the Sanctuary have exposed the factory, which was never visible from his yard before. He is thinking about the other end of the development -- the planned pathway out to Maple Avenue and losing additional trees.

Mike Ziembra showed pictures of the area between his property and Joanie Decker-Nold's. If there was a path in that area, they would have no place to shovel their snow.

He already has seepage issues in his basement because all the water goes in this 10 foot area and down the walls.

Scott Hussinger stated that the path was proposed as a more direct path to Hartland North and the Village Center.

David DeCourcy-Bower mentioned that from experience, kids will just cut through yards, even with the path. However, the intent is to have a structured area to go through.

Dave Cox stated that the future of that path is still undetermined. The Village Board needs to make a decision on that path. We held it open until the middle or end of March because of these conversations.

Ryan Amtmann will get in touch with Steve Eberle after he finds out how far into his tree line the developer will be digging.

Motion (Hallquist/deCourcy-Bower) to recommend to the Village Board approval of a final plat for Sanctuary of Hartland. Carried (4-0).

8. Adjourn

Motion (Hallquist/deCourcy-Bower) to adjourn. Carried (4-0). Meeting adjourned at 9:15 PM.

Respectfully submitted by

Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>518 E. CAPITOL DR. HARTLAND, WI 53029</u>			
Lot <u>6</u>	Block <u>1 DK</u>	Subdivision	Key No. HAV <u>0427980</u>
Owner <u>JANE M. SCHUTTE</u>			Phone <u>262-844-8217</u>
Address <u>518 E. CAPITOL DR</u>		City <u>HARTLAND</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>JD GRIFFITHS</u>	Phone	FAX	E-Mail Address
Address		City	State Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 02/23/15 Date of Meeting: 03/14/15 Item No. 2



Department of Building Inspection

PERMIT # _____

APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION HARTLAND, WI
 LOT 6 BLOCK 1 SUBD DK. WARREN'S ADDITION TAX KEY HAV 0427 980
 OWNER JANE SCHUTTE PHONE 262-844-8217 FAX _____
 ADDRESS 518 E. CAPITOL DRIVE CITY, STATE, ZIP HARTLAND, WI 53029
 CONTRACTOR J.D. GRIFFITHS PHONE _____ FAX _____
 ADDRESS 8401 W. CALUMET ROAD CITY, STATE, ZIP MILWAUKEE, WI 53224

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: 24' x 30' DETACHED GARAGE

Current principal use of property RESIDENCE
 Proposed principal use of property RESIDENCE WITH GARAGE
 Width 24' Length 30' Sq. Ft. 720 Height 14' 6" Cu. Ft. _____
 Estimated cost of above job(s) \$ 20,000.00 \$ _____ \$ _____
 State Approval _____ Date _____
 Class of Construction _____ Sprinkler _____ Stories _____

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Jane M. Schutt Date 02/23/15

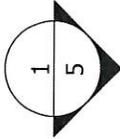
CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

1. See plans for possible conditions/recommendations
2. _____
- _____
- _____
- _____
- _____

_____ TOTAL FEES
 _____ Date Paid
 _____ Receipt

Meeting dates plans were approved for building permit:
 Plan Commission _____ Village Board _____ Arch Board _____

APPLICATION APPROVED ON: _____ DATE BY: _____ BUILDING INSPECTOR



360" [30'-0"] OVERALL GARAGE

300" [25'-0"]

12"

24"

36"

12"

12"

12"

48"

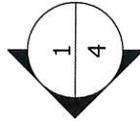
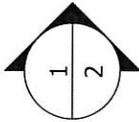
216" [18'-0"] C.H.I. #2283 GARAGE DOOR

24"

12"

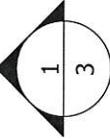
312" [26'-0"] OVERALL GARAGE ROOF

384" [32'-0"] OVERALL GARAGE ROOF



1 PLAN VIEW:

SCALE: N.T.S.



NOTE: SEE SECTION 1 ON PAGE 6 FOR TYPICAL DETAILS

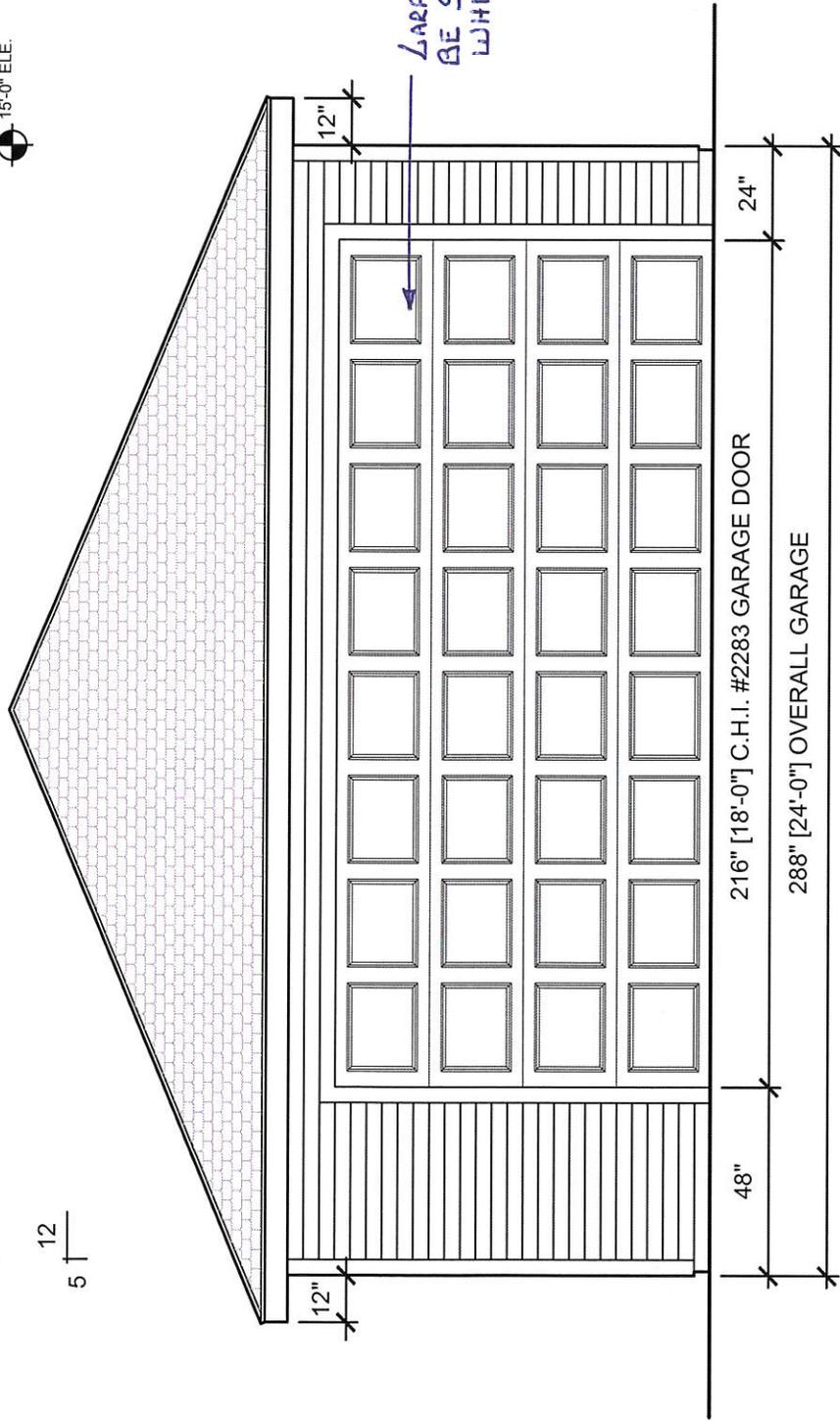
DATE: 10.31.2014	REVISED: 11.03.2014
PAGE: 1 OF 6	

JANE SCHUTTE RESIDENCE



15'-0" ELE.

12
5



ELEVATION:

Scale: 1/4" = 12"

1

DATE: 10.31.2014
REVISED: 11.03.2014

PAGE: 2 OF 6

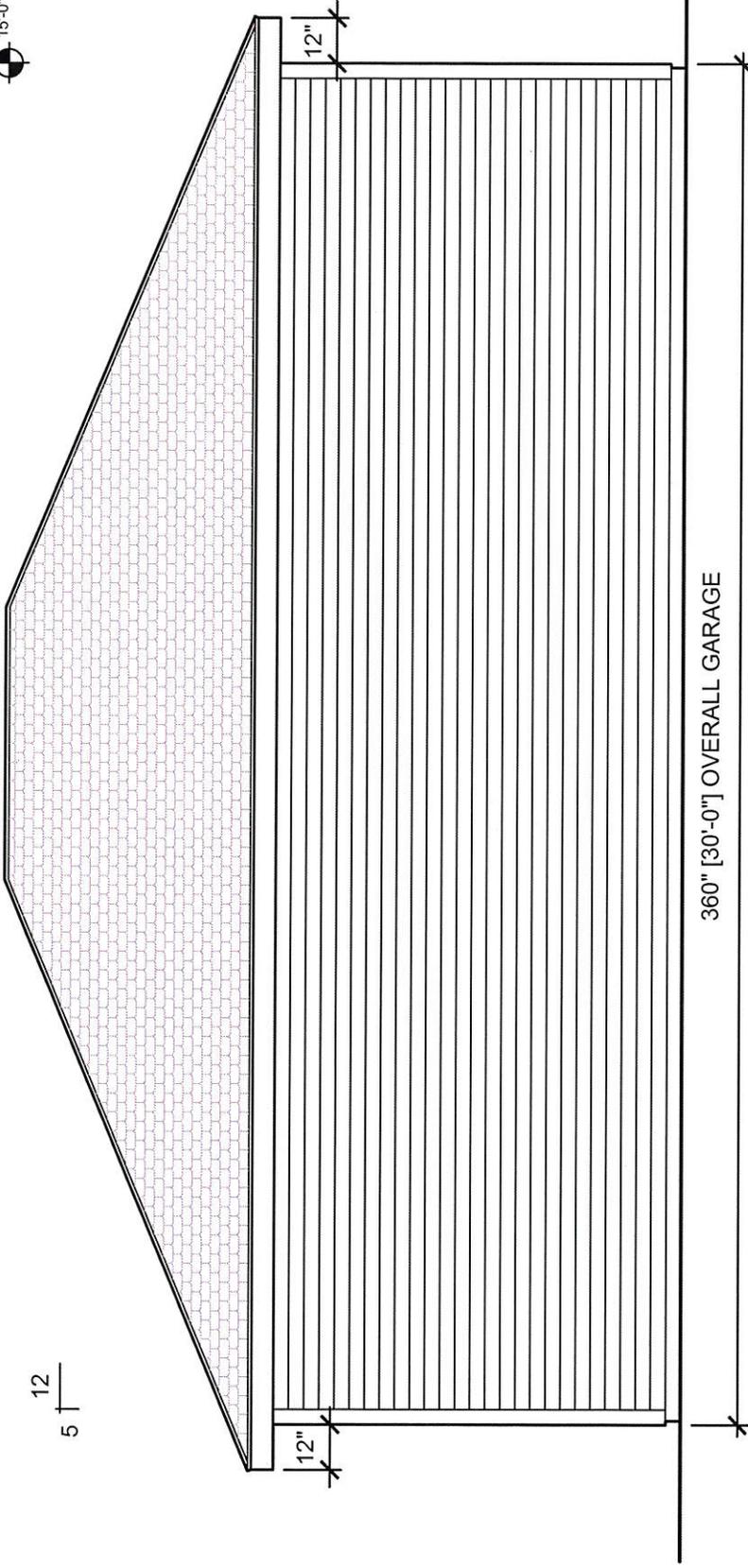
JANE SCHUTTE RESIDENCE



GARAGES MADE BENEDE

15'-0" ELE.

12
5



360" [30'-0"] OVERALL GARAGE

ELEVATION:

Scale: 1/4"=12"

1

JANE SCHUTTE RESIDENCE

DATE: 10.31.2014

REVISED: 11.03.2014

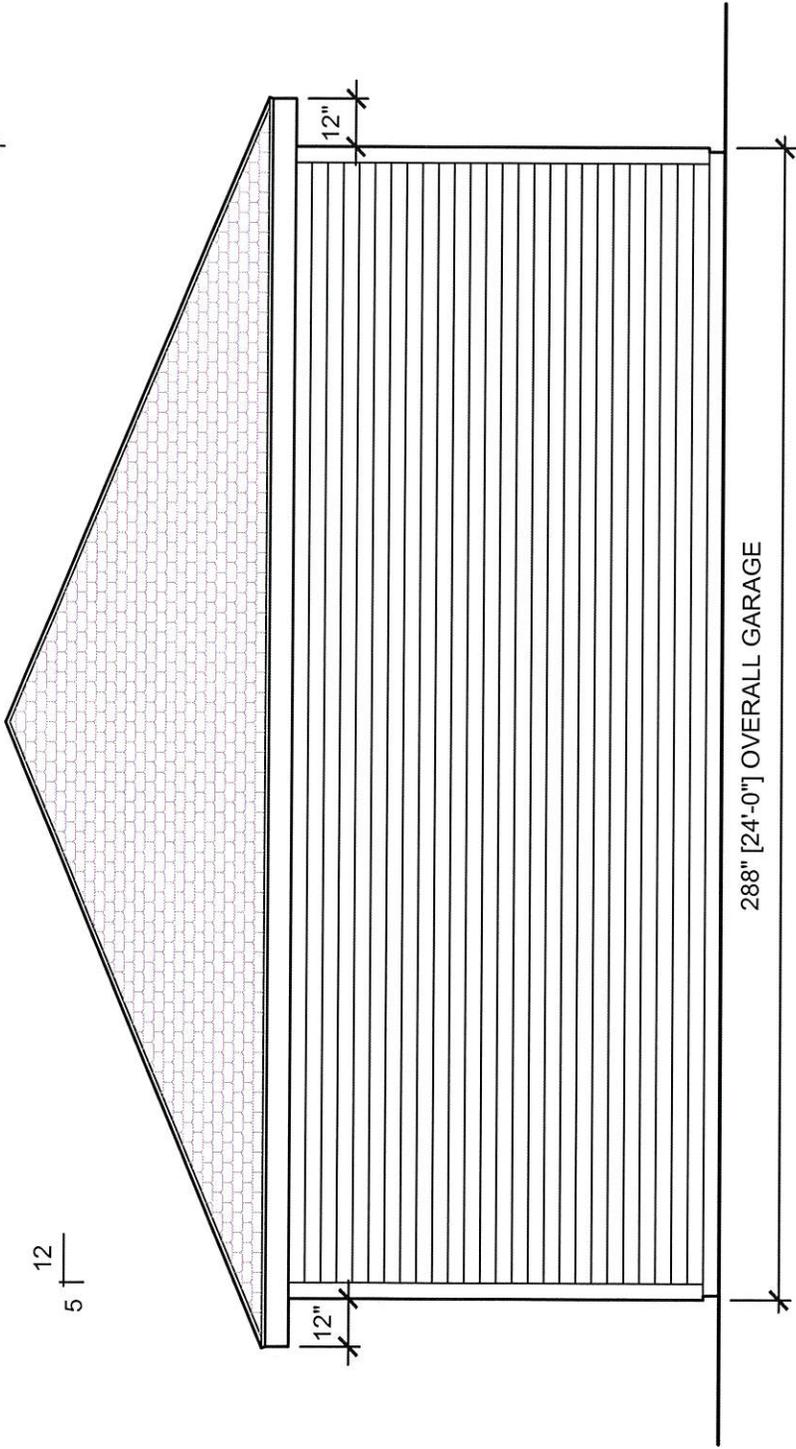
PAGE: 3 OF 6



J.D. Griffin

GARAGES PORCHES DECKS

15'-0" ELE.



ELEVATION:

Scale: 1/4"=12"

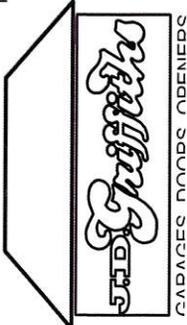
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JANE SCHUTTE RESIDENCE

DATE: 10.31.2014

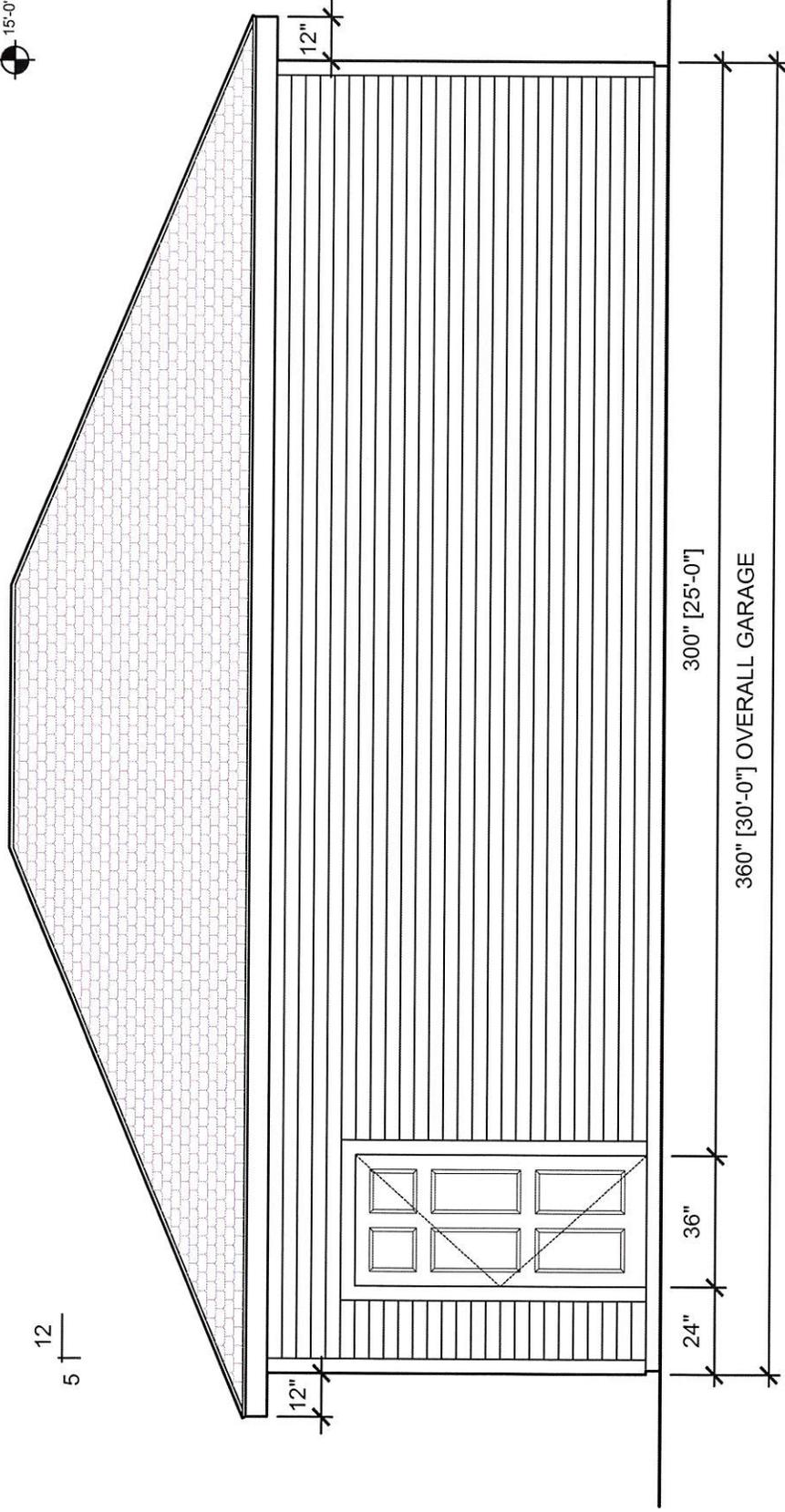
REVISED: 11.03.2014

PAGE: 4 OF 6





12
5



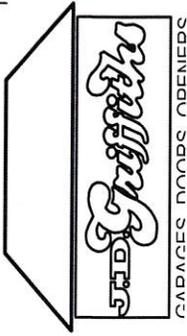
ELEVATION:

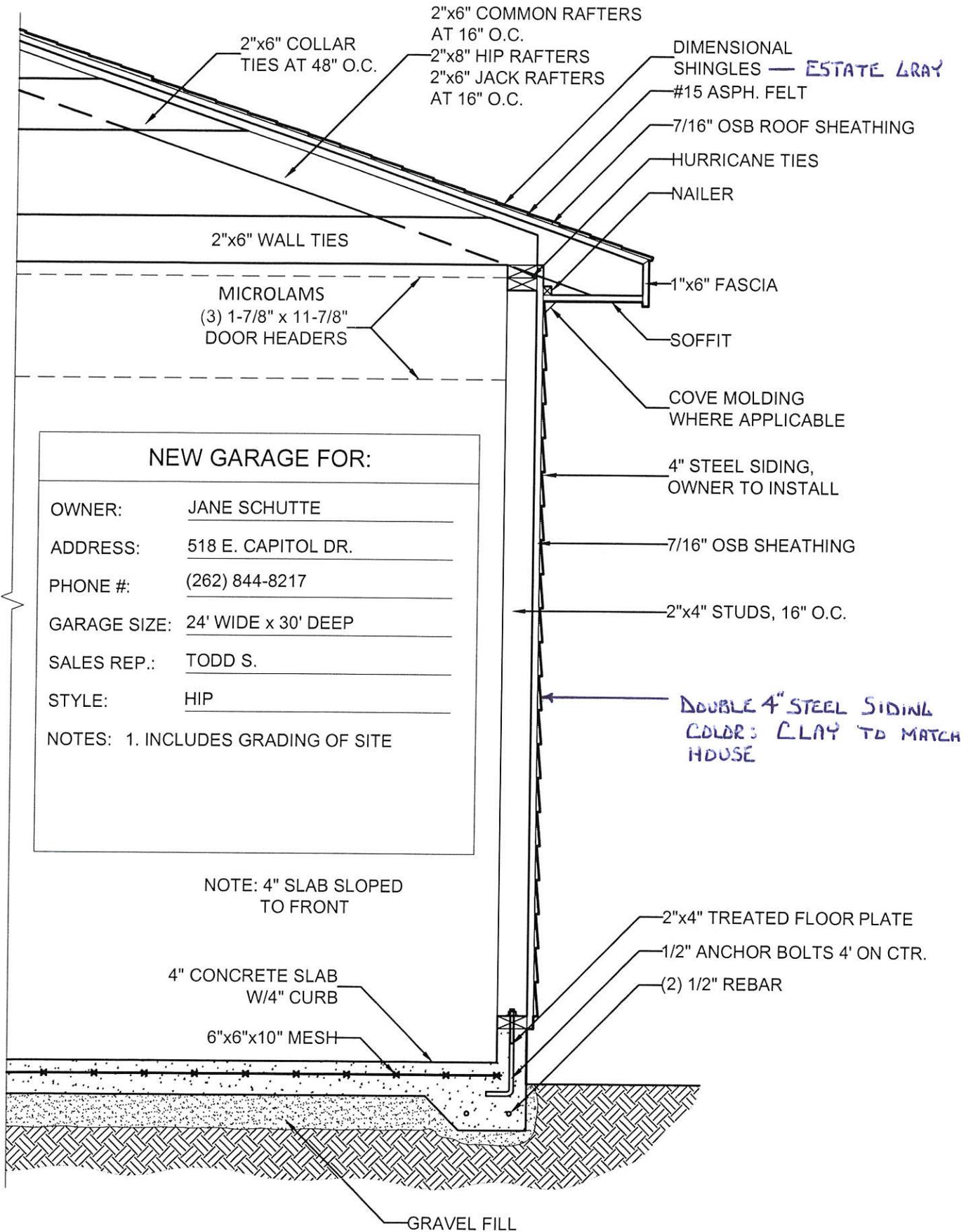
Scale: 1/4" = 12"

1

DATE: 10.31.2014
REVIS: 11.03.2014
PAGE: 5 OF 6

JANE SCHUTTE RESIDENCE





NEW GARAGE FOR:

OWNER: JANE SCHUTTE

ADDRESS: 518 E. CAPITOL DR.

PHONE #: (262) 844-8217

GARAGE SIZE: 24' WIDE x 30' DEEP

SALES REP.: TODD S.

STYLE: HIP

NOTES: 1. INCLUDES GRADING OF SITE

1

TYPICAL SECTION:

Scale: 3/4"=12"

JANE SCHUTTE RESIDENCE

DATE: 10.31.2014

REVISED: 11.03.2014

PAGE: 6 OF 6





ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION
 APPLICATION FOR ARCHITECTURAL BOARD

email agenda

Building owner Ruth Berhend

Job Address			
Lot	Block	Subdivision	Key No. HAV
Owner <i>Marlene Millevolte</i>	EMAIL <i>lakecountryfinearts@gmail.com</i>		Phone <i>262-367-2900</i>
Address <i>112 W. Capitol</i>	City <i>Hartland</i>	State <i>WI</i>	Zip <i>53029</i>
Contractor <i>Marlene</i>	Phone	FAX	EMAIL
Address <i>112 W. Capitol</i>	City <i>Hartland</i>	State <i>WI</i>	Zip <i>53029</i>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

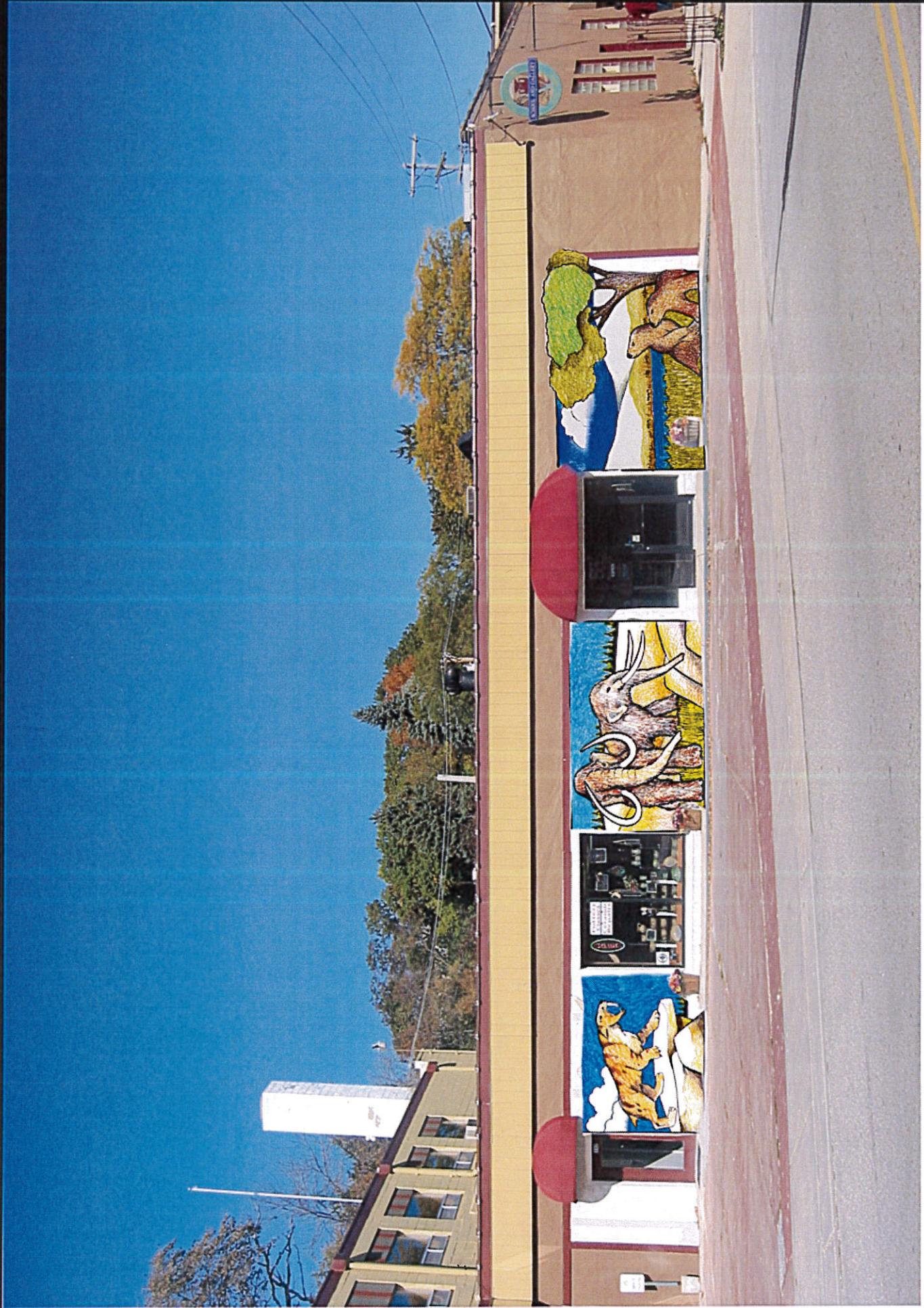
- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 03/02/15 Date of Meeting: 03/16/15 Item No. 3



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>122 Cottonwood Ave</u>				
Lot	Block	Subdivision	Key No. HAV <u>0729988001</u>	
Owner <u>Cottonwoods Investments</u>	EMAIL <u>Sberger173@aol.com</u>		Phone <u>507-923-6870</u>	
Address <u>724 Winston Way</u>	City <u>Hartland</u>	State <u>WI</u>	Zip <u>53029</u>	
Contractor <u>Michael Thomas Div.</u>	Phone <u>262/375-1000</u>	FAX <u>375-1354</u>	EMAIL <u>mplant@wi.r.R.com</u>	
Address <u>154 Granville Rn</u>	City <u>Cedarburg</u>	State <u>WI</u>	Zip <u>53012</u>	

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: Feb 20, 2015 Date of Meeting: Mar. 16, 2015 Item No. 1

BEER SNOBS, INC.

February 20, 2015

OPERATION PLAN

Business

Beer Snobs, Inc. dba - Beer Snobs Ale & Eats
122 Cottonwood Avenue, Hartland, Wisconsin 53029
Phone: Fax: E-Mail:

EIN – 47-2978832

Business Owner(s)

Steve Berger
724 Winston Way, Hartland, Wisconsin 53029
Phone: 507/ 923-6810 e-mail: sberger173@aol.com
Harry Berg
W292 N3962 Round Hill Circle, Pewaukee, Wisconsin
Phone: 414/ 870-6901 e-mail: harryqts@wi.rr.com

Building Owner – Cottonwood Investments, Inc.

EIN – 47-3035100

Steve Berger
724 Winston Way, Hartland, Wisconsin 53029
Phone: 507/ 923-6810 e-mail: sberger173@aol.com
Harry Berg
W292 N3962 Round Hill Circle, Pewaukee, Wisconsin
Phone: 414/ 870-6901 e-mail: harryqts@wi.rr.com

Agent for Business

Steve Berger
724 Winston Way, Hartland, Wisconsin 53029
Phone: 507/ 923-6810 e-mail: sberger173@aol.com

2nd Emergency Contact:

Harry Berg
W292 N3962 Round Hill Circle, Pewaukee, Wisconsin
Phone: 414/ 870-6901 e-mail: harryqts@wi.rr.com

122 Cottonwood Avenue

Hartland, Wisconsin 53029

BEER SNOBS, INC.

Description of Business Operation

Restaurant located on 122 Cottonwood Avenue, Hartland, WI featuring appetizers burgers, pizzas and full bar service featuring Craft Beer. Small dining room to meet and socialize with friends and neighbors.

Hours & Days of Operations

Monday, Tuesday, Wednesday and Thursday	11am	to	Midnight
Friday	11am	to	1am
Saturday	10:30am	to	1am
Sunday	11am	to	10pm

Employees per Shift

	<u>Part Time</u>	<u>Full Time</u>
Monday, Tuesday, Wednesday and Thursday	3	2
Friday & Sunday	4	2
Saturday	4	3

Total Number of Customers

Seats in dining room area:	70
Auxiliary dining / meeting area:	32
Estimated maximum with standing:	150

Parking

Total # of off street parking provided:	8
# of off street parking dedicated for use by business:	7
Number of parking within one block:	140 (See attached)

Deliveries – Frequency

Deliveries would take place on the front of the building on Cottonwood Avenue. South West corner. Two or three times per week. The front of the building has steps going to the lower level where most of our supplies would be kept.

Activities that may occur outside the building

Outside seating for dining – north side of building. Details to be determined.
Trash removal to dumpster located in the rear of building – south east corner.

Equipment, operation, devise or process that may emit noise, vibration or odors:

Fan from kitchen between the two buildings – 122 and 124 Cottonwood.
Yummy odors of burgers and pizza being prepared.

122 Cottonwood Avenue

Hartland, Wisconsin 53029





$$41 + 22 + 18 + 18 + 10 + 10 + 8 + 7 + 9 = \underline{\underline{143}} \text{ } 140^+ \text{ spots}$$

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or
 PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: Kathleen Herrick
Address of Owner/Agent: 122 Cottonwood
Phone Number of Owner/Agent: 262-443-3939

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
3. State present use of property and intended use. - business-office

buyer wants to make restaurant and bar

Kathleen M. Herrick
Signature of Petitioner

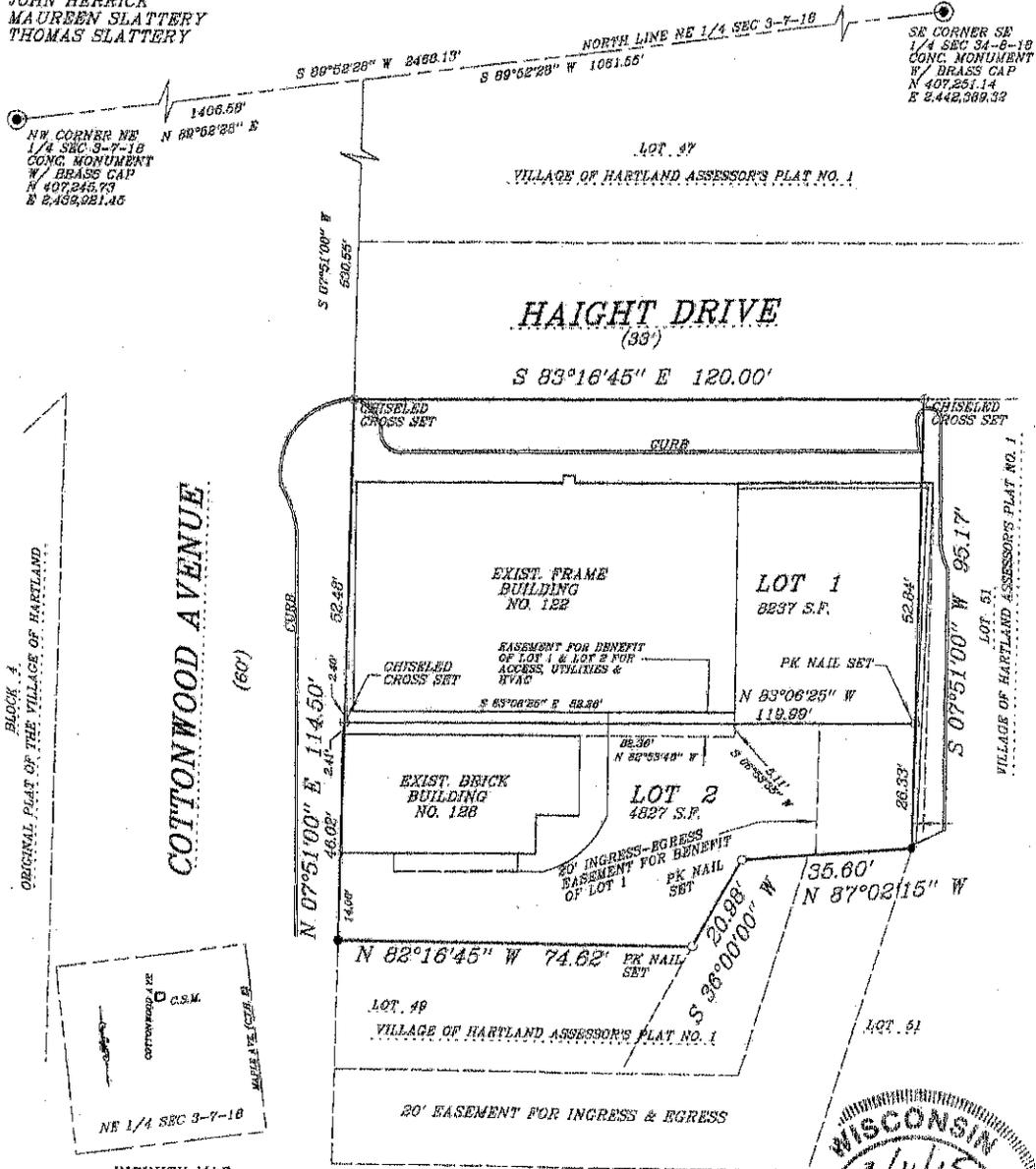
Address
262-443-3939
Phone



CERTIFIED SURVEY MAP NO. _____

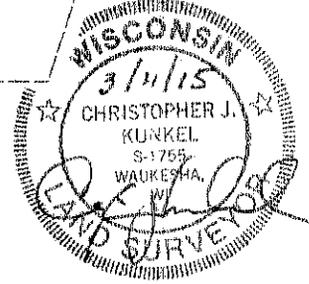
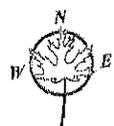
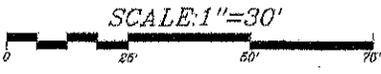
BEING A RE-DIVISION OF LOTS 48 AND 49 IN THE VILLAGE OF HARTLAND ASSESSOR'S PLAT NO. 1, BEING PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

PREPARED FOR:
KATHLEEN HERRICK
JOHN HERRICK
MAUREEN SLATTERY
THOMAS SLATTERY



NOTE:
 ○ - DENOTES 1"X10" IRON PIPE 118 LBS. PER LINEAL FOOT SET AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.
 • - DENOTES 1" IRON PIPE FOUND

BEARINGS REFER TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE.



WAW-1428

EDGEWOOD SURVEYING
 14105 BEECHWOOD TRAIL • NEW BERLIN • WISCONSIN 53181
 (262)366-5749 • fax (262)797-6389
 EMAIL: edgewoodsurveying@aol.com
 www.edgewoodsurveying.com

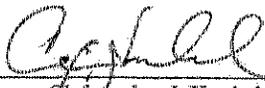
THIS INSTRUMENT DRAFTED BY CHRISTOPHER J. KUNKEL S-1755

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Lots 48 and 49 in the Village of Hartland Assessor's Plat No. 1, being a part of the NE ¼ of the NE ¼ of Section 3, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE:

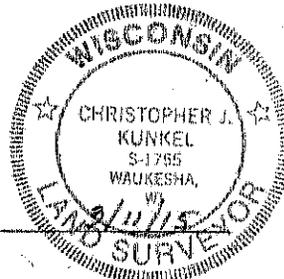
I, Christopher J. Kunkel, Professional Land Surveyor, do hereby certify:
That I have surveyed, divided and mapped a re-division of Lots 48 and 49 in the Village of Hartland Assessor's Plat No. 1, being a part of the NE ¼ of the NE ¼ of Section 3, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, bounded and described as follows:
Commencing at the northwest corner of said NE ¼ Section 3; thence N89°52'28"E along the north line of said NE ¼ Section 3, 1406.58 feet; thence S07°51'00"W, 530.55 feet to the place of beginning of the lands to be described; thence S83°16'45"E along the south line of Haight Drive, 120.00 feet; thence S07°51'00"W, 95.17 feet; thence N87°02'15"W, 35.60 feet; thence S26°00'00"W, 20.98 feet; thence N82°16'45"W, 74.62 feet to a point on the east line of Cottonwood Avenue; thence N07°51'00"E along said east line, 114.50 feet to the place of beginning.
Said lands containing 13,064 square feet of land, more or less.
That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and Ordinances of the Village of Hartland, in surveying, dividing and mapping the same.



Christopher J. Kunkel

S-1755

Date: _____



VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Hartland on this _____ day of _____, 20____.

David Lamerand, Village President

Darlene Igl, Village Clerk

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Lots 48 and 49 in the Village of Hartland Assessor's Plat No. 1, being a part of the NE ¼ of the NE ¼ of Section 3, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE

As owners, we hereby certify that we have caused the land described above to be surveyed, divided and mapped as represented on this map in accordance with the requirements of Ordinances of the Village of Hartland, and that this map is required to be submitted to the following for approval or objection: Village of Hartland.

Witness the hand and seal of said owners this _____ day of _____, 20____.

In the presence of:

Kathleen Herrick

John Herrick

Maureen Slattery

Thomas Slattery

STATE OF WISCONSIN)
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 20____, the above named Kathleen Herrick, John Herrick, Maureen Slattery and Thomas Slattery, to me be known to be the persons who executed the forgoing instrument and acknowledged the same.

My commission expires: _____
Notary Public

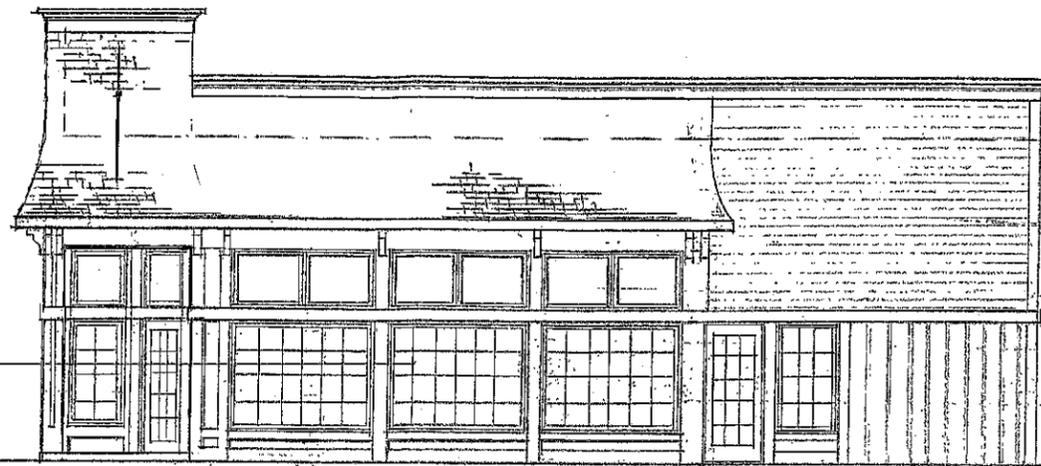
PLANNING COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Hartland on this _____ day of _____, 20____.

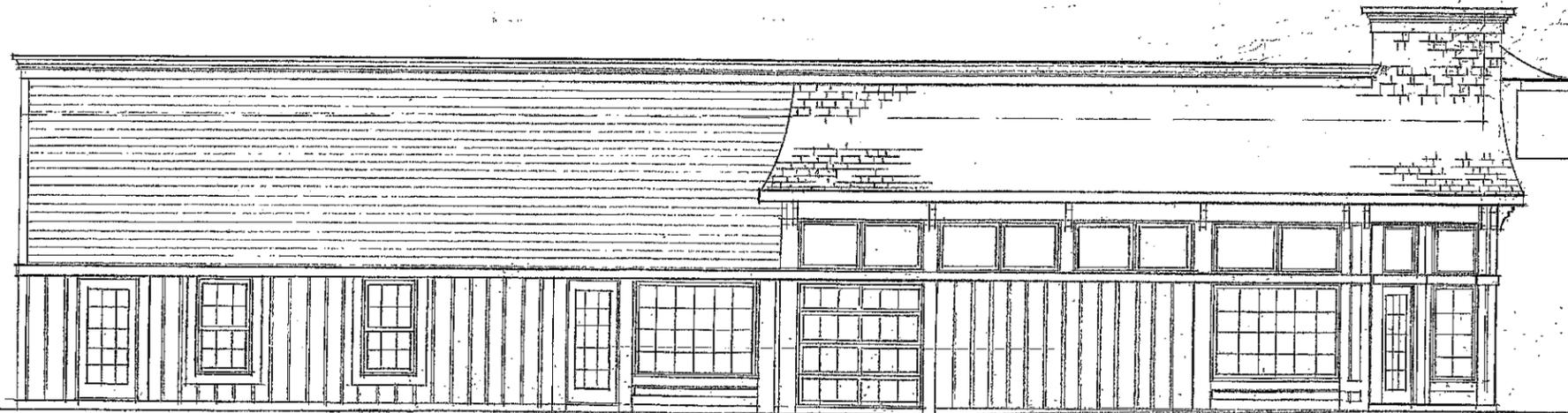


David Lamcrand, Chairman

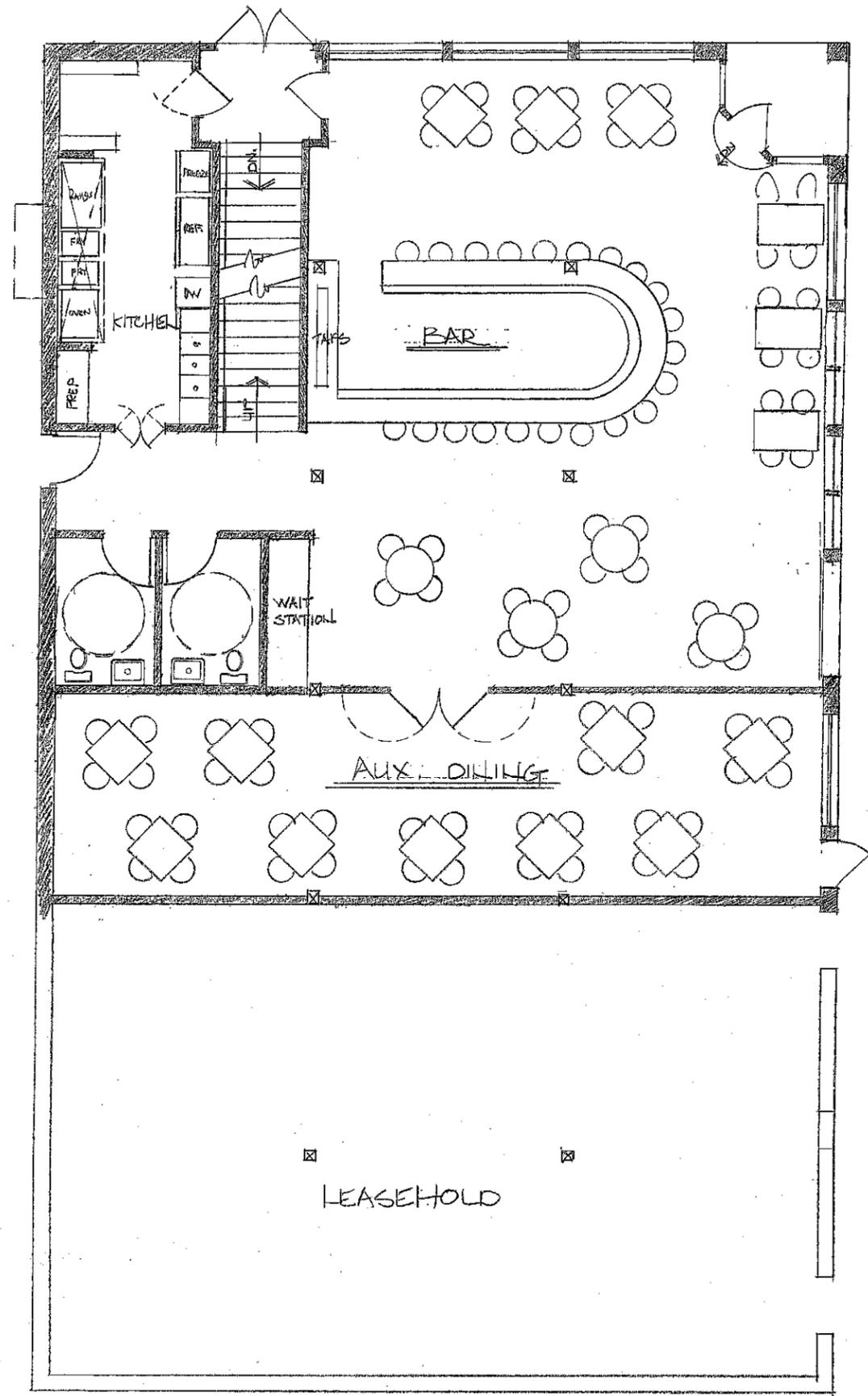
Darlene Igl, Village Clerk



COTTOLWOOD ELEVATION

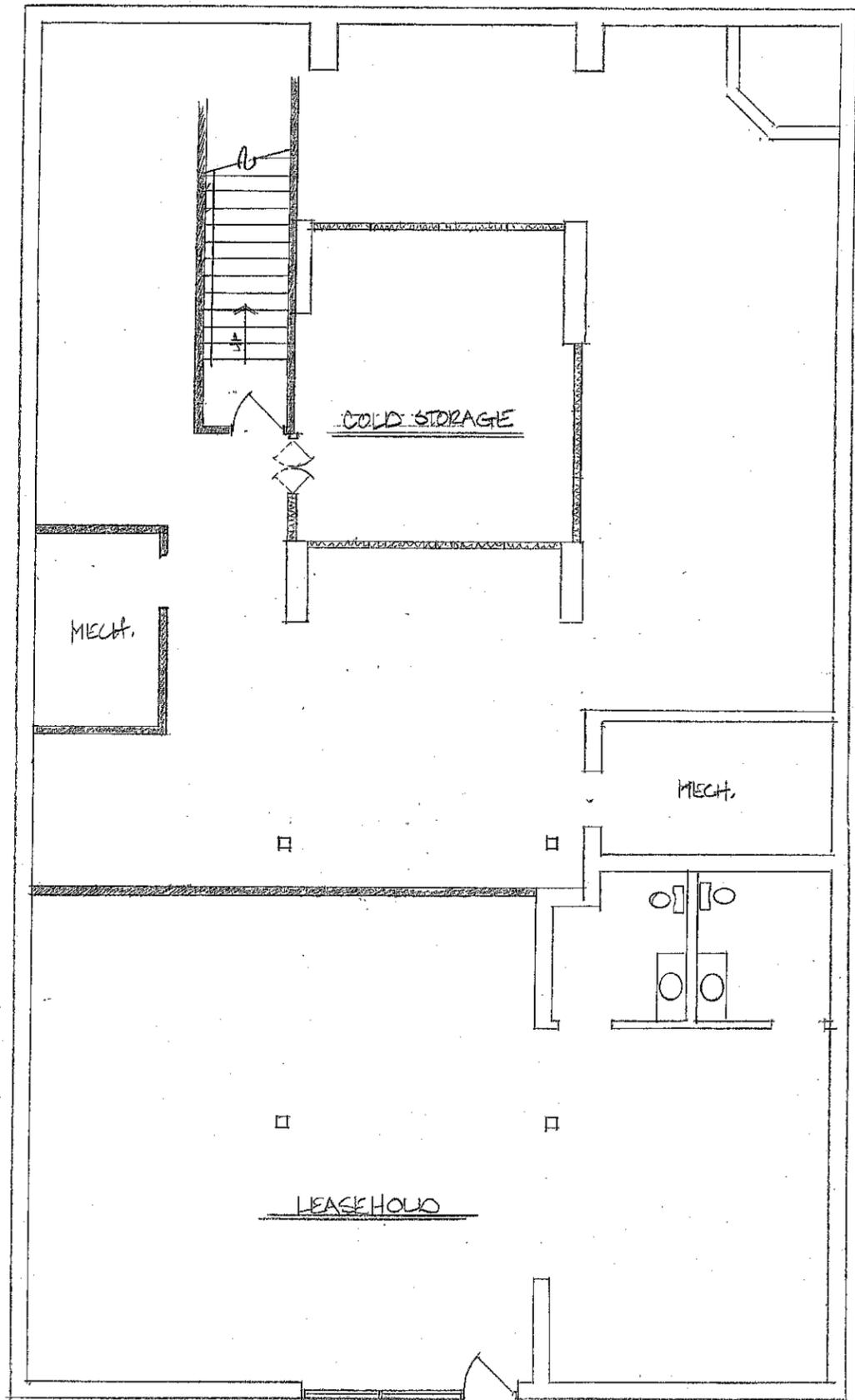


HAIGHT DR. ELEVATION



MAIN LEVEL

SCALE 1/4" = 1'-0"



LOWER LEVEL

SCALE 1/4" = 1'-0"

Project Name

Hartland Service Addition

Project Address

400 East Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

Existing Building Data	
Automotive Repair, Carwash & Office Building	
Building Area	10,870 sq/ft
Construction Type	Type 6 (Under Previous Building Code)
Number of Stories	1
Occupancy Non Separated	
B (Carwash Area)	1,455 sq/ft
S1 (Car Repair Area)	7,110 sq/ft
B (Office)	2,305 sq/ft
Building Addition Data	
Automotive Repair, Automotive Detailing, Carwash & Office Addition	
Building Area	13,400 sq/ft
Construction Type	IIB
Number of Stories	1
Occupancy Non Separated	
B (Carwash area)	4,560 sq/ft
S1 (Car Repair Area)	6,720 sq/ft
B (Office)	2,120 sq/ft
Total Building Area Including Addition	24,270 sq/ft

Existing Site Data	
Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Existing Detail Building (To be Demolished)	2,525 S.F.
Existing House (To be Demolished)	850 S.F.
Existing Shed (To be Demolished)	220 S.F.
Existing Hard Surface (Buildings Excluded)	37,985 S.F.
Total Existing Hard Surface (Buildings Included) 52,450 S.F.	
Total Existing Green Space	46,400 S.F.
Existing Green Space Ratio	47%
Existing Parking Stalls	
Standard Parking Stalls	52
Accessible Parking Stalls	3
Proposed Site Data	
Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Proposed Auto Repair Addition	13,400 S.F.
Proposed Building Area Including Addition	24,270 S.F.
Proposed Building Footprint Ratio	25%
Total Hard Surface w/ Proposed Site Improvements & Building Addition	
	73,110 S.F.
Total Greenspace w/ Proposed Site Improvements & Building Addition	
	25,740 S.F.
Proposed Green Space Ratio	
	26%
Existing Parking Stalls to Remain	
Standard Parking Stalls	26
Accessible Parking Stalls	2
Proposed Parking Stalls	
Standard Parking Stalls	18
Total Parking Provided	
Standard Parking Stalls	44
Accessible Parking Stalls	2

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX		REVISIONS																											
NO.	DESCRIPTION	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28
G-001	COVER SHEET																												
C-100	DEMO SITE PLAN																												
C-101	SITE PLAN																												
C-501	SITE DETAILS																												
A-001	DEMOLITION PLAN																												
A-101	FLOOR PLAN																												
A-201	EXTERIOR ELEVATIONS																												

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PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY/ STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

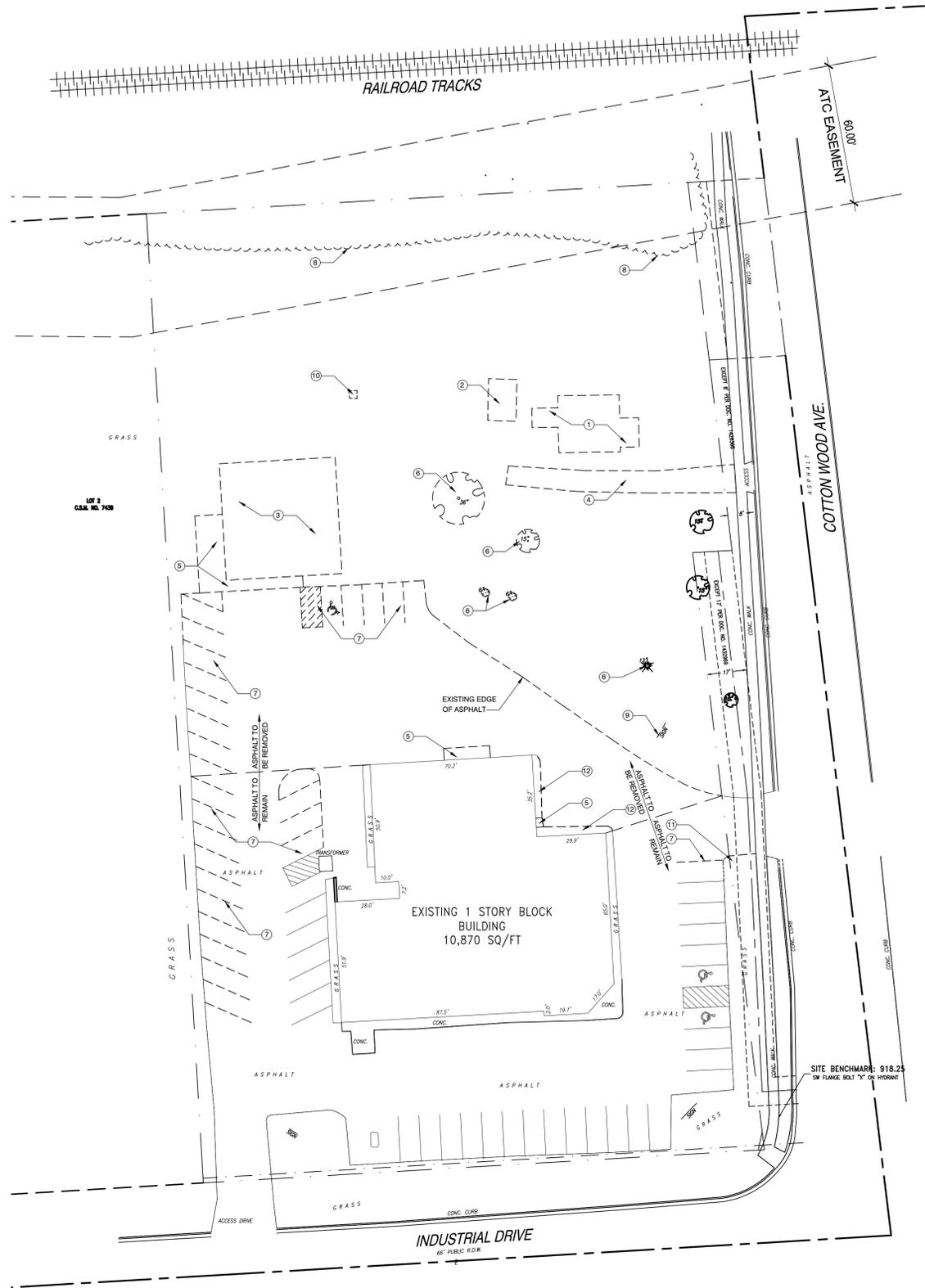
Date: 03.03.15 Drawn By: Pete Anderson
Sheet Title:
COVER SHEET
Sheet Number:
G-001
Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE DEMOLITION NOTES

- 1 EXISTING HOUSE REMOVED BY OWNER
- 2 EXISTING SHED REMOVED BY OWNER
- 3 COMMERCIAL BUILDING TO BE DEMOLISHED
- 4 EXISTING GRAVEL DRIVE TO BE REMOVED
- 5 EXISTING CONCRETE TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING PARKING STALL STRIPING TO BE REMOVED
- 8 EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- 9 EXISTING MONUMENT SIGN TO BE REMOVED
- 10 EXISTING TRANSFORMER TO BE REMOVED
- 11 WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE. REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH
- 12 EXISTING LANDSCAPING ALONG EXISTING OFFICE TO BE REMOVED



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 OCONOMOWOC, WI 53066
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 FAX. 262.367.2764

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REFERENCE KEYNOTES

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
11 50 LB PRECAST LIVE LOAD(03410) 12 80 LB PRECAST LIVE LOAD(03410) 13 100 LB PRECAST LIVE LOAD(03410) 14 125 LB PRECAST LIVE LOAD(03410) 15 150 LB PRECAST LIVE LOAD(03410) 16 200 LB PRECAST LIVE LOAD(03410)	31 CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02050 & 03000) 32 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 33 8" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 34 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 35 12" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 36 CONCRETE REINF. W/ 600 #5 @ 10 W.F. (03000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (03000, 05100 & 05000) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (05100, 05200, 05300 & 07000) 53 METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(05000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05000) 55 1 1/2" DIA. METAL RAILING(05000)	71 PERIMETER INSULATION(07000) 72 PERITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) 73 SPW BALLASTED ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION (07000) 74 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 75 24 GAGE SIDE LAP FASTENED METAL ROOF OR WALL PANEL(07410) 76 24 GAGE SCULPTURED STEEL/METAL WALL PANEL 77 24 GAGE PREFINISHED METAL LINER PANEL 78 2" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" FRICTION FIT INSULATION(07000) 81 EIFS EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000)	81 BRONZSTONE INSULATED LOW E GLASS(08410,08800) 82 GREYSTONE INSULATED LOW E GLASS(08410,08800) 83 CLEAR INSULATED LOW E GLASS(08410,08800) 84 BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 H.M. BROWNHOOD LITE	91 SUSPENDED CEILING SYSTEM(09100) 92 METAL SOFFIT PANEL
21 3"1/4" x 1 3/4" ASPHALT OVER 8" STONE BASE(02010,02000) 22 4"1/2" x 1 1/2" ASPHALT OVER 8" STONE BASE(02010,02000) 23 5"3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(02010,02000) 24 HANDICAPPED PARKING STALL SIGN	37 1/2" EXPANSION JOINT MATERIAL(03000) 38 CONCRETE TOPPING REINF. W/ FIBER MESH REINFORCING(03000)	48 12" CONCRETE BRICK UNIT(04000) 49 FACE BRICK(04000) 50 4" PRECAST FLANK(0410) 51 10" PRECAST FLANK(0410) 52 12" PRECAST FLANK(0410) 53 8" CONCRETE FILLED BOND BEAM REINF. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000) 54 12" CONCRETE FILLED BOND BEAM REINF. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000)	56 PLASTIC LAMINATE WINDOW (SILVER)(06000) 57 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400) 58 PLASTIC LAMINATE WALL CABINET(06100, 06200, 06400) 59 SHELF AND POLE(06100, 06200)	87 24 GAGE PREFINISHED METAL LINER PANEL 88 2" VINYL FACED BLANKET INSULATION(07000) 89 4" VINYL FACED BLANKET INSULATION(07000) 90 2" FRICTION FIT INSULATION(07000)	91 BRONZSTONE INSULATED LOW E GLASS(08410,08800) 92 GREYSTONE INSULATED LOW E GLASS(08410,08800) 93 CLEAR INSULATED LOW E GLASS(08410,08800) 94 BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 95 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 96 H.M. BROWNHOOD LITE	97 SUSPENDED CEILING SYSTEM(09100) 98 METAL SOFFIT PANEL
			Division 06- Woods and Plastics			Division 10- Misc
						101 FLAG POLE 102 MONUMENT SIGN 103 DUMPSTER ENCLOSURE 104 ROOF HATCH AND LADDER

SITE DEMOLITION PLAN 1" = 30'-0"

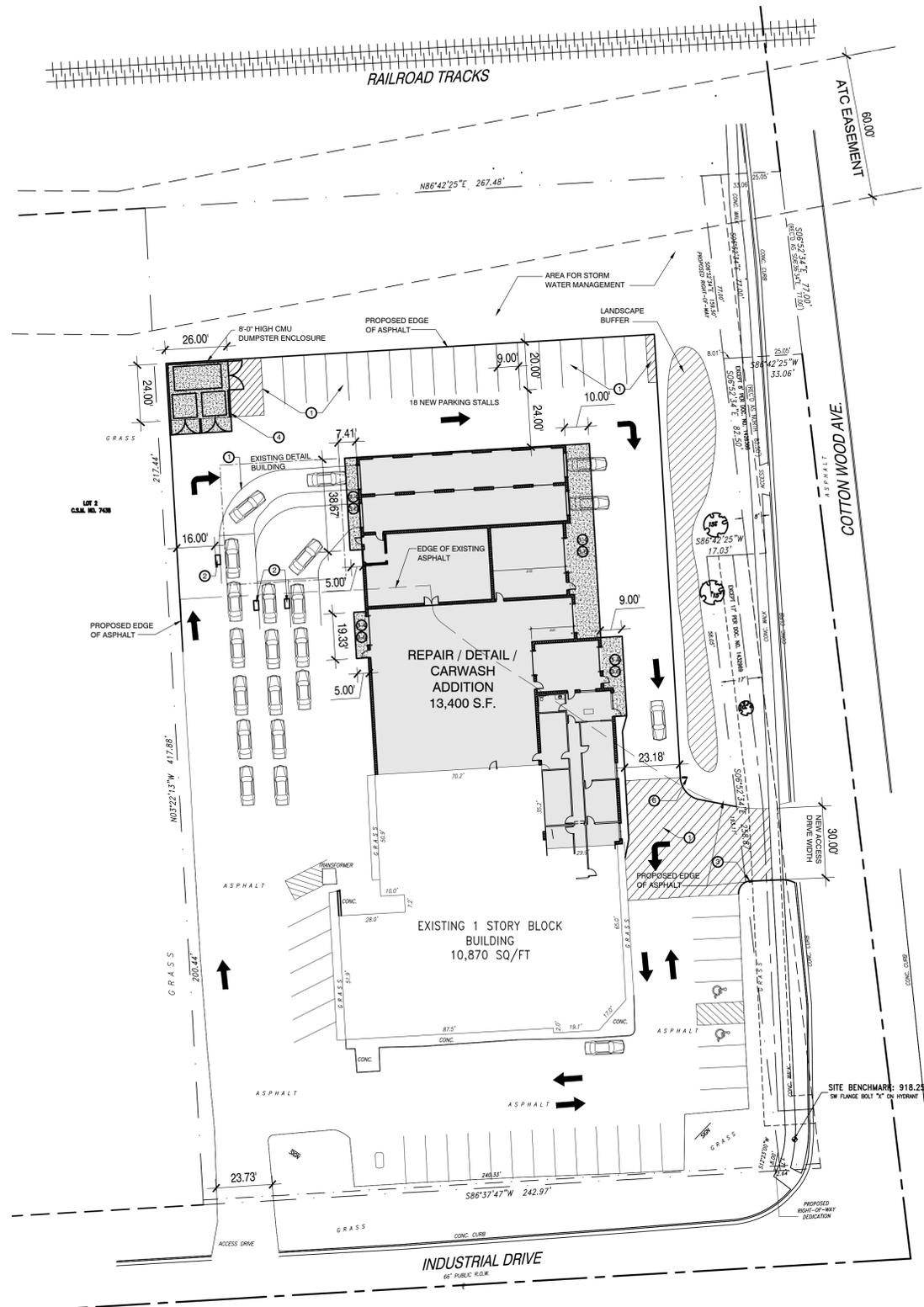
Date: 03.03.15 Drawn By: Pete Anderson
 Sheet Title: **SITE DEMOLITION PLAN**
 Sheet Number: **C-100**
 Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE PLAN NOTES

- 1 NEW PARKING LOT STRIPING
- 2 CAR WASH PAY STATION
- 3 WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- 4 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- 5 CONCRETE APRON
- 6 TWO SIDED SIGN
STOP SIGN FACING NORTH
ONE WAY DO NOT ENTER SIGN FACING SOUTH



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PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

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STREET ADDRESS
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CITY / STATE / ZIP
Hartland, WI 53029

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REFERENCE KEYNOTES

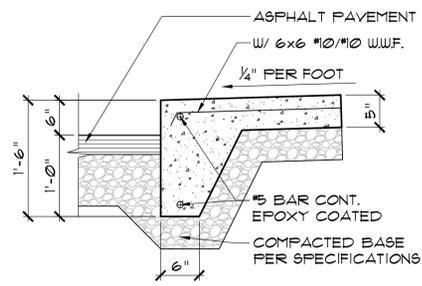
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<ul style="list-style-type: none"> 1 50 LB PRECAST LIVE LOAD(03410) 2 80 LB PRECAST LIVE LOAD(03410) 3 100 LB PRECAST LIVE LOAD(03410) 4 125 LB PRECAST LIVE LOAD(03410) 5 150 LB PRECAST LIVE LOAD(03410) 6 200 LB PRECAST LIVE LOAD(03410) 	<ul style="list-style-type: none"> 1 CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02001 & 03000) 2 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 3 12" STANDARD CONCRETE MASONRY UNIT(04000) 4 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 5 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 6 CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03000) 7 CONCRETE REIN. W/ 600 #6 @ 8 W.F. (03000) 8 CONCRETE REIN. W/ FIBER MESH REINFORCING(03000) 9 1/2" EXPANSION JOINT MATERIAL(03000) 10 CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000) 	<ul style="list-style-type: none"> 1 4" STANDARD CONCRETE MASONRY UNIT(04000) 2 8" STANDARD CONCRETE MASONRY UNIT(04000) 3 12" STANDARD CONCRETE MASONRY UNIT(04000) 4 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 5 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 6 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 7 4" CONCRETE BRICK UNIT(04000) 8 8" CONCRETE BRICK UNIT(04000) 9 12" CONCRETE BRICK UNIT(04000) 10 FACE BRICK(04000) 11 1" PRECAST PLANK(0410) 12 12" PRECAST PLANK(0410) 13 1" CONCRETE FILL BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (0300, 03000) 14 12" CONCRETE FILL BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (0300, 03000) 	<ul style="list-style-type: none"> 1 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (03000, 06100 & 06000) 2 22 GAGE METAL DECK, BAR JOISTS AND TRUSS GIRDERS, (06100, 06100, 06000 & 07000) 3 METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(06000) 4 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(06000, 06000) 5 1 1/2" DIA. METAL RAILING(06000) 	<ul style="list-style-type: none"> 1 FIBERGLASS INSULATION(07000) 2 PERIMETER INSULATION IN CORES OF BLOCK(07000) 3 FIBERGLASS FILL INSULATION IN CORES OF BLOCK(07000) 4 1" FIBERGLASS INSULATION + 3" EPS INSULATION (07000) 5 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 6 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) 7 24 GAGE SCULPTURED STEEL METAL WALL PANEL 8 24 GAGE PREFINISHED METAL LINER PANEL 9 VINYL FACED BLANKET INSULATION(07000) 10 VINYL FACED BLANKET INSULATION(07000) 11 FIBERGLASS INSULATION(07000) 12 EPS EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000) 	<ul style="list-style-type: none"> 1 BRONZSTONE INSULATED LOW E GLASS(08410,08000) 2 GREYSTONE INSULATED LOW E GLASS(08410,08000) 3 CLEAR INSULATED LOW E GLASS(08410,08000) 4 BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 5 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 6 H.M. BORROWED LITE 	<ul style="list-style-type: none"> 1 SUSPENDED CEILING SYSTEM(09010) 2 METAL SOFFIT PANEL
<ul style="list-style-type: none"> 1 7" 1/4" + 1 3/4" ASPHALT OVER 6" STONE BASE(0910,02000) 2 4" 1/2" + 1 1/2" ASPHALT OVER 6" STONE BASE(0910,02000) 3 3" 3/4" + 2 1/4" ASPHALT OVER 12" STONE BASE(0910,02000) 4 HANDICAPPED PARKING STALL SIGN 			<ul style="list-style-type: none"> 1 PLASTIC LAMINATE WINDOW BOLLARD(06100) 2 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06040, 06040) 3 PLASTIC LAMINATE WALL CABINET(06100, 06040, 06040) 4 SHELF AND POLE(06100, 06000) 			<ul style="list-style-type: none"> 1 SUSPENDED CEILING SYSTEM(09010) 2 METAL SOFFIT PANEL 3 FLAG POLE 4 MONUMENT SIGN 5 DUMPSTER ENCLOSURE 6 ROOF HATCH AND LADDER

SITE PLAN 1" = 30'-0"

03.03.15
 Sheet Title:
SITE PLAN
 Sheet Number:
C-101
 Project Number:
4381

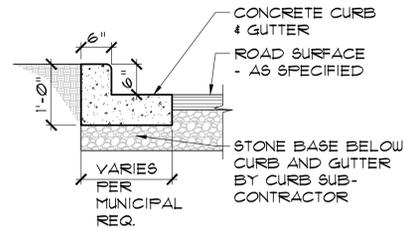
Drawn By:
 Pete Anderson
 P11162

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



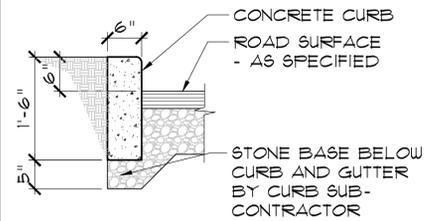
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C1 CONCRETE CURB/ASPHALT



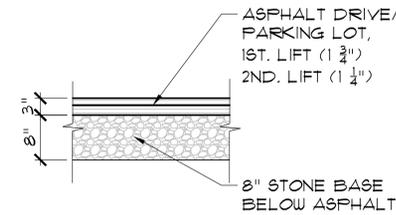
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C2 CONCRETE CURB



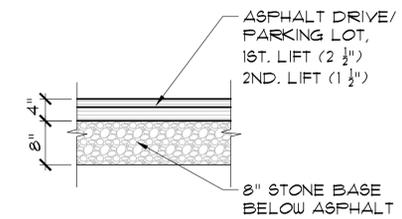
SEE SPECIFICATION SECTIONS: 02200, 03300 & 03350

C3 CONCRETE CURB



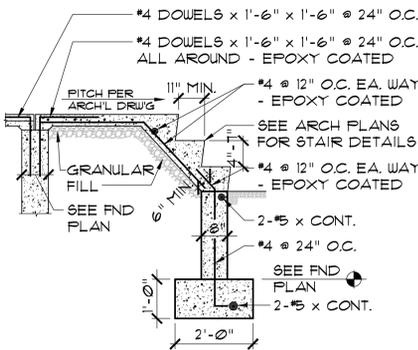
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"



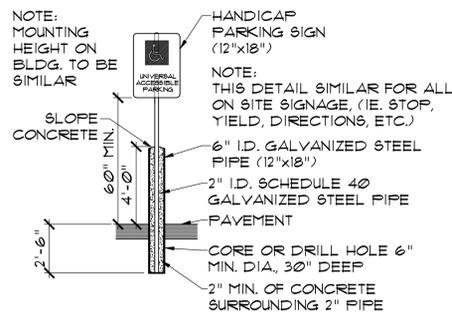
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C5 ASPHALT DRIVE - 4"



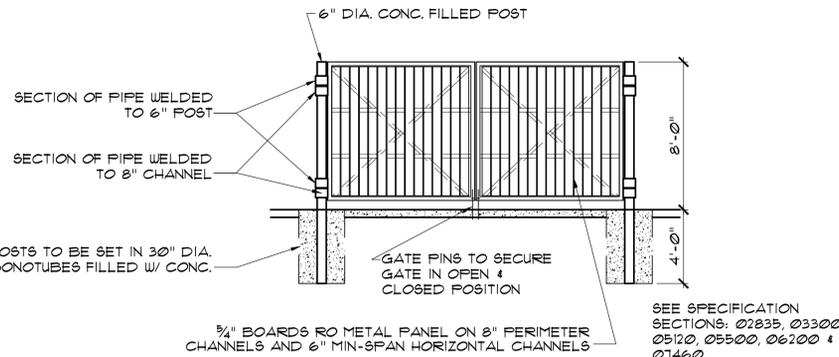
SEE SPECIFICATION SECTIONS: 02200 & 03300

C6 CONCRETE STAIR

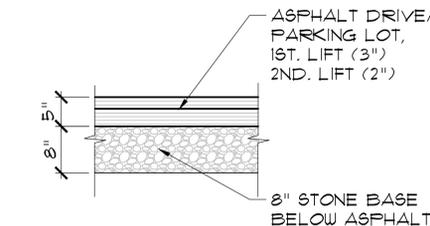


SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN

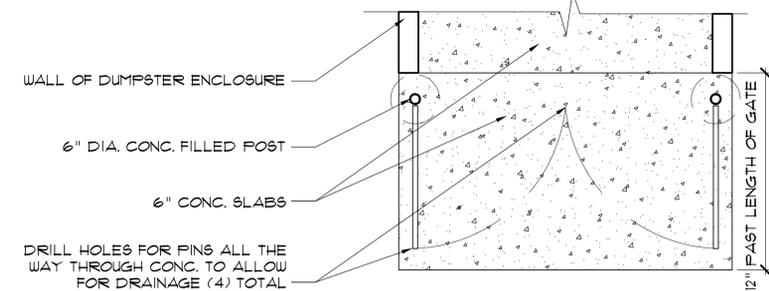


C8 DUMPSTER ENCLOSURE GATE - ELEVATION



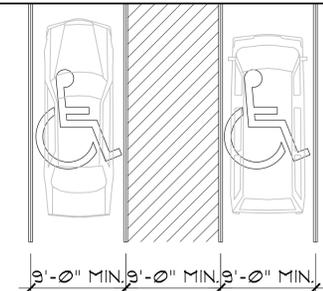
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C9 ASPHALT DRIVE - 5"



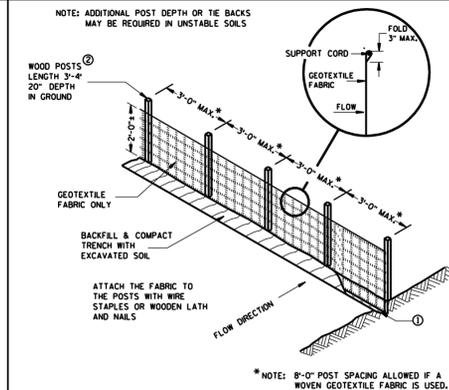
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C10 DUMPSTER ENCLOSURE GATE - PLAN

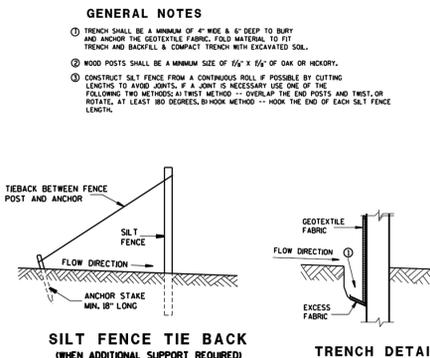


SEE SPECIFICATION SECTIONS: 02510, 03300 & 03350

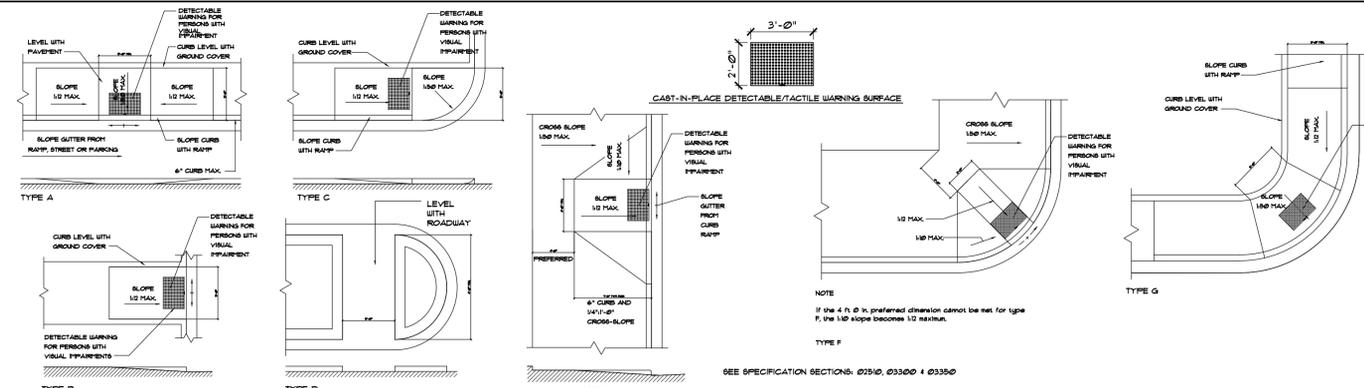
C11 PARKING SPACE ACCESS AISLE



C13 SILT FENCE

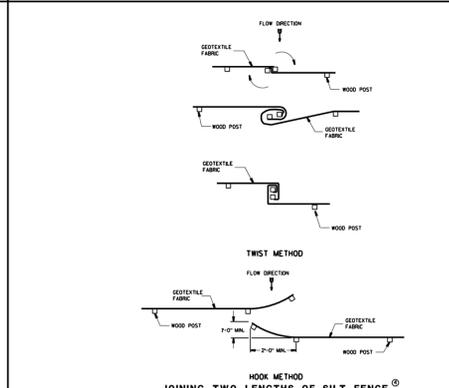


C13A SILT FENCE NOTES & SECTIONS



SEE SPECIFICATION SECTIONS: 03300 & 03350

C12 SIDEWALK RAMPS



C13B SILT FENCE DETAILS



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PLAN COMMISSION SET 03.03.15

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Date: 03.03.15 Drawn By: Pete Anderson

SHEET TITLE: SITE DETAILS

SHEET NUMBER: C-501

PROJECT NUMBER: P11162

4381

MANAGERS

ENGINEERS

CONTRACTORS

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 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

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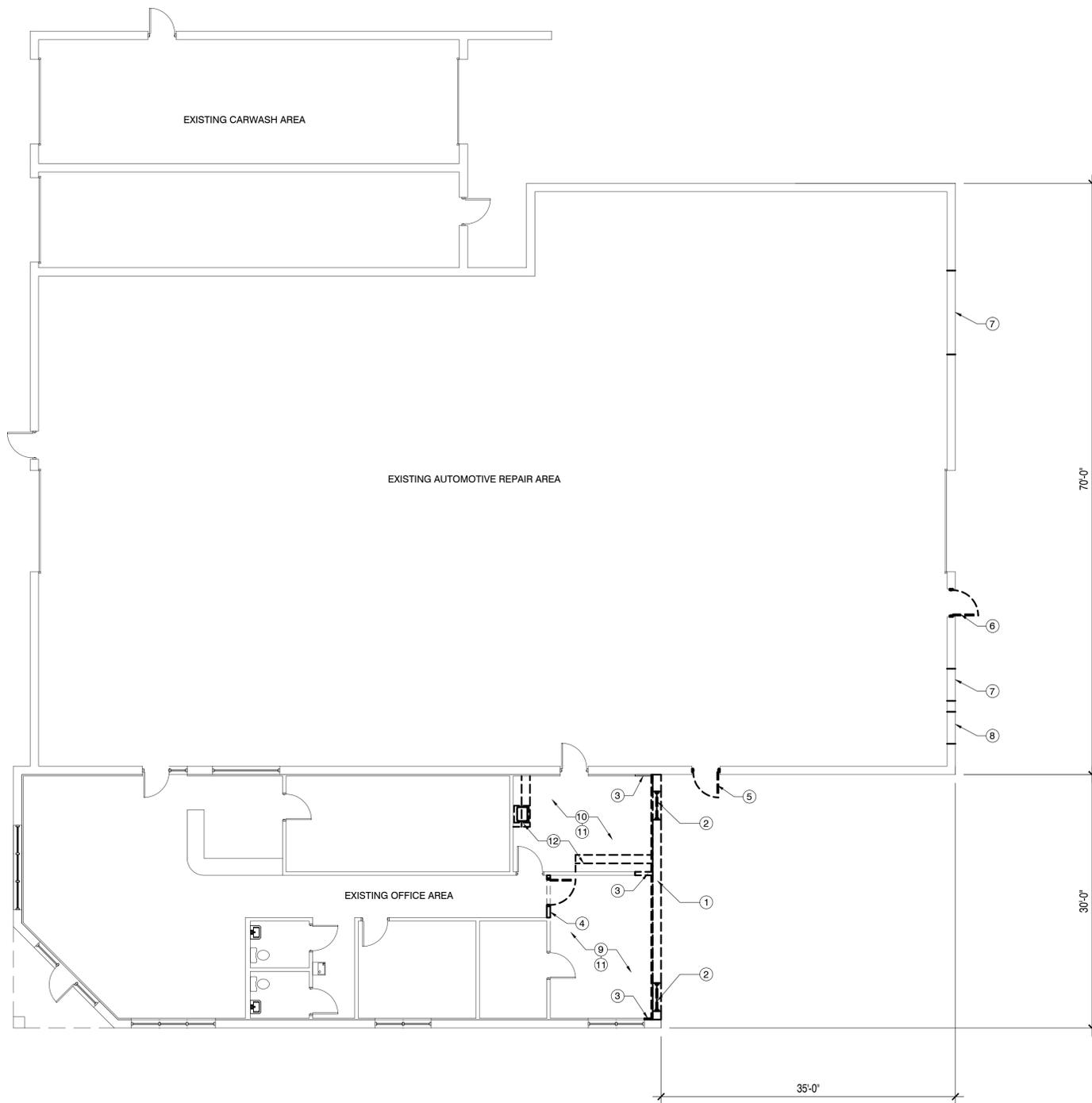
Sheet Title:
DEMOLITION PLAN

Sheet Number:

A-001

Project Number: P11162

4381



DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CMU WALL FROM 8" BELOW FINISHED FLOOR TO TO TOP OF WALL
- ② REMOVE EXISTING ALUMINUM FRAMED EXTERIOR WINDOW
- ③ REMOVE PORTION OF EXISTING PARTITION WALL & EXTERIOR FURRING AS REQUIRED TO REMOVE EXISTING CMU WALL
- ④ REMOVE EXISTING WOOD DOOR, WOOD FRAME & ADJACENT WALLS AS INDICATED- INSTALL BULKHEAD AT 8'-0" IN LINE WITH WALL REMOVAL
- ⑤ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑥ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING FOR INSTALLATION OF NEW 3 HOUR RATED HOLLOW METAL DOOR & FRAME
- ⑦ REMOVE EXISTING GLASS BLOCK IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑧ REMOVE & RELOCATE EXISTING EXHAUST VENT IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑨ REMOVE EXISTING CARPET & WOOD BASE
- ⑩ REMOVE EXISTING VCT & WOOD BASE
- ⑪ REMOVE EXISTING CEILING TILE, CEILING GRID & ALL ASSOCIATED MECHANICALS
- ⑫ REMOVE EXISTING BASE CABINETS, UPPER WALL CABINETS & ALL ASSOCIATED PLUMBING

DEMOLITION PLAN 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

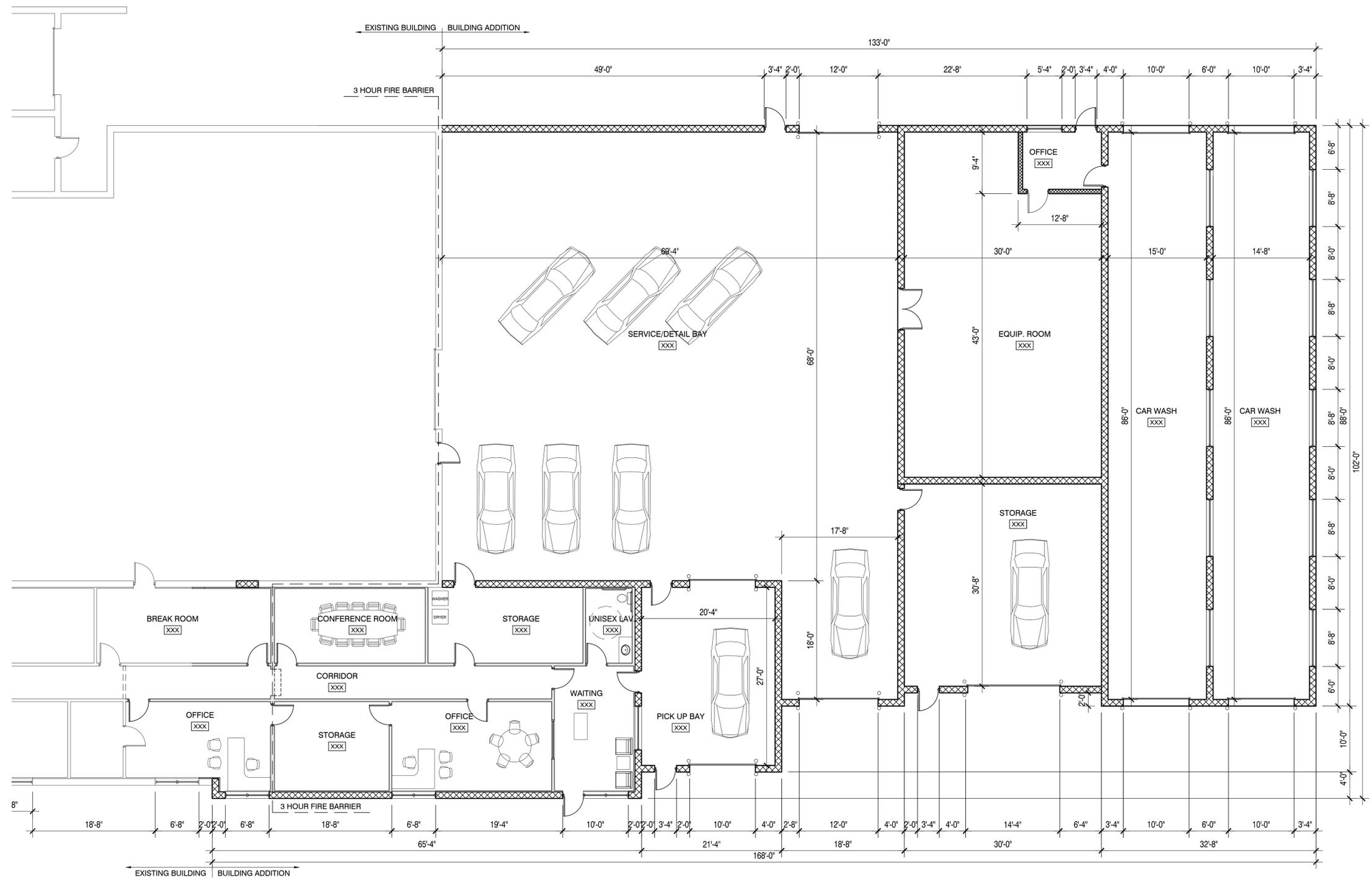
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PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Car Wash Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.03.15 Drawn By: Pete Anderson
 Sheet Title:
FLOOR PLAN
 Sheet Number:
A-101
 Project Number: P11162
4381



FLOOR PLAN 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Car Wash Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

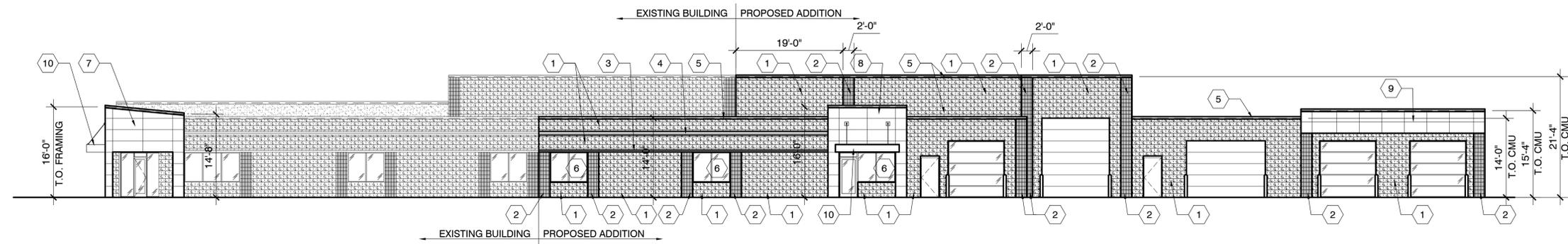
Date: 03.03.15 Drawn By: Pete Anderson

Sheet Title:
EXTERIOR ELEVATIONS

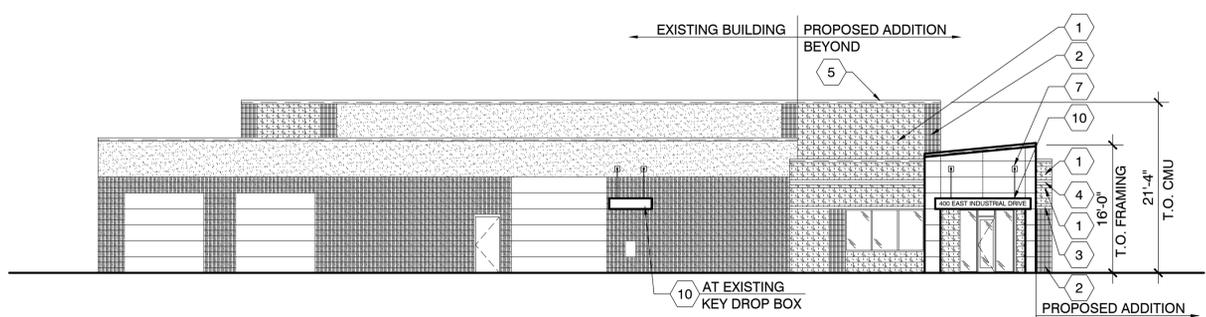
Sheet Number:
A-201

Project Number: P11162

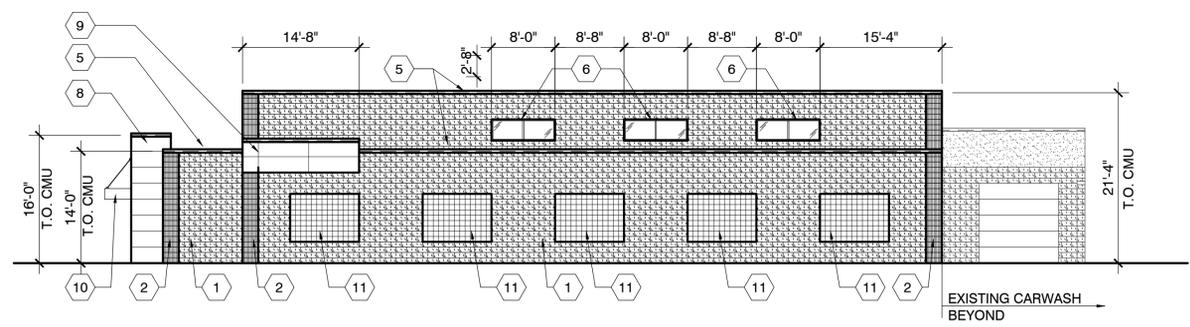
4381



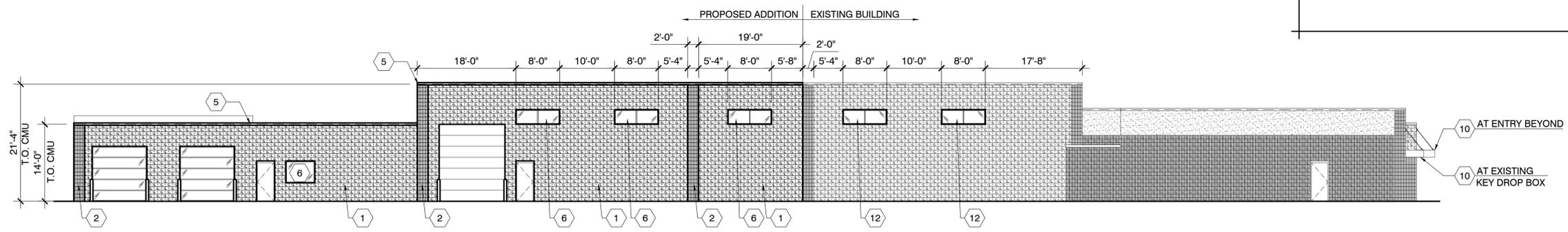
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

ELEVATION NOTES

- GENERAL NOTES FOR EXISTING MATERIAL
 -PAINT EXISTING SPLIT-FACE CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING SPLIT-FACE RIB CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING HALF SPLIT-FACE BANDS TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING EIFS A COMPLIMENTARY COLOR THAT IS YET TO BE SELECTED
- TOP COURSE OF ALL NEW CMU WALLS ARE PAINTED SMOOTH CMU
- 1 PAINTED SPLIT-FACE CMU (COLOR #1)
 - 2 PAINTED SPLIT-FACE RIB CMU (RIB STYLE TO MATCH EXISTING & PAINTED COLOR #2)
 - 3 PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF PAINTED COLOR #1 SMOOTH HALF PAINTED COLOR #2
 - 4 2 COURSES OF PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF PAINTED COLOR #1 SMOOTH HALF PAINTED COLOR #3
 - 5 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH EXISTING)
 - 6 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
 - 7 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER EXISTING MASONRY & NEW STUD FRAMED PARAPET W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
 - 8 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
 - 9 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE BLUE)
 - 10 STEEL FRAMED CANOPY WRAPPED IN BREAK METAL TO MATCH METAL WALL PANEL W/ PAINTED STEEL SUPPORT RODS & BRACKETS
 - 11 8"x8" GLASS BLOCK
 - 12 DEMO NEW MASONRY OPENING IN THE EXISTING WALL FOR THE INSTALLATION OF 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)



RECEIVED

MAR 09 2015

Village of Hartland

ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

Pd 3/6/15
 # 159963

APPLICATION FOR
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description C.B.R.F.			
Proposed Use		No. of Employees	
Project Location 430 Menton Ave			
Project Name Hartland Senior Living LLC			
Owner Hartland Senior		Phone 414-881-2112	
Address 126 E Prospect St		City Hartland	State WI Zip 53027
Engineer/Architect New Home Venture		Phone	FAX
Address		City	State Zip
Contact Person Dave	Phone 262-377-4730	FAX	E-mail

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: 3/6/15	Date of Meeting: 3/16/15	Return Comments by:
-----------------------------	---------------------------------	---------------------

**Village of Hartland
Professional Services Reimbursement Form**

The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Responsible Party Name, Mailing Address, Signature and Date:

A. Hartland Senior Living LLC Jay P. Shroy 3-6-15
 Printed Name Signature Date

B. 126 E Prospect St Hartland WI 53027
 Street City State Zip

C. Phone 414-881-2112 Fax: _____ E-Mail peclme@sgcglobal.net

Property Owner Name, Mailing Address, Signature & Date:

A. _____
 Printed Name Signature Date

B. _____
 Street City State Zip

C. Phone _____ Fax: _____ E-Mail _____

 Village Official Accepting Form & Date

INTERNAL USE ONLY

Amount Due: \$ _____ Check #: _____ Date Paid: ___/___/___ Rec'd By: _____

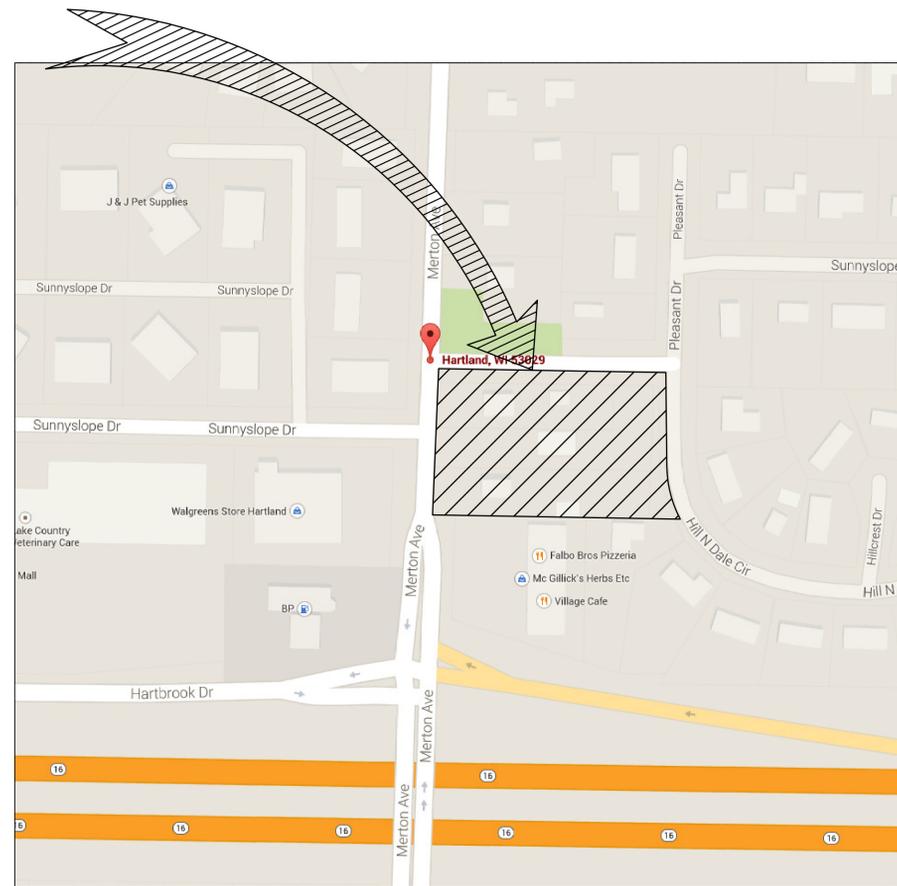
Plan Commission Project Number: _____

HARTLAND SENIOR LIVING LLC
THIRTY-TWO UNIT COMMUNITY BASED
RESIDENTIAL FACILITY

PROJECT LOCATION:
 SE CORNER OF MERTON AVENUE & SUNNY SLOPE DRIVE
 VILLAGE OF HARTLAND, WI

DEVELOPER:
 JPS LIMITED, LLC
 126 E. PROSPECT AVENUE
 HARTFORD, WI 53027
 414-881-2112

SHEET INDEX	
<u>COVER</u>	
C-1	PROJECT COVER SHEET
<u>ARCHITECTURAL</u>	
A-1	GENERAL FLOOR PLAN
A-2	ELEVATIONS



VICINITY MAP
 SCALE: NOT TO SCALE



JOB NUMBER
 JFS-2700-215
 DATE
 3 / 4 / 2015

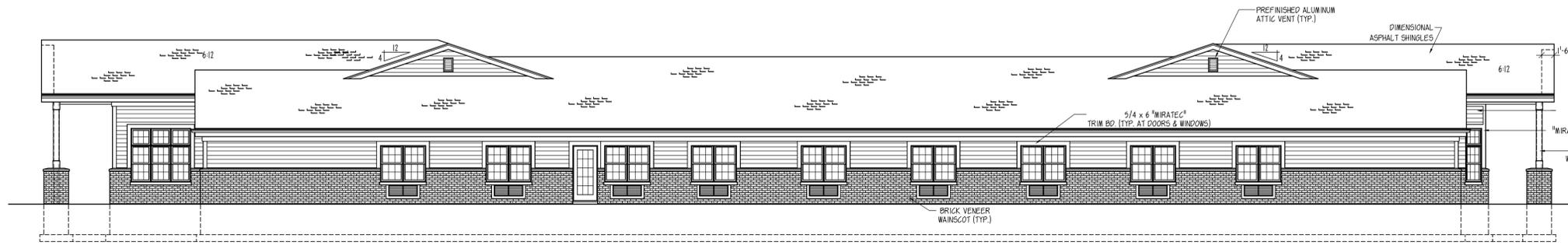
NEW HORIZON
 VENTURES, L.L.C.
 ARCHITECTS/PLANNERS
 P.O. BOX 292, GRAFTON, WI 53024
 www.NEWHORIZONVENTURES.com
 262.377.4730 or 262.375.2397



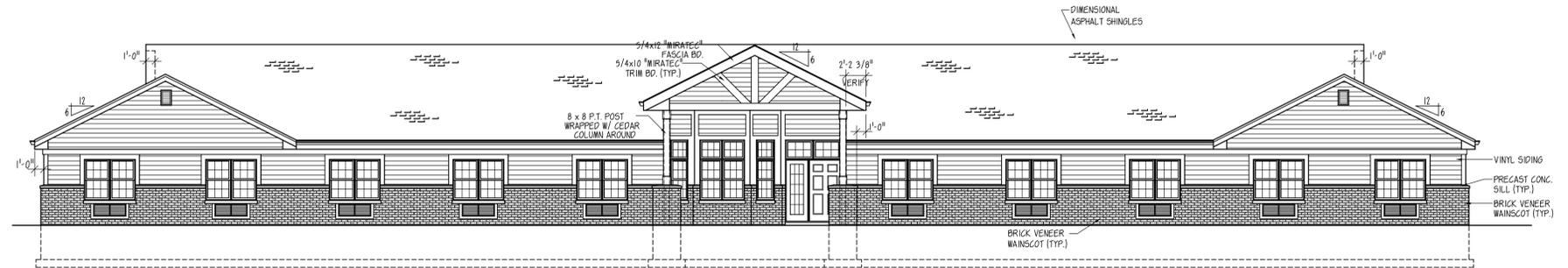
OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

GROSS SQUARE FOOTAGE (FOOTPRINT UNDER ROOF) = 24,251 S.F.
NET SQUARE FOOTAGE (LESS COVERED CANOPIES) = 23,869
32 UNITS REQUIRES 2,880 S.F. COMMON AREA
COMMON AREA PROVIDED (ALL WITH LIGHT & VENTILATION) = 2,993 S.F.

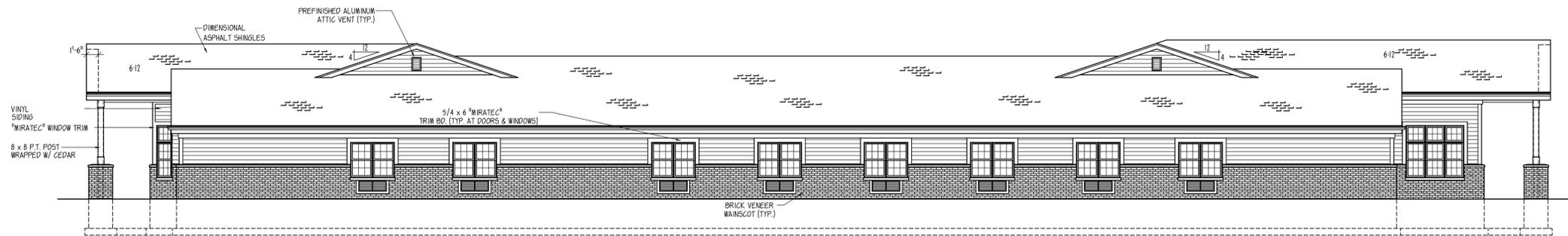
PROJECT	
32 UNIT ASSISTED LIVING FACILITY HARTLAND, WI	
P.O. BOX 292, GRAFTON, WI 53024 http://www.nhv-arch.com 262-377-4730 or 262-375-2397	
JOB NUMBER	DATE
JFS-2700-2/14	3/04/2015
REVISIONS:	
SHEET	
△-1	
CHECKED BY:	DWS
DRAWN BY:	DWS



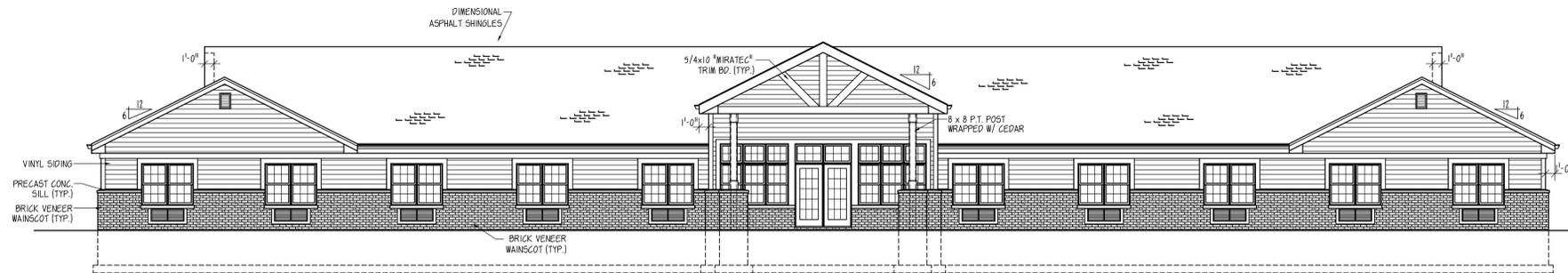
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT
HARTLAND 32 UNIT CBRF

NEW HORIZON
VENTURES, L.L.C.
ARCHITECTS/PLANNERS

P.O. BOX 292, GRAFTON, WI 53024
http://www.nhv-arch.com
262-377-4730 or 262-375-2397

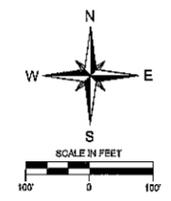
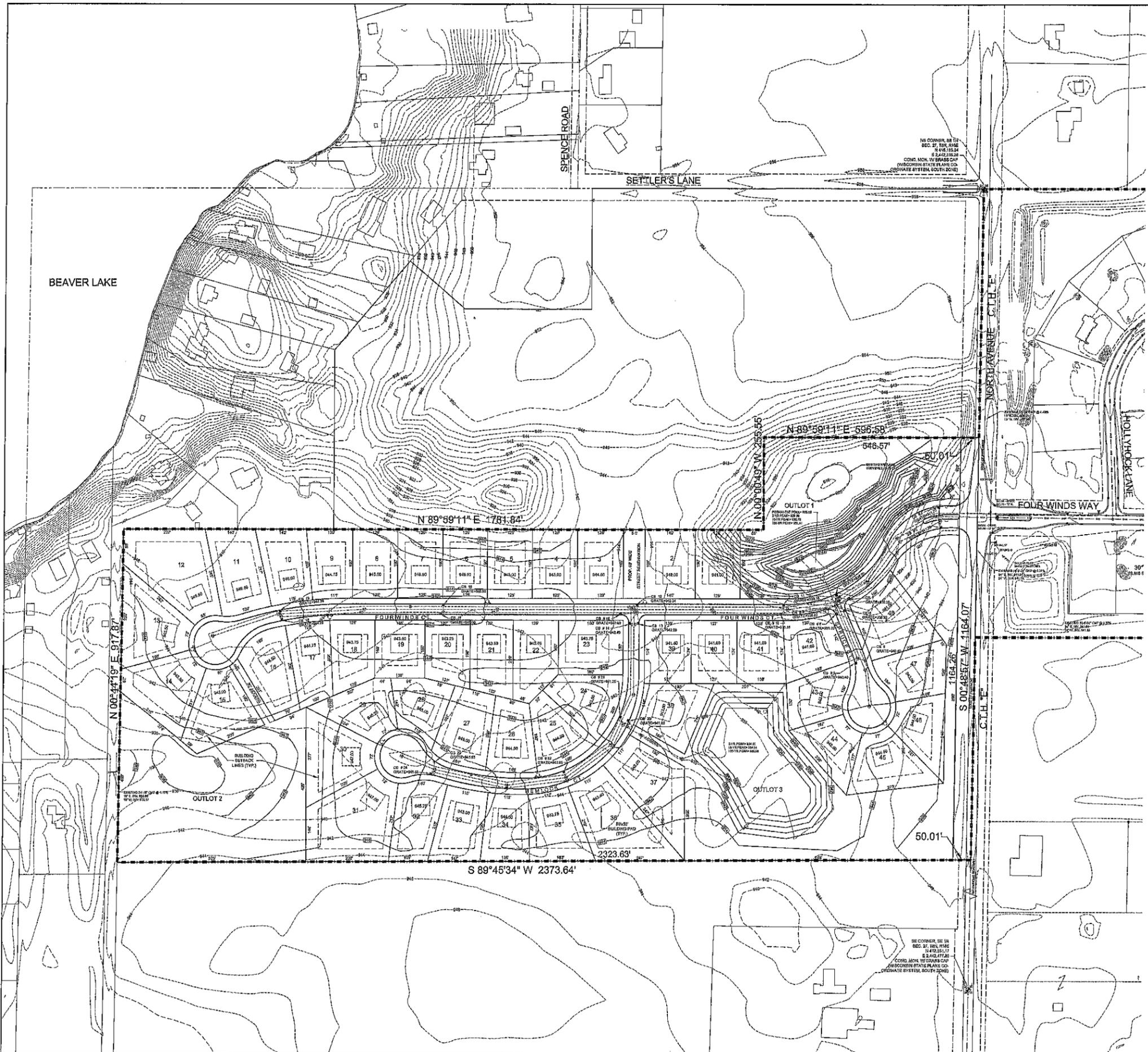
JF-8-2700-215
DATE
3/04/2015

SHEET

A-2

CHECKED BY:
D.S.

DRAWN BY:
D.S.



CALL DIGGERS HOTLINE
1-800-481-1111
TOLL FREE
BEFORE YOU DIG
MILWAUKEE AREA 255-1191

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer or other surveyor does not guarantee that such locations or the location of utilities are correct.

OWNER/SUBDIVIDER
FOUR WINDS DEVELOPMENT LLC
C/O SILENO COMPANIES, INC.
5429 NORTH 115th COURT
MILWAUKEE, WI 53228-3087
ATTN: JAMES A. SILENO

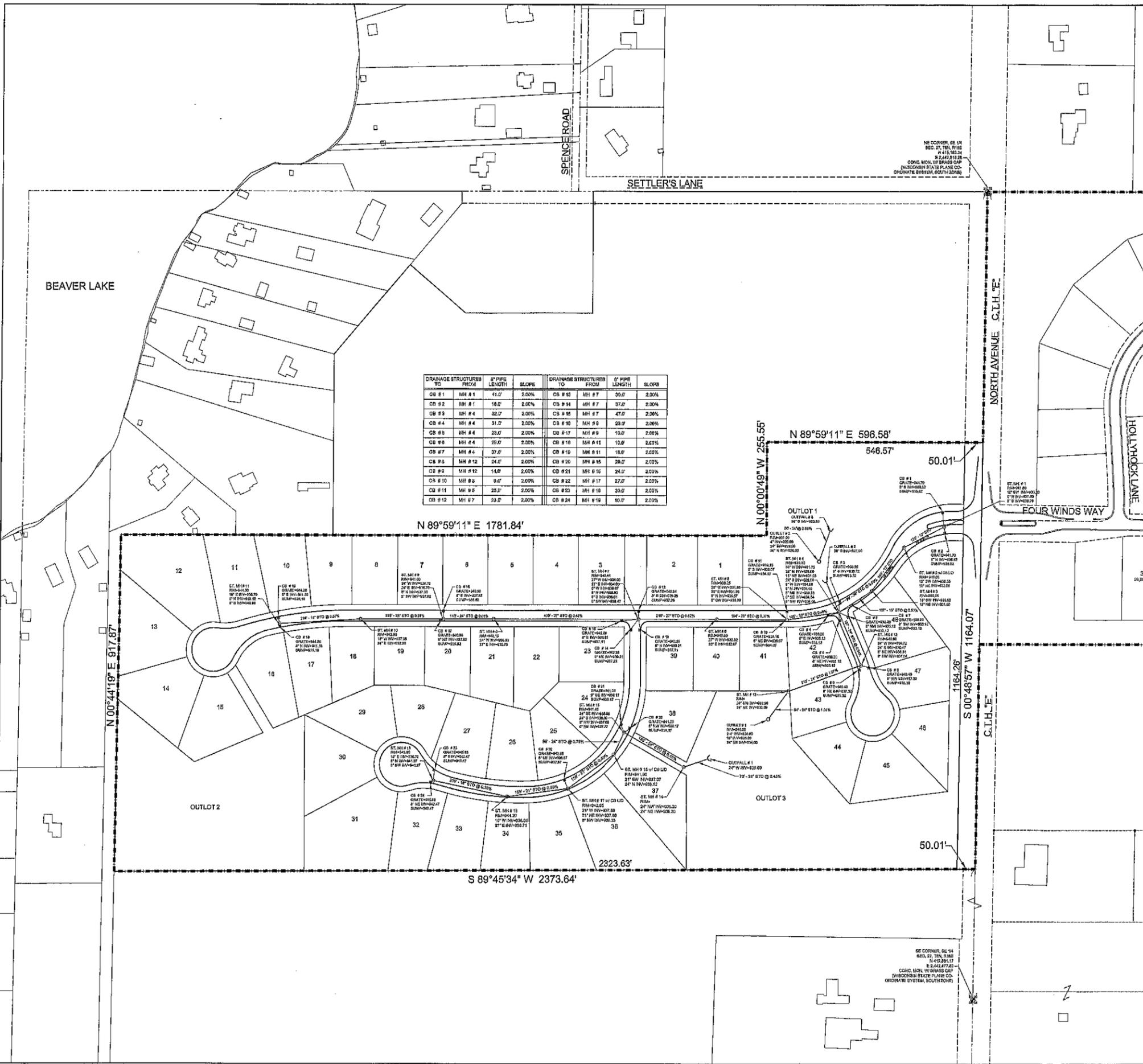
SURVEYOR/ENGINEER
JAHNKE & JAHNKE ASSOC., INC.
ATTN: JOHN R. STOLER, PLS
711 W. MORGLAND BLVD.
WAUKESHA, WI 53186-2479
PHONE: (262) 542-5797

RE: FOUR WINDS WEST
MASTER GRADING PLAN
FOR: FOUR WINDS DEVELOPMENT LLC
PART OF THE NE 1/4, SE 1/4, SW 1/4 AND NW 1/4
OF THE SE 1/4 OF SEC. 27, T8N, R18E
FUTURE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI

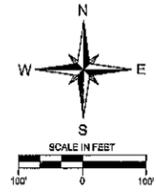
JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORGLAND BLVD. WAUKESHA, WI 53186
TEL: (262) 542-5797 FAX: (262) 542-3938

SCALE: P-109	DATE: MARCH 6, 2016
DRAWN BY: S.A. & D.L.F.	CHECKED BY: J.R.S.
BOOK NO: 18740022	JOB: S-2208

FILE NUMBER: PROJECTS\2015\20150305\FW02\FW02.DWG



DRAINAGE STRUCTURES TO	FROM	PIPE LENGTH	SLOPE	DRAINAGE STRUCTURES TO	FROM	PIPE LENGTH	SLOPE
CB #1	MH #1	41.0'	2.00%	CB #13	MH #7	30.0'	2.00%
CB #2	MH #1	18.0'	2.00%	CB #14	MH #7	37.0'	2.00%
CB #3	MH #4	32.0'	2.00%	CB #15	MH #7	47.0'	2.00%
CB #4	MH #4	31.0'	2.00%	CB #16	MH #8	29.0'	2.00%
CB #5	MH #4	23.0'	2.00%	CB #17	MH #9	10.0'	2.00%
CB #6	MH #4	25.0'	2.00%	CB #18	MH #11	10.0'	2.00%
CB #7	MH #4	37.0'	2.00%	CB #19	MH #11	18.0'	2.00%
CB #8	MH #12	24.0'	2.00%	CB #20	MH #15	28.0'	2.00%
CB #9	MH #12	14.0'	2.00%	CB #21	MH #15	24.0'	2.00%
CB #10	MH #5	9.0'	2.00%	CB #22	MH #17	27.0'	2.00%
CB #11	MH #5	25.0'	2.00%	CB #23	MH #18	30.0'	2.00%
CB #12	MH #7	23.0'	2.00%	CB #24	MH #19	10.0'	2.00%



NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Contractor does not guarantee their exact location or the location of other utilities.

OWNER/SUBDIVIDER
 FOUR WINDS DEVELOPMENT LLC
 C/O SILENO COMPANIES, INC.
 5429 NORTH 118th COURT
 MILWAUKEE, WI 53225-9087
 ATTN: JAMES A. SILENO

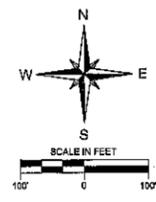
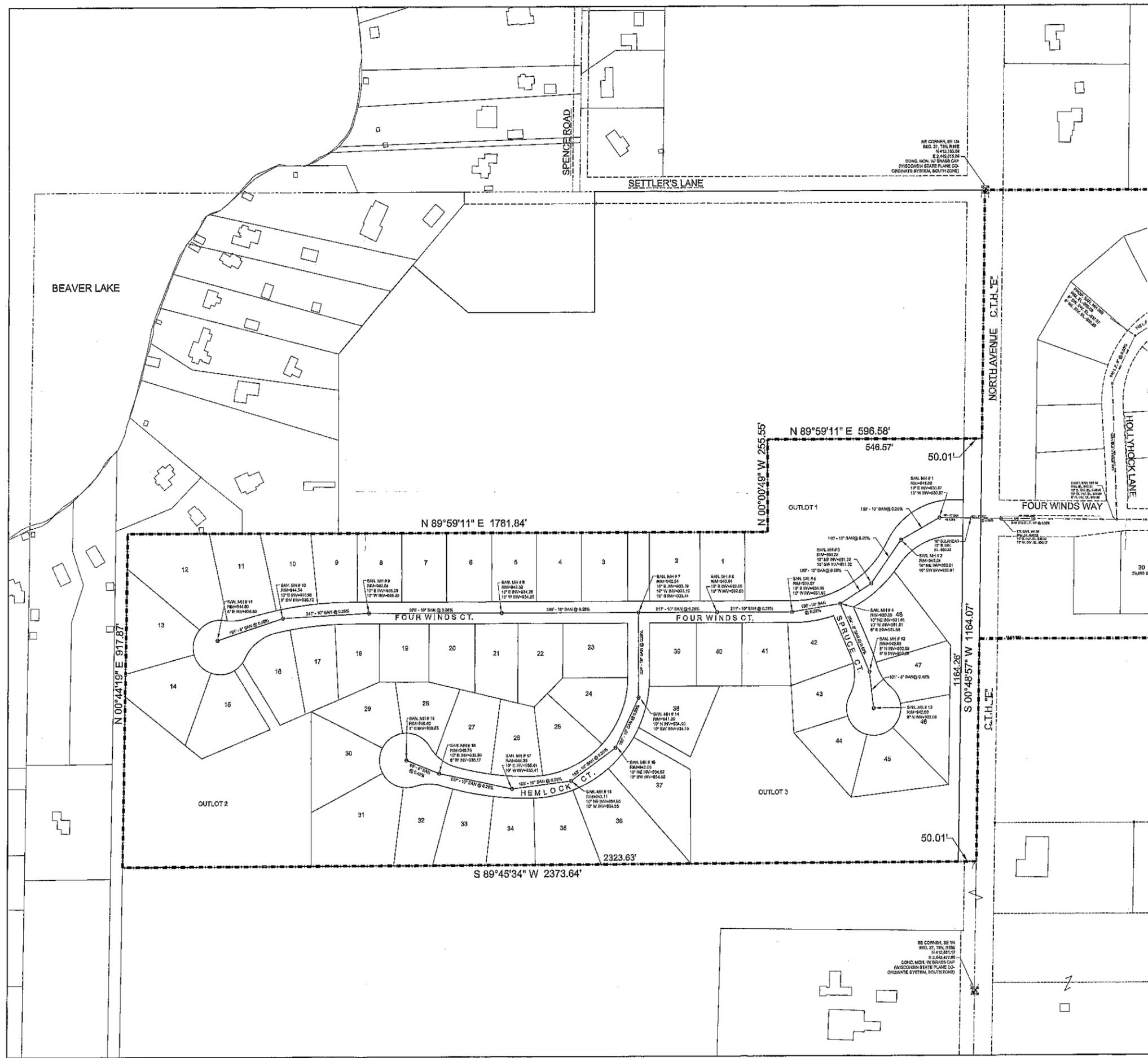
SURVEYOR/ENGINEER
 JAHNIKE & JAHNIKE ASSOC., INC.
 ATTN: JOHN R. STIGLER, PLS
 711 W. MORELAND BLVD.
 WALKESHA, WI 53188-2479
 PHONE: (262) 642-6797

RE: FOUR WINDS WEST
 STORM SEWER SYSTEM MAP
 FOR: FOUR WINDS DEVELOPMENT LLC
 PART OF THE NE 1/4, SE 1/4, SW 1/4 AND NW 1/4
 OF THE SE 1/4 OF SEC. 27, T8N, R18E
 FUTURE VILLAGE OF HARTLAND, WALKESHA COUNTY, WI

JAHNIKE & JAHNIKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. WALKESHA, WI 53188
 TEL: (262) 642-6797 FAX: (262) 642-7889

SCALE: 1"=100' DATE: MARCH 8, 2015
 DRAWN BY: S.L. & D.L.L. CHECKED BY: J.R.S. FILE NO.: MERTON1501
 BOOK NO.: MERTON23 JOB: 8-800 SHEET: 1 OF 1

FILE NAME: S:\PROJECTS\2015\20150301\FOUR WINDS WEST.DWG



CALL DIGGERS HOTLINE
1-800-491-1111
TOLL FREE

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy. However, the Engineer and/or Surveyor does not guarantee that exact location or the location of other utilities shown.

OWNER/SUBDIVIDER
FOUR WINDS DEVELOPMENT LLC
C/O SILENO COMPANIES, INC.
6428 NORTH 118th COURT
MILWAUKEE, WI 53225-3087
ATTN: JAMES A. SILENO

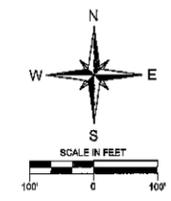
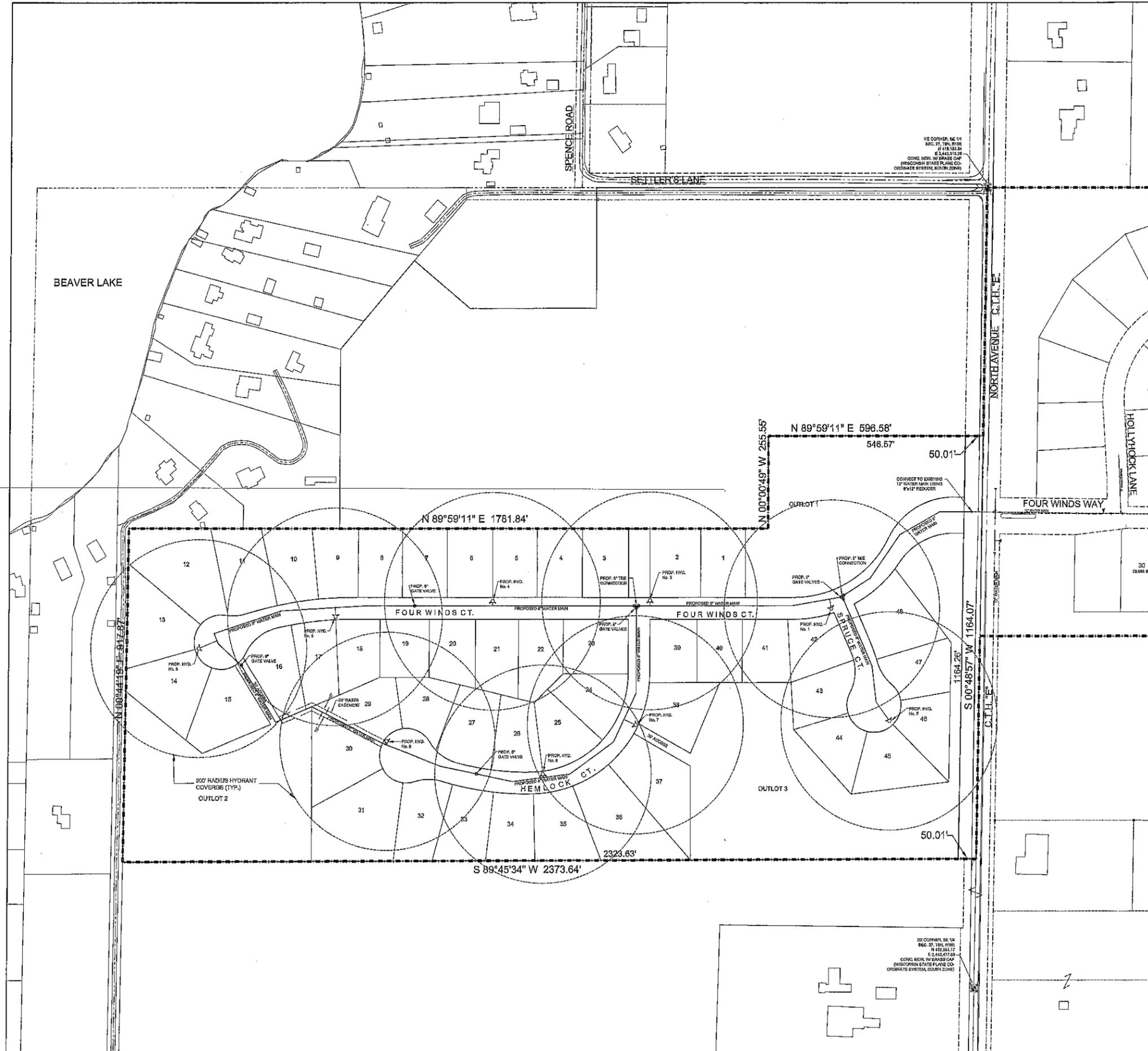
SURVEYOR/ENGINEER
JAHNKE & JAHNKE ASSOC. INC.
ATTN: JOHN R. STIGLER, PLS
711 W. MORELAND BLVD.
WALKESHA, WI 53188-2478
PHONE: (262) 642-5797

RE: FOUR WINDS WEST
SANITARY SEWER SYSTEM MAP
FOR: FOUR WINDS DEVELOPMENT LLC
PART OF THE NE 1/4, SE 1/4, SW 1/4 AND NW 1/4
OF THE SE 1/4 OF SEC. 27, T8N, R18E
FUTURE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD., WAUKESHA, WI 53188
TEL: (262) 642-5797 FAX: (262) 642-5855
DATE: JANUARY, 2016

SCALE: 1"=100'
DRAWN BY: J.L. & D.L.P. CHECKED BY: J.A.B. FILE NO.: MERTON 22
BOOKING: MERTON 22 JOB: S-4376 SHEET 1 OF 1

FILE NAME: PROJECT/SANSEWER/FOURWINDS/SDS.DWG



NOTE: The location and size of the water main lines and valves shown herein have been located in a reasonable degree of accuracy but the Engineer and/or Surveyor does not guarantee the exact location or the location of other utilities shown. Contact Diggers Hotline, Inc., etc.

OWNER/SUBDIVIDER
 FOUR WINDS DEVELOPMENT LLC
 C/O SILENO COMPANIES, INC.
 5428 NORTH 118th COURT
 MILWAUKEE, WI 53225-3067
 ATTN: JAMES A. SILENO

SURVEYOR/ENGINEER
 JAHNKE & JAHNKE ASSOC. INC.
 ATTN: JOHN R. STIGLER, PLS
 711 W. MORELAND BLVD.
 WAUKESHA, WI 53188-2479
 PHONE: (262) 542-6797

RE: FOUR WINDS WEST
 WATER MAIN SYSTEM MAP
 FOR: FOUR WINDS DEVELOPMENT LLC
 PART OF THE NE 1/4, SE 1/4, SW 1/4 AND NW 1/4
 OF THE SE 1/4 OF SEC. 27, T8N, R18E
 FUTURE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. WAUKESHA, WI 53188
 TEL: (262) 542-6797 FAX: (262) 542-7066

SCALE: 1"=100' DATE: MARCH 14, 2015
 DRAWN BY: J.A.S. & B.L.P. CHECKED BY: J.A.S. FILE NO.: MARCHION 165
 NORTH ARROW: 22 JOB: 6-099 SHEET: 4 OF 1

NE CORNER, SE 1/4
 SEC. 27, T8N, R18E
 N 41° 15' 33.34"
 E 244.513.58'
 CONG. MON. W. BRASS CAP
 (WISCONSIN STATE PLANE CO-
 ORDINATE SYSTEM, SOUTH ZONE)

SE CORNER, SE 1/4
 SEC. 27, T8N, R18E
 N 42° 35' 17"
 E 244.477.69'
 CONG. MON. W. BRASS CAP
 (WISCONSIN STATE PLANE CO-
 ORDINATE SYSTEM, SOUTH ZONE)

pd # 159954 BR

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or
- PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
 Six to Fourteen Parcels - \$300.00
 Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
 Plat Requiring Review \$50.00 (Minimum)
 Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
 \$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 3-5-15	Fee Paid:
Date Filed:	Receipt No.:

1. Name: Force Properties LLC, Vicki Braden, owner
 Address of Owner/Agent: N69W23301 Salem Ct E, Sussex WI 53089
 Phone Number of Owner/Agent: 414-614-8717

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.
Residential single family

Vicki Braden
 Signature of Petitioner

N69W23301 Salem Ct E, Sussex WI 53089
 Address

414-614-8717
 Phone

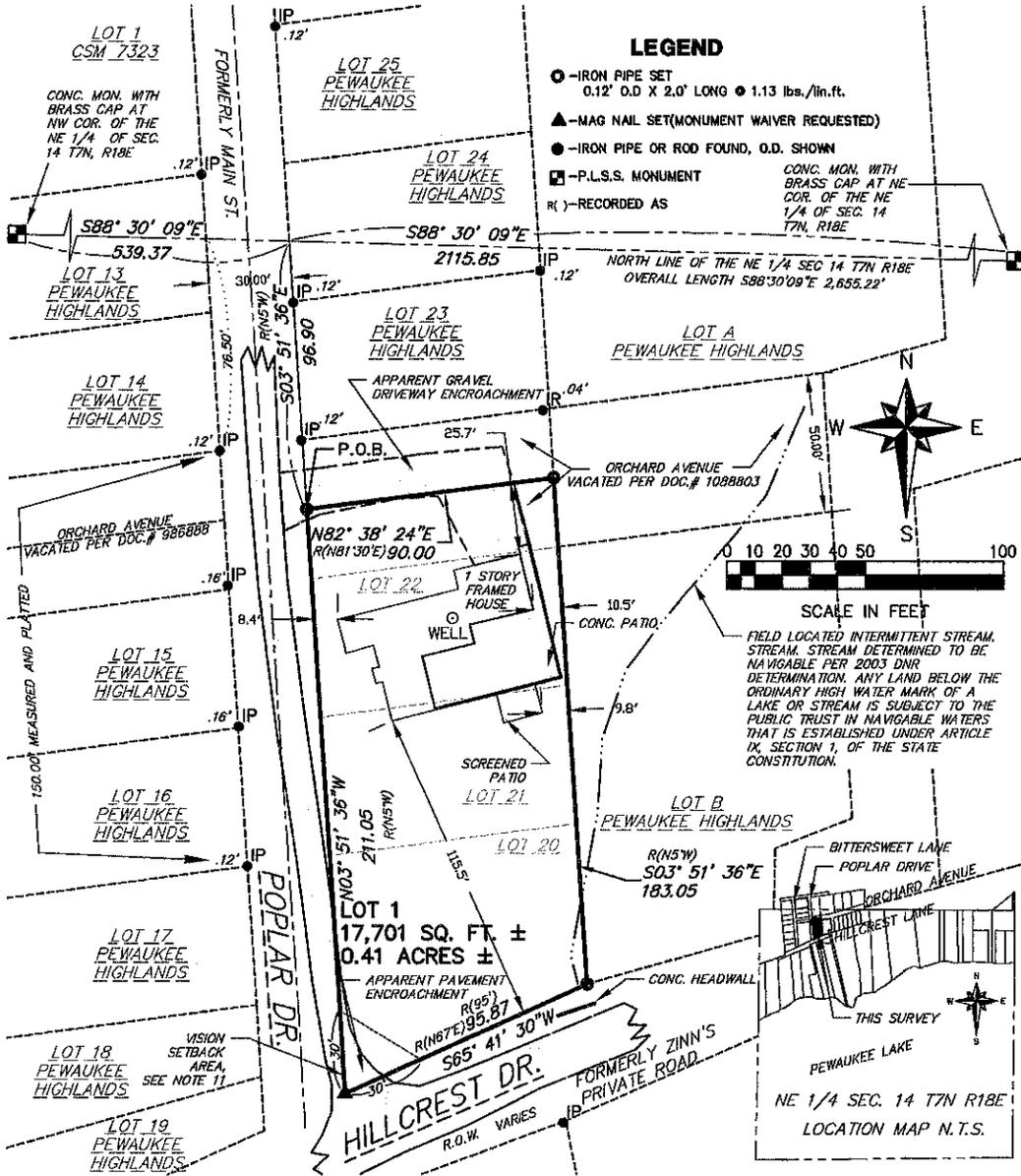
2007 Forms/Petition for Land Division
 Revised 10/07

Property Address: W293 N 3080 Poplar Dr.
Pewaukee WI 53072



CERTIFIED SURVEY MAP NO - _____

Being all of Lots 20, 21, and 22 of Plat of Pewaukee Highlands, and a part of vacated Orchard Avenue, all located in the NW 1/4 of the NE 1/4 of Section 14, Township 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.



G:\CS\140_Private\10042\dwg\Zcam Rev-2.dwg

Chris Ruetten, P.L.S. 2942

Dated this 14th day of January, 2015

THIS INSTRUMENT WAS DRAFTED BY Chris Ruetten, P.L.S.

CHECKED BY: Bruce Cross, P.L.S. (1/14/15)

OWNER:

Force Properties LLC
W293 N3080 Poplar Dr.
Pewaukee, WI 53072

PREPARED BY:

Ruekert & Mielke, Inc.
W233 N2080 Ridgeway Pkwy.
Waukesha, WI 53188

FILE # 1797

SHEET 1 of 6

CERTIFIED SURVEY MAP NO - _____

Being all of Lots 20, 21, and 22 of Plat of Pewaukee Highlands, and a part of vacated Orchard Avenue, all located in the NW 1/4 of the NE 1/4 of Section 14, Township 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF WAUKESHA } SS

I Chris Ruetten, Professional Land Surveyor, do hereby certify that at the direction of the Owners, that I have surveyed, divided and mapped all of Lots 20, 21, and 22 of the Plat of Pewaukee Highlands, and a part of vacated Orchard Avenue, all located in the NW 1/4 of the NE 1/4 of Section 14, Township 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of the said Northeast 1/4 of Section 14; thence along the North line of said Northeast 1/4 S88°30'09"E for a distance of 539.37 feet to a point on the East right-of-way of Poplar Drive formerly Main Street; thence along said East right-of-way S03°51'36"E for a distance of 96.90 feet to the centerline of vacated Orchard Avenue and to the Point of Beginning; thence along said centerline N82°38'24"E for a distance of 90.00 feet; thence along the West line and Northerly extension thereof of Lot B Plat of Pewaukee Highlands S03°51'36" for a distance of 183.05 feet to the North right-of-way of Hilcrest Drive formerly Zinn's Private Road; thence along said North right-of-way S65°41'30"W for a distance of 95.87' to the East right-of-way of Poplar Drive; thence along said East right-of-way N03°51'36"W for a distance of 211.05 feet to the Point of Beginning, containing 0.41 acres (17,701 Sq. Ft.) more or less of land. Subject to covenants, conditions, restrictions and easements of record.

That I have made this survey, land division and map by the direction of Force Properties LLC., Owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 or the Wisconsin Statutes and the Town of Delafield ordinances, and Waukesha County Shoreland & Floodland Protection Ordinances in surveying, dividing and mapping of same.

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Dated this 14th day of January,
2015

OWNER:
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Pewaukee, WI 53072

PREPARED BY:
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FILE # 1797

SHEET 2 of 6

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CERTIFIED SURVEY MAP NO - _____

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SURVEYOR'S NOTES

1. Bearings are based upon the Waukesha County coordinate system as calibrated to the Height Modernization Survey Station known as "Delafield N GPS"
2. This survey is based on fieldwork completed on 01-12-2015. Any changes in site conditions after this date are not reflected by this survey.
3. This entire property is within the jurisdiction of the Waukesha County Shoreland and Floodland Protection Ordinance.
 Waukesha County Shoreland & Floodland Protection Ordinance R-3 per 10-08-2014
 Street Setback=50 feet minimum
 Lot Line Offset=20 feet minimum
4. If future improvement are proposed on the subject property, Ordinary High Water Mark determination of the intermittent stream may be required and setbacks shall be in accordance with the Waukesha County Shoreland and Floodland Protection Ordinance at the time of construction. This surveyor observed the intermittent stream as dry at the time of this survey, and had no visible ordinary high water mark, as there was vegetaion throughout.
5. This property is served by municipal sanitary sewer.
6. Parole evidence was heard from by neighbor Sherman Dow, who says that Poplar Drive is a private road. Mr. Dow says he plows the road, and all the landowners on Poplar Drive share in the cost maintaining it. However our research shows that Poplar Drive was never formally vacated, and per the explanatory notes of Wis. Statutes Chapter 82.19 pertaining to the Discontinuance of Highways, "An owner may not convert a public highway to a private road....." Markos v. Schaller, 2003 WI App 174, 266 Wis. 2d 470,668 N.W.2d 755, 02-1824.
7. The lands surveyed on this map are subject to an electric and telephone easement recorded as Document No. 149013. This is a "blanket" easement.
8. The intent of this map is to combine Lots 20, 21, 22, and the south half of vacated Orchard Avenue into one lot.
9. The lands surveyed on this map are subject to the terms and conditions set forth in Document No. 346075 (Hillcrest Drive, formerly Zinn's Private Road).
10. The lands surveyed are outside the 0.2% chance floodplain per Waukesha County GIS.
11. In the vision setback area, no building or structure of any kind shall be permitted which exceeds a height of three feet above the elevation of the center of the intersection except for necessary highway and traffic signs, public utility lines, and open fences through which there is clear vision, nor shall any plant material be permitted which obscures safe vision of the approaches to the intersection.
12. This parcel does not fall within the extraterritorial plat review jurisdiction of the city of Pewaukee.
13. There are no outstanding mortgages on this property.
14. This Certified Survey Map is located in an area known to have seasonal high groundwater. The Waukesha County Shoreland and Floodland Protection Ordinance currently requires that the lowest level of any residence must be at an elevation that is at least one (1) foot higher than the highest seasonal groundwater level, unless a variance from that requirement is obtained from the Waukesha County Board of Adjustment. Therefore, soil testing in the vicinity of any proposed new residence will be required to ensure compliance with this requirement. If the requirement regarding vertical separation distance from the highest seasonal groundwater level is modified by a future amendment to the Waukesha County Shoreland and Floodland Proction Ordinance, the requirement at the time of construction shall apply.

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PREPARED BY:
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TOWN BOARD CERTIFICATE

Resolved, that this Certified Survey Map, in the Town of Delafield, is hereby approved by the Town Board of the Town of Delafield.

Dated this _____ day of _____, 20 ____ .

PAUL L. KANTER, CHAIRMAN

Seal

MARY T. ELSNER, CLERK

Seal

TOWN PLANNING COMMISSION CERTIFICATE

Resolved, that this Certified Survey Map, in the Town of Delafield, is hereby approved by the Town Planning Commission of the Town of Delafield.

Dated this _____ day of _____, 20 ____ .

TOM OBERHAUS, CHAIRMAN

Seal

LAUREN BEALE, SECRETARY

Seal

WAUKESHA CO. DEPARTMENT OF PARKS AND LAND USE

The above, which has been filed for approval as required by Chapter 236 of the Wisconsin State Statutes, is hereby approved on this _____ day of _____, 2015

DALE SHAVER, DIRECTOR

Chris Ruetten, P.L.S. 2942

Dated this 14th day of January, 2015

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SHEET 4 of 6

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VILLAGE BOARD CERTIFICATE

Resolved, that this Certified Survey Map, in the Village of Hartland , is hereby approved by the Village Board.

Dated this ____ day of _____ , 20 ____ .

DAVID LAMERAND, PRESIDENT

Seal

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of The Village of Hartland .

DARLEN IGL, CLERK

Seal

VILLAGE JOINT ARCHITECTURAL BOARD/PLANNING COMMISSION CERTIFICATE

Resolved, that this Certified Survey Map, in the Village of Hartland, is hereby approved by the Village Joint Architectural/Planning Commission.

Name, Title

Seal

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Joint Architectural/Planning Commission of the Village of Hartland.

Name, Title

Seal

Chris Ruetten, P.L.S. 2942

Dated this 14th day of January, 2015

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Pewaukee, WI 53072

PREPARED BY:
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CORPORATE OWNER'S CERTIFICATE

Force Properties, a Limited Liability Corporation (LLC) duly organized and existing under and by virtue of the laws of the State of _____, as owner(s), does hereby certify that said Force Properties LLC, caused the land described on this map to be surveyed, divided, and mapped as represented on this map.

Force Properties LLC, does further certify that this Certified Survey Map is to be submitted to the following for approval or objection:

- Town of Delafield Board
- Town of Delafield Planning Commission
- Waukesha County Department of Parks and Land Use
- Village of Hartland Joint Architectural Board/Planning Commission
- Village of Hartland Board

WITNESS the hand and seal of said owner(s) this _____ day of _____, 20__.

In the presence of:

Vicki Braden, Owner Seal

Seal

STATE OF WISCONSIN }
COUNTY OF _____ }SS

Personally came before me this _____ day of _____, 20__ , Vicki Braden of the above named Force Properties LLC, to me known to be the such Owners of said Force Properties LLC, and acknowledged that they executed the foregoing instrument as such officer(s) as the deed of said Force Properties LLC, by its authority.

Notary Public, _____ County, STATE

My Commission Expires _____

Chris Ruetten, P.L.S. 2942

Dated this 14th day of January, 2015

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