

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA  
MONDAY, APRIL 20, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of March 16, 2015
2. Architectural Board consideration of an application for a sign permit for Premier Real Estate Hartland, LLC, 621 W. Capitol Drive.  
  
Contractor: Nicolet Lumber, 4050 Nicolet Dr., Green Bay, WI 54311
3. Architectural Board consideration of an application for a sign permit for Hartland Village Mart, Inc., 301 E. Capitol Drive.  
  
Contractor: Bauer Sign Company, 2500 South 170<sup>th</sup> Street, New Berlin, WI 53151
4. Architectural Board consideration of an application for the construction of an 8' x 14' porch addition to a single-family residence at 242 Hill Street.  
  
Applicant: Karen Booth, 242 Hill Street, Hartland, WI 53029  
Contractor: Mark Oberst, N43 W32831 Rasmus Rd., Nashotah, WI 53058
5. Architectural Board consideration of an application for exterior updates for HL Salon, 140 Cottonwood Ave.  
  
Applicant: Heidi Lindemann, N627 S Hickory Hills Dr., Oconomowoc, WI 53066  
Contractor: Scott Watson Construction, 929 N. Astor, Unit 1206, Milwaukee, WI 53202
6. Items related to Architectural Board and Plan Commission consideration of a proposed 32-bed Memory Care CBRF and related Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit for the properties located at 430, 438 and 444 Merton Ave.
  - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to allow a community living arrangement with a capacity of greater than 16 (32 unit memory care facility) – MOTION to continue the Public Hearing to the May 18, 2015 meeting.

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- b. Review of Site and Building Plans, Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit and MOTION to table the item to the May 18, 2015 meeting.

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027  
Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

7. Items related to Architectural Board and Plan Commission consideration of a 13,400 sq. ft. auto service, auto detail and car wash addition for Hartland Service Car Wash & Detail Building, 400 E. Industrial Drive, Hartland
  - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to allow Automotive Service (Vehicle Wash and Vehicle Service)
  - b. Consideration of a Motion to approve Site and Building Plans.
  - c. Consideration of a Motion to approve a Conditional Use Permit.

Applicant: Michael & Deborah Kusch, N65 W30981 Beaver Lake Rd., Hartland, WI 53029  
Engineer: MSI General, P.O. Box 7, Oconomowoc, WI 53066

8. Plan Commission consideration of an application for a proposed parking lot expansion for Heraeus Electro-Nite Co., 541 S. Industrial Drive.

Applicant: Heraeus Electro-Nite Co., LLC, 541 S. Industrial Drive, Hartland, WI 53029  
Engineer: MSI General, P.O. Box 7, Oconomowoc, WI 53066

9. Adjourn

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** Architectural Board and Plan Commission  
**FROM:** David E. Cox, Village Administrator  
**DATE:** April 17, 2015  
**SUBJECT:** Agenda Information – April 20, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 6 Related to the Merton Ave Memory Care CBRF.

**Background:** This item has been reviewed twice by the Plan Commission and it is now before the Commission for public hearing and would have been scheduled for consideration of final approval but there are some deficiencies in the final submittal. As a reminder, the project includes a proposed 32 unit memory care community based residential facility (CBRF) for the southeast corner of Merton Avenue and Sunny Slope Drive. The Commission is asked to open and continue the public hearing and to hold final review until after the full and final details of the project are produced by the applicant. A draft of the Conditional Use Permit for this project, used to allow a community living arrangement of this size in this District, is in the packet and the Commissioners may wish to give initial feedback on the document at this meeting.

**Recommendation:** Undertake a secondary review and continue the matter to the next meeting.

Item 7 Related to a revised concept plan for a carwash expansion at Hartland Service.

**Background:** The project was reviewed and initially approved by the Plan Commission at its March meeting. At that time, the Commission was not asked to set a public hearing. However, based on the revised project and the fact that the project was reviewed twice by the Commission, a public hearing was noticed by staff in order to give the Commission the opportunity to evaluate and finalize the project if it is ready to do so without any unnecessary delay. If the hearing is acceptable, please hold the hearing and move forward. If the Commission wishes to delay, the hearing can be continued. The project has been designed with significant detail and is generally ready for approval conditioned on final review and permitting by staff. Comments of the Village Engineer are attached along with the responses from the petitioner's contractor. Additionally, a draft of the Conditional Use Permit for this matter is included in the packet. The Commission is asked to consider that document to understand the proposed conditions and to consider any additional conditions that may need to be included.

**Recommendation:** Review and approve the project with conditions as included or as may be added by the Commission to the Conditional Use Permit.

Item 8 Related to a parking lot expansion at Heraeus Eletro-nite.

Background: The Commission is being asked to consider the expansion of the parking lot at Heraeus, which is experiencing parking shortages after its recent expansion. The proposed addition will add 23 new spaces to the west side of the property adjacent to STH 83. As the attached material from the Village Engineer and responses from the petitioner's contractor indicate, the storm water plan has been modified and the storm water facilities are able to accommodate the additional parking. New landscaping will be added to the "islands" in the new section of the parking lot. Otherwise, the new parking is generally at the rear of the property as the building and site is oriented toward S Industrial Drive.

Recommendation: Review and approve the proposed parking addition conditioned on final Village Engineer approval

DC:PC Agenda Info 4-20

cc: Ryan Amtmann, Village Engineer  
Mike Einweck, Public Works Director  
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND  
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES  
MONDAY, MARCH 16, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, Jim Schneeberger (new member, first meeting), Randy Swenson and Jack Wenstrom.

Others Present: Administrator Cox and Deputy Clerk Meyer. Absent and excused: Building Inspector/Zoning Administrator Scott Hussinger.

Roll Call

Chairperson Lamerand welcomed the new Plan Commission member, Jim (Chip) Schneeberger.

1. Motion (Hallquist/deCourcy-Bower) to approve the Jt. Architectural Board/Plan Commission Minutes of February 16, 2015. Carried (6-0-1). Swenson abstained.
2. Architectural Board consideration of an application for the construction of a 24' x 30' detached garage at 518 E. Capitol Drive.

Applicant: Jane Schutte, 518 E. Capitol Drive, Hartland, WI 53029

Contractor: J. D. Griffiths, 8401 W. Calumet Road, Milwaukee, WI 53223

Mr. & Mrs. Schutte were present.

The proposed structure is located in the rear yard and meets the five foot minimum setback. Scott Hussinger will confirm in the field that the height is not higher than the 15 foot maximum. The proposed building is 720 s.f. The Commission was asked if they would want to require any windows in the structure. The plan shows a human door, along with the garage door, but no windows. The Commission decided that windows would not be required.

Motion (deCourcy-Bower/Swenson) to approve an application for the construction of a 24' x 30' detached garage at 518 E. Capitol Drive. Carried (7-0).

3. Architectural Board consideration of an application for placement of a mural by Marlene Millevolte, Lake Country Fine Arts at 112 W. Capitol Drive

Owner: Behrend Property, LLC., 220 E Capitol Dr., Hartland, WI 53029

The owner of Lake Country Fine Arts currently has a mural on the building at this location. The proposed mural, which is partially underwritten by the Hartland Business Improvement District, is intended to highlight the Village's ice age history and its

connection to the Ice Age Trail. The Hartland BID is leading an effort supported by the Village to get the Village named as a Trail Community by the Ice Age Trail Alliance. If named, Hartland would likely be the second such community in the State. The designation will improve the partnership between the Village and the Alliance and lead to cross marketing of events and activities. The Hartland BID has reviewed and approved the current design with the condition that the proper Trail Community logo be placed adjacent to the mural.

Ms. Millevolte stated that she would like to have the project finished by May 15, at which time she will hold an art show in conjunction with Hartland/Lakeside Schools. The mural will have some 3-D features, namely all the animals, rocks and trees. Originally, plywood was going to be used on the mural, but a plastic product was recommended to Ms. Millevolte and she will be investigating that product this week at Midwest Plastics in New Berlin. She has secured permission to use the Ice Age Alliance logo on the mural, but is investigating to see if it can be a painted logo or if it needs to be a pre-fab sign.

Motion (Hallquist/Swenson) to approve an application for placement of a mural by Marlene Millevolte, Lake Country Fine Arts at 112 W. Capitol Drive. Carried (7-0).

4. Architectural Board and Plan Commission consideration of proposed façade modifications, CSM and plan of operation including outdoor dining for a proposed restaurant at 122 Cottonwood Ave.

Applicant/Owner: Cottonwood Investments, d/b/a Beer Snobs, Inc., 724 Winston Way, Hartland, WI 53029

Contractor: Michael Thomas Development, 154 Granville Rd., Cedarburg, WI 53012

- a. Review and consideration of proposed Plan of Operation including outdoor dining and parking.

Steve Berger presented a plan for a restaurant with outside dining. The building was built in 1911. Complete renovation of the exterior and interior will include the addition of garage door (to be used as a passageway to the outdoor dining area); additional exists to go out to the paved patio on Haight Drive and significant windows along both facades.

The CSM frames the concept behind the outdoor dining. Ordinarily when looking at a potential of re-division of property, the Village would clear up some rights of way issues and would ask that the owner dedicate right of way that is currently being used in that fashion. Staff had a number of discussions with the applicants about that and how such a dedication would interplay with outdoor dining. Ultimately, staff decided perhaps in this instance it would be better to leave in the private property as it exists today. The public use of the parking spaces there is essentially a hand shake deal between previous members of Village staff and Mrs. Herrick's father. Current staff is suggesting that it remain

in private property and the parcel simply be divided in two to facilitate the sale of the building. Staff supports the concept of the outdoor dining, with appropriate limitations in their plan of operation. The Village would ask for an easement to be represented, either on the CSM or via separate document, showing a public walkway in the area. Staff also suggests that there be a color variation in the concrete so that it's easy to see where the two spaces are. It leaves 10 vs. 12 parking spaces. To clarify, the walkway would be between the building and the patio. The reason for that is to align it to the pedestrian walkway to the east. Staff did not see a problem with the little bit of cross-traffic that would go on.

The applicant will plant trees in the patio area and string lights on them at certain times of the year.

The plan is to have a sign on the north and west sides of the turret. There will not be an overhanging sign.

Mr. Berger is hoping to be open as soon as possible – June or July. With a building this old, the start of demolition will show what needs to be done.

Right now the door faces Cottonwood Avenue. The applicant looked at doing a cut-out, but the architect recommended that, with the elevation of the property, they will probably just put a canopy or an atrium and not do a cut-out. The door will be on Haight Avenue.

Officially, this restaurant only needs to have 12 parking spaces, including the three on the street and the seven down below that would be dedicated to the restaurant -- that's ten. There are 140 spots for public parking in close proximity of the restaurant that adds to the initial 10 spaces.

Staff's suggestions for the property:

- Allow the property to remain private rather than request a right-of-way dedication.
- An easement to the Village for the benefit of the public should be required to allow public access to a six foot wide sidewalk adjacent to the building, which the restaurant could not block and would be required to keep clear during the winter.
- When the area concrete is reconstructed, the patio area should be a distinctive color separate from the sidewalk and the curb area so that the area of the outdoor dining and the sidewalk is clearly defined.
- Appropriate fencing, railing or other protection should be placed around, at minimum, the street side of the outdoor dining area.

Mr. Berger stated that on the weekends they would be open Friday and Saturday until 1:00 AM. He has received requests to be open for lunch (at least on Fridays), and on week days they would be open from lunch to 10 or 11 PM.

There are not many residential units in the area, so late hours should not be a conflict in that respect.

The Commission will reserve the right to annually review the hours for the outside dining. Mr. Berger stated that the outside dining equipment will be high quality wrought iron tables and chairs. They will be chained and locked together over night – not brought inside for storage. They will be stored inside after the outside season ends.

Motion (Hallquist/Swenson) to approve the plan of operation including outdoor dining and parking for a proposed restaurant at 122 Cottonwood Ave., contingent upon staff/Plan Commission recommendations and a periodic review of the outside dining area. Carried (7-0).

- b. Review and consideration of Certified Survey Map to divide the properties.

The owner of the property and the proposed purchasers of 122 Cottonwood (SE Corner of Cottonwood and Haight) have proposed a CSM to divide the property, which is currently in condominium ownership with the building to the south.

The small bit of space between the buildings will be shared space, with a walkway and an additional exit. The two buildings will continue to share the dumpster area behind both buildings. There is also a cross-easement that allows intrusions into that space for equipment in the buildings (i.e. vent hoods, etc.).

Ryan Amtmann stated that he has not seen the CSM until tonight, so approval should be contingent upon a completed review.

Motion (deCourcy-Bower/Wenstrom) to recommend to the Village Board the Certified Survey Map to divide the properties, contingent upon Ryan Amtmann completing his review. Carried (7-0).

- c. Review and consideration of the proposed façade improvements.

The original thought of installing a projecting sign has been changed to having two wall signs on the turret – one on the north face and one on the west face. There will be lights projecting on the sign -- it will not be backlit. The lighting will be on a timer. The sign will be brought to the Arch Board for approval in the future.

The façade change has been approved by the Business Improvement District. The building color will be Texas Burnt Orange and black or white around the windows with cedar trim. The roof will be a black dimensional shingle.

Motion (Hallquist/Swenson) to approve the proposed façade improvements for 122 Cottonwood Avenue. Carried (7-0).

5. Architectural Board and Plan Commission concept review and consideration of an application for site and building plans and Conditional Use Permit for construction of a car wash expansion/addition for the property located at 400 E. Industrial Drive.

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

Based on the Plan Commission's comments from the February meeting, the owner has returned a new concept plan that does not include a second building or a retail use.

The new concept proposal includes an expansion of the carwash similar to the original proposal, except the wash bays are oriented east/west instead of north/south.

Staff and the Plan Commission were concerned with the carwash exit on the east side and how headlight and noise impacts will be reduced for properties on Cottonwood. Additionally, traffic flow will be of concern especially as it relates to the existing entrance off of Cottonwood and traffic congestion on the south side of the existing building where the emissions test occurs.

The applicant brought a 3-D rendering of the new concept. It shows an expansion of the existing building, without the additional buildings on the lot. Keeping everything under one roof addresses storm water management, the green space issue and better fitting of the B-2 zoning. The traffic pattern will be clockwise around the building. The parking issue has been addressed by eliminating the retail space. The existing rear building will be removed. The parking stalls on the north side would be used for employee parking.

The emissions station will stay where it is – it needs to be at the front door.

Administrator Cox mentioned that in the area of the emission testing, there is two-way traffic, plus the emission testing lane, which faces the "wrong" way. Mr. Cox asked if the applicant thought they should make the Cottonwood drive an "out only" driveway and Industrial an "in only". Mr. Kusch stated that he didn't think the amount of traffic would warrant that. Both driveways will be widened to 30 feet. There is 36 feet between the parking stalls and the building, which make for 3 lanes of traffic. Proper striping and signage should alleviate any traffic problems.

When people use the carwash for the first time, they will see that next time they will want to enter from Industrial Drive rather than Cottonwood Avenue.

The existing carwash will become shop workspace. There are a dozen spaces inside for cars right now. The new addition will add space for six more cars. The new shop space will be for antique cars, street rods and detailing. Initially, four lifts will be constructed in that space.

Mike Kusch explained that the new carwashes will be quieter than the old one. The blowers will be inside the bay by almost 30 feet – that should minimize the noise. The other bay, similar to the carwash he has now, will have the blowers be inside by ten feet and there will be curtains to help dry the car after the blowers. The present carwash blowers are at the door. Technology has changed and today's blowers are quieter. The information from the manufacturer says that the new blowers will be 15 – 20 decibels quieter than the old ones. The current ones are 75 decibels at the street level; the new ones will be about 55 decibels.

The elevation coming out of the carwash is already two feet below Cottonwood Avenue. The landscape buffer plan has a two foot tall berm with plantings tall enough so that headlights coming out of the carwash won't affect the homes on Cottonwood.

Staff recommends the issuance of a Conditional Use Permit for the carwash as required by the Zoning Code.

Motion (Swenson/Wenstrom) to approve a concept review of an application for site and building plans for construction of a carwash expansion/addition for the property located at 400 E. Industrial Drive. Carried (7-0).

6. Architectural Board and Plan Commission review and consideration of a plan for construction of a 32-bed Memory Care CBRF and related Land Use Plan Amendment, Zoning, Conditional Use and Certified Survey Map for the properties located at 430, 438 and 444 Merton Ave.

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027

Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

- a. Consideration of Site and Building Plans and CSM
- b. Consideration of proposed Conditional Use Permit

This is the second review and this plan contains more details than last month's review.

There were comments from the neighbor to the south who was concerned about the dumpster placement in relation to his property.

The applicant said that the dumpster will be located at the southern part of the property. He was directed to properly screen the dumpster enclosure so that it is attractive from the neighbor's view.

Based on the initial review, staff recommends that any outside mechanical units should be placed away from residential properties and properly screened. Additionally, staff suggests a review of operational activities to ensure that parking and deliveries are accommodated, that refuse storage is properly located and screened from adjacent properties; and that snow removal and similar issues are addressed.

- c. Motion (deCourcy-Bower/Hallquist) to set a Public Hearing to consider the proposed Conditional Use Permit for April 20, 2015. Carried (7-0).

7. Items related to proposed development of the Four Winds West Subdivision:

- a. Consideration of a preliminary plat for Four Winds West

Jim Sileno mentioned that the plat has not changed much since last month's review, except for the street names.

The storm sewer will collect the water off of the streets and from some of the lots, which will carry the storm water primarily to outlet 3 and also to outlet 1. Lots 11 & 12 will drain to the street area. Lots 13 & 14 grading plan shows drainage to outlet 2 recharge basin. If Mr. Haertle grants permission, Mr. Sileno would like to remove or cap off the corrugated pipe under his driveway and raise the grade at the property line to force the storm water to stay on the Four Winds West property. The same thing was done several years ago in the original Four Winds Subdivision with the property to the east of Swallow School. Natural runoff from some of the backyards will go into outlet 2, but not street water.

Mr. Sileno has sent a letter to Arrowhead High School notifying them that they have 15 days to respond if they have any need to share the pond in outlet 3 for their own drainage. The purchase agreement with the Vilters stated that if needed, AHS could use some of Four Winds retention ponds. AHS keeps changing their minds on how they are progressing in lieu of their funding source. Mr. Sileno also asked them if they have a need for a water utility on their site. They also have availability of water off of Highways K & E if they wish. The first phase of the fields will have portable outhouses. It seems they have no plans at this time for sewer or water. Mr. Sileno has asked them to clarify things with their landscaping along their northern property line and if there could possibly be cooperation to utilize their planned access road in the future.

At first Arrowhead was going to go with infiltration turf fields, but now they found that it would be less costly to have the water collect into a pipe system and empty into one of the Four Winds retention basins. There is Town zoning that requires them to buffer their parking lots so their lights do not shine onto residential properties.

David deCourcy-Bower mentioned that in the existing Four Winds Subdivision there are outlots around practically all of the residential lots. This development does not have that, so there is a difference between the two developments. Some outlots could be placed at the rear of the lots on the northwest side to create a buffer in those areas. What kind of pedestrian access will there be in this subdivision? Chairperson Lamerand stated that this subdivision will have sidewalks instead of walking paths. Mr. deCourcy-Bower mentioned that the concept of outlots with walking space has been used in almost every development on the north side of town. That is absent here.

Mr. Lamerand stated that the other subdivisions have no sidewalks. In place of sidewalks they have outlot paths. In this subdivision, where would the trail go to? To the south are the Arrowhead sporting fields. The land to the north is not intended to be developed and is private property; however, there are provisions with the right-of-way to the north. Mr. Sileno added that between lots 15 & 16 we have a 30 foot access into outlot 2 which represents 4 ½ acres of land. We do have a trail in outlot 3, which is another 6 ½ acres, and also the outlot at the entrance area.

Mr. deCourcy-Bower stated that given the concern of the property owners to the west, would we not want to put some kind of buffer between the properties?

Mr. Sileno answered that if we create an open space behind lots 12, 13 and 14, it would give 48 people the rights to access that area, which goes into the woods and eventually to Beaver Lake. It would be better for the Beaver Lake residents to deal with three homeowners than the rights of 48 homeowners and their children to be in that area.

Mr. deCourcy-Bower said that green space with paths is a design concept that we have used in other areas of the Village.

Paul Rabb of Beaver Lake Road asked that a buffer area could be held in an undeveloped state controlled by the developer. That way there won't be a swing set put there. Mr. Sileno said he would not let that happen.

Chairperson Lamerand stated that this plan meets our goals and objectives. He did not see a benefit to adding open space.

- b. Consideration of a request to rezone the property to RS-1 Single-Family Residential.

Applicant: Jim Sileno, SCI Real Estate, 5429 N 118<sup>th</sup> Court, Milwaukee, WI 53225  
Property Owner: Clark/Joy Vilter, N56W30020 Highway K, Hartland, WI 53029

Motion (Lamerand/Swenson) to conditionally approve the preliminary plat for Four Winds West and to rezone the property to RS-1 Single-Family Residential. Carried (6-1). deCourcy-Bower voted No.

8. Plan Commission review and consideration of an extraterritorial Certified Survey Map for properties owned by Force Properties, LLC located in the Town of Delafield at W293 N3080 Poplar Dr.

The owners of a site in the Town of Delafield are requesting approval of a Certified Survey Map being used to combine three properties into one parcel. It is noted that the existing Town road seems to encroach onto the property and that the driveway for the property seems to be encroaching on the neighbor's land. This latter situation was likely created when the Town vacated a platted but undeveloped road in which the driveway was located. Both of these are matters for the Town, but are worth noting.

Motion (Wenstrom/Hallquist) to recommend to the Village Board approval of an extraterritorial Certified Survey Map for properties owned by Force Properties, LLC located in the Town of Delafield at W293 N3080 Poplar Dr., addressing to the Town the two items discussed. Carried (7-0).

9. Discussion of conceptual TIF #4 adjustments and potential creation of TIF #6 including review of projected time line.

Administrator Cox referred the Commission to his January 9, 2015 memo regarding what is going on with TIF District #4. The existing TIF District #4 was created in 2008, (a diagram was handed out) and it was revised in 2011-2012. TIF #4 has been in a negative increment position because of changes in the economy and changes in property values since the 2008 designation of the base value. There are only five parcels that have gained value since the base time and the balance have lost value.

The two parcels associated with the Emanuele and Haut building (130 E. Capitol and 140 E. Capitol) are the ones that have seen development and seen change based on development as opposed to just on inflationary changes. The proposal that we discussed with the Village Board in January is to further reduce the size of TIF #4 to the size you see in the diagram – a site-specific increment district serving only the Emanuele buildings. That's been discussed with the Joint Review Board of TIF #4, who is amenable to that concept. They are continuing to favor more site-specific districts anyway, as opposed to very large districts.

TIF District #4 would be revised to where it would have an increment immediately upon the next tax year of just shy of \$1 million, as opposed to being \$300,000 in the hole.

The most important thing is that it begins to pay off the obligations that exist related to the construction of the parcels – the loans that were made—and begins to honor the deals and the plan that was put in place.

The Village would then propose to create a new TIF #6 that would likely have a January 1, 2015 date and would reflect the site and the project associated with the Riverwalk.

There is some public infrastructure that needs to go in on Lawn Street and into the site to accommodate fire flow and to improve water flow in the area. There is infrastructure on the river walk itself and the bridge over the river. At issue right now is identifying what the developer's support would be in the project and the right number for that. The Joint Review Board is amenable to the creation of a new TIF #6.

The Plan Commission will hold a Public Hearing, hopefully within a few weeks. Staff will undoubtedly ask the Commission to meet on a special night that will be coordinated with you. We are trying to move TIF #6 along so that project can get underway as soon as possible.

The question was raised as to how our ability is affected to fund the areas that are now outside the current TIF Districts?

Mr. Cox stated that there are provisions in the law that allows improvements to take place outside of the district that benefit the district. There are distance requirements and benefit requirements. The pedestrian bridge and the river walk pathways would fit into this category. As we go into some final reviews, we could take a look at some other possible parcels that we might possibly want to include in TIF #6. We do want to have the flexibility to be able to fund some of the properties around this area.

Adjourn

Motion (Hallquist/deCourcy-Bower) to adjourn. Carried (7-0). Meeting adjourned at 8:35 PM.

Respectfully submitted by

Recording Secretary,

Lynn Meyer  
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>621 W. Capitol Drive</u>			
Lot	Block	Subdivision <u>Arbor Valley</u>	Key No. <u>HAV</u>
Owner <u>Calvin Aiken Premier Real Estate</u>	EMAIL <u>kari@premier-real-estate.com</u>		Phone <u>262-717-5158</u>
Address <u>19105 W. Capitol Dr.</u>	City <u>Brookfield</u>	State <u>WI</u>	Zip <u>53045</u>
Contractor <u>Nicolet Lumber</u>	Phone <u>920-866-2621</u>	FAX <u>920-866-3616</u>	EMAIL <u>dennys.yard@aol.com</u>
Address <u>4050 Nicolet Dr.</u>	City <u>Green Bay</u>	State <u>WI</u>	Zip <u>54311</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

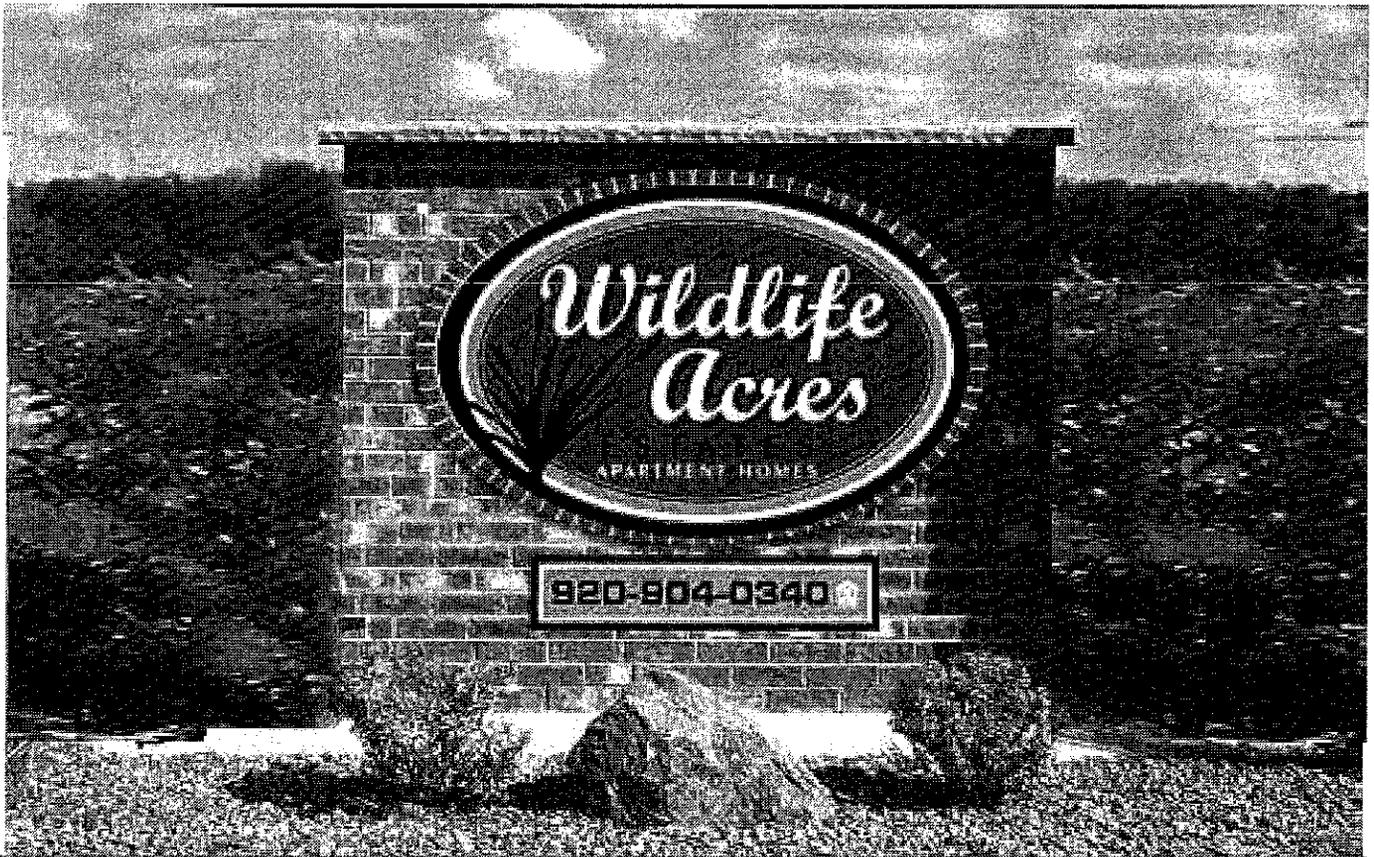
**Signs:**

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_

4' x 6' oval (absolute outer dimensions).  
Actual square footage of oval is 18.85 square feet  
3.33 square feet for the phone  
22.18 actual square feet of signage  
Brick base approx 6'6" high x 8'2" wide



DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT

PERMIT # \_\_\_\_\_

JOB LOCATION 621 W. Capitol Drive TAX KEY # \_\_\_\_\_  
OWNER Premier Hartland, LLC PHONE 262-790-4560  
ADDRESS 19105 W. Capitol Dr. CITY Brookfield STATE WI ZIP 53045  
CONTRACTOR Nicole Lumber Company PHONE 920-866-2629  
ADDRESS 4050 Nicolet Dr. CITY Green Bay STATE WI ZIP 54311

SIGN TYPE:  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

• Arbor Valley Estates Apartment Homes  
262-367-1037 (see attached rendering)

OVERALL DIMENSIONS OF SIGN SEE ATTACHED COLOR OF BACKGROUND \_\_\_\_\_

SIZE OF LETTERS IN INCHES RENDERING COLOR OF LETTERS \_\_\_\_\_

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) \_\_\_\_\_

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

• ESTIMATED COST OF ABOVE SIGN \$ 7,000

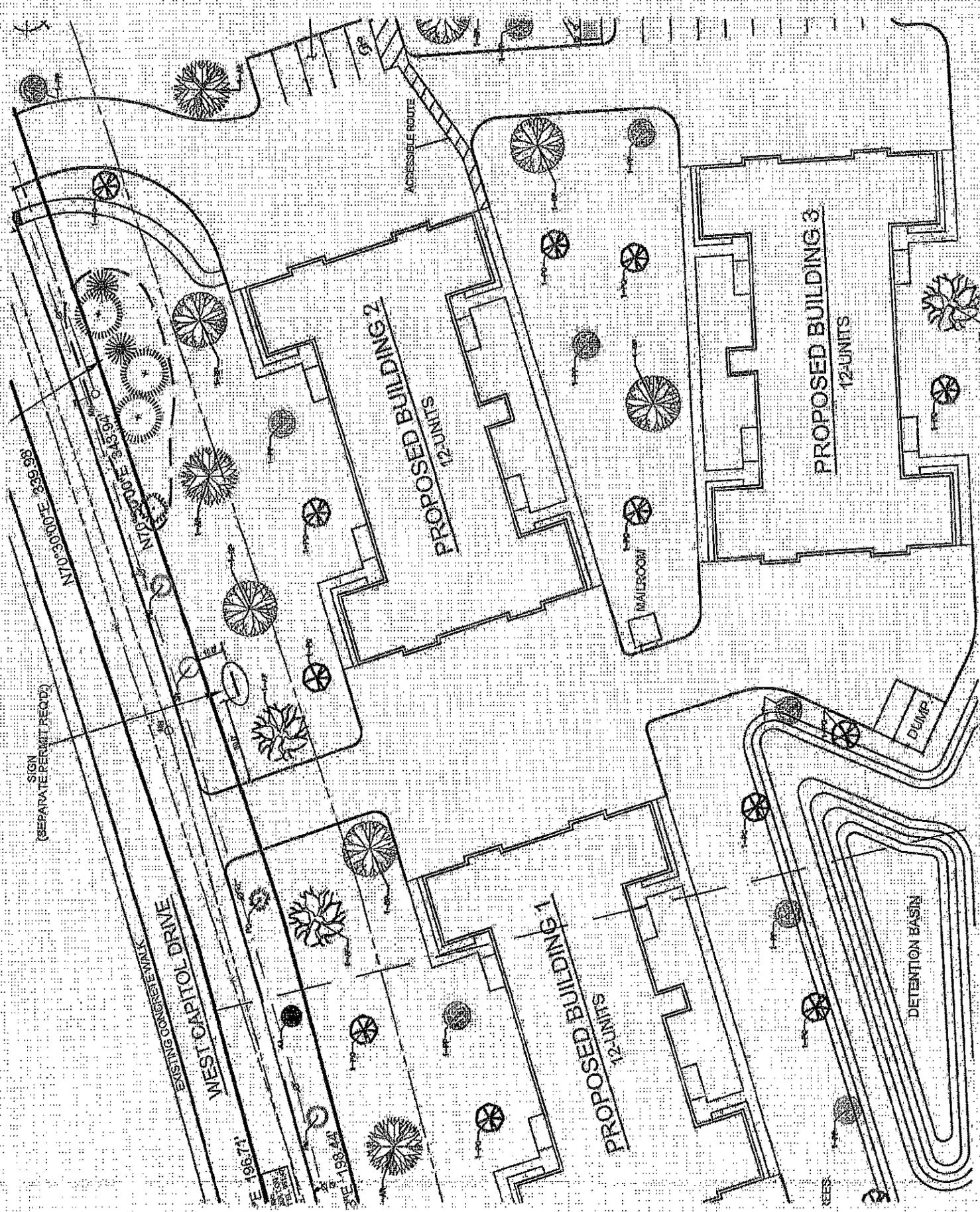
TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

• APPLICANT Karl Reussen DATE 4/6/15

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \$ 75 DATE PAID 04/16/15 RECEIPT # 160950



SIGN  
(SEPARATE PERMIT REQUIRED)

N70°30'00" E 336.93' 89

N70°30'00" E 343.91' 0

WEST CAPITOL DRIVE

E 196.71'

E 198.44'

PROPOSED BUILDING 2  
12 UNITS

PROPOSED BUILDING 1  
12 UNITS

PROPOSED BUILDING 3  
12 UNITS

MAIL ROOM

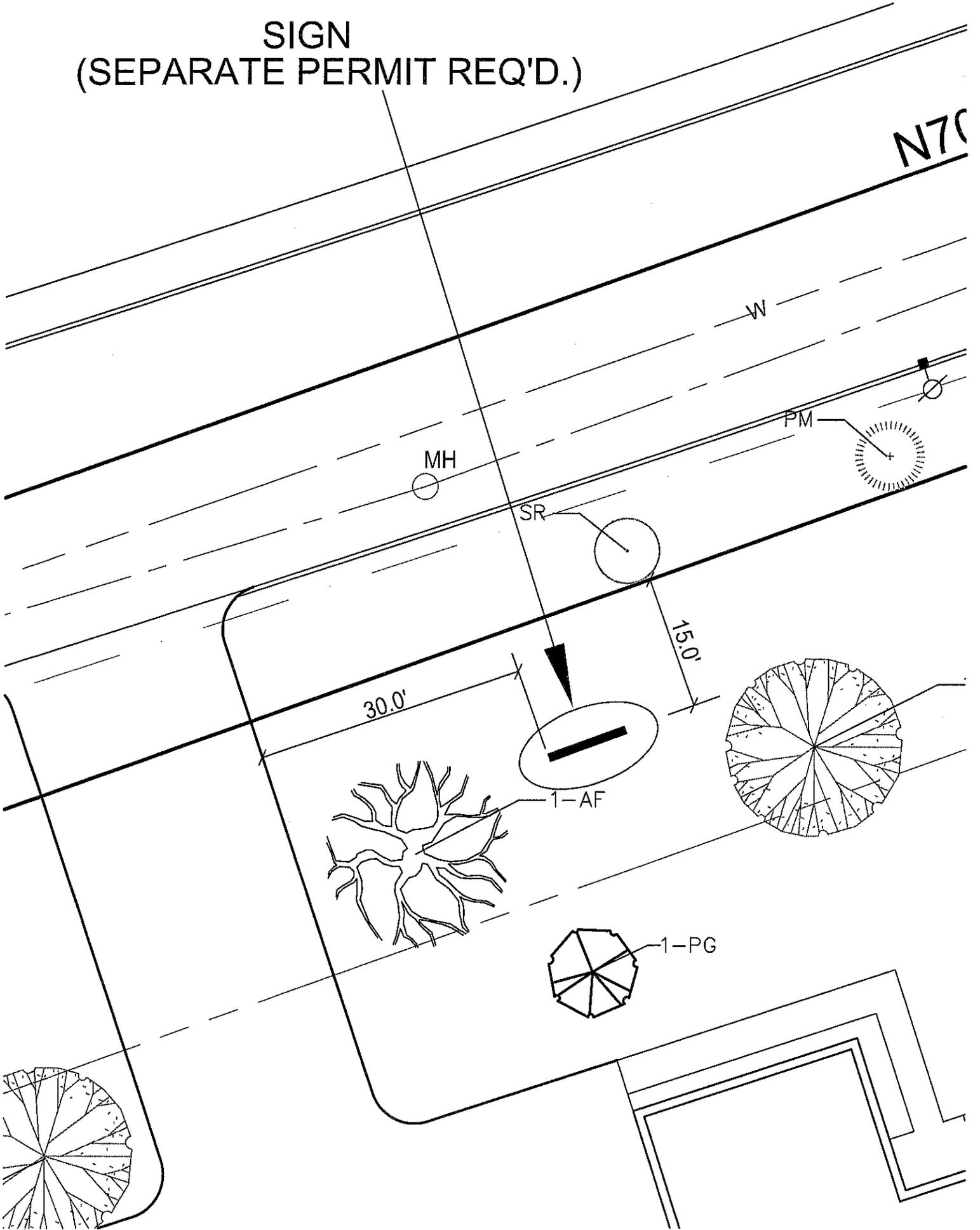
DETENTION BASIN

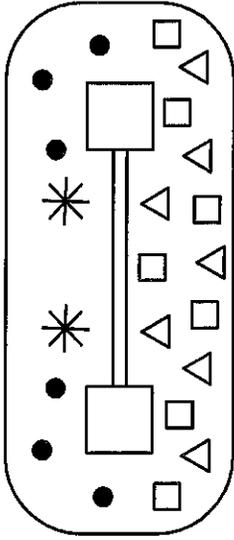
PUMP

ACCESSIBLE ROUTE

SIGN  
(SEPARATE PERMIT REQ'D.)

N70





2  
G4

PROJECT SIGN PLANTING DETAIL

N.T.S.

PROJECT SIGN PLANT SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
△	HEMEROCALLIS-DAYLILLY PARDON ME	1 GAL.	7
□	HEMEROCALLIS-DAYLILLY STELLA D'ORO	1 GAL.	7
*	VIBURNAM DENTATUM 'CHRISTOM' BLUEMUFFIN ARROWWOOD VIBURNUM	5 GAL.	2
●	THUJA OCCIDENTALIS 'HETZ MIDGET' HETZ MIDGET ARBORVITAE	5 GAL.	6

4' x 6' oval (absolute outer dimensions).  
Actual square footage of oval is 18.85 square feet  
3.33 square feet for the phone  
22.18 actual square feet of signage  
Brick base approx 6'6" high x 8'2" wide







ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430  
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR ARCHITECTURAL BOARD

Job Address <i>301 E. CAPITAL DR</i>				
Lot	Block	Subdivision	Key No. HAV	
Owner <i>HARTLAND VILLAGE MAN INC</i>			Phone <i>262-367-8099</i>	
Address <i>301 E. CAPITAL</i>		City <i>HARTLAND</i>	State <i>WI</i>	Zip <i>53029</i>
Contractor <i>BAUER SIG CO</i>	Phone <i>262-784-1000</i>	FAX <i>262-784-6673</i>	E-Mail Address	
Address <i>2500 S. 170th ST</i>		City <i>NEW BERLIN</i>	State <i>WI</i>	Zip <i>53151</i>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**One & Two Family**

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: *4-13-15* Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR SIGN PERMIT

PERMIT # \_\_\_\_\_

JOB LOCATION \_\_\_\_\_ TAX KEY # \_\_\_\_\_  
 OWNER HARTLAND VILLAGE MART INC PHONE 262-367-8099  
 ADDRESS 301 E. CAPITOL DR CITY HARTLAND STATE WI ZIP 53029  
 CONTRACTOR BAUER SIGN CO PHONE 262-784-0500  
 ADDRESS 2500 SO. 170th ST CITY NEW PALTZ STATE WI ZIP 53151

SIGN TYPE:  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

\_\_\_\_\_  
SEE ATTACHMENT  
 \_\_\_\_\_

OVERALL DIMENSIONS OF SIGN 16 FT + 8 FT COLOR OF BACKGROUND White/Blue  
 SIZE OF LETTERS IN INCHES 24" COLOR OF LETTERS Red/Green  
 CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) \_\_\_\_\_

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ \_\_\_\_\_

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 4-13-15

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

COMMENTS: \_\_\_\_\_  
 \_\_\_\_\_

TOTAL FEES: \$75 DATE PAID 04/13/15 RECEIPT # 160620

To: Village of Hartland  
From Mike Badani ( Hartland Village Mart Inc) -Citgo  
Re: Propose New Sign  
Date: 3/31/2015

Scott.

Enclosed are 3 copies for a proposal of a new sign. The two main reason for changes from existing sign to new are:

1. I need to market Diesel fuel as some of my customers do not realize we have it.
2. Electronic message center to promote my business products and use for community events. Some of the community events could be promoted are:
  - a. Home town celebration.
  - b. Fire works
  - c. Fall festival for St Charles.
  - d. Street Dance.
  - f. Splash Pads and Events.

The height is the same as the existing sign.

**The message reader will be on from 5am to 10pm daily.**

If approved by the Village board, I would like to get the sign ordered and installed in time to promote Hometown Celebration and Fire works. ( June19th)

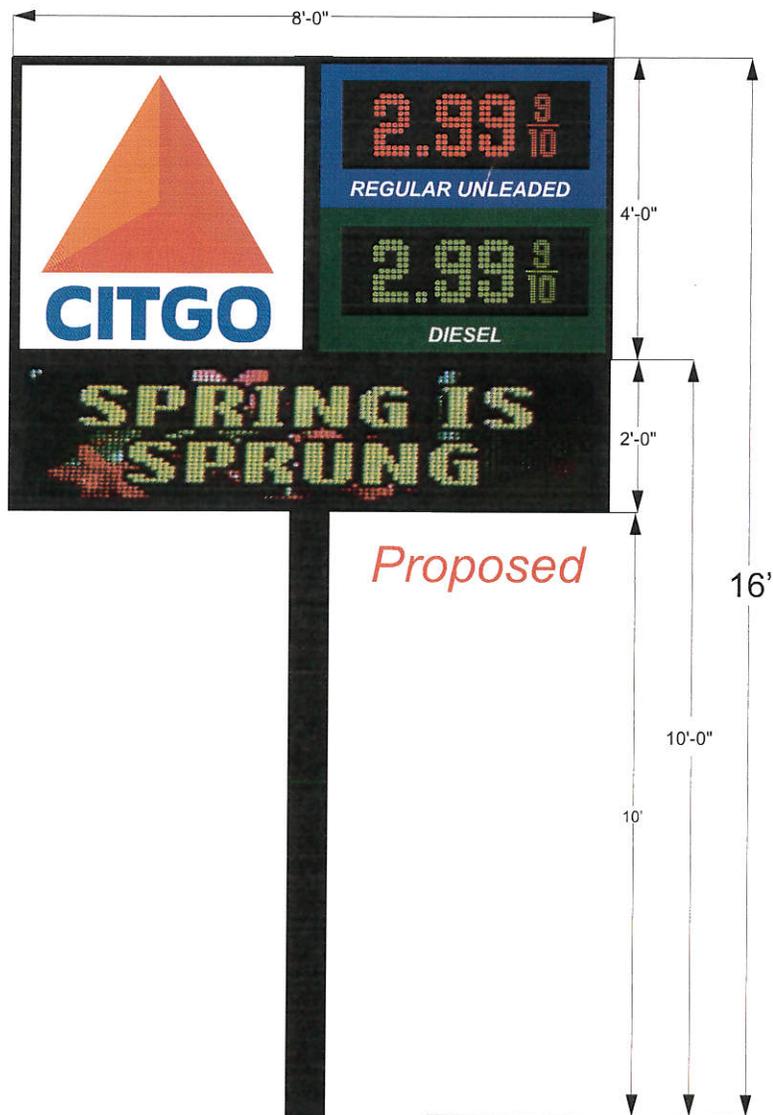
Please let me know if you have any further questions.

Sincerely  
Mike Badani  
262-367-8099

**Hartland Village Mart, Inc.  
301 E. Capitol Dr.  
Hartland, WI 53029**



Existing



Proposed



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430  
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR ARCHITECTURAL BOARD

Job Address 242 Hill St. Hartland WI			
Lot	Block	Subdivision	Key No. HAV 0729.976
Owner Karen Booth			Phone 262.332.1406
Address 242 Hill St.		City Hartland	State WI Zip 53029
Contractor Mark Oberst	Phone 262.367.6833	FAX	E-Mail Address oberstcarpentry@gmail.com
Address N43W32831 Rosmar Rd		City Nashotah	State WI Zip 53058

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

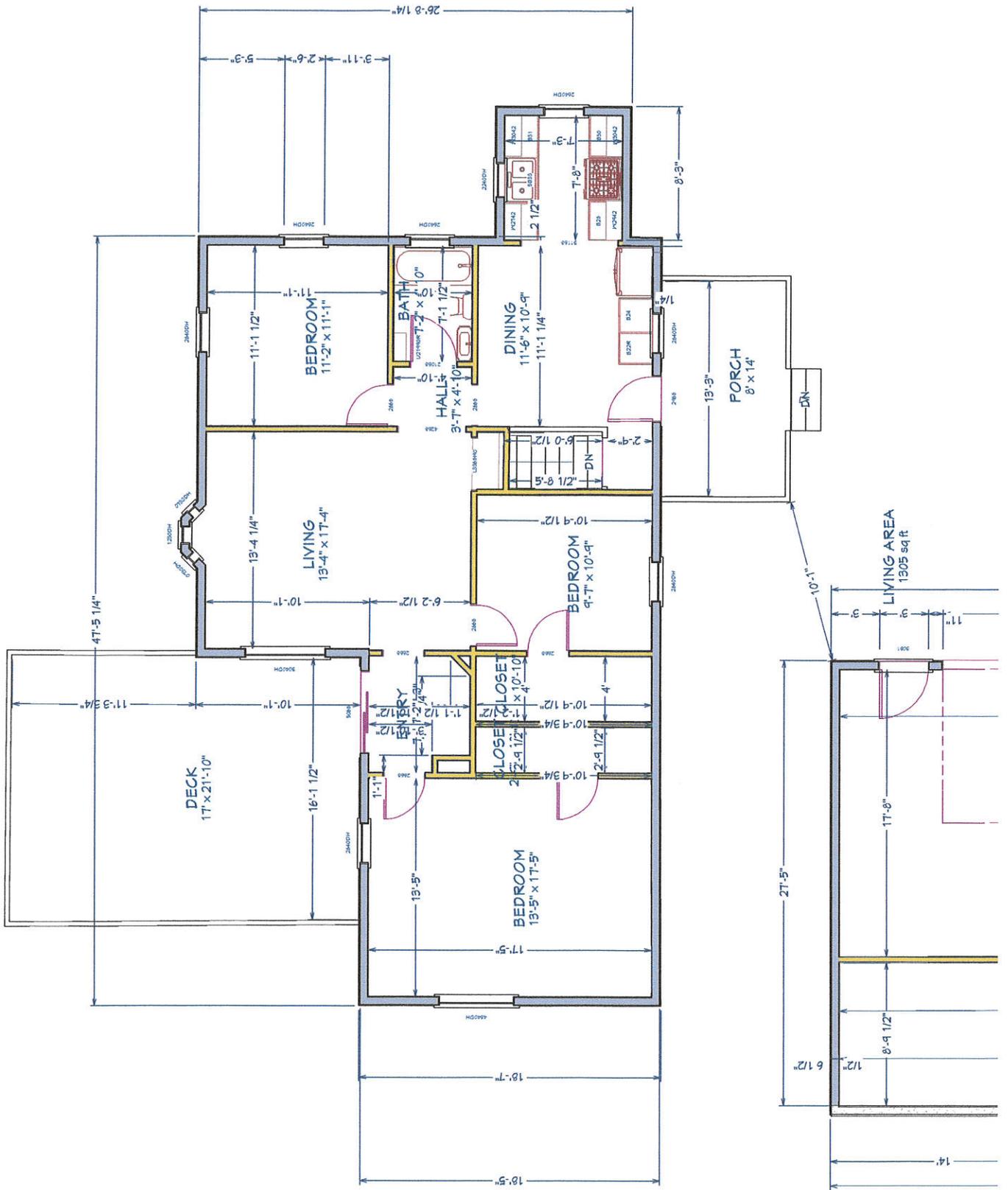
**One & Two Family**

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- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
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- Three plat of surveys are required for new dwellings at time building permit is applied for.

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: Mar. 17, 2015 Date of Meeting: Apr. 20, 2015 Item No. 1







Department of Building Inspection

PERMIT # \_\_\_\_\_

# APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION 242 Hill St Hartland WI 53029

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBD \_\_\_\_\_ TAX KEY 0729.976

OWNER Karen Booth PHONE 262-332-1406 FAX \_\_\_\_\_

ADDRESS 242 Hill St CITY, STATE, ZIP Hartland WI 53029

CONTRACTOR Mark Oberst PHONE 262-367-6833 FAX \_\_\_\_\_

ADDRESS N43W32831 Rasmus Rd CITY, STATE, ZIP Washotah WI 53058

When permit is ready notify: Contractor  **Owner** By: Mail  **Phone** Fax

Project Description: add 8' x 14' porch to front of home, creating a new entrance that is at least 7" above grade, including moving doorway. on Remodeling current kitchen + dining areas.

Current principal use of property Primary Residence

Proposed principal use of property Primary Residence

Width \_\_\_\_\_ Length \_\_\_\_\_ Sq. Ft. \_\_\_\_\_ Height \_\_\_\_\_ Cu. Ft. \_\_\_\_\_

Estimated cost of above job(s) \$ 25,000.00 \$ \_\_\_\_\_ \$ \_\_\_\_\_

State Approval \_\_\_\_\_ Date \_\_\_\_\_

Class of Construction \_\_\_\_\_ Sprinkler \_\_\_\_\_ Stories \_\_\_\_\_

**TO THE BUILDING INSPECTOR:** The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Karen Booth Date 3/17/15

**CONDITIONS OF APPROVAL:** This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

1. See plans for possible conditions/recommendations
2. \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

\_\_\_\_\_ **TOTAL FEES**

\_\_\_\_\_ Date Paid

\_\_\_\_\_ Receipt

Meeting dates plans were approved for building permit:

Plan Commission \_\_\_\_\_ Village Board \_\_\_\_\_ Arch Board \_\_\_\_\_

APPLICATION APPROVED ON: \_\_\_\_\_ BY: \_\_\_\_\_

DATE

BUILDING INSPECTOR



210 Cottonwood Avenue  
Hartland, WI 53029  
Phone: (262) 367-4744

PERMIT NO.
TAX KEY # 0729-976
BUILDING PERMIT #

### Electrical Permit Application

PROJECT LOCATION (Building Address)	242 Hill St
PROJECT DESCRIPTION	<input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> ONE & TWO FAMILY

OWNER'S NAME Karen Booth	MAILING ADDRESS - INCLUDE CITY & ZIP 242 Hill St Hartland WI 53029	TELEPHONE - INCLUDE AREA CODE 262-352-1406
CONTRACTOR'S NAME Mark Oberst	MAILING ADDRESS - INCLUDE CITY & ZIP N43W32831 Rosmus Rd Nashotah 53058	TELEPHONE - INCLUDE AREA CODE 262-367-6833
ESTIMATED COST	LICENSE NUMBER	

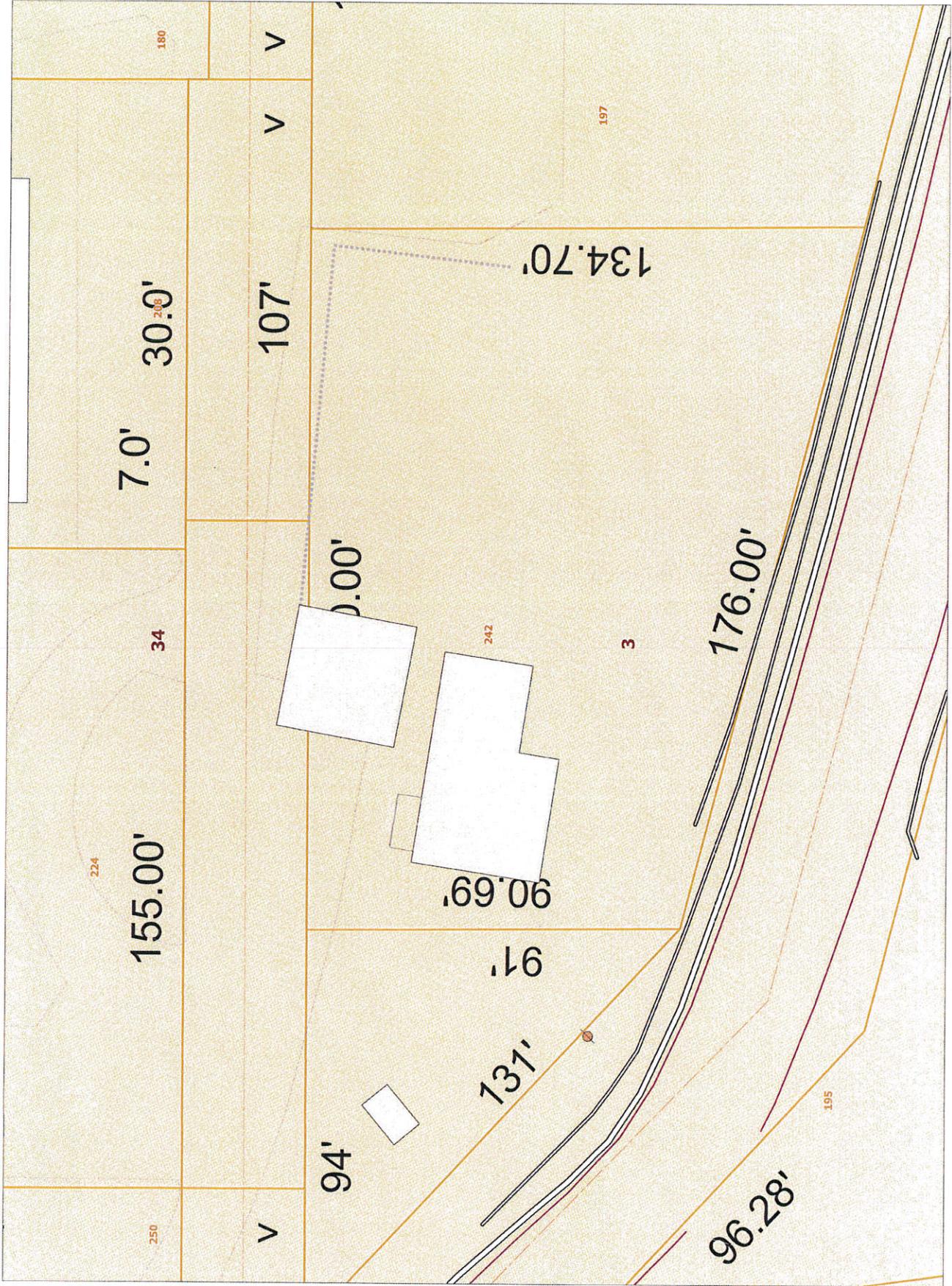
SCHEDULE OF INSPECTION FEES	EACH	COUNT	FEE
<b>BASE FEE</b> (Residential \$35.00 / Commercial \$50.00)			
New Building, Alterations, Additions	.06/Sq. Ft.	_____ Sq. Ft.	_____ For All Areas
<b>REPLACEMENT, MODIFICATIONS AND MISC. ITEMS</b>			
1. Light, switch, and convenience outlet	.50	12	
2. Power receptacle over 150 volts, first 30 amps	8.00		
Over 30 amps	6.00		
3. Lighting fixtures - incandescent	.40	5	
4. Tubular lamp, such as fluorescent, per tube	.25		
5. Arc light, search light, floodlight, HID light pole base and poles	3.00		
6. Temporary service and temporary wiring installation	25.00		
7. Service switch, each or alteration thereof:			
First 200 amperes	50.00		
Over 200 amperes - additional per 100 amps or a fraction thereof	15.00/100 amps.		
8. Feeder, subfeeder, and raceway - per 100 ampere capacity, or fraction thereof	8.00/100 amps.		
9. Refrigeration unit up to 5 HP plus 1.00 per HP over 5	6.00		
10. Residential gas burner, oil burner, electrical furnace	5.50		
11. Air conditioner up to 5 ton Plus 1.00 per ton over 5 ton	6.00		
12. Combination heating and air conditioning unit up to 5 ton	10.00		
Over 5 ton	20.00		
13. Range, oven, clothes dryer, dishwasher, disposal, water heater	6.50	3	
14. Each motor, per HP or fraction thereof	.50/HP - 1.00 Min		
15. Dispenser - gasoline, fuel oil, permanent vending machines, and well pump	7.00		
16. Each generator, transformer, reactor, rectifier, capacitor, welder, converter and electric furnace	.50/kw		
17. Electric unit heating device (including remote Thermostat)	4.00		
18. Dimmer and rheostats	2.00		
19. Swimming pool (Electrical wiring and grounding)	40.00		
20. Sign - Fluorescent, neon or incandescent	35.00		
21. Strip lighting, plug-in strip, trolley duct wire way, gutter	.50 ft.		
22. Audible or visual electric signal or communication device	1.00		
23. Fans - Bath - Paddle and miscellaneous under 1 HP	1.00	1	
24. Hydro Massage & Hot Tubs	40.00		
25. Photo cell, clocks, smoke detectors	1.00		
26. Fire alarm system, exit lighting system	50.00		
27. Approved assemblies Not Included above and others	25.00		
28. Sanitary Ejector/Grinder Pump & Control Box	35.00		
29. Other (Specify)	25.00		

Minimum Permit Fee ..... \$35.00 Each  
 Reinspect Fee ..... \$35.00 Each  
 Failure to call for inspection ..... \$35.00 Each  
**DOUBLE FEES ARE DUE IF WORK STARTED BEFORE PERMIT IS ISSUED**

The applicant agrees to comply with the Municipal Ordinances and with the conditions of this permit; understands that the issuance of the permit creates no legal liability, express or implied, of the Department, Municipality, Agency or Inspector; and certifies that all the above information is accurate. Have Permit/Application number and address when requesting inspections. Give at least 24 hours notice on all inspections.

SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

FEES:	RECEIPT	PERMIT EXPIRATION:	PERMIT ISSUED BY MUNICIPAL AGENT:
Inspection Fee _____	Receipt # _____ Date _____ From _____ Rec. By _____	<b>Permit Expires 90 Days</b> from date unless otherwise noted below.	Name _____ Date _____ Certification No. _____
<b>NO REFUNDS ON PERMITS</b>			



**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>140 Cottonwood Ave.</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>Heidi Lindemann</u>		Phone <u>262-490-5179</u>	
Address <u>N. 627 S. Hickory Hills Dr.</u>		City <u>Oconomowoc</u>	State <u>WI</u> Zip <u>53066</u>
Contractor <u>Scott Watson Construction</u>		Phone <u>414-630-5024</u> FAX	E-Mail Address <u>ScottWatson@wi.vr.com</u>
Address <u>929 N. Astor Unit 1286</u>		City <u>Milwaukee</u>	State <u>WI</u> Zip <u>53202</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:**

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: April 13, 2015 Date of Meeting: April 20, 2015 Item No. \_\_\_\_\_

## Salon Updates for Spring 2015

<u>Contractor</u>	<u>Estimate</u>	<u>Project</u>
Scott Watson	\$ 300	Replace 15' of gutter at back, North Side
Scott Watson	\$ 400	Replace 15' of gutter at back, South Side
Scott Watson	\$ 1,500	Cover 50' of soffit in aluminum and replace gutter
Scott Watson	\$ 375	Add gutter around bathroom w/ 1 downspout
Scott Watson	\$ 400	Patch roof after chimney removed
Scott Watson	\$ 1,200	Redo front awning by adding gable over door and re-roof
Scott Watson	\$ 3,900	Replace remaining 8 windwos and cover trim in aluminum
Scott Watson	\$ 200	Install roof vent for apartment bathroom
Scott Watson	\$ 1,500	Add 2 new crank out windows on 1st floor by parking lot
Scott Watson	\$ 950	New front door and storm door (\$500 Door/Storm allowance)
Scott Watson	\$ 550	New rear door (\$300 Door allowance)
Scott Watson	\$ 750	Add new small window to front salon, South Side
Scott Watson	\$ 3,000	Scallop siding on front and back of building
Scott Watson	\$ 900	Add gable above rear door
Scott Watson	\$ 450	Replace window by flower bed with smaller horizontal window and fill in siding
Scott Watson	\$ 75	Add lag bolts to upper apartment porch support beam
Scott Sub-Total	\$ 16,450	

<u>Contractor</u>	<u>Estimate</u>	<u>Project</u>
Baker Painting	\$ 5,650	Paint building
Chris Ransom	\$ 2,200	Remove old stone and replace w/ veneer stone
Chris Ransom	\$ 300	Remove 2 concrete slabs at bottom of steps
	\$ 400	Add new coach lights to front of building and up date rear lighting
Other Sub-Total	\$ 8,550	Sub-Total

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

JOB LOCATION 140 Cottonwood Ave. TAX KEY # HAV 0729981  
OWNER Heidi Lindemann PHONE 262-490-5179  
ADDRESS N. 627 S. Hickory Hills Dr. CITY Oconomowoc STATE WI ZIP 53066  
CONTRACTOR Signarama PHONE 262-1691-9994  
ADDRESS 601 Ryan St. Unit B CITY Pewaukee STATE WI ZIP 53072

**SIGN TYPE:**  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

HL Salons HL Salons  
www.HLSalons.com Client Parking Only WI. State Statute 346.503  
violators will be ticketed & towed at violator's expense

OVERALL DIMENSIONS OF SIGN 48" x 48" COLOR OF BACKGROUND white  
SIZE OF LETTERS IN INCHES \_\_\_\_\_ COLOR OF LETTERS black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)  
3mm Dibond (aluminum composite material)

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 1,014.34

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Heidi Lindemann DATE April 16, 2015

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \$75 DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_

**CUSTOMER INFO:**

**COMPANY NAME/CONTACT:**

**ADDRESS:**

**PHONE#:**

**SIGNARAMA-PEWAUKEE REQUIRES THAT YOU REVIEW THE ATTACHED PROOF AND ADVISE WHETHER PROOF IS APPROVED FOR PRODUCTION. AN EMAIL REPLY IS REQUIRED TO START PRODUCTION.**

**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**



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**50% DEPOSIT DUE AT TIME OF ORDER(full amount if under \$100), balance due upon time of completion.**

**I HAVE READ AND AGREE TO ALL TERMS. INITIAL \_\_\_\_\_**



**Pewaukee**

601B Ryan St Pewaukee, WI 53072

Phone: 262-691-9994 Fax: 262-691-9995  
www.signarama-pewaukee.com • info@signarama-pewaukee.com

**I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN. CUSTOMER APPROVAL SIGNATURE: \_\_\_\_\_**

**PRINT: \_\_\_\_\_ DATE: \_\_\_\_\_**

THIS ORIGINAL DESIGN AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SIGNARAMA-PEWAUKEE AND ITS USE IN ANYWAY OTHER THAN AS AUTHORIZED IS EXPRESSLY FORBIDDEN. SIGN AND ARTWORK REMAIN THE PROPERTY OF SIGNARAMA-PEWAUKEE.

**CUSTOMER INFO:**

**COMPANY NAME/CONTACT:**

**ADDRESS:**

**PHONE#:**

**SIGNARAMA-PEWAUKEE REQUIRES THAT YOU REVIEW THE ATTACHED PROOF AND ADVISE WHETHER PROOF IS APPROVED FOR PRODUCTION. AN EMAIL REPLY IS REQUIRED TO START PRODUCTION.**

**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**

48"



48"

Black Inner Box is 46x46

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50% DEPOSIT DUE AT TIME OF ORDER(full amount if under \$100) balance due upon time of completion.

I HAVE READ AND AGREE TO ALL TERMS. INITIAL \_\_\_\_\_



601B Ryan St Pewaukee, WI 53072  
Phone: 262-691-9994 Fax: 262-691-9995  
www.signarama-pewaukee.com • info@signarama-pewaukee.com

I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.  
CUSTOMER APPROVAL SIGNATURE: \_\_\_\_\_

PRINT: \_\_\_\_\_ DATE: \_\_\_\_\_

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**CUSTOMER INFO:**

**COMPANY NAME/CONTACT:**

**ADDRESS:**

**PHONE#:**

**SIGNARAMA-PEWAUKEE REQUIRES THAT YOU REVIEW THE ATTACHED PROOF AND ADVISE WHETHER PROOF IS APPROVED FOR PRODUCTION. AN EMAIL REPLY IS REQUIRED TO START PRODUCTION.**

**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**

48"



48"

12"



18"

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CUSTOMER APPROVAL SIGNATURE: \_\_\_\_\_

PRINT: \_\_\_\_\_

DATE: \_\_\_\_\_

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48"

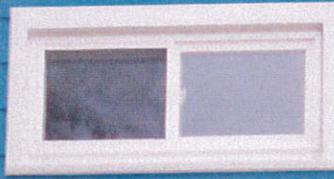
# HLSALONS

[www.HLSalons.com](http://www.HLSalons.com)

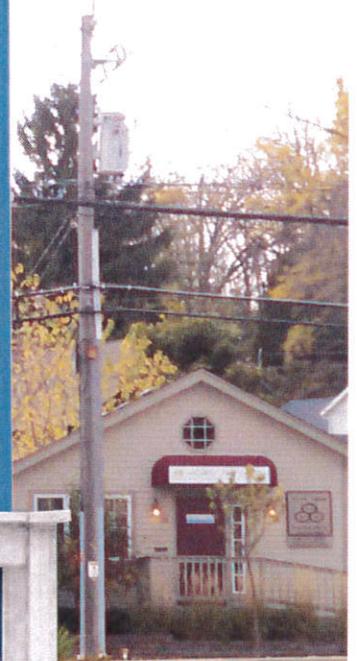
12"



18"



PARKING FOR  
HAIR DESIGNERS





HL SALONS



**H** SALONS  
www.Hsalons.com

Signarama - Pewaukee  
 KMS Sales Incorporated  
 601 Ryan Street Unit B  
 Pewaukee WI 53072  
 United States  
 Phone: 262-691-9994  
 Fax : 262-691-9995  
 ken@signarama-pewaukee.com  
 www.signarama-pewaukee.com  
 EIN # : 45-2831066



<b>Quote 3627 - Main Panel Signs</b>	<b>Expiration Date : 05/09/2015</b>
--------------------------------------	-------------------------------------

Quote for	Contact	Shipping/Install
<b>HL Salons</b> 140 Cottonwood Avenue Hartland Wisconsin 53029 United States	<b>Heidi Lindemann</b> Phone : (262) 490-5179 Email : heidi.lindemann.hi@gmail.com Address : 140 Cottonwood Avenue Hartland Wisconsin 53029 United States	

Quote #	Quote Date	Sales Rep	Payment Terms	PO	PO Date
<b>3627</b>	04/09/2015	<b>Ken Skarie</b> Ken@signarama-pewaukee.com (262) 422-5881	50/50		

**Items**

#	Item	Qty	Unit Price	Total	Tax
1	<b>HL Salons Panel Signs - Dibond 3 mm.</b>  W:48.0 in. X H:48.0 in., Digitally Printed 6 Color Process Digitally printed and laminated vinyl graphics produced on 3 mm Dibond substrate to customer approved artwork. All artwork and set up charges included. Full Color Customer to install.	3	\$279.54	\$838.62	\$42.77
2	<b>Client Parking Only Signs - .080 Aluminum</b>  W:12.0 in. X H:18.0 in., Digitally Printed 6 Color Process Digitally printed and laminated vinyl graphics produced on .080 Aluminum substrate to customer approved artwork. All artwork and set up charges included. Full Color Customer to install.	2	\$34.75	\$69.50	\$3.54
3	<b>Stylist Names (Front Window) - RTA Vinyl</b>  W:16.0 in. X H:26.0 in., 1 color - White Ready to apply vinyl graphics produced to customer approved artwork. All artwork and set-up charges included. Installation included.	1	\$57.00	\$57.00	\$2.91

**Total**

<b>Sub Total</b>	<b>Total Tax (Tax Percentage)</b>	<b>Final Price</b>
\$965.12	\$49.22(5.1%)	\$1,014.34

<b>Downpayment (50.0 %)</b>	\$507.17
-----------------------------	----------

**Terms And Conditions**  
Invoices & Cancellation of Orders: Sign-A-Rama (Vendor) prepares your order according to your specifications. Therefore, prior to its commencement, your order is only cancelable with the Vendor's prior written consent. After commencement of your order (the point at which materials are assembled and work has begun), your order is non-cancelable. The Customer is Solely Responsible for Proofreading. Vendor does not assume any responsibility for the correctness of copy. Therefore, you must review and sign a proof prior to our commencement of your order. By signing your proof, you approve of its content and release the Vendor to commence our work. You are solely responsible for the content of the proof once it has been signed. However, if we should make an error in producing the work as proofed, please be assured that we will redo the work as quickly as possible and without charge to you. Vendor's Liability Vendor's total liability is hereby expressly limited to the services indicated on the invoice and Vendor will not be liable for any subsequent damages, consequential damages, or otherwise. All dates promised on this invoice are approximations unless the word "firm" is written and acknowledged by the Vendor.

Terms of Payment: Upon ordering, you must give Vendor a 50% deposit. Your balance will be due upon delivery and/or installation. Vendor may, at its sole discretion, extend credit terms to you upon approval. Collection Procedures: Invoices are considered delinquent thirty (30) days from the date that your order is completed. After the thirtieth day, a late charge of \$25.00, together with interest accruing at the rate of 1.5% per annum, or the maximum rate allowable by law is assessed. You shall be liable for all costs related to collection of delinquent invoices, including court costs and attorney's fees. Customer's Acceptance of Work: Customer's acceptance, either personal or through his/her agent(s) and/or employee(s) of the work ordered shall be deemed as full acceptance. This means that by accepting delivery of the work, customer affirms that the work substantially conforms to all expectations. Lost or Substantially Forgotten Work: If customer does not take possession of completed work within thirty (30) days from notification of completion, then the work will be considered lost or forgotten, and vendor will not be responsible for further loss. Customer will be billed and responsible for payment for work that has been completed.

for **HL Salons**

<b>Signature</b>		<b>Date</b>	
------------------	--	-------------	--

We agree to your terms and conditions Please proceed with the order.

# HARTLAND SENIOR LIVING LLC

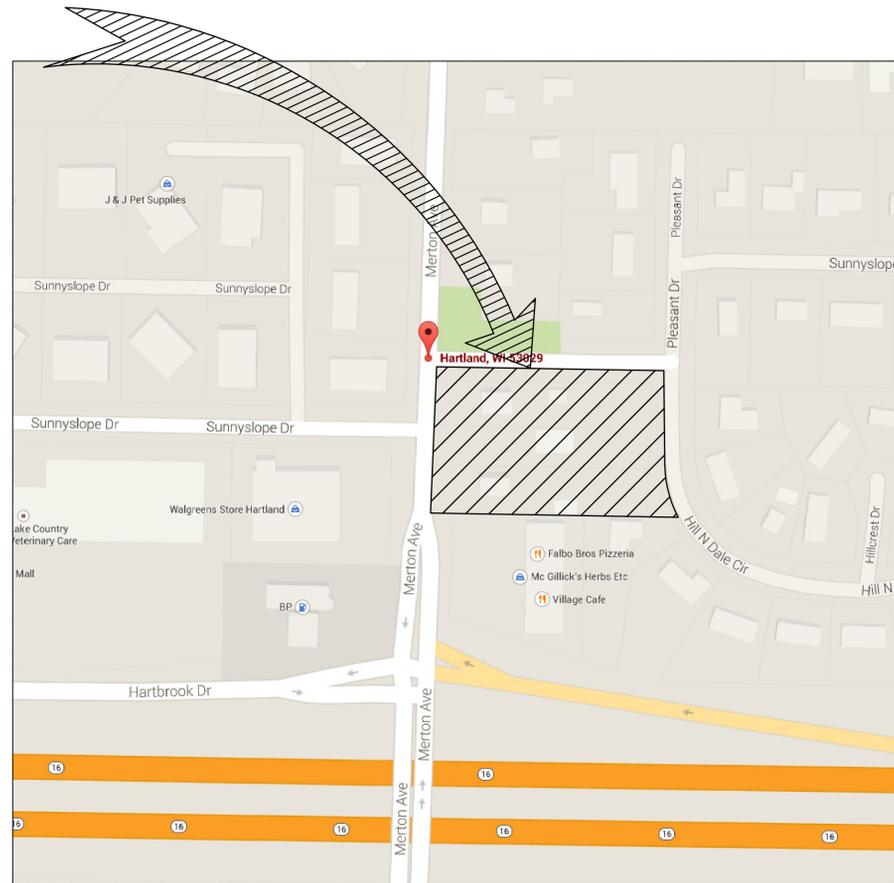
## THIRTY-TWO UNIT COMMUNITY BASED RESIDENTIAL FACILITY

PROJECT LOCATION:  
SE CORNER OF MERTON AVENUE & SUNNY SLOPE DRIVE  
VILLAGE OF HARTLAND, WI

DEVELOPER:  
JPS LIMITED, LLC  
126 E. PROSPECT AVENUE  
HARTFORD, WI 53027  
414-881-2112

### SHEET INDEX

<u>COVER</u>	
<b>C-1</b>	<b>PROJECT COVER SHEET</b>
<u>ARCHITECTURAL</u>	
<b>A-1</b>	<b>GENERAL FLOOR PLAN</b>
<b>A-2</b>	<b>ELEVATIONS</b>



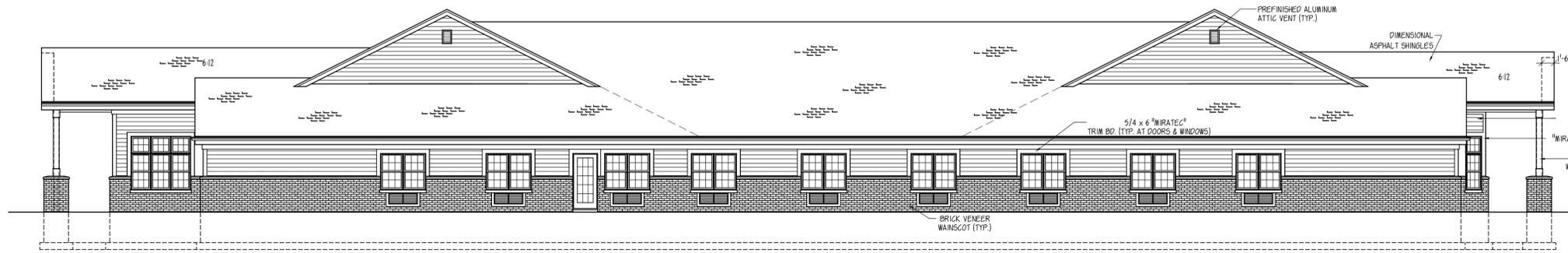
VICINITY MAP  
SCALE: NOT TO SCALE



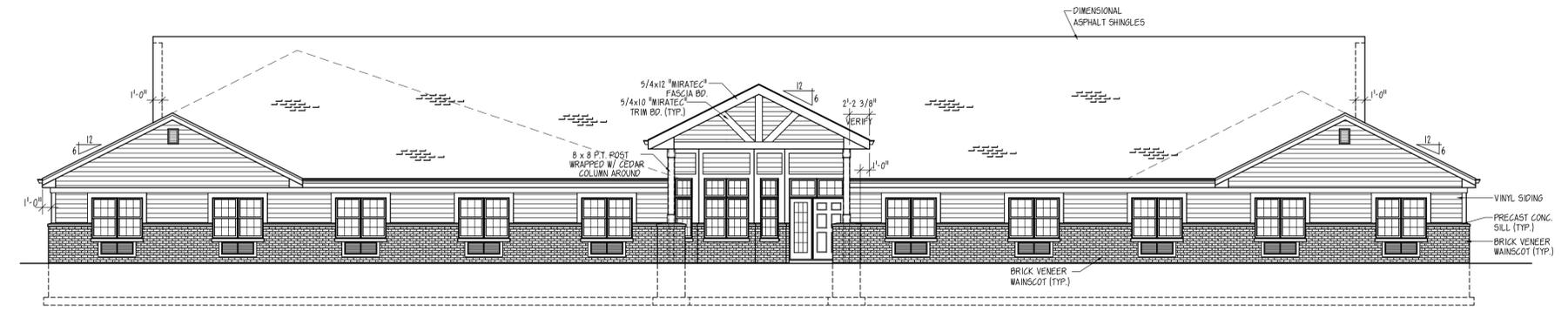
JOB NUMBER  
JPS-2100-21B  
DATE  
4 / 1 / 2015

NEW HORIZON  
VENTURES, L.L.C.  
ARCHITECTS/PLANNERS  
P.O. BOX 292, GRAFTON, WI 53024  
www.NEWHORIZONVENTURES.com  
262.377.4730 or 262.375.2397

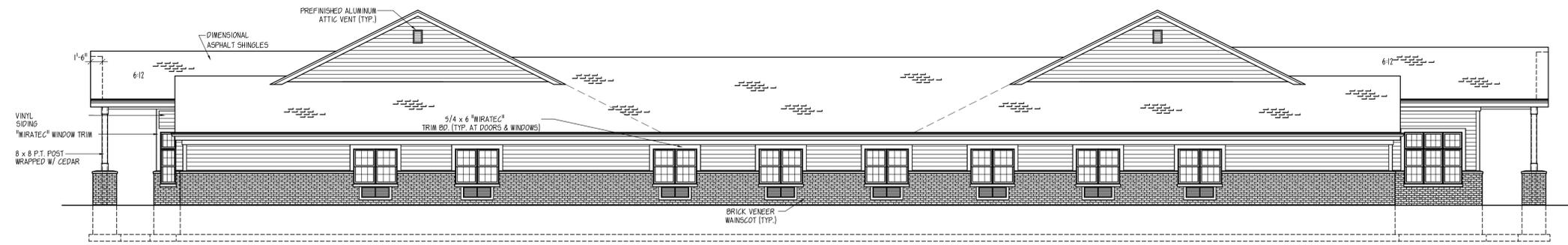




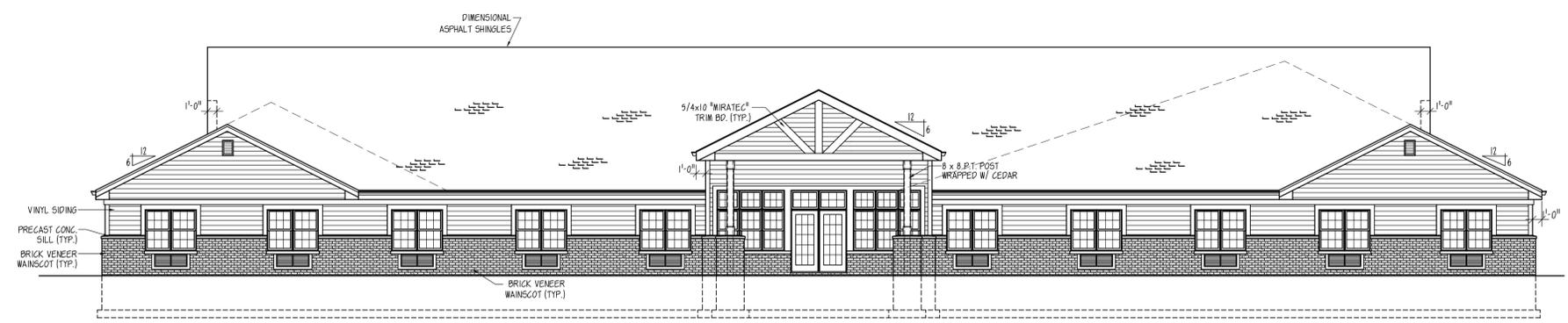
LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

PROJECT  
HARTLAND 32 UNIT CBRF

**NEW HORIZON VENTURES, L.L.C.**  
ARCHITECTS/PLANNERS

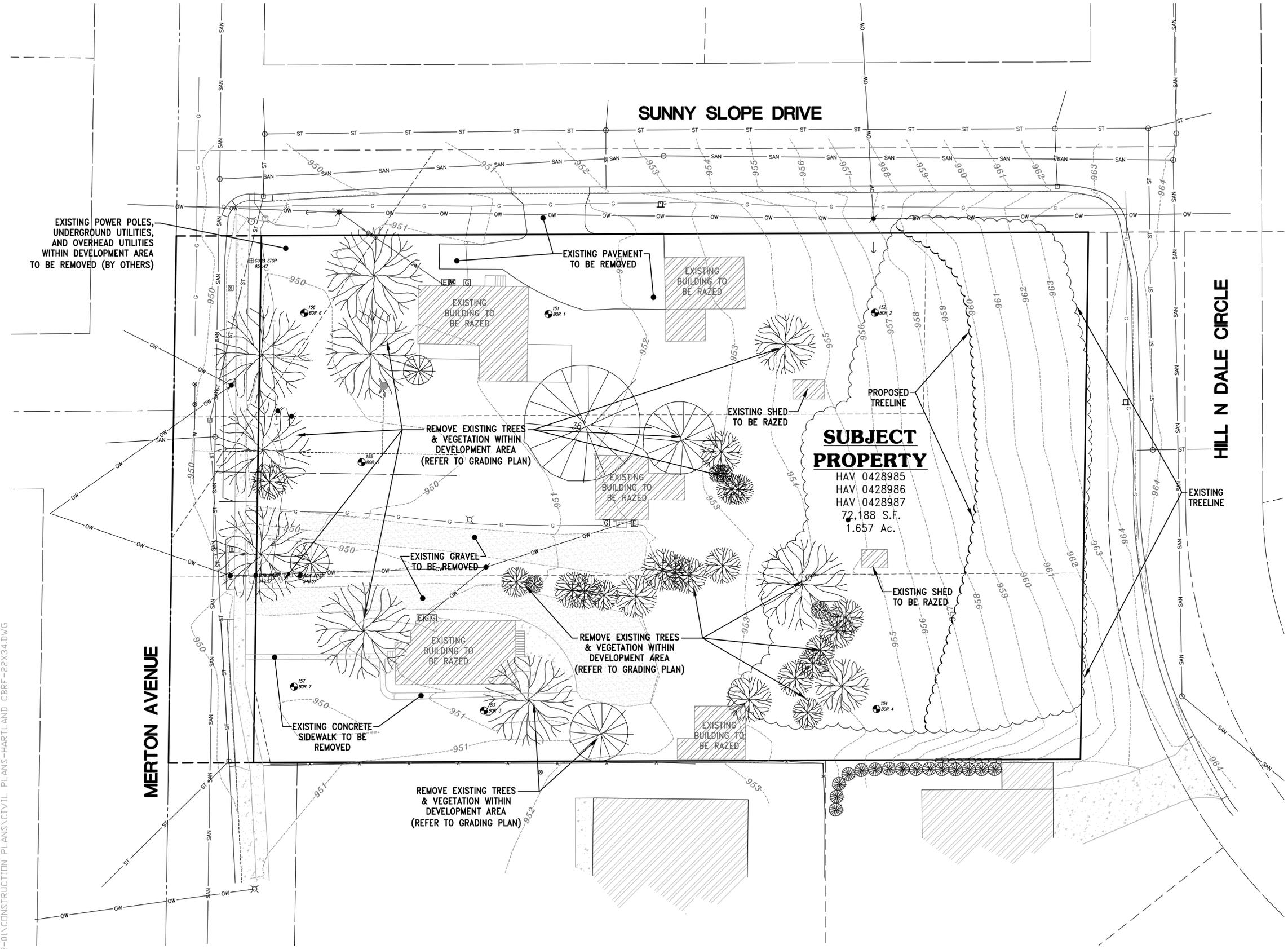
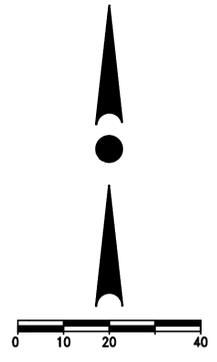
P.O. BOX 292, GRAFTON, WI 53024  
<http://www.nhv-arch.com>  
262-377-4730 or 262-375-2397

JOB NUMBER JF-8-2700-215	DATE 4/1/2015	REVISIONS:
SHEET A-2	CHECKED BY: D.S.	DRAWN BY: D.S.

NEW HORIZON VENTURES LLC  
© 2015



12660 W. NORTH AVENUE  
BROOKFIELD, WI 53005  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpuudelko@trioeng.com



**LEGEND:**

- - - - - 90.4 - - - - - EXISTING CONTOUR
- - - - - SAN - - - - - EXISTING SANITARY SEWER
- - - - - - EXISTING SANITARY MANHOLE
- - - - - W - - - - - EXISTING WATER MAIN
- ⊕ - - - - - EXISTING HYDRANT
- - - - - ST - - - - - EXISTING STORM SEWER
- - - - - - EXISTING STORM MANHOLE
- - - - - - EXISTING STORM INLET
- ⊠ - - - - - EXISTING TRANSFORMER
- ⊞ - - - - - EXISTING ELECTRIC PEDESTAL
- ⊟ - - - - - EXISTING TELEPHONE PEDESTAL
- ⊠ - - - - - EXISTING CATV PEDESTAL
- ⚡ - - - - - EXISTING POWER POLE

**SUBJECT PROPERTY**  
 HAV 0428985  
 HAV 0428986  
 HAV 0428987  
 72,188 S.F.  
 1.657 Ac.

EXISTING POWER POLES, UNDERGROUND UTILITIES, AND OVERHEAD UTILITIES WITHIN DEVELOPMENT AREA TO BE REMOVED (BY OTHERS)

EXISTING PAVEMENT TO BE REMOVED

EXISTING BUILDING TO BE RAZED

EXISTING BUILDING TO BE RAZED

REMOVE EXISTING TREES & VEGETATION WITHIN DEVELOPMENT AREA (REFER TO GRADING PLAN)

EXISTING SHED TO BE RAZED

PROPOSED TREELINE

HILL N DALE CIRCLE

EXISTING TREELINE

MERTON AVENUE

EXISTING GRAVEL TO BE REMOVED

REMOVE EXISTING TREES & VEGETATION WITHIN DEVELOPMENT AREA (REFER TO GRADING PLAN)

EXISTING SHED TO BE RAZED

EXISTING CONCRETE SIDEWALK TO BE REMOVED

REMOVE EXISTING TREES & VEGETATION WITHIN DEVELOPMENT AREA (REFER TO GRADING PLAN)

EXISTING BUILDING TO BE RAZED

H:\C800\886\15002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

**NOTE:** EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

**PROJECT:**  
**HARTLAND 32-BED CBRF**  
 VILLAGE OF HARTLAND, WISCONSIN  
 BY: JPS LIMITED LLC  
 126 E. PROSPECT AVENUE  
 HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/03/15	PER COUNTY COMMENT

**DATE:**  
APRIL 3, 2015

**JOB NUMBER:**  
15002

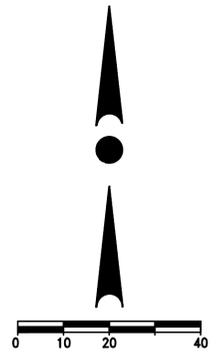
**DESCRIPTION:**  
EXISTING SITE & DEMOLITION PLAN

**SHEET**

**C1.0**



12660 W. NORTH AVENUE  
BROOKFIELD, WI 53005  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpuudelko@trioeng.com



**LEGEND:**

- - - 90.4 - - - - EXISTING CONTOUR
- SAN - - - - EXISTING SANITARY SEWER
- - - - - EXISTING SANITARY MANHOLE
- W - - - - EXISTING WATER MAIN
- - - - - EXISTING HYDRANT
- ST - - - - EXISTING STORM SEWER
- - - - - EXISTING STORM MANHOLE
- - - - - EXISTING STORM INLET
- - - - - EXISTING TRANSFORMER
- - - - - EXISTING ELECTRIC PEDESTAL
- - - - - EXISTING TELEPHONE PEDESTAL
- - - - - EXISTING CATV PEDESTAL
- - - - - EXISTING POWER POLE
- - - - - PROPOSED SANITARY SEWER
- - - - - PROPOSED SANITARY MANHOLE
- - - - - PROPOSED WATER MAIN
- - - - - PROPOSED HYDRANT
- - - - - PROPOSED WATER VALVE
- - - - - PROPOSED STORM SEWER
- - - - - PROPOSED STORM MANHOLE
- - - - - PROPOSED STORM INLET
- - - - - PROPOSED STORM END SECTION

**SITE DATA**

TOTAL LOT AREA:	72,188 S.F. (1.657 Acres)
PROPOSED BUILDING FOOTPRINT:	23,656 S.F. (0.543 Acres) 32.77% of Lot
PROPOSED PARKING & DRIVE:	7,632 S.F. (0.175 Acres) 10.57% of Lot
PROPOSED SIDEWALK & PATIOS:	1,452 S.F. (0.033 Acres) 2.01% of Lot
TOTAL IMPERVIOUS AREA:	32,740 S.F. (0.751 Acres) 45.35% of Lot
TOTAL OPEN SPACE:	39,448 S.F. (0.906 Acres) 54.65% of Lot
TOTAL PARKING SPACES:	14 SPACES
1 HANDICAP PARKING SPACE IS PROVIDED	

**PROJECT:**  
**HARTLAND 32-BED CBRF**  
VILLAGE OF HARTLAND, WISCONSIN  
BY: JPS LIMITED LLC  
126 E. PROSPECT AVENUE  
HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/03/15	PER COUNTY COMMENT

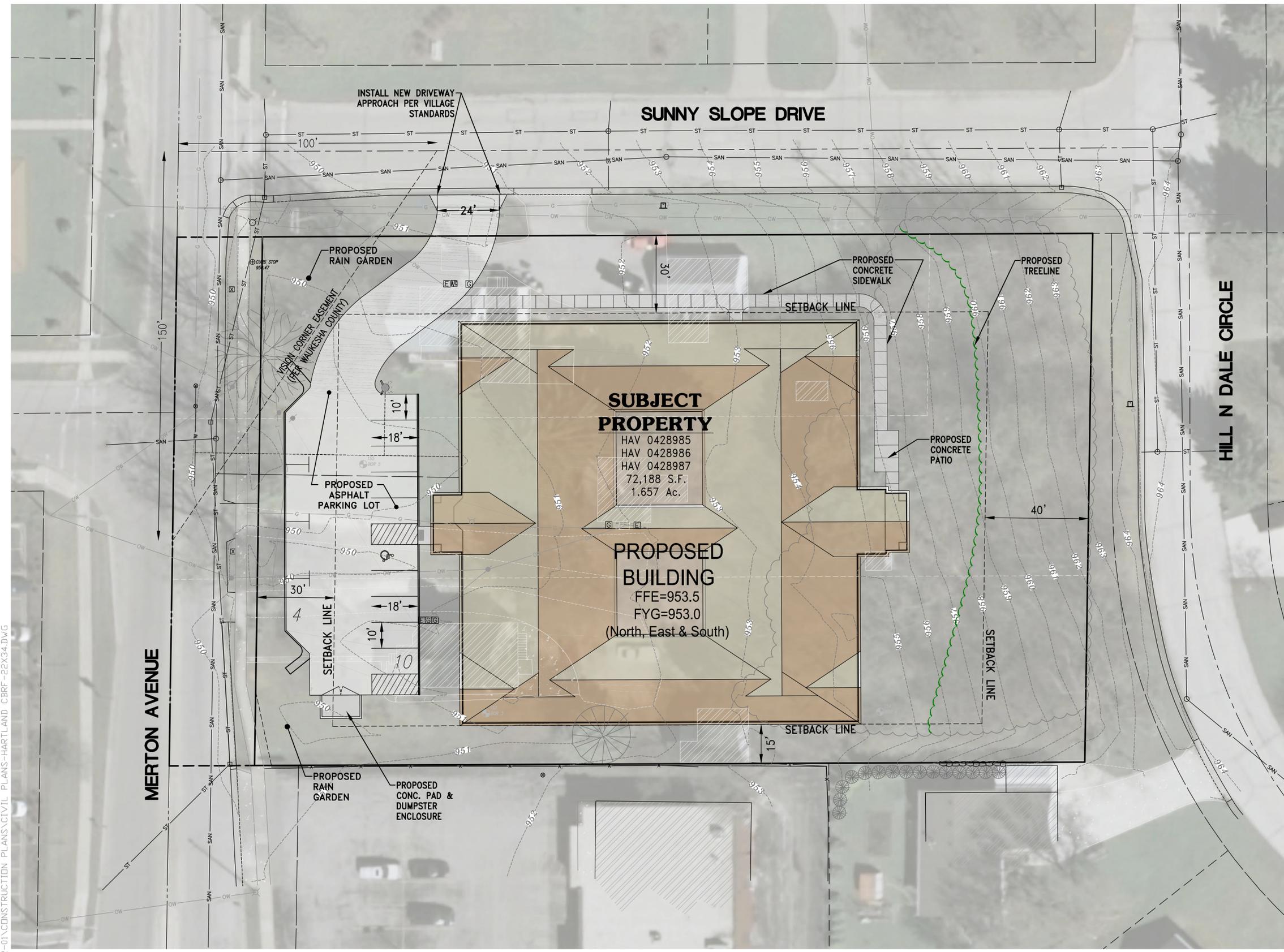
**DATE:**  
APRIL 3, 2015

**JOB NUMBER:**  
15002

**DESCRIPTION:**  
PROPOSED  
SITE PLAN

**SHEET**

**C1.1**

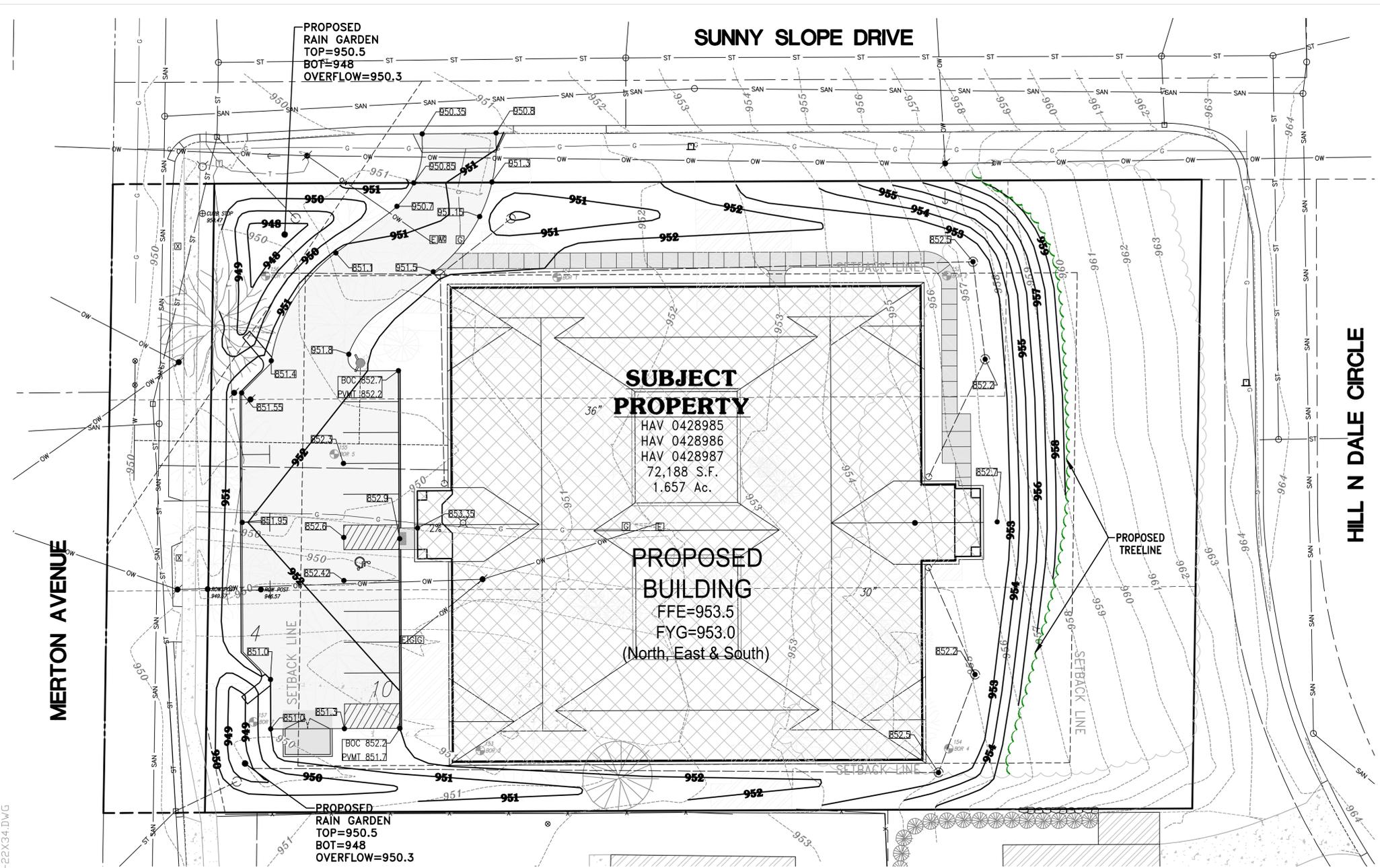


H:\C800\886\15002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG



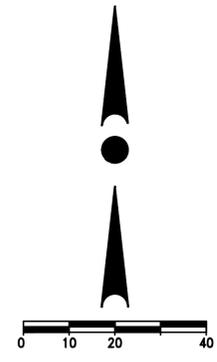
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

**NOTE:**  
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



**LEGEND:**

- - - 904 - EXISTING CONTOUR
- 904 — PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- 904.00 - PROPOSED SPOT ELEVATION
- FFE=907.85 - PROPOSED FIRST FLOOR ELEV.
- FYG=907.35 - PROPOSED FINISH YARD GRADE



**PROJECT:**  
**HARTLAND 32-BED CBRF**  
 VILLAGE OF HARTLAND, WISCONSIN  
 BY: JPS LIMITED LLC  
 126 E. PROSPECT AVENUE  
 HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/03/15	PER COUNTY COMMENT

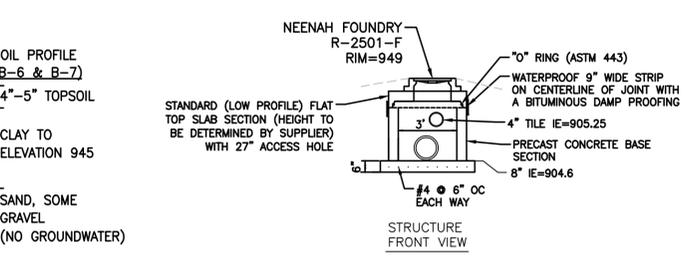
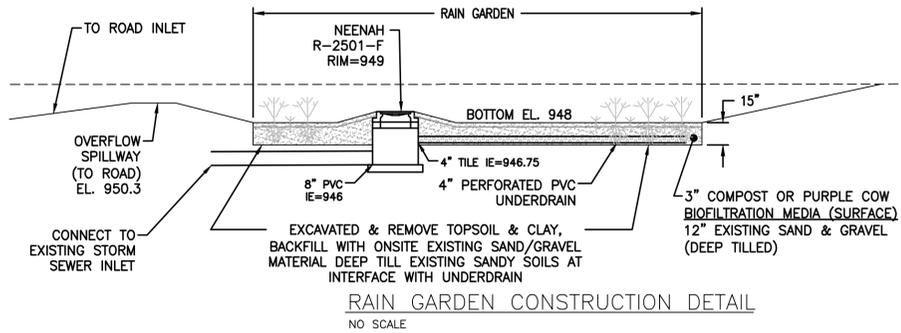
**DATE:**  
 APRIL 3, 2015

**JOB NUMBER:**  
 15002

**DESCRIPTION:**  
 MASTER GRADING &  
 DRAINAGE PLAN

**SHEET**

**C1.2**



H:\C800\886\150002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.  
**CALL DIGGERS HOTLINE 1-800-242-8511**

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April 14, 2015

Mr. Jay Schnorenberg  
JPS Limited LLC  
126 E. Prospect Avenue  
Hartford, WI 53027

RE: Village of Hartland  
CBRF - Plan Review Letter

Dear Mr. Schnorenberg:

The Village of Hartland's Staff as well as Ruekert & Mielke, Inc. has reviewed the concept plan submittal that included three plan sheets, dated April 3, 2015. We are providing these initial comments as guidance and direction for your design staff in preparation of updated documents for review. **Please respond to the comments below, in writing, with your next submittal. Village Staff is willing to meet with you regarding these comments.**

Your item will be on the agenda for the April 20, 2015 Plan Commission meeting and includes a Public Hearing for a Conditional Use permit. Because the plan submittal is incomplete, the Public Hearing be initiated on April 20, but will need to continue to the May 18 Plan Commission meeting.

### **Storm Water Management Plan**

1. Need to submit a storm water management plan.
2. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.

### **Construction Plan Review**

1. A tree survey will be required as there are mature trees being removed.
2. Some elevations refer to 800's and some refer to 900's, please update.
3. Include details for curb/gutter; paving.
4. Provide a landscape plan accounting for tree replacements.
5. Show overflow routes out of rain gardens, reinforce turf along overflows.

Mr. Jay Schnorenberg  
JPS Limited LLC  
April 14, 2015  
Page 2

6. Detail connections to water main and sewer main for services. Slurry backfill within right of way.
7. Review existing utilities for conflicts with new storm sewer connections to inlets.
8. Use RCP for storm sewer within right of way.
9. Overflow structures – utilize a “raised” inlet grate to prevent clogging.
10. Provide a lighting plan and photometrics.
11. Prior correspondence with Jay identified some building mechanicals are planned to be located at the southeast corner of the building. This is near residential property. A preferred location would be for the building mechanicals to be located at the northeast corner of the building, with landscape screening.
12. There are notes on the plan “ROW Post” within the new parking lot, what are these?
13. Show dimensions for parallel parking stalls.
14. Include a handicap sign and post.
15. The Village will review the existing sidewalk within the Merton Ave right of way to see if there are any repairs to the existing sidewalk that should be completed with the project.

### **Summary**

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan Memo and Construction Drawings stamped by a Professional Engineer – submit 2 final copies with all relevant information from previous submittals included.
2. Village storm water permit and erosion control permit.
3. Village tree protection permit.
4. Village curb cut/right-of-way permit.
5. Building permit.

Mr. Jay Schnorenberg  
JPS Limited LLC  
April 14, 2015  
Page 3

6. Plan of operations.

The applicant will be required to obtain any other permits determined to be necessary.

If you have any questions, comments or concerns, please feel free to contact our office.

Very truly yours,

RUEKERT & MIELKE, INC.



Ryan T. Amtmann, P.E. (WI, IL)  
Vice President  
[ramtmann@ruekert-mielke.com](mailto:ramtmann@ruekert-mielke.com)

RTA:sjs

cc: David Cox, Village of Hartland  
Michael Einweck, P.E., Village of Hartland  
Scott Hussinger, Village of Hartland  
Josh Pudelko, MS, PE, Trio Engineering  
File

Document Number	<u>CONDITIONAL USE PERMIT</u> <b>[JPS Memory Care Facility]</b> Document Title
-----------------	--

DRAFT - April 17, 2015

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to JPS Limited, LLC. (hereinafter “Grantee”) for the operation of a Memory Care Living Facility at the properties located at 430, 438 and 444 Merton Avenue.

RECITALS

**WHEREAS**, Grantee has applied for a conditional use permit (the “CUP”) pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of a Memory Care Facility in the RM-1 Zoning District at 430, 438 and 444 Merton Avenue, Hartland, Wisconsin, (the “Property”) more specifically described as:

[HAV 0428985, HAV 0428986, HAV 0428987]  
**OWNER: JPS Limited, LLC**  
 126 E Prospect Avenue  
 Hartford, WI 53027

Recording Area
Name and Return Address Village of Hartland 210 Cottonwood Ave. Hartland, WI 53029

Parcel Identification Number
HAV 0428985 HAV 0428986 HAV 0428987

**WHEREAS**, the Property is located in the RM-1 Multi-Family Residential District; and

**WHEREAS**, Section 46-374 (1) of the Village of Hartland Code of Ordinances provides that community living arrangements with a capacity for 16 or more persons in the RM-1 District is a conditional use; and

**WHEREAS**, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibits A and B and incorporated herein; and

**WHEREAS**, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the memory care facility may be constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the housing of persons experiencing memory or similarly diagnosed medical situations;
2. the operator of the memory care facility will construct the building in accordance with the plans as submitted and as finally approved including stormwater retention, buffers and landscaping;
3. the operator of the memory care facility shall operate the traffic flow and parking needs of the facility as approved and completely within the limits of the parcel's parking lot;
4. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
5. OTHER CONDITIONS AS PLACED BY PC AND VB;
6. and

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

**NOW THEREFORE**, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate a memory care facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of JPS Limited, LLC.
2. The business activities permitted hereunder are limited to the operation of a memory care facility.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
  - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
  - b. Upon the cessation of the operations permitted under this CUP.

7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the memory care facility operations by November 15, 2016.

8. Notwithstanding the forgoing, this CUP shall expire on April 27, 2017.

This conditional use permit is hereby issued this 27th day of April, 2015 subject to the conditions provided herein.

**VILLAGE OF HARTLAND**

\_\_\_\_\_  
David Lamerand, Village President

\_\_\_\_\_  
Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



**RECEIVED**

APR 03 2015

Village of Hartland

ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

**APPLICATION FOR  
 PLAN COMMISSION**

**\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description +- 13,400 SQ/FT AUTO SERVICE, AUTO DETAIL & CAR WASH ADDITION			
Proposed Use Auto repair, auto detailing & car wash services.		No. of Employees 16	
Project Location 400 East Industrial Drive			
Project Name Hartland Service Car Wash & Detail Building		Hartland Service Retail Building	
Owner Michael and Deborah Kusch		Phone	
Address N65 W30981 Beaver Lake Road		City Hartland	State WI Zip 53029
Engineer/Architect MSI General (Pete Anderson)		Phone 262-563-5337	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX 262-719-2957	E-mail john@msgeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

**From:** David Cox  
**Sent:** Thursday, April 16, 2015 2:50 PM  
**To:** Darlene Igl  
**Subject:** FW: Hartland Service Center

And possibly this e-mail as well.

Thanks,

*Dave*

David E. Cox, Village Administrator

262-367-2714

[www.villageofhartland.com](http://www.villageofhartland.com)

[Click here to register for our electronic newsletter \*Hartland Happenings\*.](#)

[What is a Village Administrator? Find out more in this video from ICMA.](#)

**From:** Amtmann, Ryan [<mailto:RAmtmann@ruekert-mielke.com>]

**Sent:** Monday, April 13, 2015 5:03 PM

**To:** Aaron Koch, P.E.; John Kutz

**Cc:** David Cox; Scott Hussinger; Mike Einweck

**Subject:** Hartland Service Center

Aaron/John,

Village staff met this morning to review the Hartland Service Center plan submittal in preparation for the 4/20 Plan Commission meeting.

The following comments will allow for you to be prepared for the Plan Commission meeting and to complete final plans for approval:

1. A storm water management plan was not submitted. The plan needs to address both storm water quantity and quality. There was a maintenance agreement submitted, this was not reviewed at this time.
2. A tree survey is required. Are there any trees with a 3" caliper or greater in the delineated wood line along the north side of the property that will be disturbed, if so include in the tree survey.
3. Show the removal of 2 driveway aprons along Cottonwood Avenue and provide details for the replacement with Village standard curb and gutter.
4. Sheet C-102, update reference to the construction sequence from Milwaukee/canal to Hartland.
5. Village staff have a preference for the landscaped areas on the north and north east (berm) sides of the parcel to be permanently stabilized and landscaped with trees right away during phase one. The Conditional Use will require that the landscaping be completed prior to occupancy and operation of the new facility. Locating the construction entrance off of Industrial Drive is preferable because:
  - a. The Village will have construction occurring in Cottonwood Avenue during the summer.
  - b. Construction traffic should be routed along Industrial to STH 83.
  - c. Will allow the construction of the berm during the front stage of the project.
  - d. Will provide for screening during construction for residents to the east.
6. Inlet protection should be Type D. Show additional inlets with inlet protection downstream from the site.
7. Show catch basin detail.
8. Does a 15" outlet pipe allow for the proper detention on site?

9. Do the storm pipes on site have acceptable depth of cover over the pipe? Should a rigid material be used for the pipe?
10. Show parking lot, stall, lane dimensions.
11. Differentiate between tree removals and installs on the landscape plan.
12. Minimum caliper for new trees is 2".
13. Village Storm water permit and erosion control permit is required.
14. Village Tree protection permit is required.
15. Village Curb cut/right-of-way permit is required.

If you have any questions please feel free to call me.

Ryan

**Ryan T. Amtmann, P.E. (WI, IL)**

*Vice President*

**Ruekert & Mielke, Inc.**

W233 N2080 Ridgeview Parkway

Waukesha, WI 53188

(262) 542-5733

(262) 953-3002 (direct)

(414) 840-3296 (cell)

[www.ruekertmielke.com](http://www.ruekertmielke.com)



**From:** David Cox  
**Sent:** Thursday, April 16, 2015 2:49 PM  
**To:** Darlene Igl  
**Subject:** FW: Hartland Service Center  
**Attachments:** image001.gif

Darlene,

Please plan to include this e-mail string in the packet for the PC tomorrow.

*Dave*

David E. Cox, Village Administrator  
262-367-2714

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[Click here](#) to register for our electronic newsletter *Hartland Happenings*.

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---

**From:** John Kutz [<mailto:John@msigeneral.com>]  
**Sent:** Thursday, April 16, 2015 11:23 AM  
**To:** Amtmann, Ryan  
**Cc:** Aaron Koch, P.E.; David Cox; Scott Hussinger; Mike Einweck; Ken Krahe; Pete Anderson; Mike Kusch  
**Subject:** Re: Hartland Service Center

Ryan,

We have adjusted our plans per the comments below. We would like to discuss further the request to not have construction access off of Cottonwood. The intention was to leave the current detail building in operation as long as possible on the northwest side. Should we have to bring all construction traffic in from Industrial only from the beginning this would mean a loss of that portion of business for Mike Kusch for the duration of the project. We would like to discuss that particular request further to see if a better solution that satisfies the Village and allows the detail service building to remain operational can be found.

Thank you,  
John

John Kutz  
Project Director  
MSI General Corp.  
(m) 920.650.5032  
(e) [john@msigeneral.com](mailto:john@msigeneral.com)

Sent from my iPhone

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## David Cox

---

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# HARTLAND SERVICE ADDITION



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST

SINGLE SOURCE RESPONSIBILITY



Project Name

Hartland Service Addition

Project Address

400 East Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

Existing Building Data

Automotive Repair, Carwash & Office Building  
Building Area 10,870 sq/ft

Construction Type Type 6  
(Under Previous Building Code)

Number of Stories 1

Occupancy Non Separated  
B (Carwash Area) 1,455 sq/ft  
S1 (Car Repair Area) 7,110 sq/ft  
B (Office) 2,305 sq/ft

Building Addition Data

Automotive Repair, Automotive Detailing, Carwash & Office Addition  
Building Area 13,400 sq/ft

Construction Type IIB

Number of Stories 1

Occupancy Non Separated  
B (Carwash area) 4,560 sq/ft  
S1 (Car Repair Area) 6,720 sq/ft  
B (Office) 2,120 sq/ft

Total Building Area Including Addition 24,270 sq/ft

Allowable Building Area (Table 503 with Frontage Increase)  
Nonseparated use (S1 is most restrictive)  
Allowable Area 30,625 sq/ft

Fire Areas Based on Section 903.2.9.1  
not to exceed 12,000 sq/ft  
(Refer to A-101 for locations of fire barriers)

Total Building Occupant Load  
(This calculation does not include the dedicated carwash area)  
Per IBC 2009 Table 1004.1.1 182

Egress Width  
Required 36.4  
Provided 160

Exit access Travel Distance 200'

Fire Protection None

Sanitary Facility Requirements

Men (91)  
Required  
Water Closet 2  
Lavatory 2

Provided  
Water Closet 2  
Lavatory 2

Women (91)  
Required  
Water Closet 2  
Lavatory 2

Provided  
Water Closet 2  
Lavatory 2

One unisex lav. is also provided in the building addition

Janitor's Sink  
Required 1  
Provided 1 Existing

Drinking fountain  
Required 1  
Provided 1 Existing

Existing Site Data

Site Area 98,850 S.F. (2.27 Acres)  
Existing Auto Repair Building 10,870 S.F.  
Existing Detail Building (To be Demolished) 2,525 S.F.  
Existing House (To be Demolished) 850 S.F.  
Existing Shed (To be Demolished) 220 S.F.  
Existing Hard Surface (Buildings Excluded) 37,985 S.F.

Total Existing Hard Surface (Buildings Included) 52,450 S.F.  
Total Existing Green Space 46,400 S.F.  
Existing Green Space Ratio 47%

Existing Parking Stalls  
Standard Parking Stalls 52  
Accessible Parking Stalls 3

Proposed Site Data

Site Area 98,850 S.F. (2.27 Acres)  
Existing Auto Repair Building 10,870 S.F.  
Proposed Auto Repair Addition 13,400 S.F.  
Proposed Building Area Including Addition 24,270 S.F.  
Proposed Building Footprint Ratio 25%

Total Hard Surface w/  
Proposed Site Improvements & Building Addition 73,110 S.F.

Total Greenspace w/  
Proposed Site Improvements & Building Addition 25,740 S.F.

Proposed Green Space Ratio 26%

Parking Requirements  
1 Stall Per Employee 16  
1 Stall Per 250 sq/ft of car repair area  
6,450 sq/ft (Does not include circulation  
or storage areas) 26  
Total Stalls Required 42

Existing Parking Stalls to Remain  
Standard Parking Stalls 26  
Accessible Parking Stalls 2

Proposed Parking Stalls  
Standard Parking Stalls 18

Total Parking Provided  
Standard Parking Stalls 44  
Accessible Parking Stalls 2

Accessibility

Refer to C-101 for location of accessible route & existing accessible parking stalls. Once in the building there is an accessible route to all rooms & we are constructing a new accessible ADA unisex restroom in the building addition serving the primary function area.

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX

Table with columns for SHEET INDEX and REVISIONS. Includes a list of drawing sheets (G-001 to A-201) and a grid for tracking revisions.

REVISIONS:

Table for tracking revisions with columns for revision number, description, and date. Includes two entries for PLAN COMMISSION SET 03.30.15.

PROJECT ADDRESS:

PROJECT NAME  
Hartland Service Car Wash Building  
STREET ADDRESS  
400 East Industrial Drive  
CITY / STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson

Sheet Title: COVER SHEET

Sheet Number: G-001

Project Number: P11162

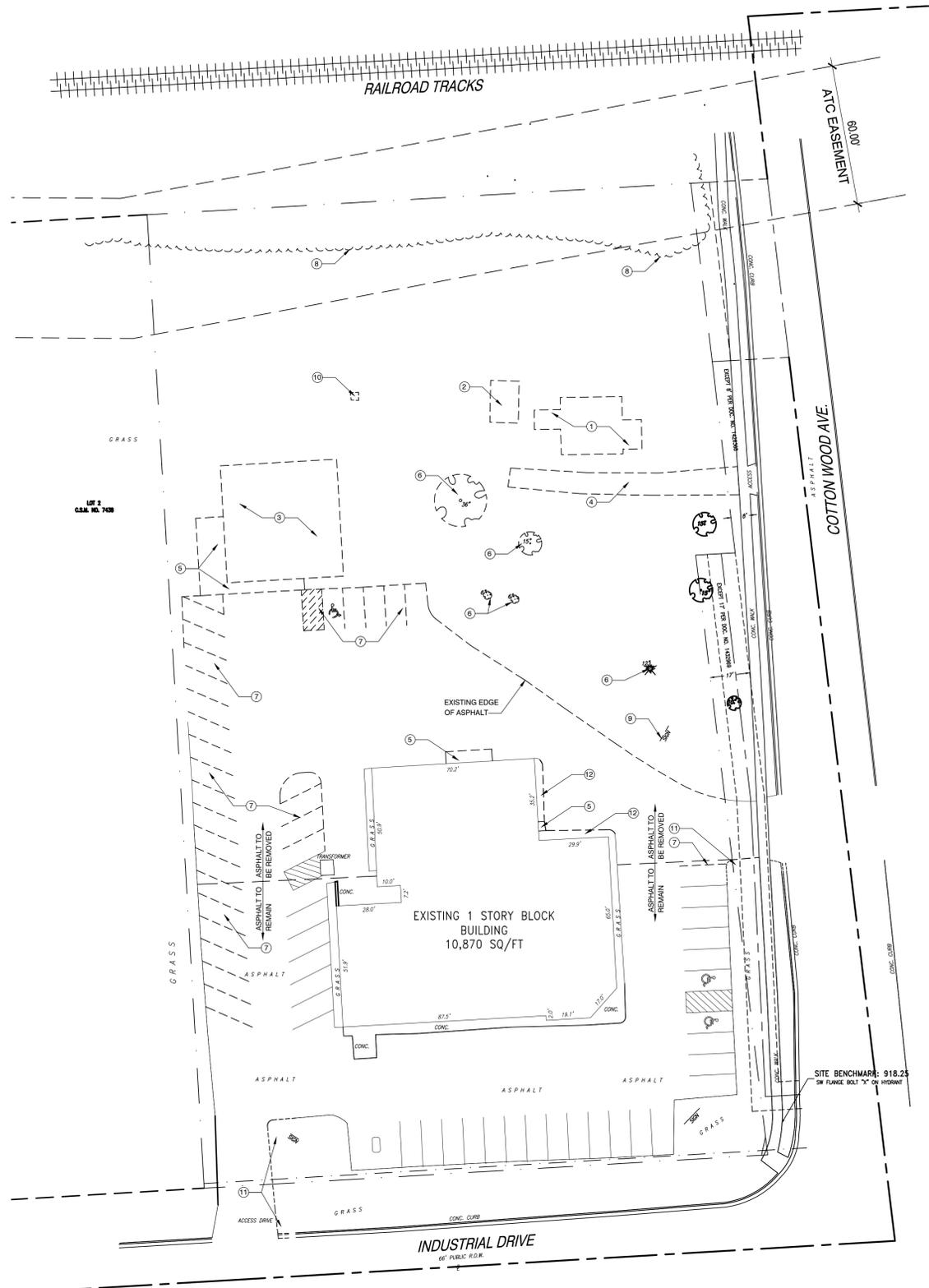
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



**SITE DEMOLITION NOTES**

- EXISTING HOUSE REMOVED BY OWNER
- EXISTING SHED REMOVED BY OWNER
- COMMERCIAL BUILDING TO BE DEMOLISHED
- EXISTING GRAVEL DRIVE TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING PARKING STALL STRIPING TO BE REMOVED
- EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING TRANSFORMER TO BE REMOVED
- WIDEN EXISTING EAST & SOUTH DRIVES BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE. REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH
- EXISTING LANDSCAPING ALONG EXISTING OFFICE TO BE REMOVED



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

**REVISIONS:**

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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

**PROJECT ADDRESS:**

PROJECT NAME  
 Hartland Service Car Wash Building  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

**REFERENCE KEYNOTES**

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 06- Woods and Plastics	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
(1) 50 LB PRECAST LIVE LOAD(03410) (2) 80 LB PRECAST LIVE LOAD(03410) (3) 100 LB PRECAST LIVE LOAD(03410) (4) 125 LB PRECAST LIVE LOAD(03410) (5) 150 LB PRECAST LIVE LOAD(03410) (6) 200 LB PRECAST LIVE LOAD(03410)	(3-1) CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02020 & 03030) (3-2) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02030, 03030) (3-3) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02030, 03030) (3-4) 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02030, 03030) (3-5) CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03030) (3-6) CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03030)	(4-1) 4" STANDARD CONCRETE MASONRY UNIT(04000) (4-2) 8" STANDARD CONCRETE MASONRY UNIT(04000) (4-3) 12" STANDARD CONCRETE MASONRY UNIT(04000) (4-4) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-5) 8" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-6) 12" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-7) 4" CONCRETE BRICK UNIT(04000) (4-8) 8" CONCRETE BRICK UNIT(04000) (4-9) 12" CONCRETE BRICK UNIT(04000) (4-10) 1/2" EXPANSION JOINT MATERIAL(03030) (4-11) CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03030)	(5-1) 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (03000, 05100 & 05000) (5-2) 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (05100, 05210, 05000 & 07000) (5-3) METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(05000) (5-4) CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05000) (5-5) 1 1/2" DIA. METAL RAILING(05000)	(6-1) PLASTIC LAMINATE WINDOW (ILL0800) (6-2) PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400) (6-3) FACE BRICK(04000) (6-4) 1/2" PRECAST FLANK(03410) (6-5) 10" PRECAST FLANK(03410) (6-6) 12" PRECAST FLANK(03410) (6-7) 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000) (6-8) 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000)	(7-1) PERIMETER INSULATION(07000) (7-2) PERITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) (7-3) 5/8" BATT INSULATION ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION (07000) (7-4) 24 GAGE CONCEALED FASTENER METAL ROOF PANEL (7-5) 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) (7-6) 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL (7-7) 24 GAGE PREFINISHED METAL LINER PANEL (7-8) 3" VINYL FACED BLANKET INSULATION(07000) (7-9) 4" VINYL FACED BLANKET INSULATION(07000) (7-10) 2" FRICTION FIT INSULATION(07000) (7-11) EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV17)(07240)	(8-1) BRICKSTONE INSULATED LOW E GLASS(08410,08800) (8-2) GREY TONE INSULATED LOW E GLASS(08410,08800) (8-3) CLEAR INSULATED LOW E GLASS(08410,08800) (8-4) BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-5) CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-6) H.M. BROWNEWOOD LITE	(9-1) SUSPENDED CEILING SYSTEM(09100) (9-2) METAL SOFFIT PANEL
(2-1) 3" 1/4" x 1 3/4" ASPHALT OVER 8" STONE BASE(02010,02000) (2-2) 4" 1/2" x 1 1/2" ASPHALT OVER 8" STONE BASE(02010,02000) (2-3) 5" 3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(02010,02000) (2-4) HANDICAPPED PARKING STALL SIGN	(3-7) CONCRETE REIN. W/ FIBER MESH REINFORCING(03030) (3-8) 1/2" EXPANSION JOINT MATERIAL(03030) (3-9) CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03030)	(4-12) 4" STANDARD CONCRETE MASONRY UNIT(04000) (4-13) 8" STANDARD CONCRETE MASONRY UNIT(04000) (4-14) 12" STANDARD CONCRETE MASONRY UNIT(04000) (4-15) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-16) 8" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-17) 12" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-18) 4" CONCRETE BRICK UNIT(04000) (4-19) 8" CONCRETE BRICK UNIT(04000) (4-20) 12" CONCRETE BRICK UNIT(04000)	(5-6) 1 1/2" DIA. METAL RAILING(05000)	(6-9) 1/2" EXPANSION JOINT MATERIAL(03030) (6-10) CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03030)	(7-12) 24 GAGE PREFINISHED METAL LINER PANEL (7-13) 3" VINYL FACED BLANKET INSULATION(07000) (7-14) 4" VINYL FACED BLANKET INSULATION(07000) (7-15) 2" FRICTION FIT INSULATION(07000) (7-16) EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV17)(07240)	(8-7) H.M. BROWNEWOOD LITE	(9-3) SUSPENDED CEILING SYSTEM(09100) (9-4) METAL SOFFIT PANEL
							(10-1) FLAG POLE (10-2) MONUMENT SIGN (10-3) DUMPSTER ENCLOSURE (10-4) ROOF HATCH AND LADDER

**SITE DEMOLITION PLAN 1" = 30'-0"**

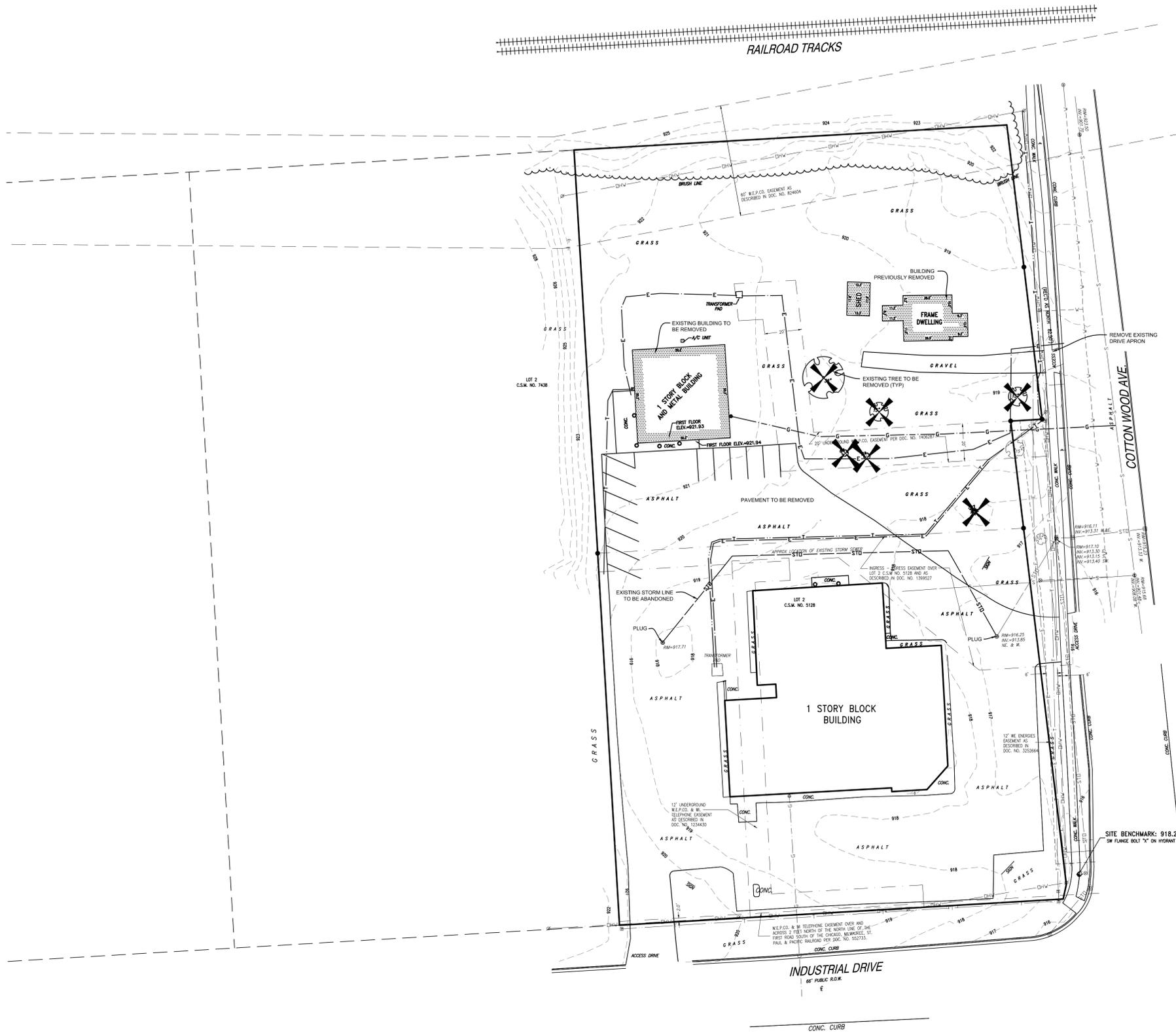
03.30.15  
 Pete Anderson  
**SITE DEMOLITION PLAN**  
**C-001**  
 Project Number: P11162  
**4381**

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

Hartland Service Car Wash Building  
 400 East Industrial Drive  
 Hartland, WI 53029

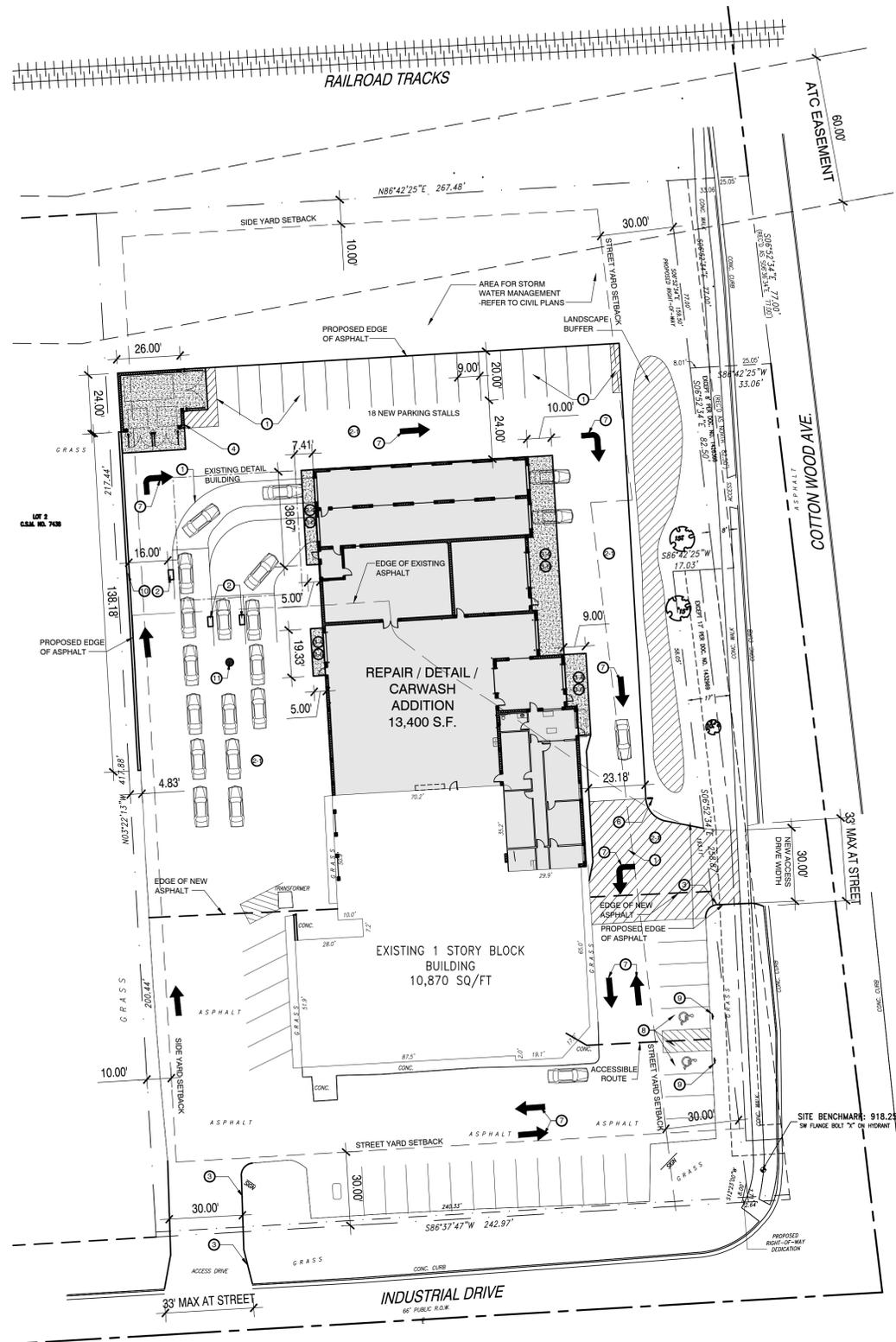
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

03.30.15 PEG

EXISTING CONDITIONS &  
 SITE DEMOLITION PLAN

**C-100**  
 4381

P11162



**SITE PLAN NOTES**

- 1 NEW PARKING LOT STRIPING
- 2 CAR WASH PAY STATION
- 3 WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE  
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- 4 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- 5 CONCRETE APRON
- 6 TWO SIDED SIGN  
STOP SIGN FACING NORTH  
ONE WAY DO NOT ENTER SIGN FACING SOUTH
- 7 PAINT DIRECTIONAL ARROWS ON EXISTING & NEW PAVEMENT AS INDICATED
- 8 REPAINT THE EXISTING HANDICAP PARKING STALLS & ASSOCIATED AISLE
- 9 ADD (2) NEW ADA PARKING SIGNS PER DETAIL C7/C-501
- 10 2'-0" HIGH CMU RETAINING WALL- REFER TO SITE GRADING PLAN FOR MORE INFORMATION
- 11 NEW CATCH BASIN- REFER TO SITE UTILITY PLAN FOR MORE INFORMATION



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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

**PROJECT ADDRESS:**

PROJECT NAME  
 Hartland Service Car Wash Building  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

**REFERENCE KEYNOTES**

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
11 50 LB PRECAST LIVE LOAD(03410) 12 80 LB PRECAST LIVE LOAD(03410) 13 100 LB PRECAST LIVE LOAD(03410) 14 125 LB PRECAST LIVE LOAD(03410) 15 150 LB PRECAST LIVE LOAD(03410) 16 200 LB PRECAST LIVE LOAD(03410)	31 CONCRETE OVERPOUR- HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02001 & 03000) 32 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 33 12" STANDARD CONCRETE MASONRY UNIT(04000) 34 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 35 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) 36 CONCRETE REIN. W/ 600 #5 @ 10 W.F.(03000) 37 CONCRETE REIN. W/ 600 #6 @ 8 W.F.(03000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000) 48 8" CONCRETE BRICK UNIT(04000) 49 12" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(03000, 06100 & 06000) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(06100, 06200, 06300 & 07000) 53 METAL STAIR UNIT W/ COR-STRUT TREADS/CLOSED RISERS(06000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(03000, 06000) 55 1 1/2" DIA. METAL RAILING(06000)	71 PERIMETER INSULATION(07000) 72 FIBERGLASS FILL INSULATION IN CORES OF BLOCK(07000) 73 2" GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(06100, 06200, 06300 & 07000) 74 1 1/2" SD INSULATION + 3" EPS INSULATION(07000) 75 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 76 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) 77 24 GAGE SCULPTURED STEEL/METAL WALL PANEL 78 24 GAGE PREFINISHED METAL LINER PANEL 79 VINYL FACED BLANKET INSULATION(07000) 80 VINYL FACED BLANKET INSULATION(07000) 81 FRICTION FIT INSULATION(07000) 82 EFF EXTERIOR INSULATION FINISH SYSTEM(DRYVIT)(07240)	81 BRONZSTONE INSULATED LOW E GLASS(08410, 08800) 82 GREYSTONE INSULATED LOW E GLASS(08410, 08800) 83 CLEAR INSULATED LOW E GLASS(08410, 08800) 84 BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 HAZ BOROPOWER LITE	91 SUSPENDED CEILING SYSTEM(09010) 92 METAL SOFFIT PANEL
21 7"1 1/4" + 1 3/4" ASPHALT OVER 8" STONE BASE(02010, 02000) 22 4"12" 1" + 1 1/2" ASPHALT OVER 8" STONE BASE(02010, 02000) 23 5"12" + 2" ASPHALT OVER 12" STONE BASE(02010, 02000) 24 HANDICAPPED PARKING STALL SIGN	38 CONCRETE REIN. W/ FIBERMESH REINFORCING(03000) 39 1/2" EXPANSION JOINT MATERIAL(03000) 30 CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000)	48 4" CONCRETE BRICK UNIT(04000) 49 8" CONCRETE BRICK UNIT(04000) 50 12" CONCRETE BRICK UNIT(04000) 51 FACE BRICK(04000) 52 4" PRECAST PLANK(0410) 53 12" PRECAST PLANK(0410) 54 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(03000, 06000) 55 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(03000, 06000)	61 PLASTIC LAMINATE WINDOW BOLLARD(06000) 62 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400, 06600) 63 PLASTIC LAMINATE WALL CABINET(06100, 06200, 06400, 06600) 64 SHELF AND POLE(06100, 06200)	71 24 GAGE SCULPTURED STEEL/METAL WALL PANEL 72 24 GAGE PREFINISHED METAL LINER PANEL 73 VINYL FACED BLANKET INSULATION(07000) 74 VINYL FACED BLANKET INSULATION(07000) 75 FRICTION FIT INSULATION(07000) 76 EFF EXTERIOR INSULATION FINISH SYSTEM(DRYVIT)(07240)	81 BRONZSTONE INSULATED LOW E GLASS(08410, 08800) 82 GREYSTONE INSULATED LOW E GLASS(08410, 08800) 83 CLEAR INSULATED LOW E GLASS(08410, 08800) 84 BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 HAZ BOROPOWER LITE	91 SUSPENDED CEILING SYSTEM(09010) 92 METAL SOFFIT PANEL
			<b>Division 06- Woods and Plastics</b>			<b>Division 10- Misc</b>
						101 FLAG POLE 102 MONUMENT SIGN 103 DUMPSTER ENCLOSURE 104 ROOF HATCH AND LADDER

**SITE PLAN** 1" = 30'-0"

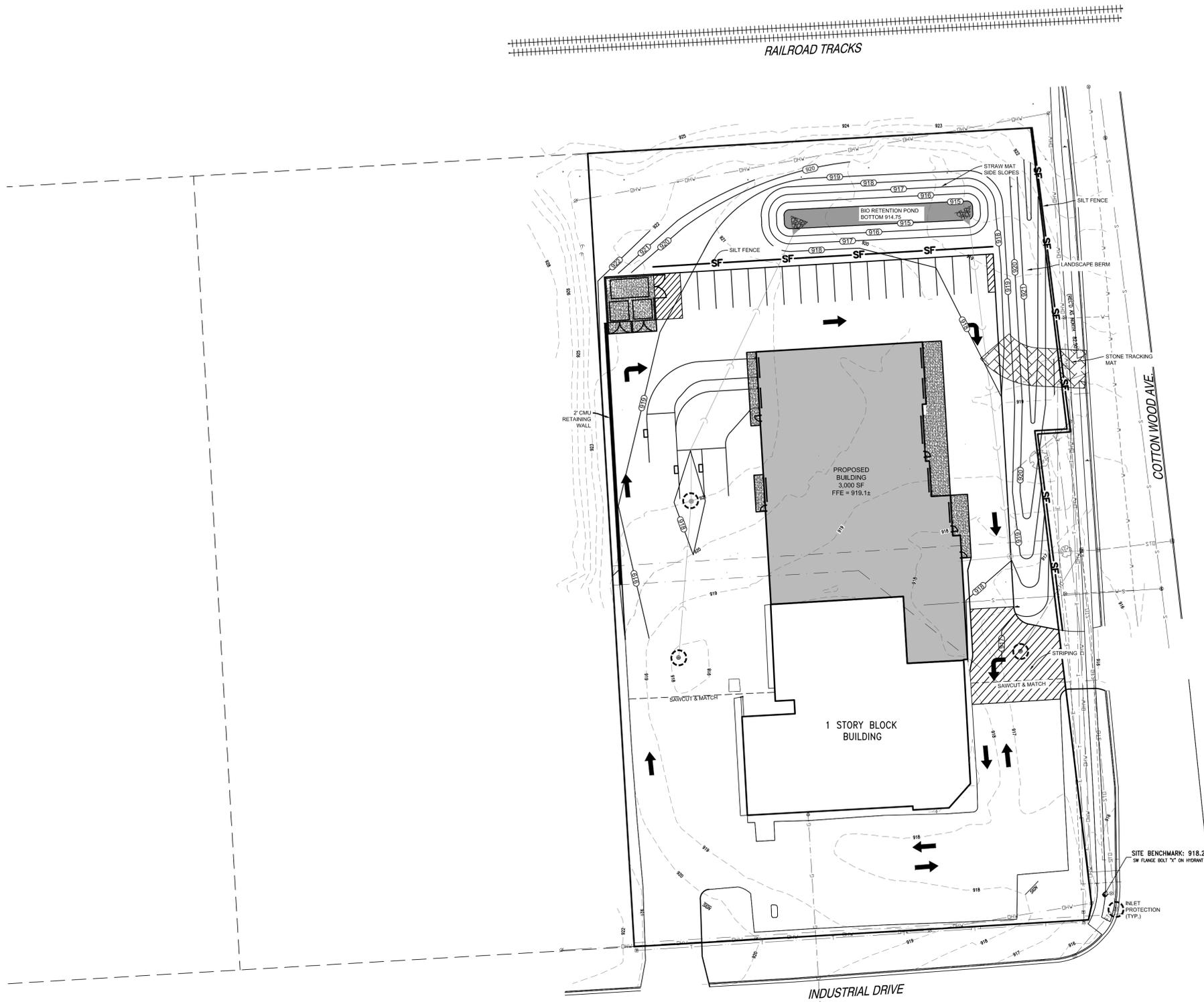
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title: **SITE PLAN**  
 Sheet Number: **C-101**  
 Project Number: P11162  
**4381**



**CONSTRUCTION SITE SEQUENCING**

ALL WORK SHALL BE CONFORMANCE WITH THE DNR WPDES PERMIT AND CITY OF MILWAUKEE EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO - ALL CHANGES SHALL BE DOCUMENTED IN WRITING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. IN NO CASES SHALL UNTREATED RUNOFF BE PUMPED TO THE CANAL. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (>40 MG/L TSS).
7. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCH UP AS A RESULT OF REMOVAL.
11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

**PROJECT ADDRESS:**

Hartland Service Car Wash Building  
 400 East Industrial Drive  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

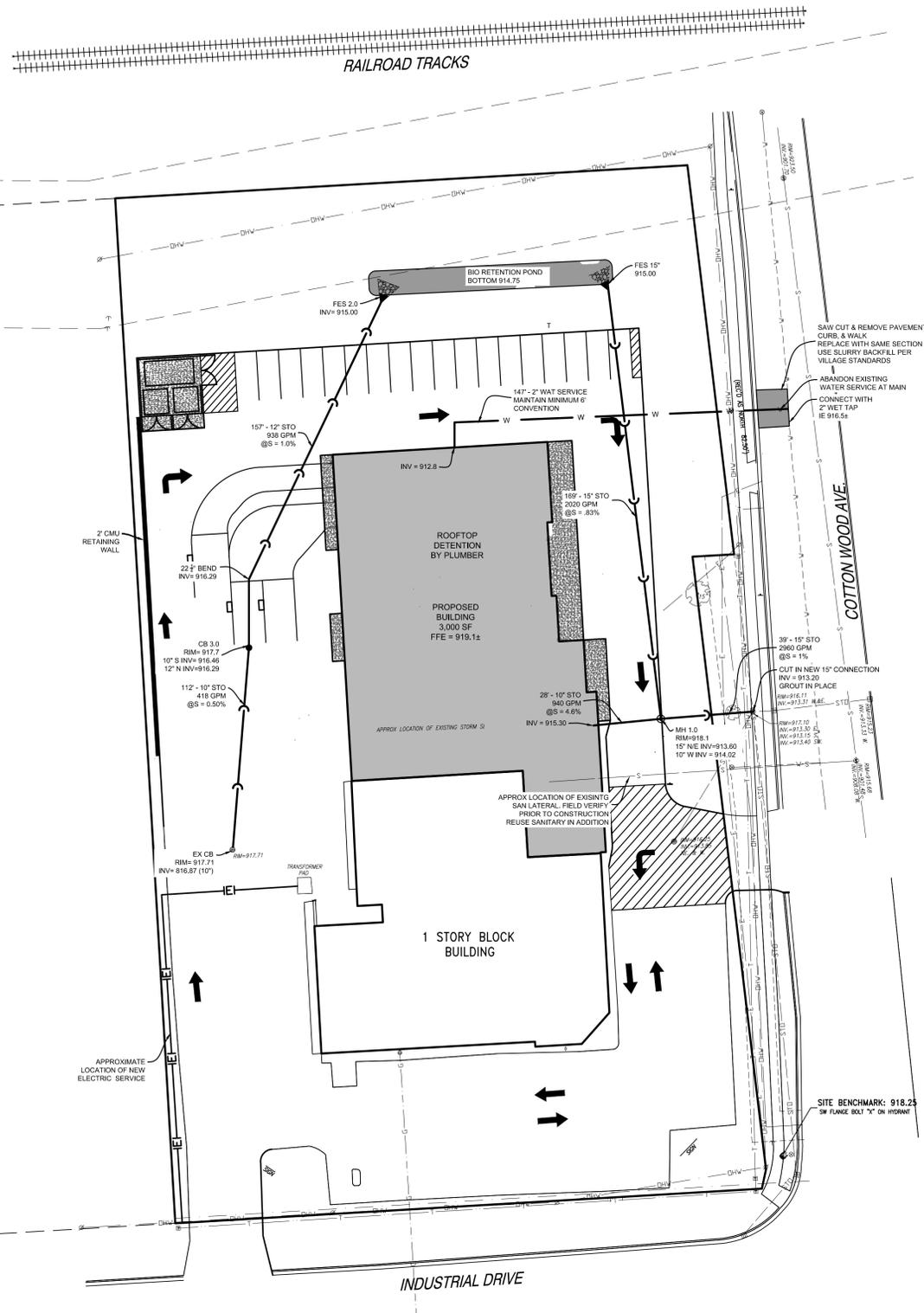
03.30.15 PEG  
 GRADING & EROSION CONTROL PLAN  
**C-102**  
 P11162  
**4381**

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

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 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

03.30.15 PEG  
 UTILITY PLAN  
**C-103**  
 4381  
 P11162

UTILITY PLAN

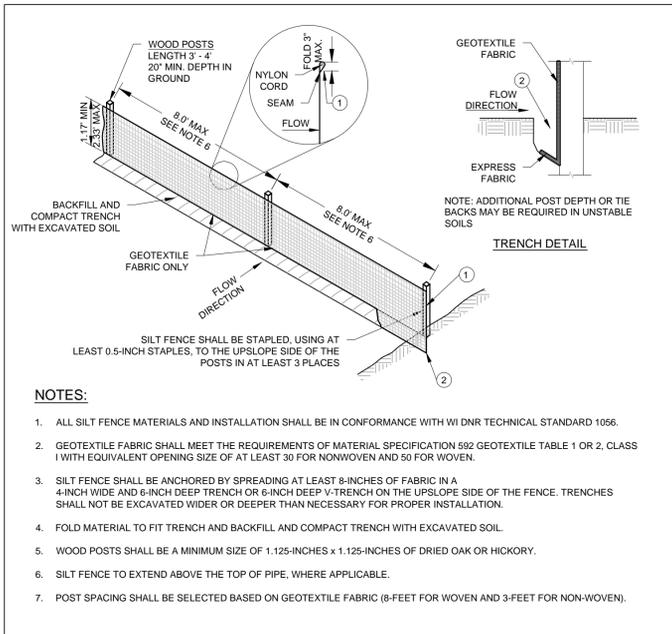
MANAGERS

ENGINEERS

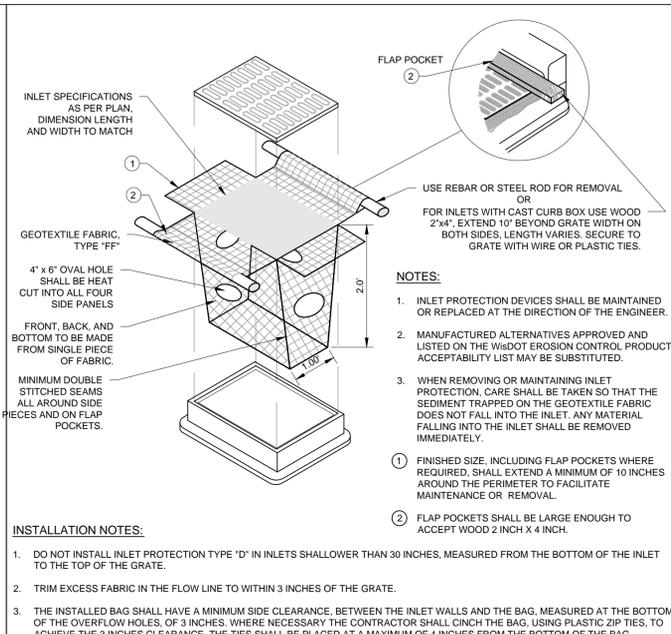
CONTRACTORS

ARCHITECTS

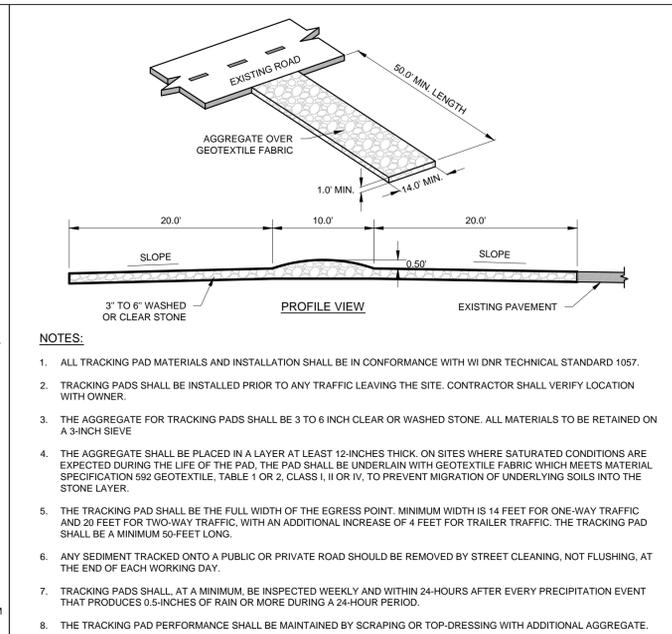




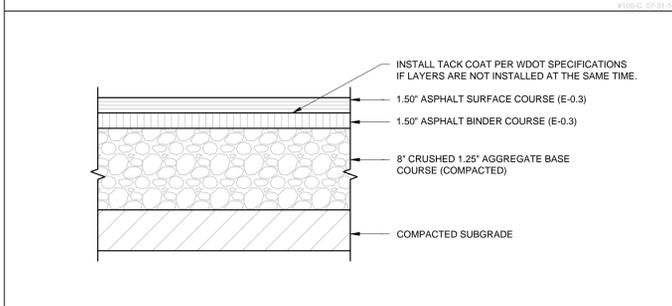
**SILT FENCE**



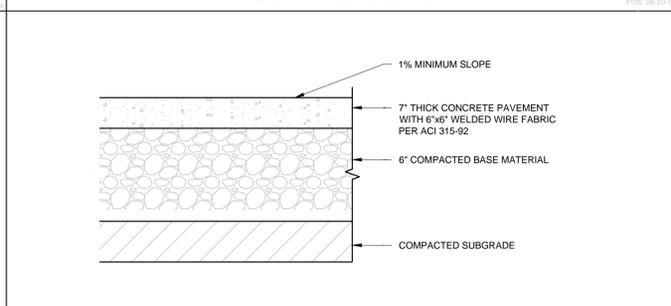
**INLET PROTECTION**



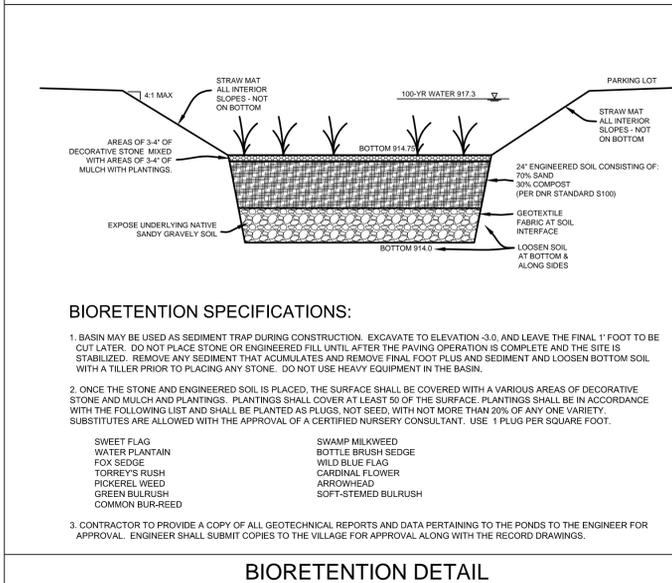
**CONSTRUCTION ENTRANCE**



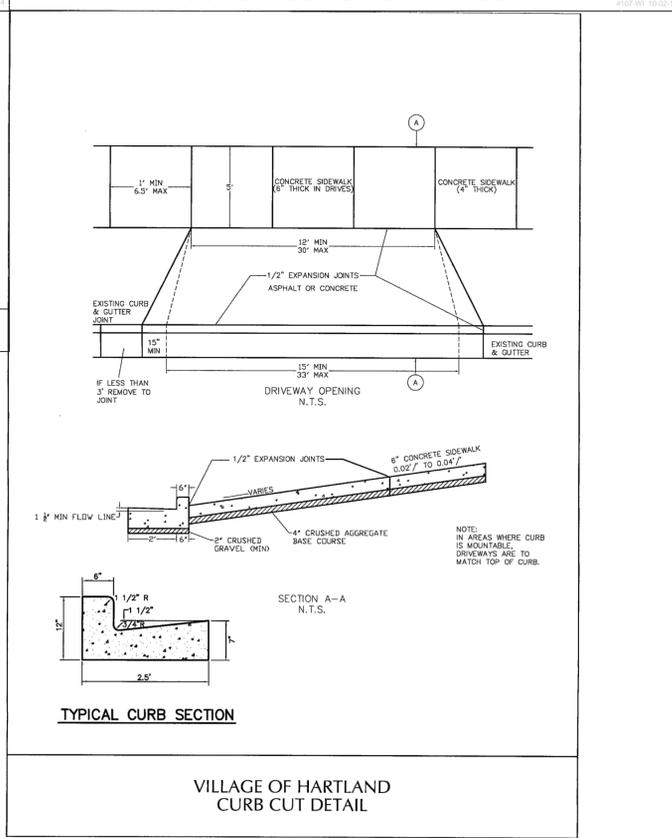
**REGULAR DUTY PAVEMENT SECTION**



**CONCRETE PAVEMENT SECTION**



**BIORETENTION DETAIL**



**TYPICAL CURB SECTION**

**VILLAGE OF HARTLAND CURB CUT DETAIL**



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

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PLAN COMMISSION SET 03.30.15  
PLAN COMMISSION SET 03.03.15

**PROJECT ADDRESS:**

Hartland Service Car Wash Building  
400 East Industrial Drive  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

03.30.15 PEG  
CONSTRUCTION DETAILS & SPECIFICATIONS  
**C-105**  
4381 P11162

**GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES**

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

**SPECIFICATIONS FOR GRADING & EROSION CONTROL**

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL +3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/-1' FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT

DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.

10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEEP IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.

**SPECIFICATIONS FOR PRIVATE UTILITIES**

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEP TAPPING SLEEVE.
3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED, WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE. MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADS NYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE NONRISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES, DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO. 8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

**SPECIFICATIONS FOR PAVING**

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1/2 INCH DIAMETER UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 TYPE E-0.3 IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. CONCRETE FOR CURBS, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

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**REVISIONS:**

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PLAN COMMISSION SET 03.30.2015  
PLAN COMMISSION SET 03.03.2015

**PROJECT ADDRESS:**

PROJECT NAME  
Hartland Service Detail Building  
STREET ADDRESS  
400 East Industrial Drive  
CITY/ STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: PEG  
Sheet Title:  
**CONSTRUCTION DETAILS & SPECIFICATIONS**  
Sheet Number:  
**C-106**  
Project Number: 4381 P11162



MANAGERS

MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

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REVISIONS:

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PLAN COMMISSION SET 03.30.15  
PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME  
Hartland Service Car Wash Building  
STREET ADDRESS  
400 East Industrial Drive  
CITY/STATE/ZIP  
Hartland, WI 53029

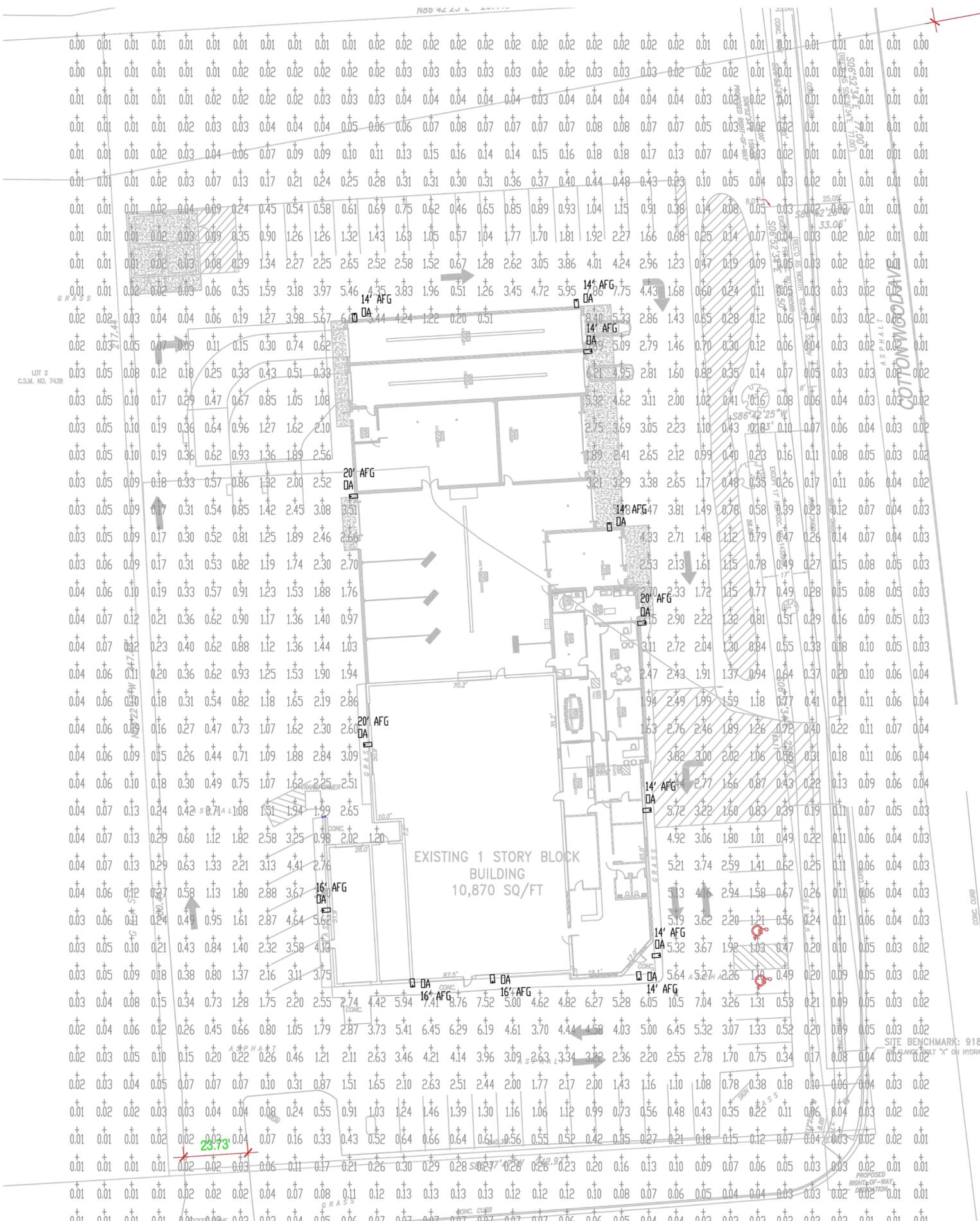
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson  
Sheet Title: SITE LIGHTING PLAN  
Sheet Number: C-107  
Project Number: P11162  
4381

ENGINEERS

CONTRACTORS

ARCHITECTS



CONTOUR LEVELS: A= 0.50 B= 0.20 C= 0.10

Hartland Service SITE LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	LAMP	LLF	QTY
DA	McGraw-Edison GLEON-AE-02-LED-E1-SL4-BZ-WM	107w LED	0.95	13

SCALE: 1" = 20'

**McGRAW-EDISON®**

**DESCRIPTION**  
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

**CONSTRUCTION**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall die-cast aluminum and caps enclose housing and driver enclosure heat sinks. A unique, patent pending mounting bracket and heat sink provides scalability with superior structural rigidity. SEI vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

**Optics**  
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution, maximize efficiency and application specific. AccuLED Optics create consistent distribution with the scalability requirements. Offered standard in 4000K (w/ 2750K CCT and minimum 30 CRI), Optional 5000K CCT and 3000K CCT. For the ultimate level of light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120/277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 3% THD dimming. Shipped standard with Cooper Lighting proprietary control module designed to withstand 100V of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the 16" High Ambient Optics. Light Squares are IP66 rated. Greater than 90% lumen maintenance required at 60,000 hours. Available in standard 1A drive current and optional 100mA and 700mA drive currents.

**Mounting**  
Standard aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting equipment table on page 3. Round pole top adaptor included. For wall mounting, specify wall mount bracket option. 3% vibration tested.

**Finish**  
Housing finished in super durable TPO powder powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, and platinum and granular metallic. 14L and 14S color matches available. Consult the McGraw-Edison Architectural Colors Brochure for the complete selection.

**Warranty**  
Five-year warranty.

**1-10 Light Squares Solid State LED AREA/SITE LUMINAIRE**

**POLE MOUNT**  
**WALL MOUNT**

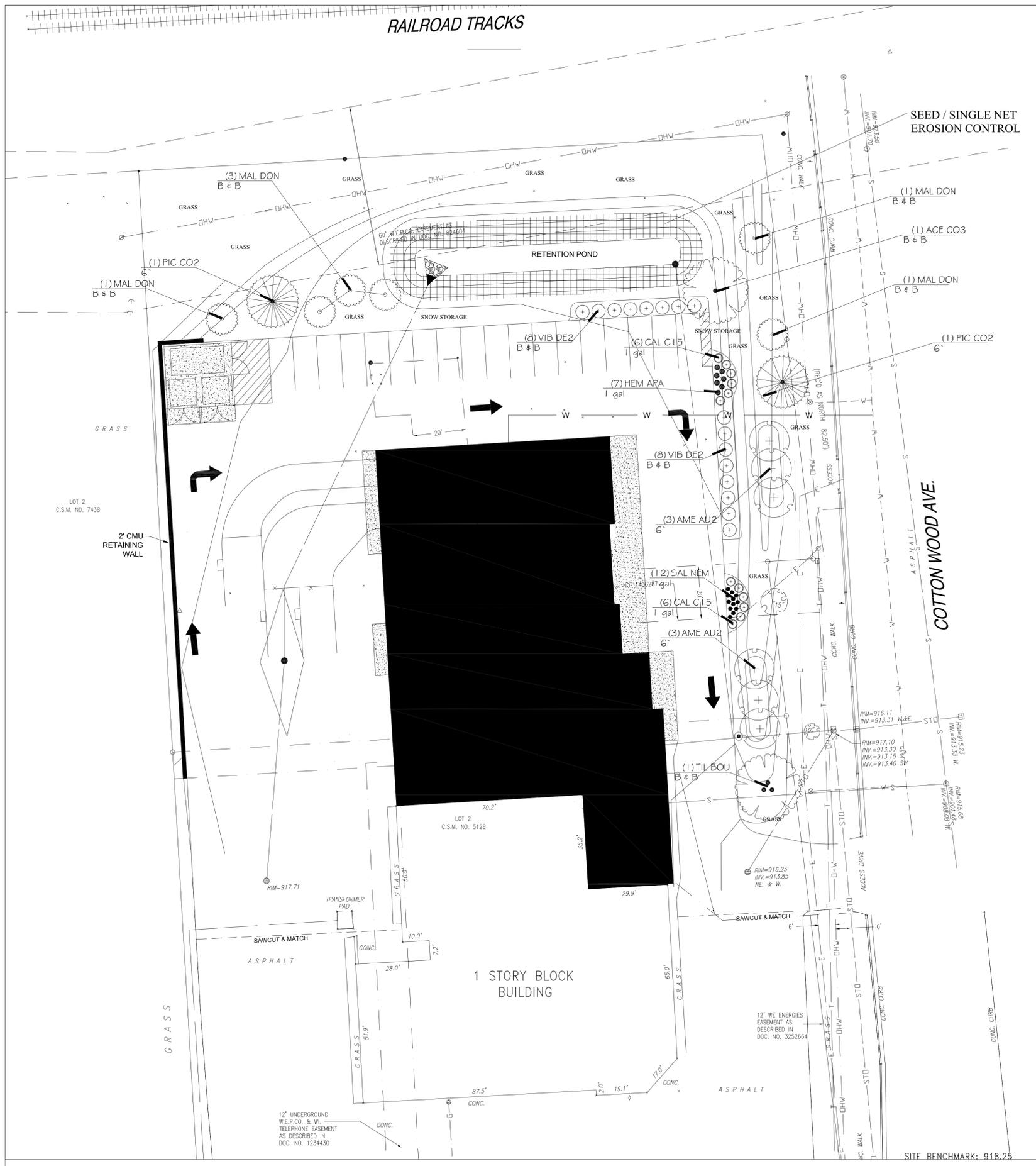
**CONSTRUCTION DATA**

Number of Light Squares	1" Beam	1" Beam	1" Beam	1" Beam	1" Beam	1" Beam	1" Beam
1-4	21-3/4" (548mm)	7" (178mm)	10" (254mm)	12" (305mm)	14" (354mm)	16" (406mm)	18" (457mm)
5-8	21-3/4" (548mm)	7" (178mm)	10" (254mm)	12" (305mm)	14" (354mm)	16" (406mm)	18" (457mm)
9-12	21-3/4" (548mm)	7" (178mm)	10" (254mm)	12" (305mm)	14" (354mm)	16" (406mm)	18" (457mm)

**ENERGY DATA**  
Based on 100W  
4.8 Power Factor  
C90 Total Harmonic Distortion  
120V 277V 480V  
50/60/50/60 Hz  
40°C Min. Temperature  
40°C Max. Temperature  
95% Min. Humidity (RH, Optimal)  
40°C Min. Temperature (RH, Optimal)

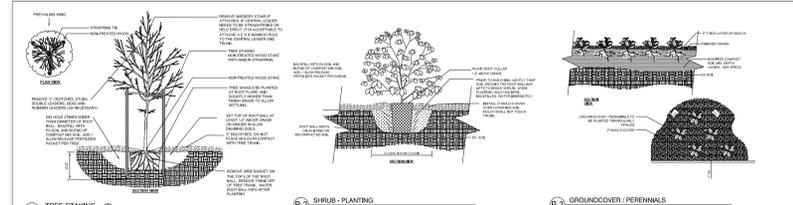
**Cooper Lighting**  
www.cooperlighting.com

SITE LIGHTING PLAN 1" = 20'-0"



**GENERAL LANDSCAPE NOTES:**

1. Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
2. Always contact Diggers Hotline (800-242-8511) before proceeding with any work.
3. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs.
4. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect.
5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 2" layer of shredded bark mulch.
6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
8. Seeded lawn areas to have Bluegrass blend of seed for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on application rates.
9. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade.
10. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. Single net, double net or Turf Reinforcement Mats shall be used as per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1<sup>st</sup>) or mid-summer installations. Unless stated by plan.
11. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth and the landscape.
12. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering.
13. If a permanent irrigation system is required in turf areas install system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician.
14. Warranty of plants, trees, evergreens, shrubs shall be for a period of one (1) year from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.



**PLANTING & HARDSCAPE DETAILS**

PLANT SCHEDULE					
TREES	BOTANICAL NAME / COMMON NAME	CONT.	GAL.	SIZE QTY	
●	Acer rubrum 'Columbiana' / Columnar Red Maple	B # B	29'Gal	1	
●	Amaranthus canadensis 'Autumn Brilliance' / Autumn Brilliance Spineberry	6"		6	
●	Malus x 'Donald Wyman' / Donald Wyman Crab Apple	B # B	19'Gal	6	
●	Tilia americana 'Boulevard' / Boulevard Linden	B # B	29'Gal	1	
CONIFERS	BOTANICAL NAME / COMMON NAME	CONT.	GAL.	SIZE QTY	
●	Picea pungens / Colorado Blue Spruce	6"		6-8" 2	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQS	QTY
●	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	B # B	24"-30"		16
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQS	QTY
●	Hemerocallis x 'Chicago Apache' / Daylily	1 gal			7
●	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	1 gal			12
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQS	QTY
●	Calamagrostis canadensis 'Karri Foerster' / Karri Foerster Grass	1 gal			12

**LANDSCAPE PLAN**

General Notes



Division of  
**THE REESMAN COMPANIES**

No.	Revision/Issue	Date
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**28815 Bushnell Road  
Burlington, WI 53105**

Phone 262.342.1425  
Fax 262.539.2665  
www.reesmans.com

**HARTLAND SERVICE  
400 E. INDUSTRIAL DR.  
HARTLAND, WI**

Project <b>LSCP</b>	Sheet
Date <b>3/23/2015</b>	<b>C-108</b>
Scale <b>1"=20'</b>	



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME  
 Hartland Service Car Wash Building  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

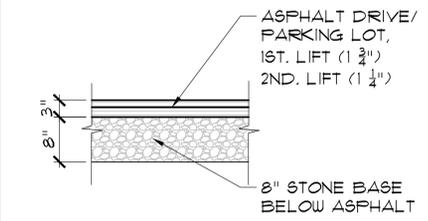
Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title: **SITE DETAILS**  
 Sheet Number: **C-501**  
 Project Number: 4381 P11162

MANAGERS

ENGINEERS

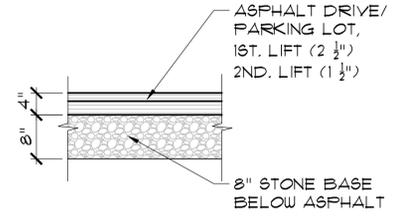
CONTRACTORS

ARCHITECTS



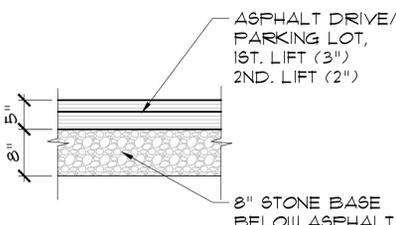
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"



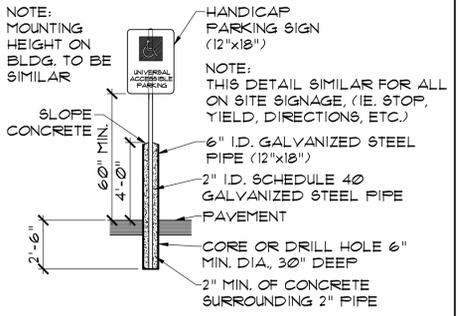
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C5 ASPHALT DRIVE - 4"



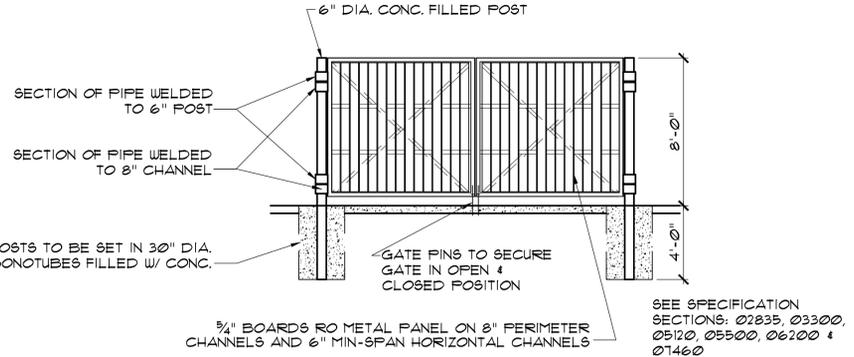
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C9 ASPHALT DRIVE - 5"

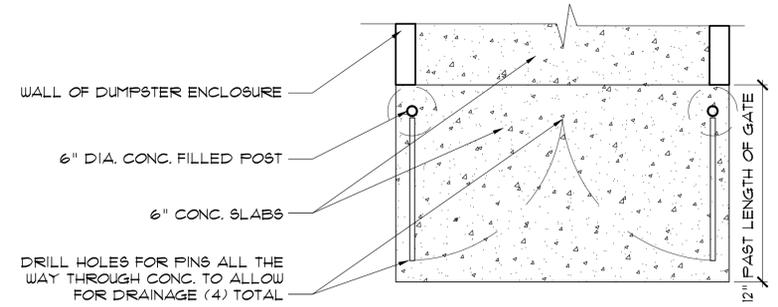


SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN

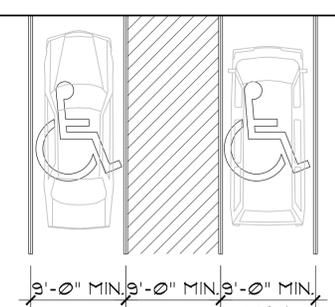


C8 DUMPSTER ENCLOSURE GATE - ELEVATION

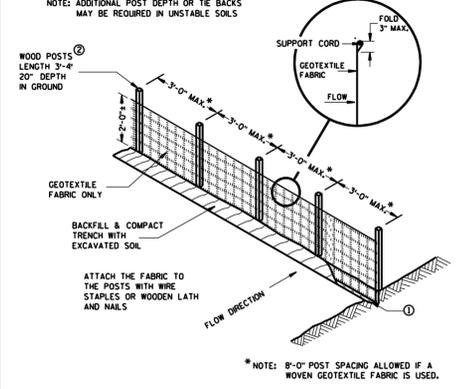


SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

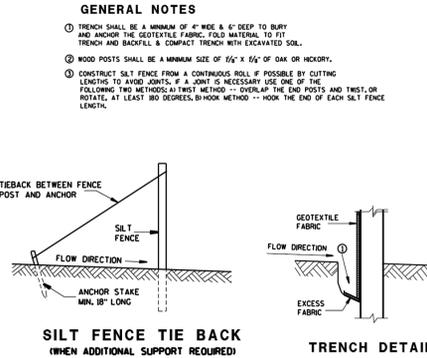
C10 DUMPSTER ENCLOSURE GATE - PLAN



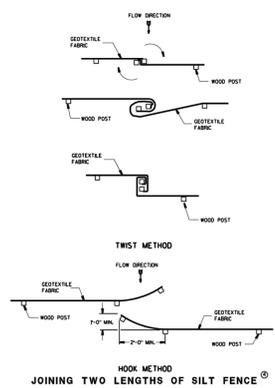
C11 PARKING SPACE ACCESS AISLE



C13 SILT FENCE



C13A SILT FENCE NOTES & SECTIONS



C13B SILT FENCE DETAILS



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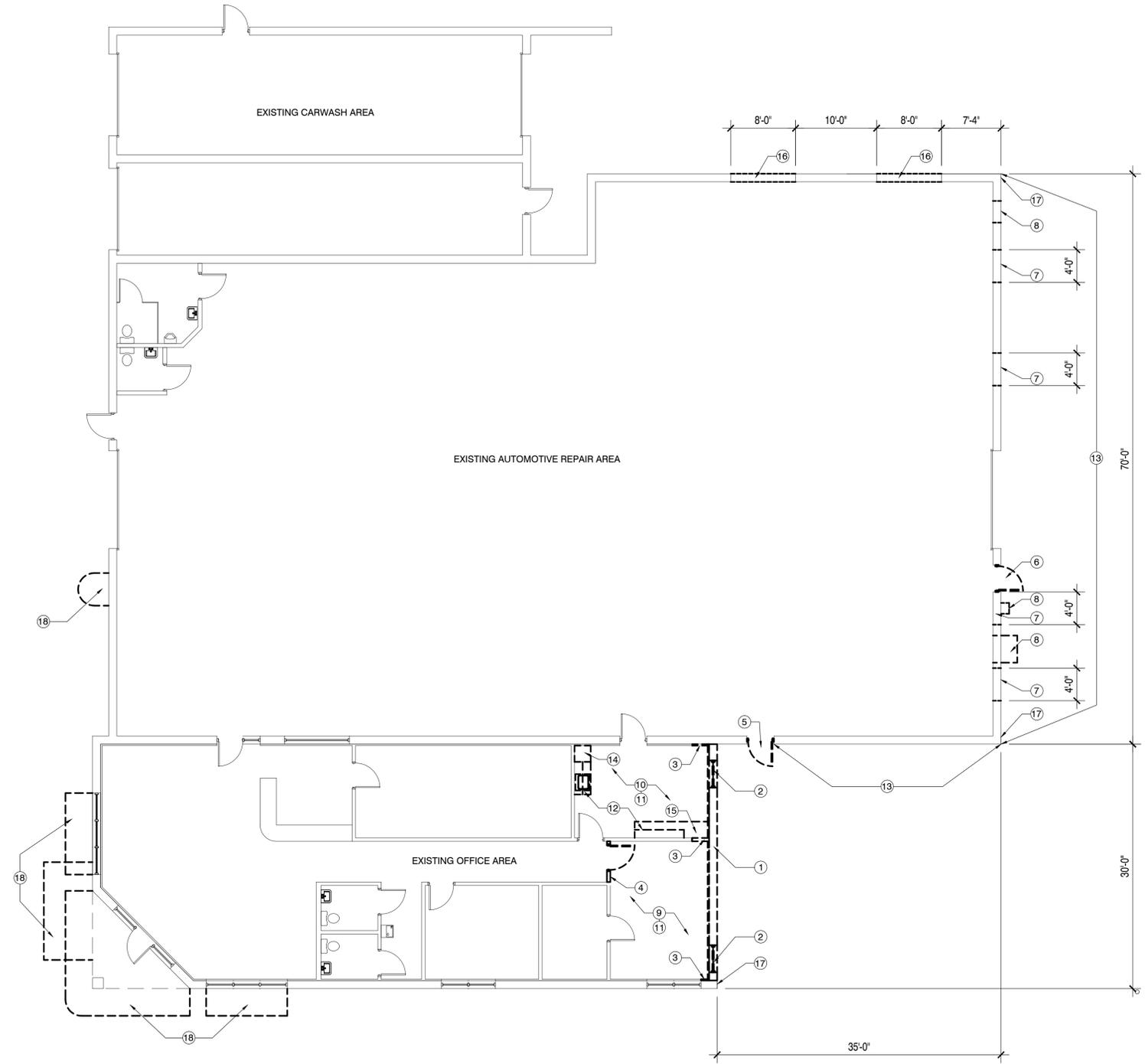
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PLAN COMMISSION SET 03.30.15	
PLAN COMMISSION SET 03.03.15	

PROJECT ADDRESS:

PROJECT NAME  
 Hartland Service Car Wash Building  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title:  
**DEMOLITION PLAN**  
 Sheet Number:  
**A-001**  
 Project Number: P11162  
**4381**



DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CMU WALL FROM 8" BELOW FINISHED FLOOR TO TO TOP OF WALL
- ② REMOVE EXISTING ALUMINUM FRAMED EXTERIOR WINDOW
- ③ REMOVE PORTION OF EXISTING PARTITION WALL & EXTERIOR FURRING AS REQUIRED TO REMOVE EXISTING CMU WALL
- ④ REMOVE EXISTING WOOD DOOR, WOOD FRAME & ADJACENT WALLS AS INDICATED- INSTALL BULKHEAD AT 8'-0" IN LINE WITH WALL REMOVAL
- ⑤ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING AS REQUIRED FOR 12" CMU INFILL
- ⑥ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING FOR INSTALLATION OF NEW 3 HOUR RATED HOLLOW METAL DOOR & FRAME
- ⑦ REMOVE EXISTING 4'X4' AREA OF GLASS BLOCK IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑧ REMOVE & RELOCATE EXISTING EXHAUST VENT IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑨ REMOVE EXISTING CARPET & WOOD BASE
- ⑩ REMOVE EXISTING VCT & WOOD BASE
- ⑪ REMOVE EXISTING CEILING TILE, CEILING GRID & ALL ASSOCIATED MECHANICALS
- ⑫ REMOVE EXISTING BASE CABINETS, UPPER WALL CABINETS & ALL ASSOCIATED PLUMBING
- ⑬ FIRE CAULK AROUND ALL WALL PENETRATIONS AS REQUIRED TO CREATE A 3HR RATED FIRE BARRIER
- ⑭ REMOVE EXISTING REFRIGERATOR & SAVE PER OWNER'S DIRECTION
- ⑮ REMOVE EXISTING TELEVISION & SAVE PER OWNER'S DIRECTION
- ⑯ SHORE EXISTING ROOF STRUCTURE  
 -DEMO OPENING IN EXISTING CMU WALL FOR INSTALLATION OF NEW UPPER WINDOW- REFER TO ELEVATIONS AND SECTIONS  
 -INSTALL STEEL LINTEL & FLEXIBLE FLASHING W/ STAINLESS STEEL DRIP EDGE (CONSTRUCT W/ END DAMS)  
 -TOOTH IN CMU AT JAMBS & GROUT CMU CORES SOLID AT BEARING
- ⑰ REMOVE RIBBED PORTION OF EXISTING CMU AS REQUIRED TO BEGIN NEW CMU COURSING
- ⑱ REMOVE EXISTING AWNINGS & STORE PER OWNERS DIRECTION

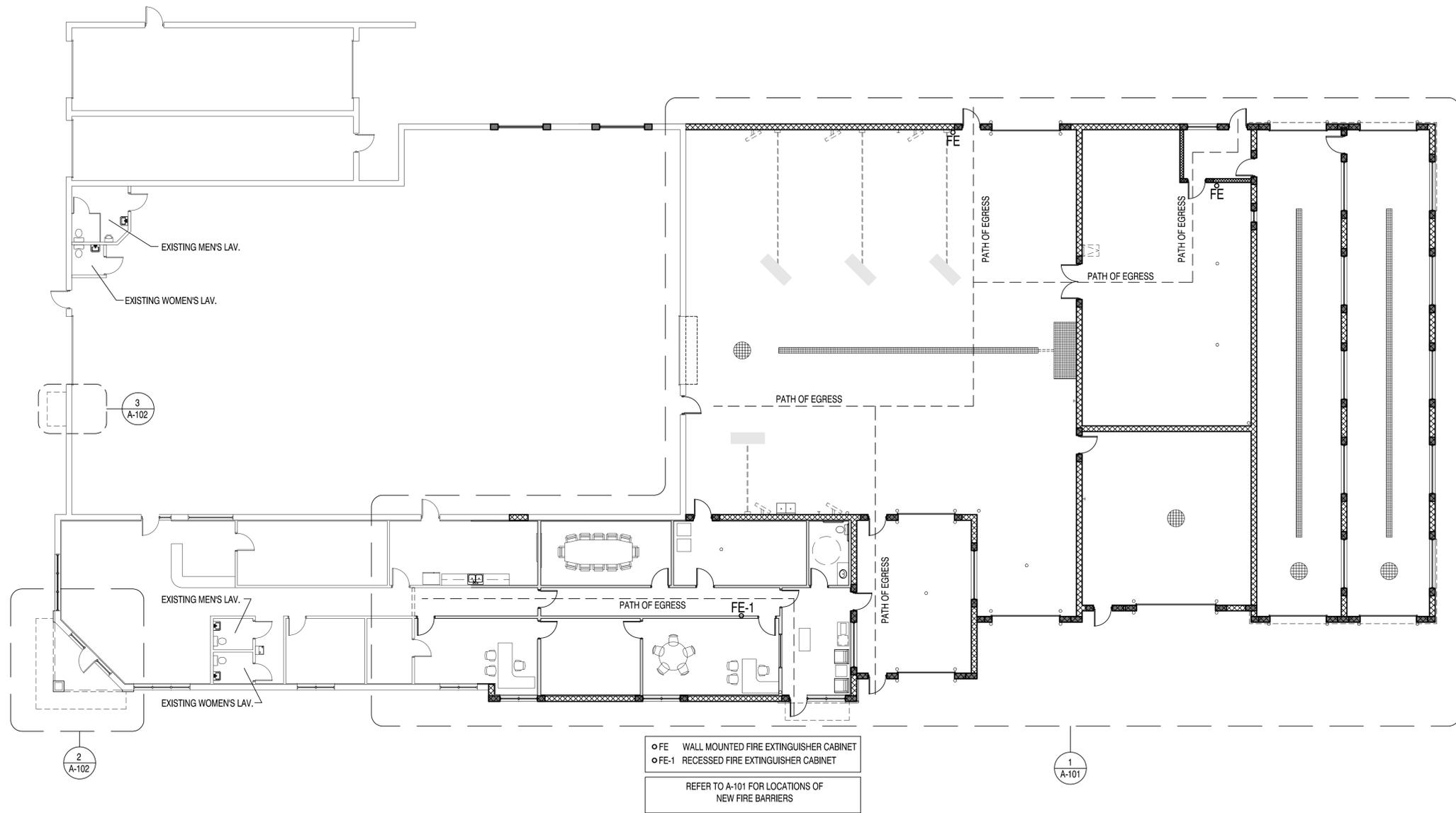
DEMOLITION PLAN 1/8" = 1'-0"

MANAGERS

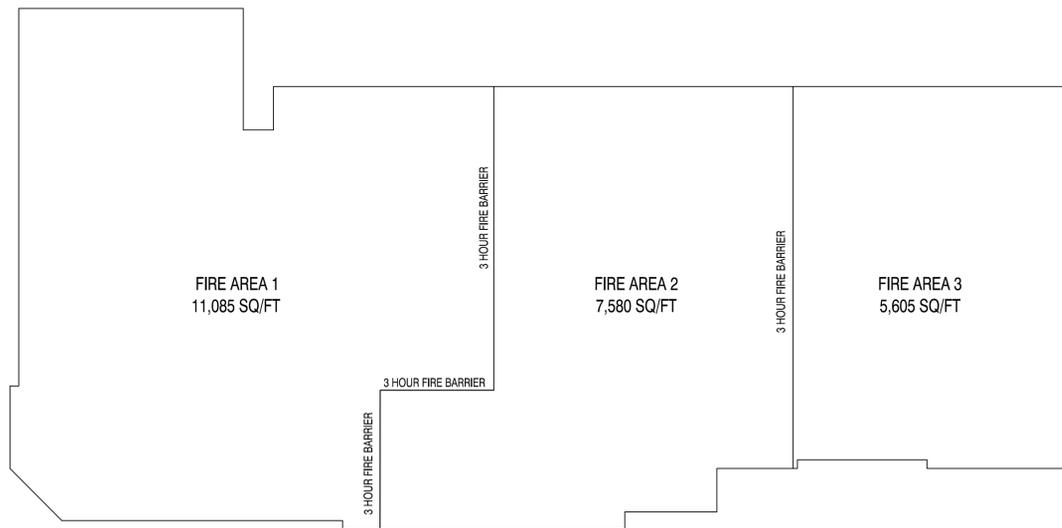
ENGINEERS

CONTRACTORS

ARCHITECTS



○ FE WALL MOUNTED FIRE EXTINGUISHER CABINET  
 ○ FE-1 RECESSED FIRE EXTINGUISHER CABINET  
 REFER TO A-101 FOR LOCATIONS OF NEW FIRE BARRIERS



FIRE AREA PLAN NO SCALE

OVERALL BUILDING PLAN 3/32" = 1'-0"



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PLAN COMMISSION SET 03.30.15  
 PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME  
 Hartland Service Car Wash Building  
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 400 East Industrial Drive  
 CITY/STATE/ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

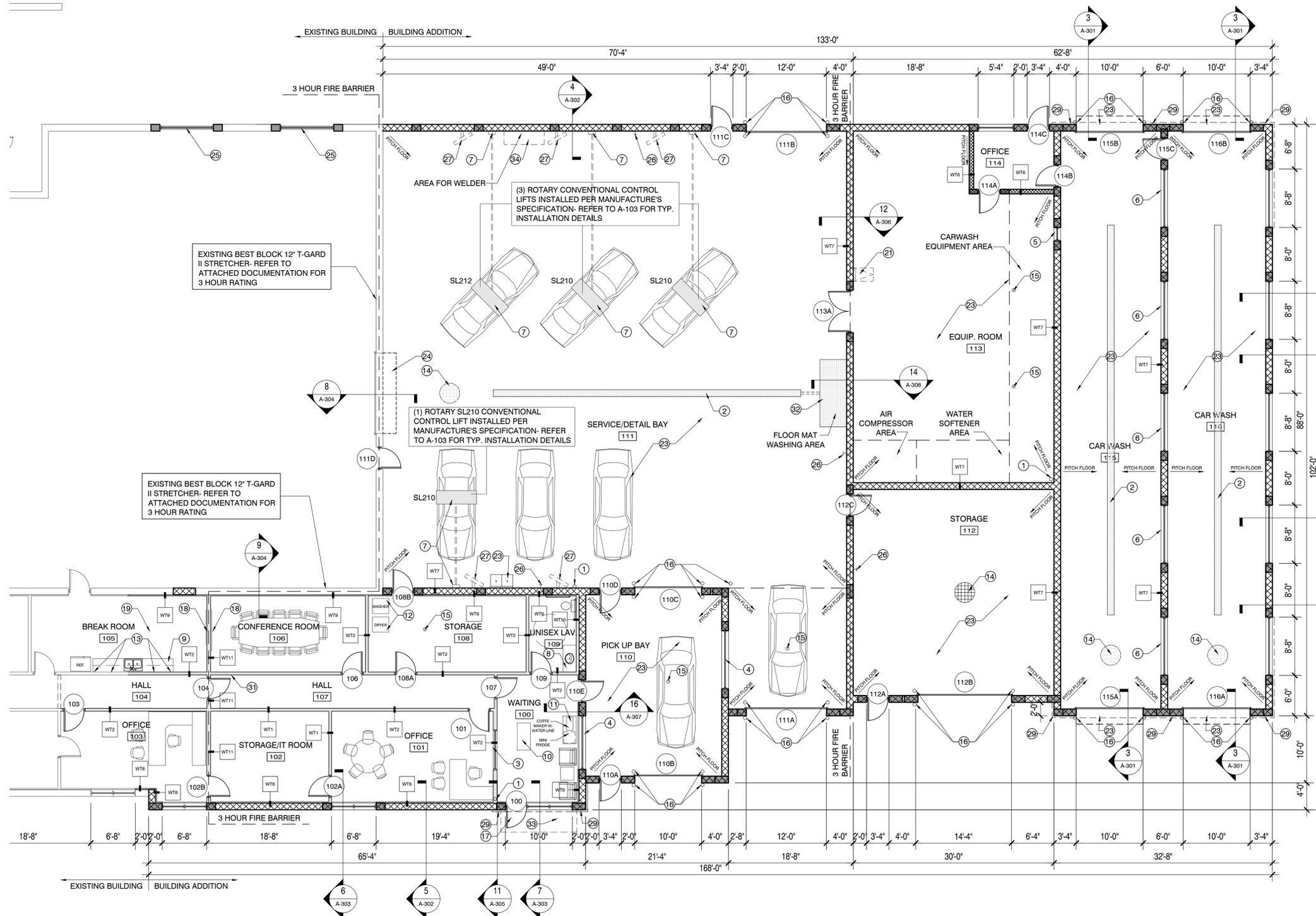
Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title:  
**OVERALL FLOOR PLAN  
 EGRESS PLAN**  
 Sheet Number:  
**A-002**  
 Project Number: P11162  
**4381**

MANAGERS

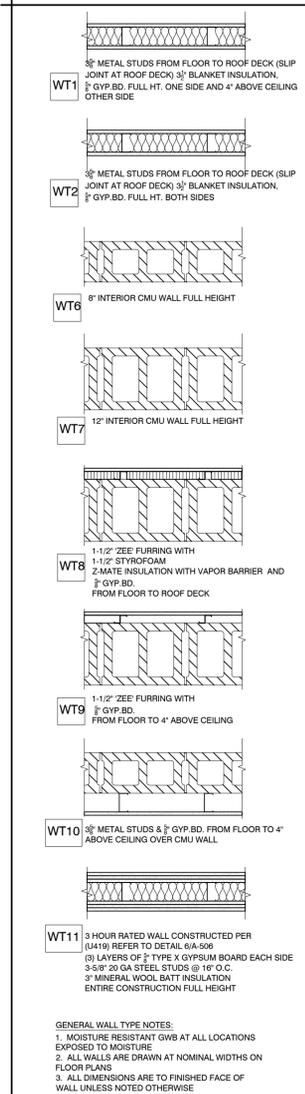
ENGINEERS

CONTRACTORS

ARCHITECTS



**WALL TYPES**



**GENERAL WALL TYPE NOTES:**  
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE  
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS  
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



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**FLOOR PLAN NOTES**

- REFER TO THE DEMOLITION PLAN FOR INFORMATION REGARDING THE INFILL OF EXISTING OPENINGS & CAULKING OF EXISTING PENETRATIONS ALONG THE NORTH WALL OF THE EXISTING BUILDING
- ROOF DRAIN
  - 12" WIDE TRENCH DRAIN W/ STEEL GRATE- REFER TO FLOOR PLAN FOR LENGTHS (PITCH SURROUNDING CONCRETE TO DRAIN)
  - 6'-0" X 4'-0" WOOD FRAMED BORROWED LITE W/ ONE WAY GLASS ALIGN WINDOW HEAD W/ DOOR HEAD
  - 8'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ 1" CLEAR INSULATING GLASS- ALIGN HEAD WITH DOOR HEAD IN CMU WALL
  - 2'-0" X 2'-0" FRP FRAMED WINDOW W/ 1" CLEAR INSULATING GLASS- INSTALL WINDOW HEAD AT 6'-0" A.F.F.
  - 8'-8" X 6'-0" FRP FRAMED WINDOW W/ 1" CLEAR INSULATING GLASS- INSTALL WINDOW HEAD AT 8'-0" A.F.F.
  - 105" DEEP LIFT / CONTAINMENT TUBE & CONDUIT FOR HYDRAULIC LINE TO WALL FOR OWNER SUPPLIED HYDRAULIC LIFT & WALL MOUNTED CONTROL PANEL

- PLASTIC LAMINATE VANITY COUNTER TOP
- PLASTIC LAMINATE BASE CABINETS, UPPER WALL CABINETS & COUNTER TOP W/ DOUBLE BASIN SINK AS SHOWN
- PLASTIC LAMINATE POINT OF SALE DESK
- PLASTIC LAMINATE BASE CABINET W/ MINI FRIDGE & COFFEE MAKER ABOVE- INSTALL WATERLINE FOR COFFEE MAKER
- COMMERCIAL GRADE CLOTHES WASHER/DRYER W/ ASSOCIATED POWER & VENTING
- INSTALL 4 DUPLEX OUTLETS ABOVE BACKSPASH
- CATCH BASIN
- FLOOR DRAIN
- 6'0" x 4'-0" HIGH CONCRETE FILLED STEEL PIPE BOLLARD
- REINFORCED CONCRETE SLAB & STOOP

- WALL MOUNTED TELEVISION
- INSTALL EXHAUST FAN W/ IN WALL SWITCH IN NEW BREAK ROOM
- 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- WALL MOUNTED STEEL LADDER & ROOF HATCH ABOVE
- FLOOR MOUNTED JANITOR'S SINK
- INSTALL HYDRONIC FLOOR HEAT IN THE ENTIRE BUILDING ADDITION EXCLUDING THE OFFICE AREA
- IN THE CAR WASH BAYS EXTEND 15" PAST THE EXTERIOR WALLS AT THE OVERHEAD DOORS
- INSTALL 2" RIGID INSULATION BOARD UNDER THE CONCRETE SLAB AT LOCATION OF HYDRONIC HEAT- REFER TO SECTIONS FOR MORE INFORMATION
- DOUBLE BASIN LAUNDRY TUB
- 12X14' 3HR RATED FIRE SHUTTER AT EXISTING OPENING (MINIMUM FIRE RESISTANCE REQUIREMENTS MUST MEET ASTM E 119 OR UL263)
- NEW ALUMINUM FRAMED WINDOW INSTALLED IN UPPER WALL- REFER TO SECTIONS FOR WINDOW HEIGHTS

- HOSE BIB WITH HOT AND COLD WATER SUPPLY
- 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- METAL WALL PANEL SYSTEM INSTALLED OVER METAL FRAMING & CLIPS OVER EXISTING SPLIT FACE CMU WALL- REFER TO SECTIONS FOR MORE INFORMATION
- METAL WALL PANEL SYSTEM INSTALL OVER 1/2" HAT CHANNELS OVER NEW SMOOTH FACE CMU WALL- REFER TO SECTIONS FOR MORE INFORMATION
- RE-PAINT EXISTING SOFFIT AT MAIN BUILDING ENTRY
- INSTALL MAGNETIC DOOR HOLD OPEN/RELEASE DEVICE WITH SMOKE DETECTION ON BOTH SIDES OF THE DOOR
- 1'-0" DEEP CONCRETE PIT W/ ANGLE EMBED FOR STEEL GRATE SUPPORT- PITCH CONCRETE TO DRAIN & CONNECT DRAIN PIPING TO MAIN TRENCH DRAIN- REFER TO SECTION FOR MORE INFORMATION
- INSTALL RECESSED LIGHTING IN THE UNDERSIDE OF EACH NEW CANOPY
- INSTALL EXISTING VENT/HOOD RELOCATED FROM EXISTING DETAIL BUILDING- MODIFY EXISTING VENT PIPING TO DISCHARGE THROUGH NEW ROOF OR NEW CMU WALL- VERIFY FINAL LOCATION WITH OWNER

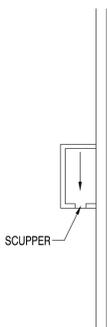
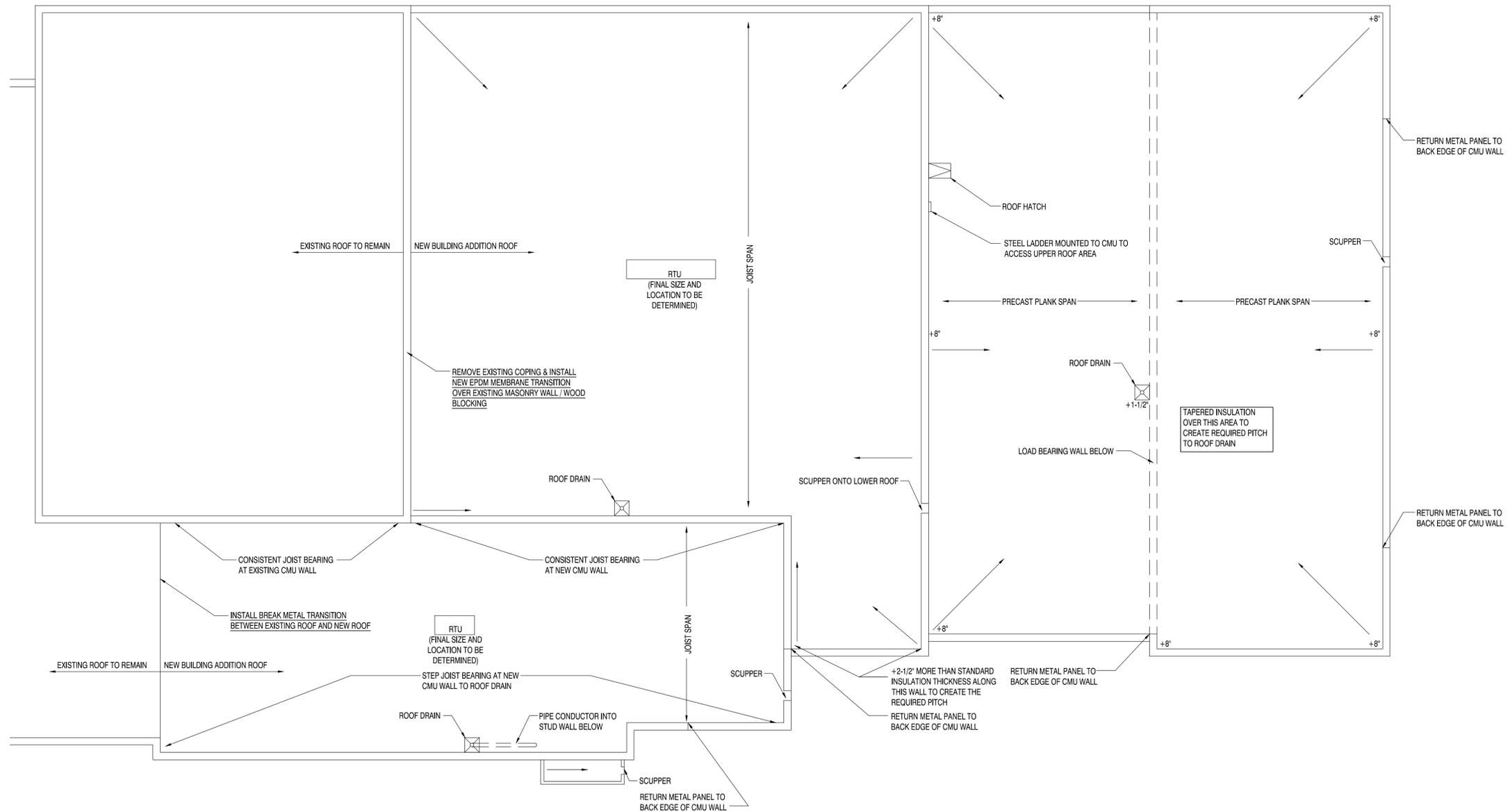
MANAGERS

ENGINEERS

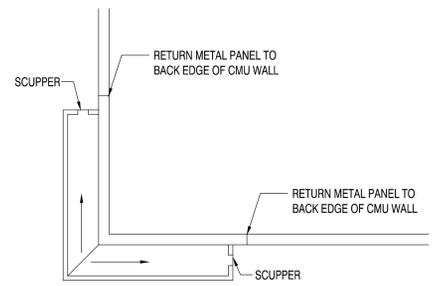
CONTRACTORS

ARCHITECTS

Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title: **FLOOR PLAN**  
 Sheet Number: **A-101**  
 Project Number: P11162  
**4381**



NEW CANOPY OVER EXISTING KEY DROP 1/8" = 1'-0"



NEW CANOPY OVER EXISTING ENTRY 1/8" = 1'-0"

ROOF PLAN 1/8" = 1'-0"



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STREET ADDRESS  
400 East Industrial Drive  
CITY / STATE / ZIP  
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Date: 03.30.15    Drawn By: Pete Anderson  
Sheet Title:  
**ROOF PLAN**  
Sheet Number:  
**A-105**  
Project Number: P11162  
**4381**

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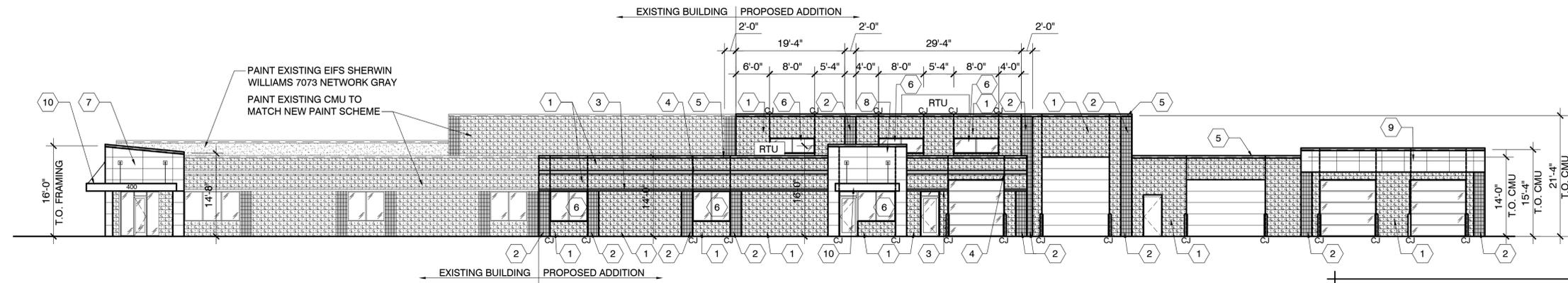
EXTERIOR ELEVATIONS

Sheet Number:  
**A-201**  
 Project Number: P11162  
**4381**

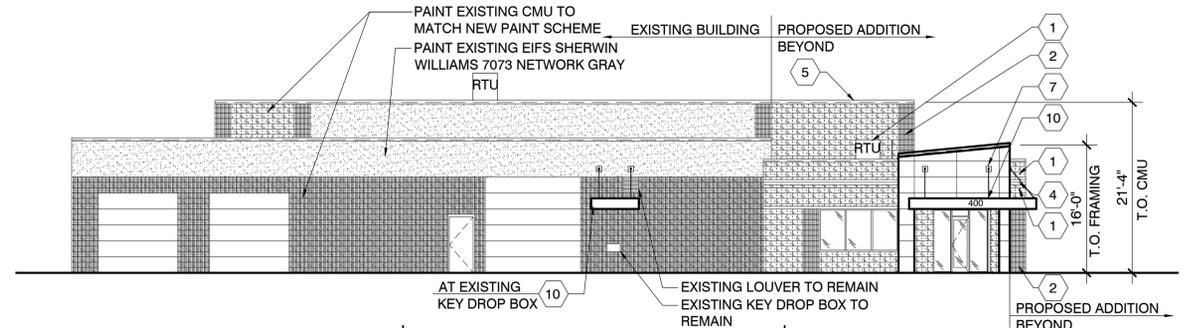
ELEVATION NOTES

GENERAL NOTES FOR EXISTING MATERIAL  
 -PAINT EXISTING SPLIT-FACE CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING SPLIT-FACE RIB CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING HALF SPLIT-FACE BANDS TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING EIFS A COMPLIMENTARY COLOR THAT IS YET TO BE SELECTED  
 TOP COURSE OF ALL NEW CMU WALLS ARE PAINTED SMOOTH CMU

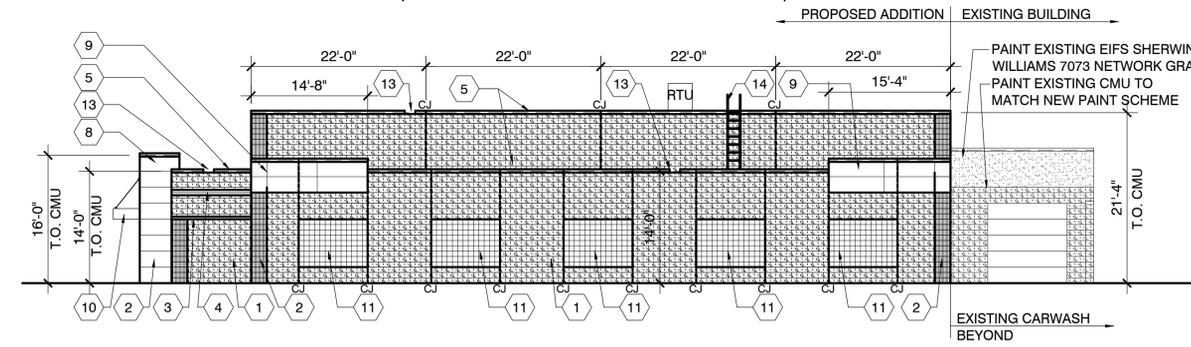
- 1 PAINTED SPLIT-FACE CMU (SHERWIN WILLIAMS SW7074 SOFTWARE)
- 2 PAINTED SPLIT-FACE RIB CMU (RIB STYLE TO MATCH EXISTING (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 3 PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE)  
 SMOOTH HALF (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 4 2 COURSES OF PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE)  
 SMOOTH HALF (CUSTOM HARTLAND BLUE TO BE DETERMINED)
- 5 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH EXISTING)
- 6 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 7 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER EXISTING MASONRY & NEW STUD FRAMED PARAPET W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
- 8 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
- 9 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE BLUE)
- 10 STEEL FRAMED CANOPY WRAPPED IN BREAK METAL TO MATCH METAL WALL PANEL W/ PAINTED STEEL SUPPORT RODS & BRACKETS
- 11 8"x8" GLASS BLOCK
- 12 DEMO NEW MASONRY OPENING IN THE EXISTING WALL FOR THE INSTALLATION OF 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 13 SCUPPER
- 14 ROOF ACCESS LADDER MOUNTED TO CMU WALL
- 15 STEEL FRAMED DUMPSTER GATES- REFER TO STANDARD DETAILS ON C-501



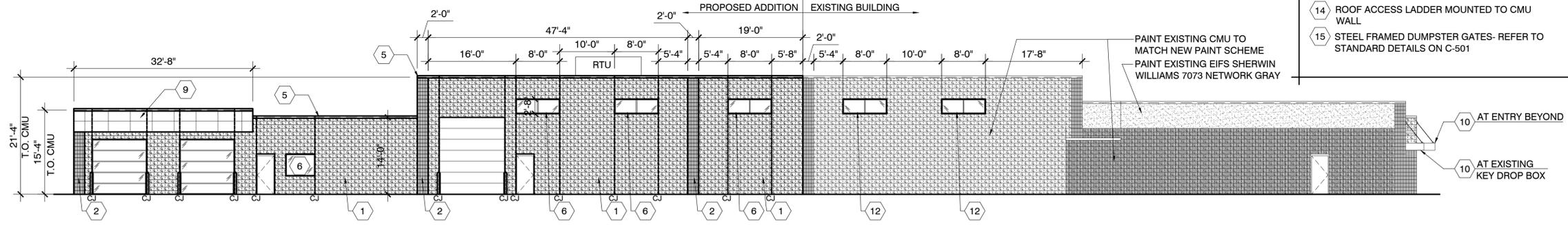
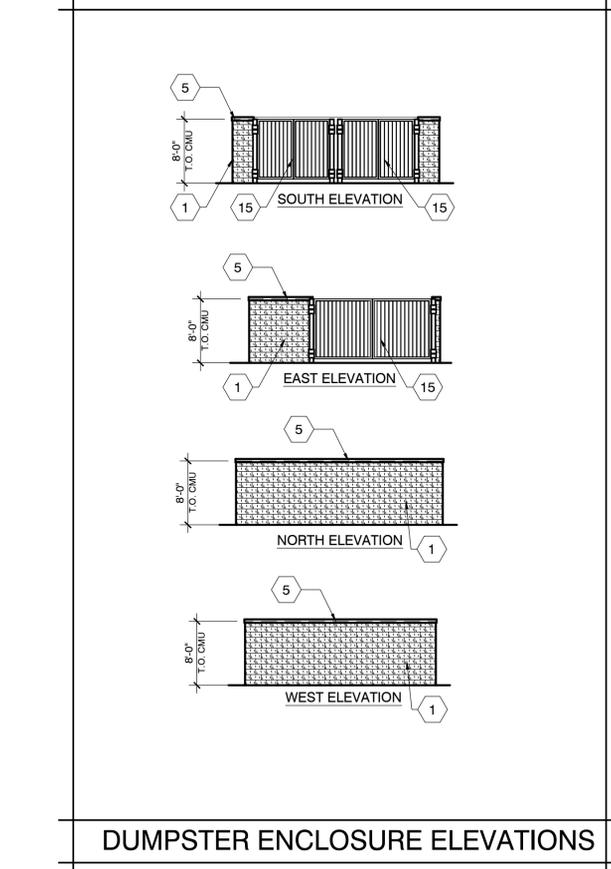
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

ELEVATIONS 3/32" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

CONDITIONAL USE PERMIT

[**Hartland Service**]

Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to Hartland Service Inc. (hereinafter "Grantee") for the operation of an Automobile Service Facility including car wash, detailing and vehicle service at the property located at 400 E Industrial Drive.

RECITALS

**WHEREAS**, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of an Automotive Service facility in the B-2 Zoning District at 400 E Industrial Drive, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0729947002, HAV 0729947003, HAV 0729939, HAV 0729940]

**OWNER: Michael Kusch**

**Deborah Kusch**

N65W30981 Beaver Lake Road  
Hartland, WI 53029

Recording Area

Name and Return Address  
Village of Hartland  
210 Cottonwood Ave.  
Hartland, WI 53029

Parcel Identification Number

HAV 0729947002  
HAV 0729947003  
HAV 0729939  
HAV 0729940

**WHEREAS**, the Property is located in the B-2 Community Business District; and

**WHEREAS**, Section 46-469 (2) of the Village of Hartland Code of Ordinances provides that Automotive Sales and Service in the B-2 District is a conditional use; and

**WHEREAS**, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibits A and B and incorporated herein; and

**WHEREAS**, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the automotive service facility may be expanded, constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the maintenance and servicing of various vehicles including automobiles and light and medium duty trucks, provision of vehicle emissions testing and automatic and hand washing and detailing of automobiles and light and medium duty trucks;
2. the operator of the automotive service facility will construct the building expansion in accordance with the plans as submitted and as finally approved including stormwater retention, buffers and landscaping;
3. buffers and landscaping on the east side of the project parallel to Cottonwood Avenue shall be completed prior to the occupancy and operation of the expanded portions of facility and shall be maintained during the ongoing operation of the vehicle wash facility in a manner to mitigate the impact of vehicle headlights on the neighboring properties;
4. the operator of the automotive service facility shall operate the traffic flow and parking needs of the facility completely within the limits of the parcel's parking lot;
5. all vehicle maintenance, service, washing and detailing shall occur inside the building with the exception of emissions testing, which may be located outside the main service entrance at the southeast corner of the building;
6. Except for vehicles dropped for service after hours, all vehicles in the parking lot shall include all of their body parts and wheels/tires and be capable of being moved on their own wheels/tires;
7. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
8. OTHER CONDITIONS AS PLACED BY PC AND VB;
9. and

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

**NOW THEREFORE**, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate an automotive service facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Hartland Service.
2. The business activities permitted hereunder are limited to the operation of an automotive service facility.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.

4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
  - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
  - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the automobile service facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on April 27, 2017.

This conditional use permit is hereby issued this 27th day of April, 2015 subject to the conditions provided herein.

**VILLAGE OF HARTLAND**

\_\_\_\_\_  
David Lamerand, Village President

\_\_\_\_\_  
Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

**APPLICATION FOR  
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description Parking lot expansion			
Proposed Use Parking Lot		No. of Employees	
Project Location 541 S. Industrial Drive , Hartland WI 53029			
Project Name Heraeus Electro-Nite Company, LLC			
Owner Heraeus Electro-Nite Co.		Phone 262-367-4421	
Address 541 S. Industrial Drive		City Hartland	State WI Zip 53029
Engineer/Architect MSI General		Phone 262-367-3661	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX	E-mail John@msigeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: 4/6/15	Date of Meeting: 4/20/15	Return Comments by:
----------------------	--------------------------	---------------------

*pd # 160282 04/06/12 SK*

**From:** David Cox  
**Sent:** Thursday, April 16, 2015 3:00 PM  
**To:** Darlene Igl  
**Subject:** FW: Heraeus Parking Lot Expansion  
**Attachments:** image001.gif

Darlene,

Did I give this one to you for inclusion with the packet?

*Dave*

David E. Cox, Village Administrator

262-367-2714

[www.villageofhartland.com](http://www.villageofhartland.com)

Click here to register for our electronic newsletter *Hartland Happenings*.

*What is a Village Administrator? Find out more in this [video from ICMA](#).*

---

**From:** John Kutz [<mailto:John@msigeneral.com>]

**Sent:** Monday, April 13, 2015 4:55 PM

**To:** Amtmann, Ryan

**Cc:** Aaron Koch, P.E.; Mike Einweck; David Cox; Scott Hussinger; Bert Zenker; Joe Kwiatkowski

**Subject:** Re: Heraeus Parking Lot Expansion

Ryan,

See my responses below ...

John Kutz

Project Director

MSI General Corp.

(m) 920.650.5032

(e) [john@msigeneral.com](mailto:john@msigeneral.com)

Sent from my iPhone

On Apr 13, 2015, at 4:41 PM, Amtmann, Ryan <[RAmtmann@ruekert-mielke.com](mailto:RAmtmann@ruekert-mielke.com)> wrote:

Aaron/John,

Village Staff met this morning to review Plan Commission agenda items for 4/20.

We received the SWMP dated March 31, 2015 along with 3 plans sheets dated 4/24/2014 and one dated 4/2/2014.

It is unclear to us if you are proposing to fully build out the parking lot, with the installation of a retaining wall and removal/replacement of trees or a partial parking lot build out.

Partial buildout ... The one plan sheet showing a full buildout was submitted in error and I discussed this with Mike and Scott when I resubmitted the correct C104 page. We are not removing trees or installing a retaining wall

Also, there was a previous storm water management plan that was developed for the building expansion. Can you please provide a brief narrative description of the following:

-Did the previous storm water management plan include the areas for the partial or full parking lot build out?  
No it did not

-If not, does the current facility have quantity/quality capacity to handle the expanded parking lot?  
Yes it does. I submitted a new storm water management plan from pinnacle engineering that was based on the expansion

-Are you intending for the updated storm water management plan as well as an updated maintenance agreement to replace the prior plan, with the updated maintenance agreement to be recorded at the County?

Yes

-Has the prior project been closed out? Has the prior build pond been as built surveyed and certified to be functioning as intended?

Not yet

-Are the proposed islands going to be landscaped?

Yes, they will match the landscape plan for the original island

-Will the parking lot inlet be able to handle the additional parking lot and offsite drainage?

Yes

The previous design had a swale to the west of the parking lot to route the storm water to the pond, right?

Correct, the new proposed plan would sheet drain everything to the south to the pond.

If you can please respond to these items we would appreciate it.

Thanks.  
Ryan

**Ryan T. Amtmann, P.E. (WI, IL)**  
*Vice President*

**Ruekert & Mielke, Inc.**  
W233 N2080 Ridgeview Parkway  
Waukesha, WI 53188  
(262) 542-5733  
(262) 953-3002 (direct)  
(414) 840-3296 (cell)  
[www.ruekertmielke.com](http://www.ruekertmielke.com)

## David Cox

---

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**Sent:** Monday, April 13, 2015 4:55 PM  
**To:** Amtmann, Ryan  
**Cc:** Aaron Koch, P.E.; Mike Einweck; David Cox; Scott Hussinger; Bert Zenker; Joe Kwiatkowski  
**Subject:** Re: Heraeus Parking Lot Expansion  
**Attachments:** image001.gif

Ryan,

See my **responses** below ...

John Kutz  
Project Director  
MSI General Corp.  
(m) 920.650.5032  
(e) [john@msigeneral.com](mailto:john@msigeneral.com)

Sent from my iPhone

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**Ryan T. Amtmann, P.E. (WI, IL)**

*Vice President*

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 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX: 262.367.2764  
 ESTIMATING DEPARTMENT  
 262.367.3662  
 WWW.MSIGENERAL.COM  
 SINGLE SOURCE RESPONSIBILITY™

- REVISIONS:
- 1 6-17-2014 COLUMNS, BEAMS.
  - 2 7-8-2014 PLANS REVISIONS.
  - 3 7-22-2014 DOOR REVISIONS.
  - 4 8-1-2014 FURNACE AREA REV.
  - 5 9-9-2014 PLAN REVISIONS.
  - 6 10-17-2014 OWNER CHANGES.
  - 7 11-17-2014 FINISH UPDATES.
  - 8 11-21-2014 FINISH UPDATES.
  - 9 12-16-2014 LOBBY BULKHEAD.
  - 10 1-19-15 OWNER CHANGES.
  - 11 1-22-15 OWNER CHANGES.
  - 12 2-13-15 OWNER CHANGES.
  - 13 3-24-15 OWNER SITE CHANGES.

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- 7-1-14 FURNACE AREA REVISION.
- 6-2-14 SUBMIT PLANS TO STATE.
- 4-28-14 PLAN COMMISSION.

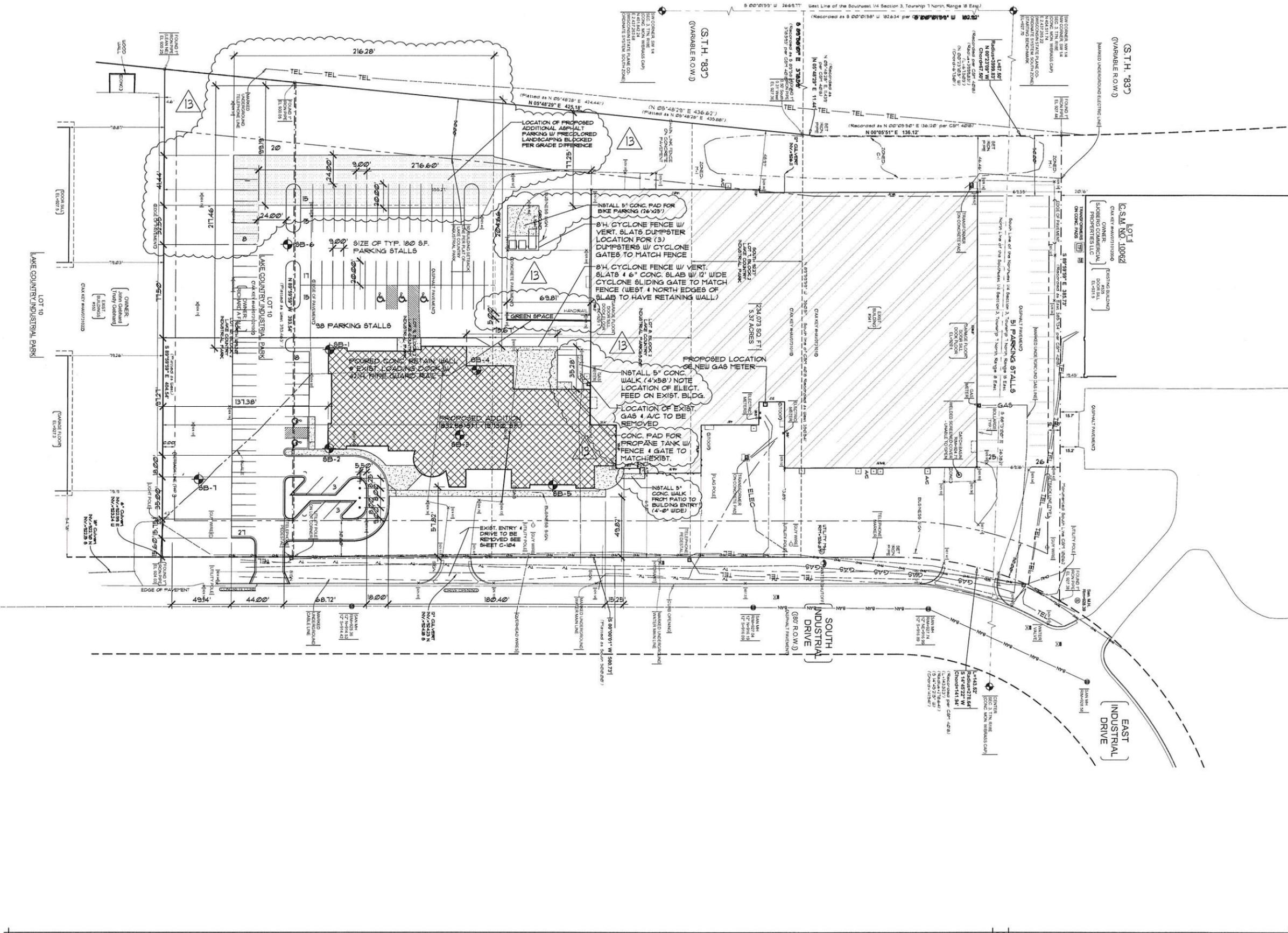


PROJECT ADDRESS:

PROJECT NAME:  
 Heraeus Electro-Nite Co., LLC  
 541 S. Industrial Dr.  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 4-24-2014 Drawn By: B. Zenker  
 Sheet Title: SITE PLAN  
 Sheet Number: C-101  
 Project Number: 4366 P11032



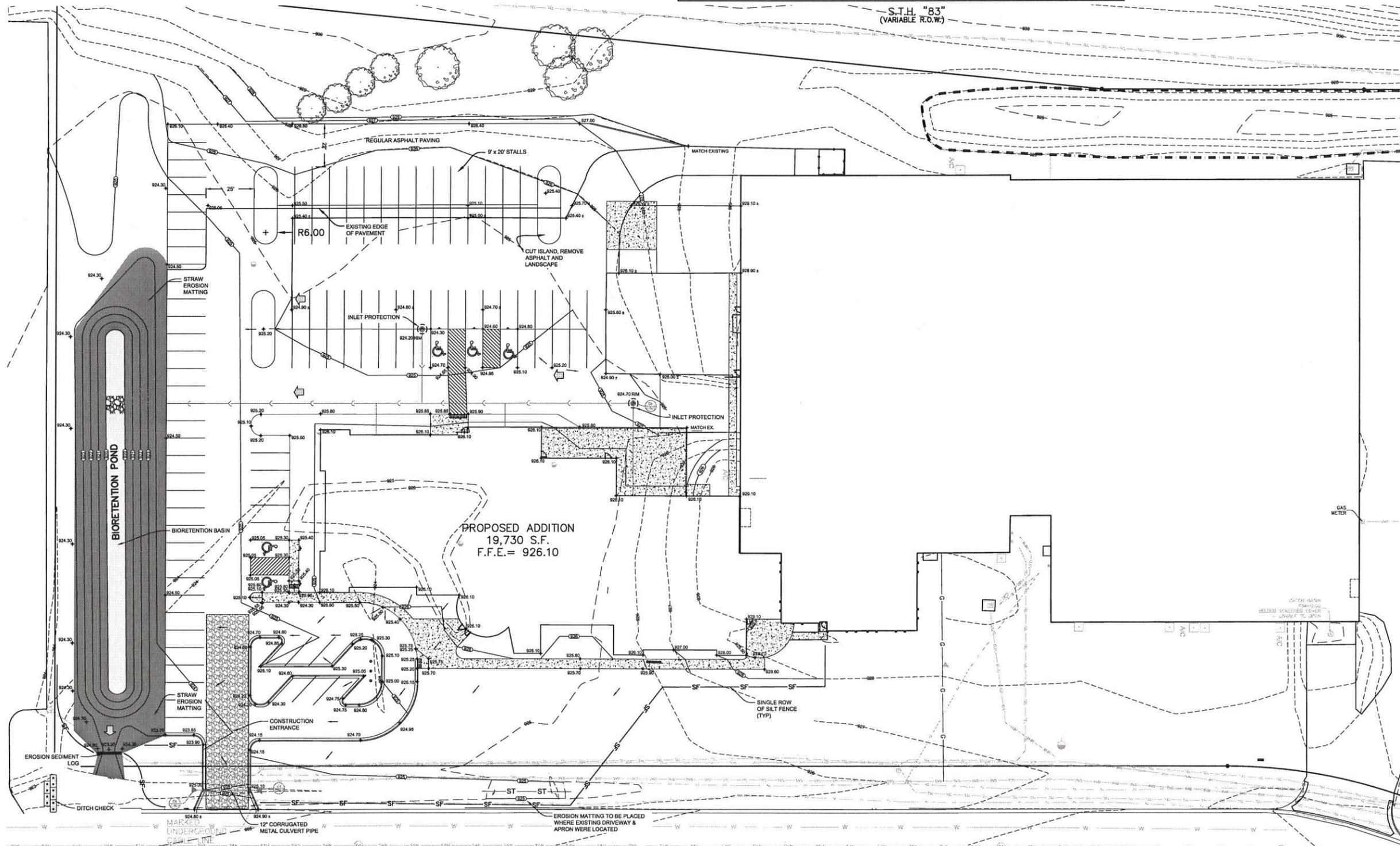
SITE PLAN 1" = 20'-0"

PARKING SUMMARY
TOTAL STALLS: 123
REGULAR STALLS: 118
REQUIRED ADA STALLS: 5
PROVIDED ADA STALLS: 5

LOT AREAS SUMMARY
BUILDING AREA: 90,075 S.F.
PARKING LOT AREA: 81,890 S.F.
GRASS AREA: 105,340 S.F.
TOTAL AREA: 277,305 S.F.

- ### CONSTRUCTION SITE SEQUENCING
- ALL WORK SHALL BE CONFORMANCE WITH THE DNR WIPES PERMIT AND CITY OF MILWAUKEE EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WITINGS AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
  3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
  4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
  6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. IN NO CASES SHALL UNTREATED RUN-OFF BE PUMPED TO THE CANAL. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (40 MSU, TSS).
  7. INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
  8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
  10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCHUP AS A RESULT OF REMOVAL.
  11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.

LEGEND	
	STORM SEWER CURB INLET
	CONTOUR
	SPOT ELEVATION
	FINISHED FLOOR
	GROUND
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING



CONTRACTOR SHALL SWEEP VILLAGE STREETS OF SEDIMENT AND CONSTRUCTION DEBRIS AFTER EACH DAY AND AS DIRECTED BY VILLAGE OR ENGINEER

SOUTH INDUSTRIAL DRIVE (80' R.O.W.)

GRAPHICAL SCALE (FEET)



GRADING & EROSION CONTROL PLAN



MSI GENERAL CORPORATION  
P.O. BOX 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX: 262.367.2764  
ESTIMATING DEPARTMENT  
262.367.3662  
WWW.MSIGENERAL.COM  
SINGLE SOURCE RESPONSIBILITY™

REVISIONS:
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4-28-14 PLAN COMMISSION.



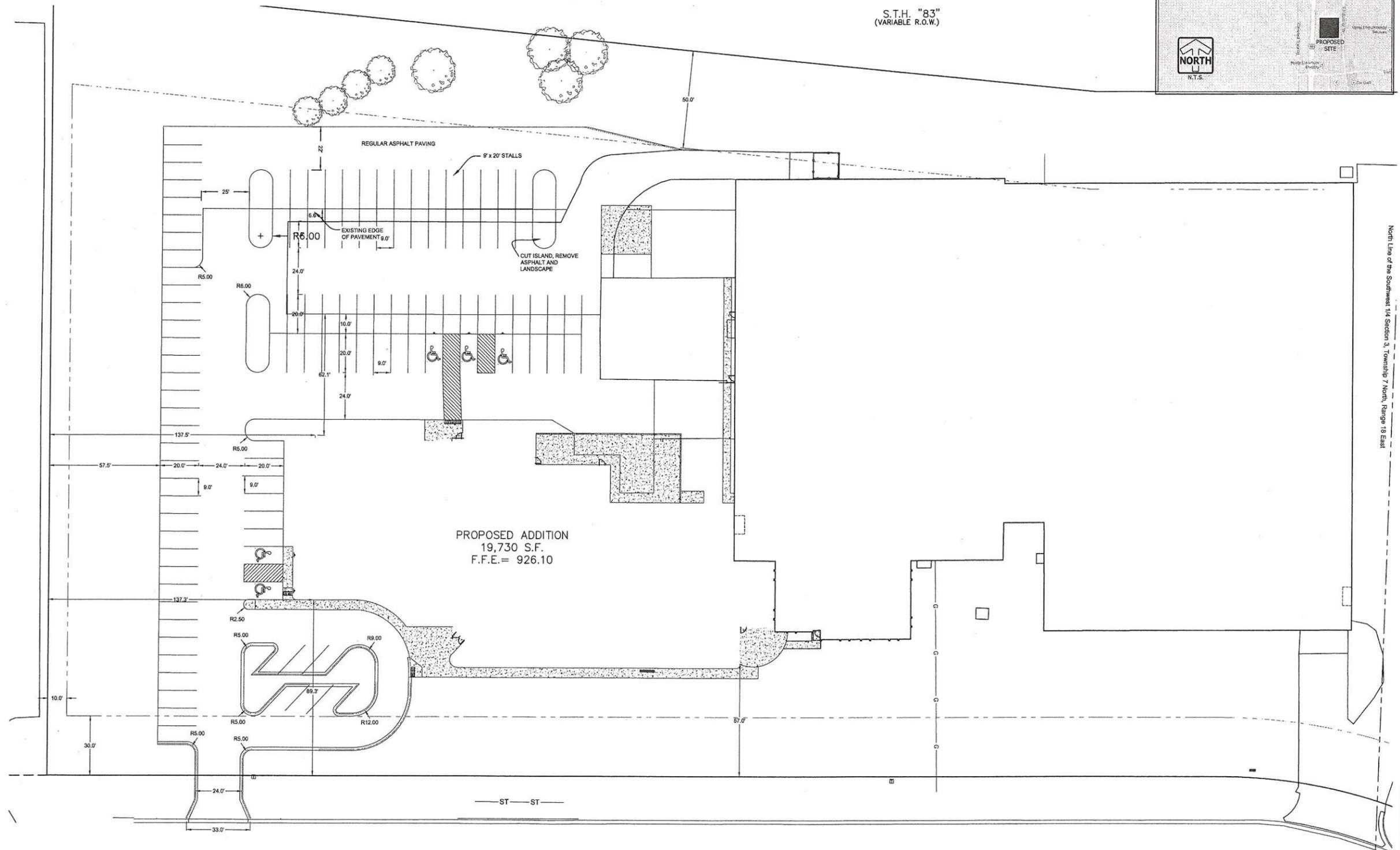
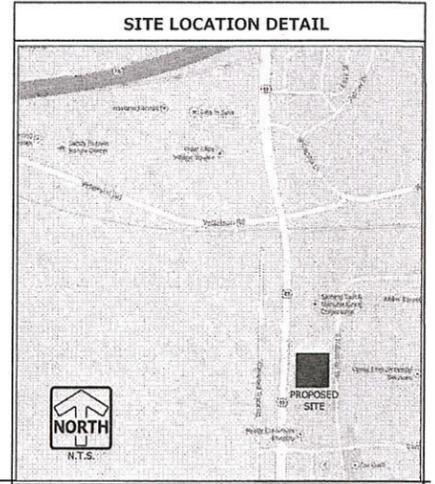
PROJECT ADDRESS:  
PROJECT NAME  
Heraeus Electro-Nite Co, LLC  
STREET ADDRESS  
541 S. Industrial Dr.  
CITY/STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04.02.15  
Drawn By: PEG  
Sheet Title: GRADING & EROSION CONTROL PLAN  
Sheet Number: C-102  
Project Number: P11032  
4366

MANAGERS  
ENGINEERS  
CONTRACTORS  
ARCHITECTS

SITE DATA TABLE	
TOTAL SITE AREA:	6.4 ACRES
TOTAL DISTURBED AREA:	1.9 ACRES
ADDITION ROOF AREA:	19,730 SF
ADDITION HARD SURFACE/PARKING LOT AREA:	38,000 SF
ADDITION OPEN SPACE AREA:	25,000 SF
ADDITION TOTAL PARKING SPACES PROVIDED:	108 SPACES (S.H.C.)



S.T.H. "83"  
(VARIABLE R.O.W.)

SOUTH INDUSTRIAL DRIVE  
(80' R.O.W.)



PAVING PLAN

REVISIONS:	
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44	6-2-14 SUBMIT PLANS TO STATE
	4-28-14 PLAN COMMISSION.



PROJECT ADDRESS:  
PROJECT NAME  
Heraeus Electro-Nite Co, LLC  
STREET ADDRESS  
541 S. Industrial Dr.  
CITY/STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04.18.14  
Sheet Title: PAVING PLAN  
Sheet Number: C-104  
Project Number: 4366  
Drawn By: PEG  
P11032



MSI GENERAL CORPORATION  
P.O. BOX 7  
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MANAGERS

ENGINEERS

CONTRACTORS

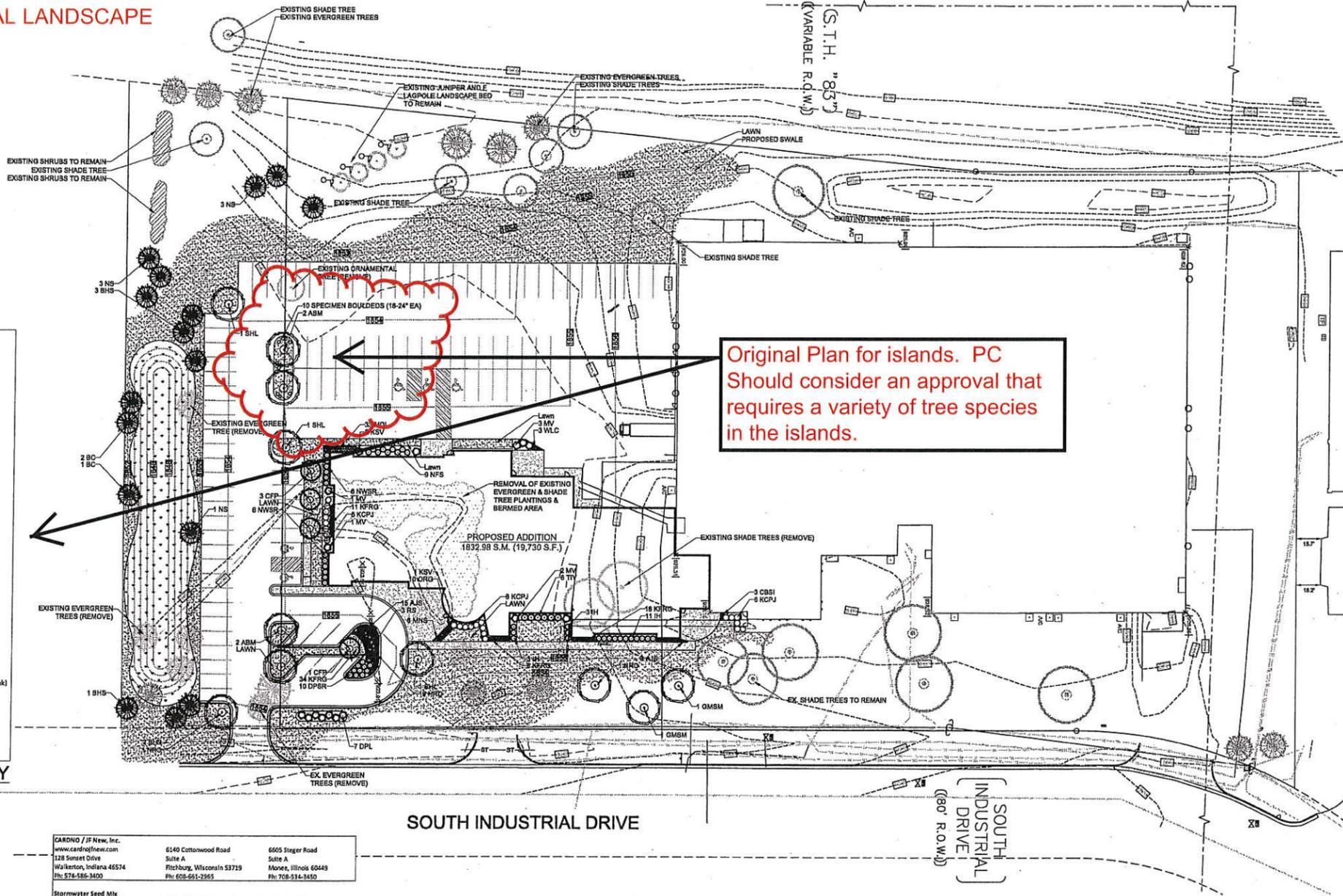
ARCHITECTS



ORIGINAL LANDSCAPE PLANS

- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
  - GMSM Green Mountain Sugar Maple
  - SHL Skyline Honeylocust
  - NRO Northern Red Oak
  - BC Bald Cypress
- ORNAMENTAL TREES (DECIDUOUS)**
- CFP Chanticleer Flowering Pear
- EVERGREEN TREES**
- NS Norway Spruce
  - BHS Black Hills Spruce
- EVERGREEN SHRUBS**
- KCPJ Kalm's Compact Pfitzer Juniper
  - TY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
  - NWSR Nearly Wild Shrub Rose
  - DPSR Dwarf Pavement Shrub Rose
  - NFS Neon Flash Spirea
  - DPL Palatin Dwarf Ulm
  - KSV Fragrant Korean Spice Viburnum
  - MV Mahlian Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
  - ORG Overdam Feather Reed Grass
- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
  - MDL Catherine Woodbury Daylily (Soft Pink)
  - MDL Hyperion Daylily (Lemon Yellow)
  - MDL Summer Wine Daylily (Maroon)
  - CBSI Caesar's Brother Siberian Iris
  - WLC Walker's Low Catmint
  - RS Russian Sage
  - MNS May Night Salvia
  - AIS Autumn Joy Sedum

PLANT ABBREVIATION KEY



Original Plan for islands. PC Should consider an approval that requires a variety of tree species in the islands.

CARDNO / JF New, Inc.  
www.cardnojfn.com  
128 Sunset Drive  
Wakarusa, Indiana 46574  
(764-586-3400)

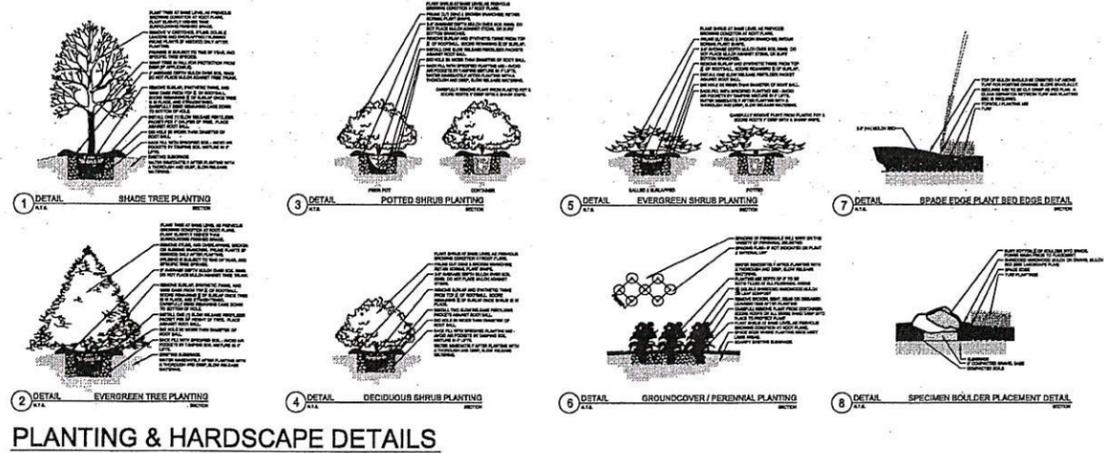
6140 Cottonwood Road  
Suite A  
Fitchburg, Wisconsin 53719  
Ph: 608-661-2965

6605 Steger Road  
Suite A  
Monee, Illinois 60449  
Ph: 708-534-8450

**Stormwater Seed Mix**  
For Use on Stormwater Management Ponds (SMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Quince/Acft
<b>Permanent Grasses/Sedges/Rushes:</b>			
<i>Carex crinitella</i>	Crested Oval Sedge		1.00
<i>Carex frankii</i>	Blasby Cattail Sedge		1.00
<i>Carex lasida</i>	Bottlebrush Sedge		2.00
<i>Carex sparganoides v. cephaloides</i>	Rough-Clustered Sedge		2.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge		6.00
<i>Eleocharis acuta</i>	Blunt Spike Rush		0.50
<i>Glymus virginicus</i>	Virginia Wild Rye		32.00
<i>Glyceria striata</i>	Fowl Manna Grass		1.25
<i>Juncus effusus</i>	Common Rush		1.00
<i>Juncus torreyi</i>	Torrey's Rush		0.25
<i>Leersia oryzoides</i>	Rice Cut Grass		1.00
<i>Panicum virgatum</i>	Switch Grass		2.00
<i>Scirpus atrovirens</i>	Dark Green Rush		1.00
<i>Scirpus cyperinus</i>	Wool Grass		0.50
<i>Scirpus pinnatifidus</i>	River Bulrush		0.25
<i>Scirpus validus</i>	Great Bulrush		6.00
	<b>Total</b>		<b>45.75</b>
<b>Temporary Cover:</b>			
<i>Avena sativa</i>	Common Oat		350.00
<i>Lolium multiflorum</i>	Annual Rye		116.00
	<b>Total</b>		<b>476.00</b>
<b>Forbs:</b>			
<i>Allium</i> spp.	Water Plantain (Various Mix)		4.25
<i>Asclepias incarnata</i>	Swamp Milkweed		1.50
<i>Bidens</i> spp.	Bidens (Various Mix)		2.00
<i>Helenium autumnale</i>	Sneezeweed		3.00
<i>Mimulus rigostris</i>	Monkey Flower		1.00
<i>Pentstemon sedoides</i>	Diach Stonecrop		0.50
<i>Polygonum pennsylvanicum</i>	Pinkweed		4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan		1.00
<i>Sagittaria latifolia</i>	Broad-Leaf Arrowweed		1.00
<i>Senna hebecarpa</i>	Wild Senna		1.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue		2.00
	<b>Total</b>		<b>21.25</b>
<b>Approximate area of coverage:</b>			
Total area (SF) of coverage surrounding SWM ponds:			8,500
Total area (acres) of coverage surrounding SWM ponds:			0.20

STORMWATER SEED MIX



PLANTING & HARDSCAPE DETAILS

**HELLER & ASSOCIATES, LLC**  
LANDSCAPE ARCHITECTURE

One Redwood Court  
Racine, Wisconsin 53402  
ph 262.639.9733  
fx 262.639.9737  
david@wdavidheller.com

OVERALL LANDSCAPE PLAN



MSI GENERAL CORPORATION  
P.O. BOX. 7  
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ESTIMATING DEPARTMENT  
262.367.3662

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SINGLE SOURCE RESPONSIBILITY™

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4-28-14 PLAN COMMISSION.

**PROJECT ADDRESS:**

PROJECT NAME  
Hartland Industrial Building  
STREET ADDRESS  
541 S. Industrial Dr.  
CITY/STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04.24.14 Drawn By: WDH  
Sheet Title: LANDSCAPE PLAN  
Sheet Number: C-105  
Project Number: P11032  
**4366**