

**VILLAGE BOARD AGENDA
MONDAY, APRIL 27, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Roll Call

Pledge of Allegiance – President Lamerand

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Presentation by Judge Timothy Kay: Lake Country Municipal Court Year 2014 in Review
2. Consideration of a motion to approve Village Board minutes of April 13, 2015.
3. Consideration of a motion to approve the vouchers for payment.
4. Consideration of actions related to Licenses and Permits
 - a. Consideration of a motion to approve Operator (Bartender) Licenses with terms ending June 30, 2016
 - b. Consideration of an Application for a Temporary Class "B"/"Class B" Retailers License for Flanagan-Dorn American Legion Post for sales at Nixon Park concession stand
 - c. Consideration of an Application for a Restricted Species Permit to raise 3 chickens on property located at 842 Wexford Ct.

Items referred from the April 20, 2015 Plan Commission meeting

5. Items related to the proposed Merton Avenue Memory Care CBRF (32 units) at 430, 438 and 444 Merton Ave.
 - a. **PUBLIC HEARING** regarding an amendment to the Village Of Hartland Comprehensive Development Plan: 2035 to designate the land use of 430, 438 and 444 Merton Ave. as Multi-Family Residential Senior Housing.
 - i. Motion to continue the hearing to the May 25, 2015 Village Board meeting as that meeting may be rescheduled.
 - b. **PUBLIC HEARING** regarding rezoning the properties involved in the development from RD-2 Two-Family Residential District and B-1 Business District to RM-1 Multiple Family Residential District.
 - i. Motion to continue the hearing to the May 25, 2015 Village Board meeting as that meeting may be rescheduled.

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6. Consideration of a motion to approve a parking lot expansion for Heraeus Electro-Nite Co., 541 S. Industrial Drive.
7. Consideration of a motion to approve site and building plans and a Conditional Use Permit in the B-2 Business District per Village Code Sec. 46-469 for the operations of an automotive service facility including car wash, detailing and vehicle service for Hartland Service Inc., 400 E. Industrial Drive.

Others items for consideration

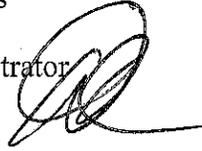
8. Consideration of a State/Municipal Agreement with Wisconsin Department of Transportation for a State-Let Project - Community Sensitive Solutions
9. Consideration of a motion to reschedule the May 25, 2015 Village Board meeting to May 26, 2015
10. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
11. Consideration of a motion to recess to closed session pursuant to SS 19.85 (1)(e), deliberating or negotiating the purchasing of public properties, investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session regarding acquisition or sale of property and easements and to adjourn thereafter without reconvening into open session pursuant to SS 19.95 (2) for discussion related to downtown TIF District Agreements.
12. Adjourn.

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: President and Board of Trustees
FROM: David E. Cox, Village Administrator
DATE: April 24, 2015
SUBJECT: Agenda Information



The following information relates to the upcoming Village Board meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 5 Regarding the Merton Avenue Memory Care facility.

Background: Based on the fact that the developer was not able to make a full final submission, this item was reviewed and tabled by the Plan Commission until its May meeting. The Village Board is asked to open and continue both Public Hearings and to delay action until the meeting following Plan Commission action in May. As a reminder, the project includes a proposed 32 unit memory care community based residential facility (CBRF) for the southeast corner of Merton Avenue and Sunny Slope Drive.

Recommendation: Open and continue the hearings to the second meeting in May.

Item 6 Regarding the Heraeus Electro-Nite parking lot expansion.

Background: The Plan Commission reviewed and recommended for approval this expansion of the parking lot at Heraeus, which is experiencing parking shortages after its recent expansion. The proposed addition will add 23 new spaces to the west side of the property adjacent to STH 83 and will increase the total number of parking spaces to 146. As the attached material from the Village Engineer and responses from the petitioner's contractor indicate, the storm water plan has been modified and the storm water facilities are able to accommodate the additional parking. New landscaping will be added to the "islands" in the new section of the parking lot. Otherwise, the new parking is generally at the rear of the property as the building and site is oriented toward S Industrial Drive. The Plan Commission recommended approval conditioned on the use of a variety of trees in the landscaped islands

Recommendation: Approve the proposed expansion as recommended by the Plan Commission.

Item 7 Regarding the Hartland Service expansion.

Background: The project has been reviewed twice by the Plan Commission, including a public hearing regarding the proposed Conditional Use Permit. The Commission has recommended approval. As a reminder, the project includes a significant expansion of the existing building to the north. The expansion will provide space for an expanded vehicle detailing operation, additional service bays, if needed, a new touch-less car wash and a new “soft cloth,” conveyor-type car wash. Based on the Commission’s review, the design of the project and the developer’s representations during the review process, the Plan Commission recommended approval as outlined in the Conditional Use Permit. In the interim, staff has confirmed some aspects of the operation of the car wash including intended hours of operation for both the touch-less (24/7) and the soft cloth (@12/7). The details of those hours are included in the Conditional Use Permit (CUP) presented for Board consideration. The CUP is drafted with a two-year term, which would expire in April 2017. This is intended to allow the expanded facility to be constructed and operated for approximately a year or more before the Board is asked to extend the CUP. Based on the fact that Hartland Service has been operating without incident for many years, I anticipate that the renewal of the CUP in 2017 will be for a longer term based on the recent Village Board policy of extending the CUP term to five years for operations that proceed without incident.

Recommendation: Approve the site and building plans as well as the Conditional Use Permit.

Item 8 Regarding an agreement with the State of Wisconsin related to work on the STH 83 and STH 16 interchange.

Background: As described in Public Works Director Einweck’s memo, the proposed agreement with the State is primarily used to establish funds for certain enhancements to the project at STH 83 and STH 16. The Village is not expected to contribute to the project unless items requested by us exceed the \$148,500 allocated by the State or if we ask for items that are otherwise not included. There are no plans to make such a request. The agreement also outlines the fact that the Village, in cooperation with the City of Delafield and the Town of Merton, will maintain the walking path and certain other non-roadway items in the project. A future agreement between the municipalities will address the specifics of how sidewalks and paths will be cleared and maintained in the project area.

Recommendation: Approve the State/Municipal Agreement.

Item 9 Regarding changing the meeting date.

Background: The second regularly scheduled Village Board meeting in May will fall on Memorial Day. As this is an official Village Holiday, the Board is asked to change the meeting date to the following day, Tuesday, May 26, 2015.

Recommendation: Approve the meeting date change.



LAKE COUNTRY MUNICIPAL COURT

174 E. Wisconsin Avenue
Oconomowoc, WI 53066
262-569-0920 - T

www.lcmunict.com

Clerk Pamela Strunk
clerk@lcmunict.com

Deputy Clerk Theresa Berlin
deputyclerk@lcmunict.com

Honorable Timothy T. Kay

March 5, 2015

President David Lamerand
Village of Hartland
210 Cottonwood Avenue
Hartland WI 53029

Re: Lake Country Municipal Court
Year 2014 in Review

Dear Pres. Lamerand:

I would like to take this opportunity to provide your municipality with this Annual Review Report for 2014.

Several municipalities have requested that the Judge appear before their boards to provide an annual update. Should you believe this would be beneficial to your municipality, please contact my clerk, Pamela Strunk, so we can arrange a mutually convenient date and time. Clerk Strunk will coordinate efforts with my office administrator, Kit Allen. Please let me know if you wish for me to appear before your Board to answer any questions or clarify any concerns in addition to this annual letter report; otherwise you can simply re-print copies of this correspondence and provide to your trustees, supervisors or aldermen.

We have continued to revise procedural and administrative guidelines in order to strive to make your Court efficient, transparent, and accountable to the public. I am happy to report that by all accounts operations are running smoothly for our Municipal Court.

Honorable Timothy T. Kay proudly serving the following municipalities:

*City of Oconomowoc, Town of Delafield, Town of Erin, Town of Ixonia, Town of Lisbon, Town of Merton,
Town of Oconomowoc, Village of Chenequa, Village of Dousman, Village of Hartland, Village of Lac LaBelle,
Village of Merton, Village of Nashotah, Village of Oconomowoc Lake, Village of Sullivan, Village of Summit, Village of Sussex*

1. LCMC BUDGET.

The Operations Committee has worked hard in order to balance our Municipal Court budget. The budget is comprised of staff salaries, rent, office supplies, etc. In order to balance our budget, Court costs per citation were increased from \$33 to \$38 effective January 1, 2015. The Court cost is essentially a user fee paid by the defendant in addition to the forfeiture paid by the defendant. The Court costs collected remain with the Court. The forfeitures are returned in full to the community.

As you may recall, our Court through the direction of Chief Rosch, took a leading role in lobbying the Wisconsin Legislature to increase court costs from \$28 to \$38. Chief Rosch and myself both testified before the Assembly Committee on September 11, 2013, and as a result, the bill was quickly approved at the Committee level and then brought to the floor for a full vote, at which time it passed.

Although we could have utilized the entire \$10 increase for the year 2014, our Operations Committee recommended to the Administrative Committee only to utilize one-half of the increase, namely \$5 up to the \$33 level. It was thought that we could balance our budget with the extra funds without utilizing the full increase at year end; however after further review of the budget process, it was determined that we should take the second increase of \$5. This extra \$5 increase per citation is allowed for pursuant to Act 53 and we believe implementing this small change will allow our Court to continue to remain self-sustaining.

As a result of our Municipal Court operating within budget, there is no cost to any of the seventeen member municipalities. We are truly self-sufficient and self-sustaining. The forfeiture from each citation is returned, in full, to the issuing police department / municipality. No municipality is forced to support any other municipality.

2. COURT FORMS.

Last year I undertook efforts to codify our court forms and to bring them up to date. I am happy to report that the updated forms have been working well. One additional form that I

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LAKE COUNTRY MUNICIPAL COURT
174 E. Wisconsin Avenue
Oconomowoc, WI 53066

oversaw related to serving citations by mail process, which we refer to as "Notice of Citation." Please understand that the vast majority of citations are delivered in person by the officer at the scene. In rare circumstances, an officer cannot issue a citation in person, such as boat patrol officer, or when an officer has an individual pulled over and the officer is then called to an emergency. In those instances, a handwritten "Notice of Citation" is provided to the defendant and then computer-generated citation is mailed several days later. To be sure that defendants receive proper notice of the citation that complies with the statutory requirements, I have fine-tuned our "Notice of Citation" form in order to allow that form to be utilized by the officers in a much more user-friendly manner, while providing all of the critical and essential statutory requirements to be provided to a defendant.

This new form was developed by the court's staff. I can now report that most of the municipalities are in sync and are utilizing the new format. Utilizing the "Notice of Citation" in conjunction with computer-generated mailed citations, will further help our collection efforts, as the Court can now utilize alternatives such as a Writ of Commitment and/or driver license suspension in the event a defendant fails to pay.

3. OPEN RECORDS.

We waded through the murky waters of Open Records requests. As you may be aware, there is a wide variety of opinions based upon Wisconsin Open Records law as compared to the Federal Driver's Privacy Protection Act (DPPA). After much review and research, we are currently utilizing the format and the forms produced by the League of Municipalities.

Most experts acknowledge that there is a conflict between our Wisconsin Open Records laws, which are liberal in nature, and the Federal DPPA laws, which are restrictive in nature.

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There is currently litigation pending at the Appellate as well as the Supreme Court level, and most likely this litigation will help harmonize the differences between these two laws and provide guidance to our Municipal Court, as well as to all municipalities in the State of Wisconsin.

4. ALCOHOL AND OTHER DRUG COUNSELING.

As I reported to you last year, I have been making numerous referrals every month to the "Your Choice Program," or a similar program of a defendant's choosing for those young offenders who are having difficulties with alcohol, marijuana, and other drug abuse. Completion of an alternative program, such as Your Choice, will not erase a conviction; however, I have substantially lowered fines and/or driver license suspensions based upon completion of such a program.

We all know that Heroin is epidemic, especially right here in Waukesha County. Due to the large number of overdose deaths, I feel compelled to try and help young offenders and steer those who are at risk into these types of diversion programs.

Most of the youth that are able to complete such a program return to Court with their parents and report positive improvements to their lives.

5. OFFICERS.

I have conducted a large number of motions and court trials and I am always impressed by the quality of our Lake Country Municipal Court Police Officers. They are very thorough in their analysis and testimony, and should be complemented on their professionalism. We should all be proud of their dedication and service to the community.

The citizens respect our Lake Country Municipal Officers and appreciate the work that our officers undertake every day.

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Village of Merton, Village of Nashotah, Village of Oconomowoc Lake, Village of Sullivan, Village of Summit, Village of Sussex*

6. COURT STAFF.

We continue to operate our Municipal Court with two full-time clerks and two part-time clerks. Our clerks are very efficient, extremely helpful to the public, and provide assistance with respect to answering basic questions and providing forms so that the citizens' matters are calendared properly before the Court. My law firm administrator, Kit Allen, has also helped ease the burden of the Court Clerks and has been helping to streamline the courtroom procedures. I am proud that we are all members of the same team.

7. OPERATIONS COMMITTEE.

I cannot say thank you enough to the members who serve on the Operations Committee. We meet monthly and we oversee the day-to-day functioning of the Municipal Court. These members serve voluntarily and I certainly appreciate their efforts.

Chief Donald Wiemer
Village of Oconomowoc Lake

Chief Robert Douglas
Village of Chenequa

Chief Robert Rosch
Village of Hartland

Chief David Beguhn
City of Oconomowoc

8. IN CONCLUSION.

If you would like for me to appear before your Board, please do not hesitate to contact my clerk, Pam Strunk, or my office administrator, Kit Allen. If you have any specific questions regarding this correspondence, please contact me directly.

It has been my pleasure to serve the 17 communities that comprise our Lake Country Municipal Court. I look forward to continuing to serve your community as your Municipal Judge.

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LAKE COUNTRY MUNICIPAL COURT
174 E. Wisconsin Avenue
Oconomowoc, WI 53066

Very truly yours,

LAKE COUNTRY MUNICIPAL COURT



Hon. Timothy T. Kay
Municipal Judge

TTK/kfa

pc Clerk Pamela Strunk (email)
LCMC Police Chiefs (email)
Clerks of All Municipalities (email)

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**VILLAGE BOARD MINUTES
MONDAY, APRIL 13, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Roll Call

Pledge of Allegiance – Trustee Landwehr

Present: Trustees Stevens, Meyers, Compton, Landwehr, Swenson, Wallschlager, President Lamerand

Others: Administrator Cox, Finance Director Bailey, Fire Chief Dean, Clerk Igl, Police Chief Rosch, DPW Director Einweck, Tom Lemmer, Reporter Steve Martinez, Joan Decker-Nold, Dave Jambretz, Mike Ziemba

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Motion (Meyers/Wallschlager) to approve Village Board minutes of March 23, 2015. Carried (7-0).
2. Motion (Landwehr/Swenson) to approve the vouchers for payment in the amount of \$467,759.85. Motion carried (7-0).
3. Consideration of actions related to Licenses and Permits:
 - a. Motion (Landwehr/Swenson) to approve Operator (Bartender) Licenses with terms ending June 30, 2016. Motion carried (7-0).
 - b. Motion (Compton/Meyers) to approve a "Class A" Retailers License (to allow the sale of wine) for Hartland Village Mart. Motion carried (7-0).
 - c. Motion (Landwehr/Swenson) to approve a street use permit for Hartland Lakeside School District for the Amazing Race on May 16, 2015. Motion carried (7-0).
 - d. Motion (Meyers/Wallschlager) to approve an application for a Restricted Species Permit to raise 3 chickens on property located at 432 E. Capitol Drive. Motion carried (7-0).
4. Items related to the proposed development of a 32-bed Memory Care CBRF at 430, 438 and 444 Merton Ave. This item is scheduled for Public Hearing at the April 27, 2015 Village Board meeting.

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- a. Consideration of second reading of Bill for an Ordinance No. 03/23/2015-01 "An Ordinance Adopting an Amendment to the Village of Hartland Comprehensive Development Plan: 2035" to designate the properties at 430, 438 and 444 Merton Ave. to Multi-Family Residential Development - Senior Housing.

This item was carried over to the next Village Board meeting.

- b. Consideration of second reading of Bill for an Ordinance No. 03/23/2015-02 "An Ordinance to Amend the Official Zoning Map" to rezone the properties at 430, 438 and 444 Merton Ave. to RM-1, Multiple Family Residential District.

This item was carried over to the next Village Board meeting.

Others items for consideration

5. Consideration of a decision regarding the walking path in The Sanctuary of Hartland development.

Joan Decker-Nold spoke against the walking path citing concerns about privacy, increased traffic, noise including barking dogs and stated opposition to removal of the mature trees that were planted on the property.

Mike Ziembra, 128 Maple, stated concerns regarding snow removal from his driveway if the walking path were to be installed. He stated that the mature trees in place block his view of the bright gas station signs and provide privacy to his property.

Peter Walker, resident of Tenny Ave., stated that he understood the concerns regarding privacy, however, stated that he would use the walking path if installed.

Tom Lemmer spoke against the installation of the walking path stating that installation of the walking path would reduce privacy and property values for the affected residents.

Trustee Stevens stated concerns that the installation of the path would reduce privacy for property owners along Capitol Drive and in The Sanctuary. He also stated that it would not hurt residents to walk the extra distance to get downtown. Trustee Wallschlager stated that she felt the shortcut is unnecessary. It was clarified that the area in which the path is proposed to be installed is not an easement but is private property owned by the subdivision owner.

Motion (Stevens/Wallschlager) to deny the installation of the walking path in The Sanctuary. Carried (7-0).

6. Consideration of actions to approve easements from the Bristlecone Pines Community Association for water and sewer utilities across an Association-owned outlot in the subdivision including compensation and waiver.

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Administrator Cox stated that the updated documents reflect requests of the Bristlecone Pines Homeowners Association. The documents are for two easements: one is parallel to the north edge of the subdivision along Hwy K and one is perpendicular to Hwy KE between KE and Bristlecone Drive near Arlene Drive. The purpose of the northern easement is a plan for the extension of water service to the northeast area of the Village and the easement on the south is for the extension of water and sewer utilities. Administrator Cox stated that the Village and Association have agreed on a price of \$7,700 for all three easements (two permanent and one temporary) which is what their appraiser assessed the value to be.

Motion (Swenson/Meyers) to approve the easement document subject to final approval by the Village Attorney. Carried (7-0).

Motion (Landwehr/Swenson) to approve the payment and the certificate of compensation with document approval subject to final approval by the Village Attorney. Carried (7-0).

Motion (Swenson/Landwehr) to approve the acknowledgement and waiver document subject to final approval by the Village Attorney. Carried (7-0).

7. Consideration of a motion to approve a joint agreement with the US Fish and Wildlife Service and the Ice Age Trail Alliance related to a \$5,900 US Fish and Wildlife grant to assist in the invasive species control and habitat improvements at the Hartland Marsh and to authorize an expense of up to \$2,950 to support the Village's portion of the work.

Administrator Cox stated that the Village has been working with the Ice Age Trail Alliance, the Waukesha County Land Conservancy, the DNR and the County to develop a plan for and to continue the effort to eliminate invasive species from the marsh which may lead toward controlled burns. Representatives from IATA have worked with the US Fish and Wildlife Service to receive a grant to assist with the expenses. The Village would pay one-fourth for the cost of the proposed activity.

Motion (Compton/Stevens) to approve a joint agreement with the US Fish and Wildlife Service and the Ice Age Trail Alliance related to a \$5,900 US Fish and Wildlife grant to assist in the invasive species control and habitat improvements at the Hartland Marsh and to authorize an expense of up to \$2,950 to support the Village's portion of the work. Carried (7-0).

8. Motion (Meyers/Wallschlager) to approve a reduction to standby letter of credit for Sanctuary of Hartland, LLC. Carried (7-0).
9. Update by Public Works Director Mike Einweck regarding construction season activities including Quiet Zone, road paving and patching, utility work and other projects.

DPW Director Einweck provided an update on the quiet zone. He stated that he is currently working with the Federal Railway Administration and CP Rail to shorten the north barrier from 100' down to 80' near the Industries for the Blind property to keep existing driveway in place so

that when trucks make the turn to the south that they will not run over the barrier. If the parties don't agree with the reduction, the driveway will need to be relocated. He stated that current estimates for construction of the quiet zone improvements are \$155,000 but there may be additional costs for modifications to the pedestrian walkway. He stated that the department is attempting to combine the quiet zone improvements with the repaving of Maple Avenue.

DPW Director Einweck provided updates on other projects that the department will be undertaking this year including patching throughout Village mainly on Cottonwood Avenue and North Avenue as well as other paving projects, utility work replacing some water valves and hydrants throughout the Village and replacement of the retaining wall in parking lot across from Village Hall. Bids will be advertised on April 16 with bid opening scheduled for May 5. Bids will be submitted to the Village Board on May 11 for consideration of award.

DPW Director Einweck also provided updates on several WE Energies projects that are planned for this year.

10. Presentation by Interim Fire Chief Dave Dean regarding new pieces of equipment for the Hartland Fire and Rescue Department.

A demonstration of the LUCAS 2 Chest Compression System was provided by Chief Dean and Cpt. Jambretz. This piece of equipment was recently donated to the Fire Department by the Aurora Foundation.

Chief Dean also provided information about the new DSPA-5 fire suppression devices that the Department recently purchased. The device is a handheld aerosol generator that once activated creates aerosol clouds that expand into a room knocking down flames and heat within seconds.

11. **Announcements:** The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

President Lamerand stated that there was an 18% voter turnout for the April election and encouraged residents to exercise their right to vote in future elections.

President Lamerand declared National Telecommunicators week for 2015 from April 12 through April 18. Waukesha County Communications invited the public to visit the call center.

12. Motion (Stevens/Wallschlager) to adjourn. Carried (7-0). Meeting adjourned at 7:55 p.m.

David E. Cox, Village Administrator

VILLAGE BOARD MINUTES
MONDAY, APRIL 13, 2015
7:00 PM
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TO: Village President & Board of Trustees

FROM: Sarah Oldenburg, Fiscal Clerk

DATE: April 24, 2015

RE: Voucher List

Attached is the voucher list for the April 27, 2015 Village Board meeting.

April A/P Checks: \$ 223,013.21

Total amount to be approved: \$ 223,013.21

VILLAGE OF HARTLAND
VOUCHER LIST/APRIL 27, 2015

Account Descr	Search Name	Comments	Amount
EXPENSE Descr			
R 101-46730 RECREATION CLASSES	BRONSON, CARIE	I HAVE NOTHING TO WEAR	\$33.00
R 101-46730 RECREATION CLASSES	CONTI, JAN	YOU HAVE PICTURES	\$15.00
G 403-31841 MURPHY FARMS	DELAFIELD-HARTLAND WATER	STRAND ENGINEERING	\$1,004.68
G 403-31743 W. CAPITOL APARTMENTS	DELAFIELD-HARTLAND WATER	STRAND ENGINEERING	\$515.43
G 204-23400 DEPOSITS DUE TO DEL-HART	DELAFIELD-HARTLAND WATER	APRIL FEES	\$52,068.00
R 101-46730 RECREATION CLASSES	MALONE, KRISTIE	I HAVE NOTHING TO WEAR	\$33.00
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	JAN-FEB WATER SYST PLANNING	\$1,152.00
G 101-31620 FINE ARTS CENTER DONATIONS	SEEBACH, DAVID	MAGICIAN DEPOSIT/NIGHT OUT	\$250.00
G 101-21593 LONG TERM HEALTH CARE	TRANSAMERICA PREMIER LIFE INS	APR PREMIUMS/ROSCH	\$149.92
R 101-44100 LICENSES	VOIGHT, CARLEE ANN	BARTENDER LICENSE	\$30.00
G 403-31841 MURPHY FARMS	VON BRIESEN & ROPER	EMINENT DOMAIN/BRISTLECONE	\$980.00
EXPENSE Descr			\$56,231.03
EXPENSE Descr AMBULANCE			
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	DEAN, DAVID (FIRE)	REIMBURSE SHIPPING FEES	\$17.80
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	EMERGENCY MEDICAL PRODUCTS	EMS SUPPLIES	\$1,360.39
E 101-52300-360 VEHICLE MAINT/EXPENSE	JEFFERSON FIRE & SAFETY INC	HINGE	\$70.49
E 101-52300-290 OUTSIDE SERVICES/CONTRACTS	SOS TECHNOLOGIES	ANNUAL MAINT/COT, STAIR CHAIR	\$400.00
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	U.S. CELLULAR	MAR-APR CELLULAR	\$65.71
EXPENSE Descr AMBULANCE			\$1,914.39
EXPENSE Descr CABLE TELEVISION			
E 101-55370-300 OPERATING SUPPLIES/EXPENSES	FULL COMPASS SYSTEMS LTD	CABLES	\$89.48
E 101-55370-290 OUTSIDE SERVICES/CONTRACTS	MILLER, JOEL R	APR BD MTG BROADCAST	\$160.00
EXPENSE Descr CABLE TELEVISION			\$249.48
EXPENSE Descr DEBT SERVICE			
E 301-58000-305 EXPENSES-OTHER	BOND TRUST SERVICES CORP	ANNUAL AGENT SERVICES	\$350.00
EXPENSE Descr DEBT SERVICE			\$350.00
EXPENSE Descr ECONOMIC DEVELOPMENT			
E 804-56700-758 MEETINGS	BMO (CREDIT CARD-BID)	BAKERY	\$21.54
E 804-56700-758 MEETINGS	BMO (CREDIT CARD-BID)	LUNCH	\$37.25
E 804-56700-746 TELEPHONE	BMO (CREDIT CARD-BID)	AT&T	\$110.78
E 804-56700-715 STREETSCAPE PROGRAM	LAKE COUNTRY FINE ARTS SCHOOL	ICE AGE MURAL GRANT	\$2,200.00
E 804-56700-713 SIGN/AWNING/PAINTING GRANTS	MUENZENBERGER, JIM	SIGN GRANT	\$750.00

Account Descr	Search Name	Comments	Amount
EXPENSE Descr ECONOMIC DEVELOPMENT			\$3,119.57
EXPENSE Descr ELECTIONS			
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	WAUKESHA COUNTY CLERK	PUBLIC DIRECTORIES	\$14.00
EXPENSE Descr ELECTIONS			\$14.00
EXPENSE Descr ENVIRONMENTAL SERVICES			
E 101-53635-460 LANDSCAPE MANAGEMENT	BIEBELS TRUE VALUE	FILE HANDLES FOR SHARPENING	\$5.94
E 101-53635-450 YARDWASTE	BIEBELS TRUE VALUE	RAIN GAUGE	\$3.14
E 101-53635-450 YARDWASTE	BIEBELS TRUE VALUE	TOOLBOX/GREASE/PASTE	\$28.28
E 101-53635-450 YARDWASTE	VERMEER - WISCONSIN INC	CHIPPER BLADES	\$128.61
EXPENSE Descr ENVIRONMENTAL SERVICES			\$165.97
EXPENSE Descr FINANCIAL ADMINISTRATION			
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	BUSINESS FORMS & ACCOUNTING	LASER AP CHECKS	\$325.16
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	GFOA	INTERNAL CONTROL GUIDES	\$28.00
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	APR MILEAGE	\$51.76
EXPENSE Descr FINANCIAL ADMINISTRATION			\$404.92
EXPENSE Descr FIRE PROTECTION			
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	5 ALARM FIRE	SMALL ENGINE FUEL	\$80.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BENDLIN FIRE EQUIPMENT CO, INC	LETTERING/PATCHES	\$118.00
E 101-52200-290 OUTSIDE SERVICES/CONTRACTS	BENDLIN FIRE EQUIPMENT CO, INC	HYDROTESTING	\$250.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BIEBELS TRUE VALUE	SAWZALL BLADES	\$98.95
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	CHERRY VALLEY FIRE PROTECTION	EXTRICATION REGISTRATION	\$300.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	FOX BROS PIGGLY WIGGLY	COFFEE	\$36.94
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	FOX BROS PIGGLY WIGGLY	WATER	\$11.96
E 101-52200-290 OUTSIDE SERVICES/CONTRACTS	MICHAEL ROSHOLT UPHOLSTERY	REPR TURNOUT GEAR	\$208.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	PARTS HUT HARTLAND	OIL DRI	\$52.45
E 101-52200-220 UTILITY SERVICES	U.S. CELLULAR	MAR-APR CELLULAR	\$129.15
EXPENSE Descr FIRE PROTECTION			\$1,285.45
EXPENSE Descr GENERAL ADMINISTRATION			
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$123.90
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	IIIMC	ANNUAL MEMBERSHIP/IGL	\$155.00
E 101-51400-290 OUTSIDE SERVICES/CONTRACTS	WI DEPT OF AGRICULTURE,	ANNUAL WEIGHTS & MEASURES	\$2,400.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	RECORD CKS/SOLICITOR	\$21.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	RECORD CKS/BARTENDER	\$35.00
EXPENSE Descr GENERAL ADMINISTRATION			\$2,734.90
EXPENSE Descr IMPACT FEE EXPENSES			
E 206-59000-990 USE OF FIRE IMPACT FEES	TACTICAL MEDICAL SOLUTIONS INC	COMBAT MEDIC POUCH	\$832.28

Account Descr	Search Name	Comments	Amount
E 206-59000-990 USE OF FIRE IMPACT FEES	W.S. DARLEY & CO.	KNEE PADS/HELMET	\$668.82
EXPENSE Descr IMPACT FEE EXPENSES			\$1,501.10
EXPENSE Descr LAW ENFORCEMENT			
E 101-52100-360 VEHICLE MAINT/EXPENSE	10-33 VEHICLE SERVICES	SQ 3/POWER TIMER	\$108.75
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	BLAIRS TRUE VALUE	MISC ITEMS/TRUCK REPR	\$15.82
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	CENTRAL POLICE SUPPLY LTD.	BINOCULARS	\$719.85
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$343.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	EMERGENCY MEDICAL PRODUCTS	N-95 MASKS	\$129.60
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	GRAINGER	SPEAKER WIRE	\$93.35
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	HAAG, DEAN	REIMBURSE CLOTHING ALLOWANCE	\$168.18
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 3/LOF, TIRES, CHG SYST	\$271.95
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 4/DIAG, LOF, TIRES, SES LIGHT	\$815.96
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 5/MT TIRES	\$111.40
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 9/DIAG, TIRES	\$193.73
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	HOME DEPOT	LUMBER	\$16.99
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	HOME DEPOT	PAINT/BRUSHES	\$41.44
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	IDEAL LOGOS	RETIREMENT PLAQUE	\$55.00
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	MATRE ARMS & AMMUNITION	AMMUNITION	\$5,460.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	MILWAUKEE AREA TECHNICAL COLLEGE	TRAINING FEES	\$39.96
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	PARK, RYAN	REIMBURSE NEGOTIATOR ITEMS	\$113.98
E 101-52100-360 VEHICLE MAINT/EXPENSE	SAFELITE FULFILLMENT, INC	SQ 2/REPR WINDSHIELD	\$78.93
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	WAUKESHA CTY TREASURER (515)	MAR PRISONER HOUSING	\$7.55
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	WI DEPT OF JUSTICE (CHKS)	RECORD CKS/PD	\$7.00
EXPENSE Descr LAW ENFORCEMENT			\$8,792.44
EXPENSE Descr LIBRARY			
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (C031146 3)	BOOKS	\$124.76
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$734.04
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$29.36
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L539676 2)	BOOKS	\$994.07
E 101-55110-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	CRABGRASS PREV/WEEED N FEED	\$45.60
E 101-55110-310 BOOKS & MATERIALS	BLACKSTONE AUDIO INC	ADULT AUDIOBOOKS	\$50.00
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	COMPETITOR AWARDS & ENGRAVING	ENGRAVING PLATES	\$16.00
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$70.44
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$130.86
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	JENSEN, JANET	REIMBURSE PRGM SUPPLIES	\$77.40
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	DVDS/CDS	\$15.74
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	DVDS/CDS	\$10.49
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	NANCY MASSNICK, LIBRARY DIR	REIMBURSE PETTY CASH	\$111.09
E 101-55110-255 BLDGS/GROUNDS	NATIONAL ELEVATOR	APR ROUTINE INSP	\$89.00

Account Descr	Search Name	Comments	Amount
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	PRINTER/CABLES	\$268.00
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	ONTECH SYSTEMS, INC	ANNUAL BACKUP SUPPORT	\$199.00
E 101-55110-310 BOOKS & MATERIALS	PENGUIN RANDOM HOUSE LLC	AUDIOBOOKS	\$62.25
E 101-55110-310 BOOKS & MATERIALS	PENGUIN RANDOM HOUSE LLC	AUDIOBOOKS	\$10.00
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RCH COMMUNICATIONS	REPR PHONE OUTAGE	\$105.00
E 101-55110-310 BOOKS & MATERIALS	RECORDED BOOKS LLC	ADULT AUDIOBOOKS	\$161.20
E 101-55110-310 BOOKS & MATERIALS	RECORDED BOOKS LLC	ADULT AUDIOBOOKS	\$6.95
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	MAY COPIER LEASE	\$66.01
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	MAY COPIER LEASE	\$81.85
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	JAN-MAR COPIER CLICKS	\$64.71
E 101-55110-310 BOOKS & MATERIALS	SCHOLASTIC LIBRARY PUBLISHING	BOOKS	\$152.10
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	WAUKESHA CTY TREASURER (515)	DATABASE/MOVIE LICENSE	\$2,383.00
E 101-55110-220 UTILITY SERVICES	WE ENERGIES	MAR-APR ELECTRIC	\$2,360.16
E 101-55110-220 UTILITY SERVICES	WE ENERGIES	MAR-APR GAS	\$714.35
E 101-55110-255 BLDGS/GROUNDS	WI DEPT OF SAFETY AND PROF SVC	ELEVATOR PERMIT	\$50.00
EXPENSE Descr LIBRARY			\$9,183.43
EXPENSE Descr LIBRARY SPEC EXPENSE			
E 205-59100-305 EXPENSES-OTHER	CIVIC PLUS	WEBSITE BUTTONS	\$950.00
E 205-59100-305 EXPENSES-OTHER	FIREFLY GARDEN DESIGN LLC	LANDSCAPE SERVICES	\$493.75
E 205-59100-305 EXPENSES-OTHER	ONTECH SYSTEMS, INC	BARCODE SCANNER	\$1,300.00
E 205-59100-305 EXPENSES-OTHER	UPSTART	SUMMER READING SUPPLIES	\$620.27
EXPENSE Descr LIBRARY SPEC EXPENSE			\$3,364.02
EXPENSE Descr MUNICIPAL BUILDING			
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	ALSCO	FLOOR MAT SERVICE	\$93.89
E 101-51600-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	CRABGRASS PREV/WEEED N FEED	\$45.60
E 101-51600-255 BLDGS/GROUNDS	NATIONAL ELEVATOR	APR ROUTINE INSP	\$83.00
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	OTIS ELEVATOR CO	MAY-JUL SVC CONTRACT	\$307.47
E 101-51600-220 UTILITY SERVICES	WE ENERGIES	MAR-APR ELECTRIC	\$1,555.92
EXPENSE Descr MUNICIPAL BUILDING			\$2,085.88
EXPENSE Descr PARKS			
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	TOILET VALVES	\$22.48
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	TOILET VALVES	\$96.88
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	TWINE/CORD	\$11.50
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	HARDWARE	\$9.96
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	HOSE CAP/PASTE FLUX	\$5.80
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	THREAD TAPE	\$5.29
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	PLUMBING PARTS	\$15.33
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	ADAPTER/VALVES/GREASE	\$47.87

Account Descr	Search Name	Comments	Amount
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	LOCK-HASP/HARDWARE	\$7.82
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	DEMAND & PRECISION PARTS CO.	TENNIS NETS	\$456.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	FIRST SUPPLY MADISON	TOILET TANK LOCK KITS	\$300.56
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	FIRST SUPPLY MADISON	TOILET TANK LOCK KITS	\$176.49
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	FIRST SUPPLY MADISON	TOILET TANK LOCK KITS	\$337.39
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	FIRST SUPPLY MADISON	REPR TOILET/FAUCET/BUBBLER	\$1,049.52
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	HOME DEPOT	STAIN/PAINT	\$37.98
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PORT-A-JOHN	TOILET RNTL/PENBROOK	\$150.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	SUPERIOR CHEMICAL CORP	JANITORIAL SUPPLIES	\$400.00
EXPENSE Descr PARKS			\$3,130.87
EXPENSE Descr PUBLIC WORKS			
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BEARINGS/FILTERS	\$58.52
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	ANTI RUST	\$17.94
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	TOOLS/FILTERS	\$199.19
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FILTER/COUPLER/CLAMP/WASHER/TAPE	\$138.27
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	LOCKWASH	\$19.75
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	MAT/DRAIN PAN	\$125.48
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BALL BEARING	\$96.72
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FILTERS/TERMINALS	\$218.02
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	PADS/FILTER KIT/CORES	-\$145.98
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FILTERS/OIL/BATTERY	\$127.13
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	WEDGES/PIN/sockets	\$78.30
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BEARING	\$24.18
E 101-53000-410 STREETS GEN MAINT	BIEBELS TRUE VALUE	HARDWARE/PAINT	\$32.08
E 101-53000-345 STAFF EDUCATION/TRAINING	BIEBELS TRUE VALUE	DRILL BIT/SCREWDRIVERS	\$19.49
E 101-53000-345 STAFF EDUCATION/TRAINING	CLASSIC COLLECTION SYSTEM	REGISTRATION/EINWECK	\$35.00
E 101-53000-345 STAFF EDUCATION/TRAINING	CLASSIC COLLECTION SYSTEM	REGISTRATION/FELKNER	\$35.00
E 101-53000-345 STAFF EDUCATION/TRAINING	CLASSIC COLLECTION SYSTEM	REGISTRATION/GERSZEWSKI	\$35.00
E 101-53000-430 SNOW & ICE REMOVAL	CONCRETE & BRICK SPECIALISTS	MAR SNOWPLOWING	\$181.20
E 101-53000-360 VEHICLE MAINT/EXPENSE	CROSSROADS TRUCK REPAIR	REPR AC	\$264.10
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$536.89
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$1,183.18
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$379.66
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$860.16
E 101-53000-410 STREETS GEN MAINT	HOME DEPOT	2X4S	\$39.91
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	HOME DEPOT	LEDS	\$39.94
E 101-53000-410 STREETS GEN MAINT	HOME DEPOT	STAIN/PAINT	\$37.98
E 101-53000-360 VEHICLE MAINT/EXPENSE	JX ENTERPRISES INC	AIR BRAKE PARTS	\$15.15
E 101-53000-360 VEHICLE MAINT/EXPENSE	POMP S TIRE SERVICE INC	MOWER TIRES	\$269.50
E 101-53000-360 VEHICLE MAINT/EXPENSE	PROVEN POWER INC	DECK WHEEL/ARM/ROLLER	\$222.48

Account Descr	Search Name	Comments	Amount
E 101-53000-350 EQUIPMENT PURCHASE	PROVEN POWER INC	CHAINSAW	\$591.52
E 101-53000-360 VEHICLE MAINT/EXPENSE	REARDON METAL FEBRICATING	STEEL SWEEPER PARTS	\$215.00
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JAN-FEB ENGINEERING	\$170.57
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 04/15/15	\$129.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 03/25/15	\$102.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 04/08/15	\$102.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 04/01/15	\$129.00
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	SUPERIOR CHEMICAL CORP	JANITORIAL SUPPLIES	\$223.93
E 101-53000-360 VEHICLE MAINT/EXPENSE	TRUCK COUNTRY OF WISCONSIN	BRAKE CHAMBERS	\$149.49
E 101-53000-220 UTILITY SERVICES	U.S. CELLULAR	LAPTOP CARD	\$39.99
E 101-53000-220 UTILITY SERVICES	U.S. CELLULAR	MAR-APR CELLULAR	\$5.10
E 101-53000-360 VEHICLE MAINT/EXPENSE	UTILITY SALES & SERVICE	ANNUAL INSP/BUCKET TRUCK	\$980.99
E 101-53000-360 VEHICLE MAINT/EXPENSE	WEBER, KURT	SOCKET SET	\$149.99
EXPENSE Descr PUBLIC WORKS			\$8,132.82
EXPENSE Descr RECREATION PROGRAMS/EVENTS			
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	AMERICAN LITHO	PRGM GD POSTAGE	\$2,589.84
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	HAMPE, CHRISTINE	APR ZUMBA	\$37.33
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	HELLMAN, STEPHANIE	APR ZUMBA	\$37.33
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	JH ART & DESIGN LLC	PRGM GD DESIGN	\$75.00
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	JOURNAL COMMUNITY PUBL	ADS/DESTINATION HARTLAND	\$153.98
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	KRUGER, CHRISTIAN T	CAMERA CLASSES	\$85.80
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	LAKE COUNTRY MARTIAL ARTS	BABYSITTING BASICS	\$246.40
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	OLSEN, MARJORIE	APR-MAY YOGA FOR KIDS	\$216.00
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	SCHOLTKA, JENNIFER J	APR-MAY ZUMBA	\$37.33
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	U.S. CELLULAR	MAR-APR CELLULAR	\$8.04
EXPENSE Descr RECREATION PROGRAMS/EVENTS			\$3,487.05
EXPENSE Descr REFUSE & GARBAGE COLLECTION			
E 201-53620-200 GARBAGE COLLECTION FEES	ADVANCED DISPOSAL SERVICES	MAR REFUSE/RECYCLING	\$30,875.65
EXPENSE Descr REFUSE & GARBAGE COLLECTION			\$30,875.65
EXPENSE Descr SEWER SERVICE			
E 204-53610-300 OPERATING SUPPLIES/EXPENSES	BUSINESS FORMS & ACCOUNTING	UTILITY BILL ENVELOPES	\$372.28
E 204-53610-270 TREATMENT EXPENSE	DELAFIELD-HARTLAND WATER	APRIL FEES	\$69,986.38
E 204-53610-300 OPERATING SUPPLIES/EXPENSES	OFFICEMAX	INK CARTRIDGES	\$61.33
E 204-53610-300 OPERATING SUPPLIES/EXPENSES	OFFICEMAX	PRINTER	\$89.94
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JAN-FEB SEWER METERING	\$504.12
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JAN-FEB ENGINEERING	\$170.56
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JAN-FEB SEWER PLAN REVIEW	\$2,080.35
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	JAN-FEB ARLENE DESIGN/REVIEW	\$277.80

Account Descr	Search Name	Comments	Amount
E 204-53610-220 UTILITY SERVICES	U.S. CELLULAR	LAPTOP CARD	\$40.00
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	VISU-SEWER, INC.	APR SEWER TV	\$2,604.13
EXPENSE Descr SEWER SERVICE			\$76,186.89
EXPENSE Descr TIF FUND EXPENSES			
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	VON BRIESEN & ROPER	TRACK/DIVIDE TIFF 4/6	\$165.00
E 214-58300-290 OUTSIDE SERVICES/CONTRACTS	VON BRIESEN & ROPER	TRACK/DIVIDE TIFF 4/6	\$165.00
EXPENSE Descr TIF FUND EXPENSES			\$330.00
EXPENSE Descr TRUSTEES			
E 101-51100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	COFFEE CUPS	\$87.43
EXPENSE Descr TRUSTEES			\$87.43
EXPENSE Descr WATER UTILITY			
E 620-53700-923 OUTSIDE SERVICES	AECOM TECHNICAL SERVICES	LEAK DETECTION	\$7,250.00
E 620-53700-933 TRANSPORTATION EXPENSES	AUTOMOTIVE PARTS & EQUIPMENT	ROTORS/PADS	\$252.74
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	BIEBELS TRUE VALVE	UNIONS	\$12.49
E 620-53700-903 CUSTOMER ACCTS - SUPPLIES/EXP	BUSINESS FORMS & ACCOUNTING	UTILITY BILL ENVELOPES	\$372.28
E 620-53700-623 PUMPING - SUPPLIES/EXPENSES	CTW CORPORATION	GREASE	\$32.25
E 620-53700-654 MAINTENANCE OF HYDRANTS	HD SUPPLY WATERWORKS, LTD	HYDRANT PARTS	\$647.37
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	HOME DEPOT	RETURN/PLUMBING PARTS	-\$11.25
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	HOME DEPOT	PLUMBING PARTS/WELL 3	\$23.42
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	HOME DEPOT	PLUMBING PARTS/WELL 3	\$283.61
E 620-53700-921 OFFICE SUPPLIES & EXPENSES	OFFICEMAX	PRINTER	\$89.94
E 620-53700-921 OFFICE SUPPLIES & EXPENSES	OFFICEMAX	INK CARTRIDGES	\$61.33
E 620-53700-923 OUTSIDE SERVICES	RUEKERT & MIELKE	JAN-FEB ENGINEERING	\$170.57
E 620-53700-653 MAINTENANCE OF METERS	RUNDLE-SPENCE MFG CO	METER HORN	\$77.22
E 620-53700-933 TRANSPORTATION EXPENSES	SAFRO FORD OF OCONOMOWOC	BRAKES PADS	\$63.96
E 620-53700-605 MAINTENANCE-WATER SOURCE PLANT	U.S. CELLULAR	LAPTOP CARD	\$39.99
E 620-53700-923 OUTSIDE SERVICES	WI STATE LABORATORY OF HYGIENE	MAR LAB SERVICES	\$20.00
EXPENSE Descr WATER UTILITY			\$9,385.92
			\$223,013.21

**VILLAGE OF HARTLAND
LICENSES AND PERMITS
APRIL 27, 2015**

Bartender (Operator's) License – expires June 30, 2016

The Police Chief recommends approval. The Village Clerk recommends approval. Applicant has successfully completed the Responsible Beverage Servers Course.

Allison Schweinert
Harold Berg

Temporary Class "B" / "Class B" Retailers Licenses

Applicant: Flanagan-Dorn American Legion Post
Location: Nixon Park Concession Stand
Dates: June 18, 24, July 1, 2, 9, 15 – 19

Restricted Species

Applicant: Chris & Rebecca Franson
Address: 842 Wexford Ct.
Animal(s): 3 Speckled Sussex chicken hens

**VILLAGE OF HARTLAND
APPLICATION FOR RESTRICTED SPECIES PERMIT**

FEE: \$25

DATE: 4-21-15

RECEIPT NO. _____

Application is being made under Sec. 14-8, Keeping of Animals; Permit, Hartland Municipal Code to keep one or more of a restricted species of animal, as defined in Ordinance #445

Applicant: Chris & Rebecca Franson
Address: 842 Wexford Ct. Phone Number: 414 232 8836
FAX No: _____ E-mail: cbrea1@yahoo.com
Lot Size: .25 acres Zoning of Property: residential

Neighboring Property: List of names and addresses of all property owners adjacent to you. State distance between your shared lot line and neighbors home.

<u>Greg Bomberg</u>	<u>838 Wexford Ct.</u>	<u>40 feet</u>
Name & Address		Distance
<u>Khamp Manikham</u>	<u>846 Wexford Ct.</u>	<u>30 feet</u>
Name & Address		Distance
<u>Daniel Shulte</u>	<u>846 Crescent Lane</u>	<u>50 feet</u>
Name & Address		Distance

Describe animal(s) to be covered by this application, listing species and number of animals:

Speckled Sussex Chicken hens 3
Species Number of Animals

Explain where the animal(s) will be kept on the property (home, barn, yard, pen, etc.) Also explain if animal(s) will be permitted to roam freely within the confines of your yard.

Hens will be confined to a coop in the backyard and not allowed to roam.

Explain if animal(s) are to be kept as pets, or are to be raised for selling purposes.

They will be kept as pets

Date: 4/21/15 Applicant's Signature: [Signature]

Request for Permission to Raise Chickens

842 Wexford Court Hartland

As owners of the property at 842 Wexford Court in the Village of Hartland and as tax payers of the Village, we submit a request to raise chickens at our residence. We submit to have three hens and no roosters at our property. We have included a plan and map on where we intend to raise and keep the hens. Currently there is a garden shed in this proposed area that has been there for over 20 years. This shed predates our ownership of the house. We plan to use a portion of this and also include an small outdoor run. We plan to add a small privacy fencing behind the shed so that the neighbors will not be bothered in any way.

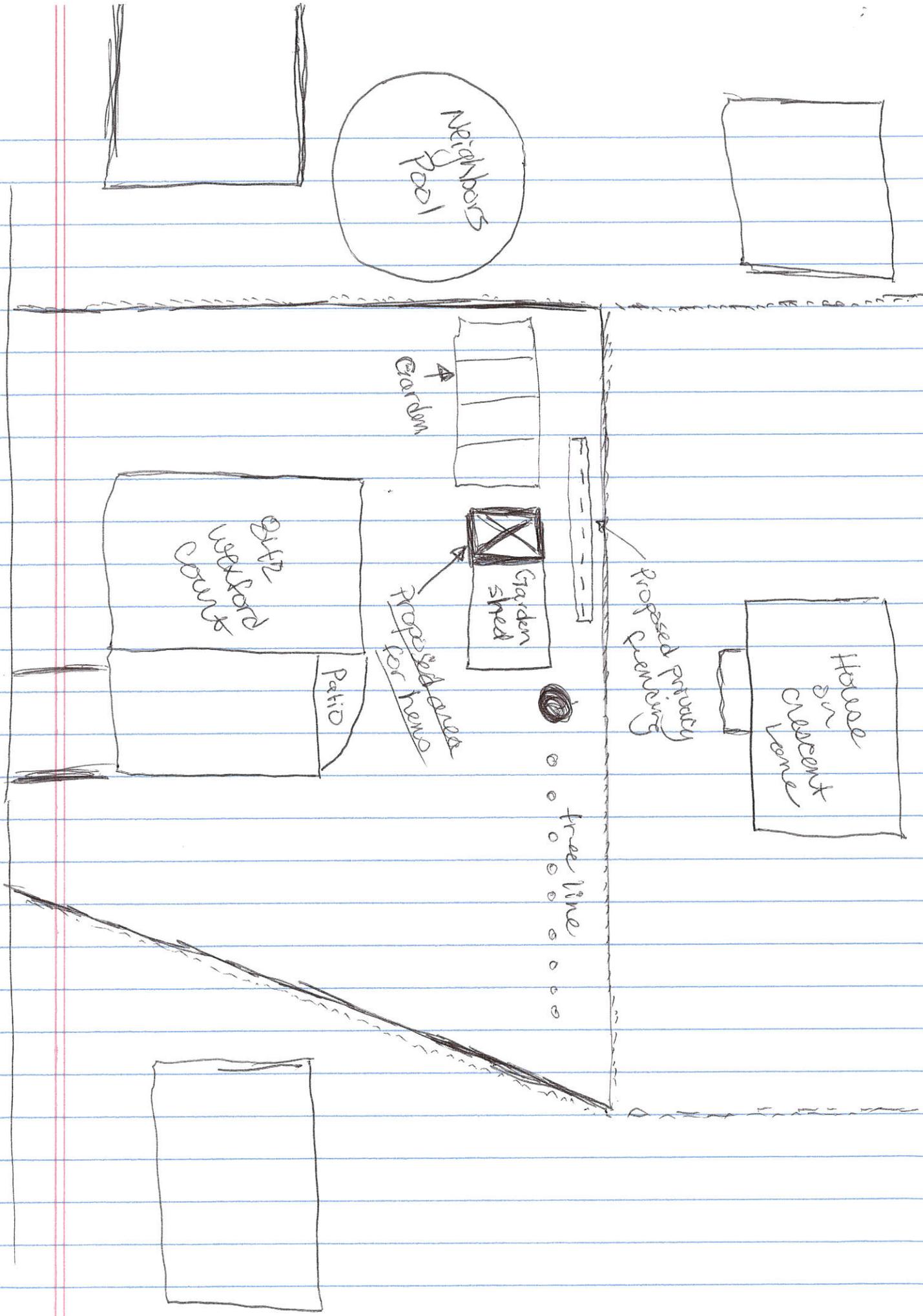
We have no other pets or animals on our property nor do we intend to have any in the future. We believe in having the upmost respect for our neighbor's privacy. We believe that these hens will be good not only for our health, but also the environment. We plan to use any byproducts to help grow vegetables in our established garden area.

Several creditable sources recommend an area of 3 square feet per hen. The area we propose will be no larger than 6 feet wide by 8 feet long or 48 square feet. This is easily enough room for three hens to comfortably live and yet it will take up less space than most backyard swing sets. We do not plan to allow the chickens to free range or go outside of the proposed area.

Thank you for your consideration.

Chris and Rebecca Franson

Wexford Court



Neighbors Pool

Garden

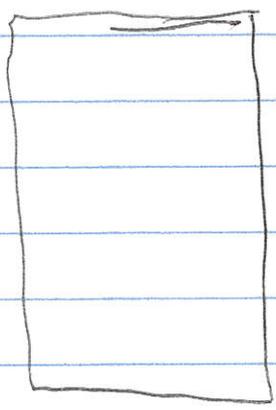
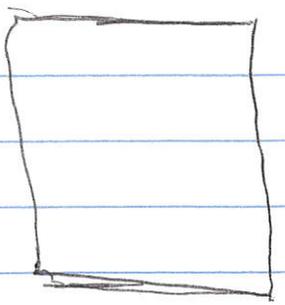
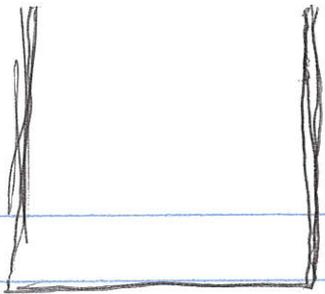
Garden shed

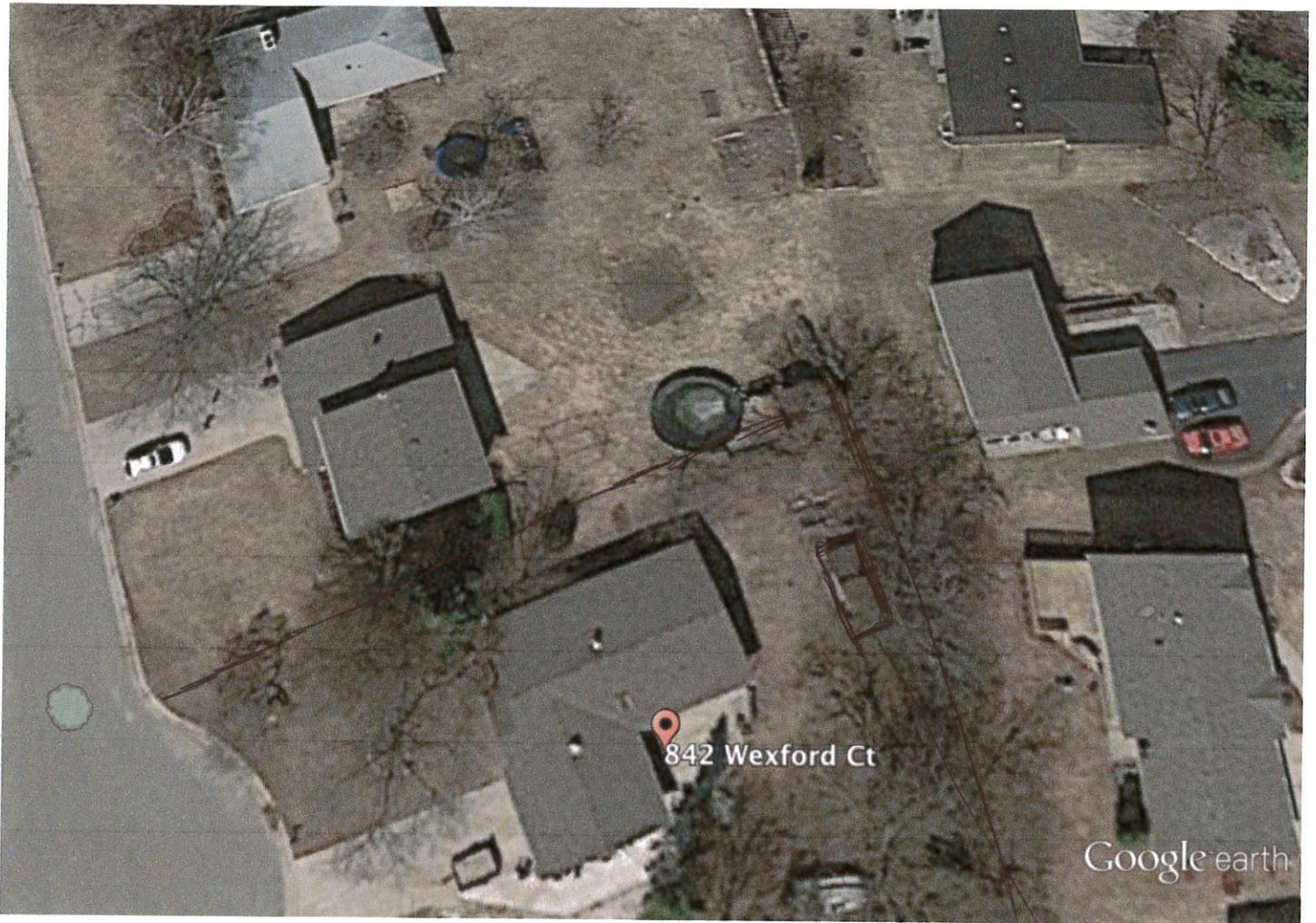
Proposed area for plants

Proposed privacy screening

tree line

House on adjacent corner





Google earth



Existing
Garden shed





Wisconsin Department of Agriculture, Trade and Consumer Protection
 Livestock Premises Registration (c/o WLIC)
 135 Enterprise Dr., Ste. 1D
 Verona, WI 53593-0202
 Fax: 608-848-4702

If Registered Enter
Acct #
Premises Code

Livestock Premises Registry Application

(S. 95.51, Wis. Stats. and ch. ATCP 17, Wis. Adm. Code)

Please return completed form to the address listed above.

A. Registrant information If registrant is a business, provide the legal name of that business.

Name of individual (first name, middle initial, last name) * OR legal name of business (or other legal entity) *		Registrant phone*	
Chris E Francon		(414) 232 8837	
All trade or other names*, if any (d/b/a or "doing business as")		County*	
		Waushara	
Mailing address*	City/Village/Town*	State*	Zip code*
812 Wexford Ct.	Hartland	WI	53029
Registrant type: check one			
<input checked="" type="checkbox"/> Individual (includes a pet owner or 'hobby farm')	<input type="checkbox"/> Corporation	<input type="checkbox"/> Partnership	<input type="checkbox"/> Cooperative
<input type="checkbox"/> State or local government entity	<input type="checkbox"/> Tribal entity	<input type="checkbox"/> Trust	<input type="checkbox"/> Estate
		<input type="checkbox"/> Limited Liability Company (LLC)	<input type="checkbox"/> Limited Liability Partnership (LLP)

B. Contact information List the name of the Primary Contact for the premises. 'Primary contact' is the individual who best knows about livestock movement on and off or between the premises locations being registered and can be contacted if there is an animal disease emergency. Check applicable box for each phone number type. If contact does not have a phone number, see instruction sheet.

Primary contact name and phone number * - Fill in below.

First Name	Middle Initial	Last Name
Chris Francon	E	Francon
Primary contact phone <input type="checkbox"/> Home <input type="checkbox"/> Business <input checked="" type="checkbox"/> Cell <input type="checkbox"/> Pager	Backup Phone <input type="checkbox"/> Home <input type="checkbox"/> Business <input type="checkbox"/> Cell <input type="checkbox"/> Pager	
(414) 232 8837	()	

Alternate contact name and phone number - Fill in below (OPTIONAL).

First Name	Middle Initial	Last Name
Rebecca	E	Francon
Alternate contact phone <input type="checkbox"/> Home <input type="checkbox"/> Business <input checked="" type="checkbox"/> Cell <input type="checkbox"/> Pager	Backup Phone <input type="checkbox"/> Home <input type="checkbox"/> Business <input type="checkbox"/> Cell <input type="checkbox"/> Pager	
(414) 232 8836	()	

C. Address of primary premises location* If the primary location does not have an address, see instruction sheet.

Description of location (Examples: "milking barn" or "pasture")

Shed at rear of property

Premises Address: Check here if same as mailing address in Section A and skip to Section D

City/Village/Town	State	Zip code	County
	WI		
OPTIONAL	Township number (1 - 53N)	Range number (20W - 30E)	Section number (1-36)
			1/4 Section
	Geographic coordinates		1/4 Section
	West (Longitude) (must be between 86.000 and 94.000)		North (Latitude) (must be between 42.000 and 48.000)

D. Livestock premises type* Check ONE that best applies. If your premises has more than one type of operation, see instruction sheet.

<input checked="" type="checkbox"/> Farm or production unit (Includes hobby farm)	<input type="checkbox"/> Livestock exhibition	<input type="checkbox"/> Clinic	<input type="checkbox"/> Market or livestock collection point	<input type="checkbox"/> Rendering or carcass collection point
<input type="checkbox"/> Slaughter establishment	<input type="checkbox"/> Tagging site	<input type="checkbox"/> Laboratory	<input type="checkbox"/> Quarantine facility	<input type="checkbox"/> Non-producer participant (See instruction sheet for definition and examples)

All information with an asterisk (*) is required under s. 95.51, Wis. Stats. and s. ATCP 17.02, Wis. Adm. Code., unless otherwise specified.

Continued on next page

E. Types of livestock or livestock carcasses on premises and any secondary locations* Check ALL that apply.

Bovine – please specify:

Beef Cattle

Dairy Cattle

Bison

Camelids (includes llamas and alpacas)

Captive cervids (includes deer, elk, moose, caribou, reindeer, and the subfamily musk deer)

Equine (includes horses, mules and donkeys)

Fish (includes all fish kept at a fish farm that requires registration under s. ATCP 10.61)

Goats

Poultry (includes domesticated fowl like chickens, turkeys, geese, ducks, guinea fowl, squab, ratites like rheas, ostriches, emus, cassowaries, kiwi, and captive game birds like pheasants, quail, wild turkeys, migratory wildfowl, pigeons, and exotic birds raised for hunting, which are raised in captivity)

Sheep

Swine

F. Secondary locations (if applicable)* If your premises has more than one location (but the same contact individual), you may list up to three secondary locations here. (Example: a dairy farm may list its heifer and dry cow facilities below as two secondary locations because they are at separate geographical locations, yet the contact individual is the same for all locations AND livestock are commingled.) Additional premises need to be registered separately (see instruction sheet).

Description of location (Example: "dry cow facility -- 3 miles west of main premises")

Address	City/Village/Town	State WI	Zip code	County
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Description of location (Example: "heifer facility -- 5 miles southeast of main premises")

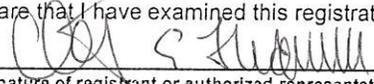
Address	City/Village/Town	State WI	Zip code	County
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Description of location

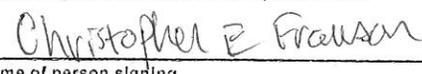
Address	City/Village/Town	State WI	Zip code	County
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G. Signature

I declare that I have examined this registration application, and to the best of my knowledge it is true and correct.


 Signature of registrant or authorized representative

Date 9/21/15


 Print name of person signing

Title of person signing owner
 (Examples: "livestock owner" or "Vice President, XYZ Farms, Inc.")

All information with an asterisk (*) is required under s. 95.51, Wis. Stats. and s. ATCP 17.02, Wis. Adm. Code.

Additional livestock premises registration forms may be obtained by calling (888) 808-1910.



RECEIVED

APR 03 2015

Village of Hartland

ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

APPLICATION FOR
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description Parking lot expansion			
Proposed Use Parking Lot		No. of Employees	
Project Location 541 S. Industrial Drive , Hartland WI 53029			
Project Name Heraeus Electro-Nite Company, LLC			
Owner Heraeus Electro-Nite Co.		Phone 262-367-4421	
Address 541 S. Industrial Drive		City Hartland	State WI Zip 53029
Engineer/Architect MSI General		Phone 262-367-3661	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX	E-mail John@msigeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: 4/6/15	Date of Meeting: 4/20/15	Return Comments by:
----------------------	--------------------------	---------------------

pd #160282 04/06/12 SK

From: David Cox
Sent: Thursday, April 16, 2015 3:00 PM
To: Darlene Igl
Subject: FW: Heraeus Parking Lot Expansion
Attachments: image001.gif

Darlene,

Did I give this one to you for inclusion with the packet?

Dave

David E. Cox, Village Administrator

262-367-2714

www.villageofhartland.com

[Click here](#) to register for our electronic newsletter *Hartland Happenings*.

What is a Village Administrator? Find out more in this [video from ICMA](#).

From: John Kutz [<mailto:John@msigeneral.com>]
Sent: Monday, April 13, 2015 4:55 PM
To: Amtmann, Ryan
Cc: Aaron Koch, P.E.; Mike Einweck; David Cox; Scott Hussinger; Bert Zenker; Joe Kwiatkowski
Subject: Re: Heraeus Parking Lot Expansion

Ryan,

See my responses below ...

John Kutz
Project Director
MSI General Corp.
(m) 920.650.5032
(e) john@msigeneral.com

Sent from my iPhone

On Apr 13, 2015, at 4:41 PM, Amtmann, Ryan <RAmtmann@ruekert-mielke.com> wrote:

Aaron/John,
Village Staff met this morning to review Plan Commission agenda items for 4/20.

We received the SWMP dated March 31, 2015 along with 3 plans sheets dated 4/24/2014 and one dated 4/2/2014.

It is unclear to us if you are proposing to fully build out the parking lot, with the installation of a retaining wall and removal/replacement of trees or a partial parking lot build out.

Partial buildout ... The one plan sheet showing a full buildout was submitted in error and I discussed this with Mike and Scott when I resubmitted the correct C104 page. We are not removing trees or installing a retaining wall

Also, there was a previous storm water management plan that was developed for the building expansion. Can you please provide a brief narrative description of the following:

-Did the previous storm water management plan include the areas for the partial or full parking lot build out?
No it did not

-If not, does the current facility have quantity/quality capacity to handle the expanded parking lot?
Yes it does. I submitted a new storm water management plan from pinnacle engineering that was based on the expansion

-Are you intending for the updated storm water management plan as well as an updated maintenance agreement to replace the prior plan, with the updated maintenance agreement to be recorded at the County?

Yes

-Has the prior project been closed out? Has the prior build pond been as built surveyed and certified to be functioning as intended?

Not yet

-Are the proposed islands going to be landscaped?

Yes, they will match the landscape plan for the original island

-Will the parking lot inlet be able to handle the additional parking lot and offsite drainage?

Yes

The previous design had a swale to the west of the parking lot to route the storm water to the pond, right?

Correct, the new proposed plan would sheet drain everything to the south to the pond.

If you can please respond to these items we would appreciate it.

Thanks.

Ryan

Ryan T. Amtmann, P.E. (WI, IL)
Vice President

Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Parkway
Waukesha, WI 53188
(262) 542-5733
(262) 953-3002 (direct)
(414) 840-3296 (cell)
www.ruekertmielke.com

David Cox

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Ryan T. Amtmann, P.E. (WI, IL)

Vice President

Ruekert & Mielke, Inc.

W233 N2080 Ridgeview Parkway

Waukesha, WI 53188

(262) 542-5733

(262) 953-3002 (direct)

(414) 840-3296 (cell)

www.ruekertmielke.com



Project Name

Heraeus Electro-Nite Co., LLC

Office & Lab Expansion

Project Address

541 South Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION
 P.O. BOX 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX: 262.367.2764

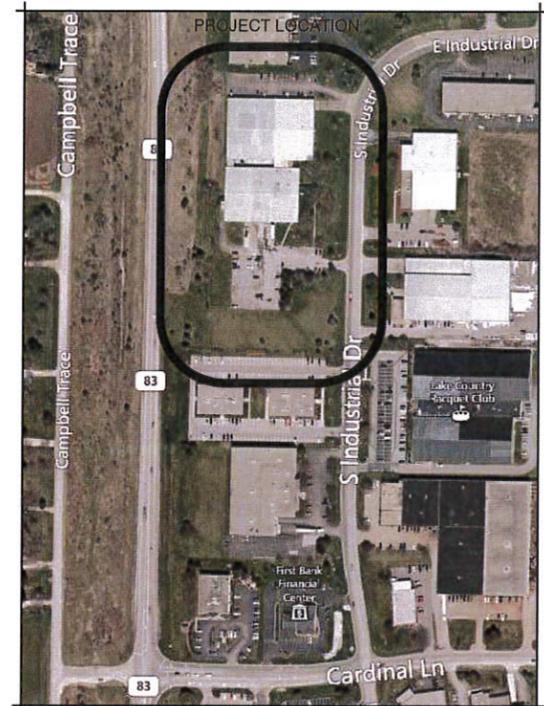
ESTIMATING DEPARTMENT
 262.367.3662

WWW.MSIGENERAL.COM

SINGLE SOURCE RESPONSIBILITY™

Project Data

Building	Building Area
	Grade Plan - 0
	Number of Stories - One
	Egress Width
	Required - 60"
	Provided - 286"
	Construction Type - IIB
	Building Classification - B
	Number of Stories - One
	Multiple Occupancies - F2
	Separated Uses - N/A
	Non-separated Uses - Yes
	Allowable Area
	Fire Protection - Fully Sprinklered
	Exterior Wall Openings Permitted - Yes
	Sanitary Facility Requirements
	Men Required
	Water Closet - 3
	Urinal - 2
	Lavatory - 3
	Men Provided
	Water Closet - 4
	Urinal - 2
	Lavatory - 4
	Women Required
	Water Closet - 5
	Lavatory - 3
	Women Provided
	Water Closet - 5
	Lavatory - 3



Architects Seal

Engineers Seal



SITE DATA	
SITE AREA	211,244 SF 6.36 AC.
EXISTING BUILDING	68,062 SF
PROPOSED BUILDING	19,132 SF
TOTAL BLDG. FOOTPRINT	87,194 SF
FLOOR AREA RATIO	31%
BUILDING HT. ALLOWED	45'-0"
BUILDING HT. DESIGNED	24'-0"
GREEN SPACE AREA	116,222 SF
GREEN SPACE RATIO	41%
GREEN SPACE REQ.	46%
IMPERVIOUS SURFACE	13,228 SF
SETBACKS	
FRONT/STREET YARD	30'
REAR YARD	25'
SIDE YARD	TOTAL 30' MIN. (2) SIDES 10' (1) SIDE
PARKING TOTAL	
	155
ZONING	
	M-1
MAJOR OCCUPANCY	
	F-1
ADDITIONAL OCCUPANCY	
	D

SHEET INDEX	
	REVISIONS
0001	COVER SHEET
C-001	PLAN OF SURVEY
C-101	SITE PLAN
C-102	PAVING & EROSION CONTROL PLAN
C-103	UTILITY PLAN
C-104	PAVING PLAN
C-105	LANDSCAPE PLAN
C-105A	LANDSCAPE NOTES
C-201	SITE DETAILS
S-101	FOUNDATION PLAN
S-101-1	FOUNDATION DIMENSIONS PLAN
S-102	DIMENSIONS - MEZZANINE FRAMING PLAN
S-103	ROOF FRAMING PLAN
S-201	STRUCTURAL NOTES
S-202	NOTES/SCHEDULES
S-203	FOUNDATION DETAILS
S-204	CONCRETE DETAILS
S-205	MASONRY DETAILS
S-206	ROOF FRAMING DETAILS
A-001	DEMO FLOOR PLAN
A-101	FLOOR PLAN
A-101-1	DIMENSIONED FLOOR PLAN
A-101-2	CEILING PLAN
A-101-3	FLOOR FINISH PLAN
A-101-4	FURNACE PLAN
A-102	MEZZANINE & CLOSETORY WINDOW PLAN
A-104	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	INTERIOR ELEVATIONS
A-301	SECTIONS
A-302	SECTIONS
A-303	SECTIONS
A-304	SECTIONS
A-305	SECTIONS
A-306	SECTIONS
A-307	SECTIONS
A-308	SECTIONS
A-309	SECTIONS
A-310	SECTIONS
A-311	SECTIONS
A-312	SECTIONS
A-313	SECTIONS
A-501	DETAILS
A-502	DETAILS
A-503	ADA DETAILS
A-504	RCR DETAILS
A-505	INTERIOR DETAILS
A-601	ROOM FINISH & LOGIC SCHEDULES
A-602	DOOR/MATERIAL SCHEDULE

REVISIONS:	
1	6-17-2014 COLUMNS, BEAMS.
2	7-8-2014 PLANS REVISIONS.
3	7-22-2014 DOOR REVISIONS.
4	8-1-2014 FURNACE AREA REV.
5	9-9-2014 PLAN REVISIONS.
6	10-17-2014 OWNER CHANGES.
7	11-17-2014 FINISH UPDATES.
8	11-21-2014 FINISH UPDATES.
9	12-16-2014 LOBBY BULKHEAD.
10	1-19-15 OWNER CHANGES.
11	1-22-15 OWNER CHANGES.
12	2-13-15 OWNER CHANGES.
13	3-24-15 OWNER SITE CHANGES.
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PROJECT ADDRESS:
 PROJECT NAME:
 Heraeus Electro-Nite Co., LLC
 PROJECT ADDRESS:
 541 S. Industrial Dr.
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 4-24-2014 Drawn By: B. Zenker
 Sheet Title: COVER SHEET
 Sheet Number: G-001
 Project Number: P11032
 4366

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
 P.O. BOX 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX: 262.367.2764
 ESTIMATING DEPARTMENT
 262.367.3662
 WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

- REVISIONS:
- 1 6-17-2014 COLUMNS, BEAMS.
 - 2 7-8-2014 PLANS REVISIONS.
 - 3 7-22-2014 DOOR REVISIONS.
 - 4 8-1-2014 FURNACE AREA REV.
 - 5 9-9-2014 PLAN REVISIONS.
 - 6 10-17-2014 OWNER CHANGES.
 - 7 11-17-2014 FINISH UPDATES.
 - 8 11-21-2014 FINISH UPDATES.
 - 9 12-16-2014 LOBBY BULKHEAD.
 - 10 1-19-15 OWNER CHANGES.
 - 11 1-22-15 OWNER CHANGES.
 - 12 2-13-15 OWNER CHANGES.
 - 13 3-24-15 OWNER SITE CHANGES.

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- 7-1-14 FURNACE AREA REVISION.
- 6-2-14 SUBMIT PLANS TO STATE.
- 4-28-14 PLAN COMMISSION.

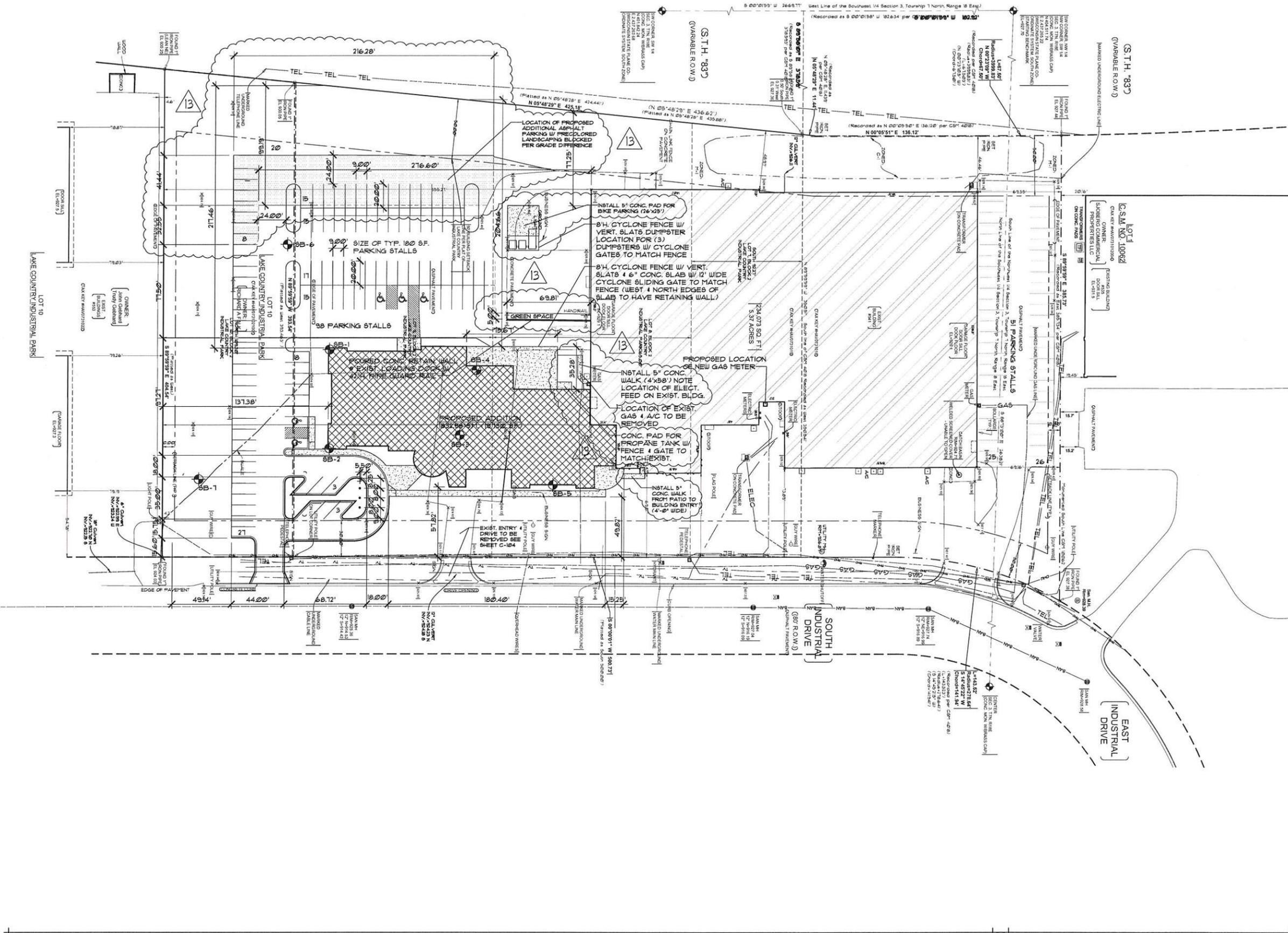


PROJECT ADDRESS:

PROJECT NAME:
 Heraeus Electro-Nite Co., LLC
 541 S. Industrial Dr.
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 4-24-2014 Drawn By: B. Zenker
 Sheet Title: SITE PLAN
 Sheet Number: C-101
 Project Number: 4366 P11032



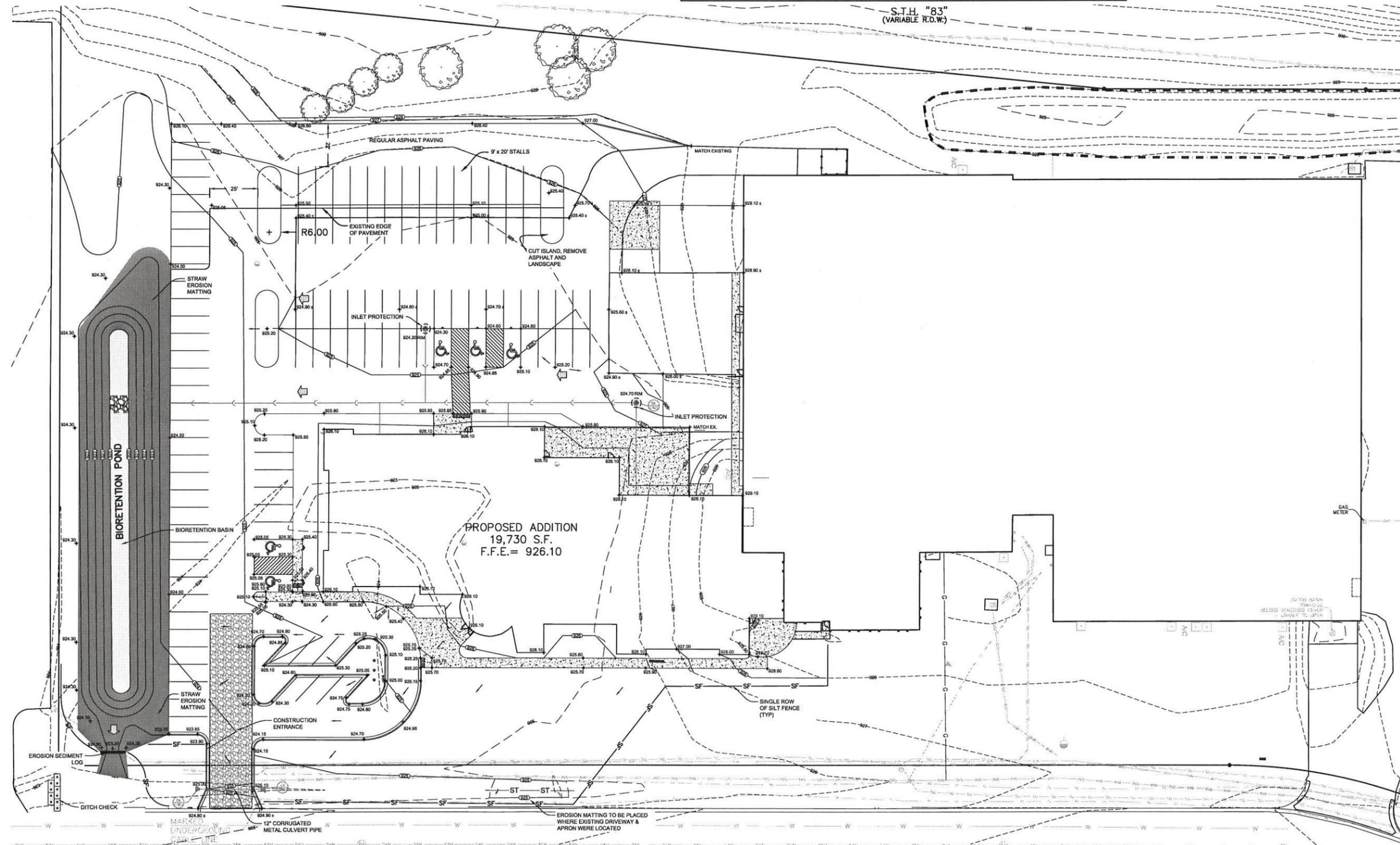
SITE PLAN 1" = 20'-0"

PARKING SUMMARY
TOTAL STALLS: 123
REGULAR STALLS: 118
REQUIRED ADA STALLS: 5
PROVIDED ADA STALLS: 5

LOT AREAS SUMMARY
BUILDING AREA: 90,075 S.F.
PARKING LOT AREA: 81,890 S.F.
GRASS AREA: 105,340 S.F.
TOTAL AREA: 277,305 S.F.

- ### CONSTRUCTION SITE SEQUENCING
- ALL WORK SHALL BE CONFORMANCE WITH THE DNR WIPES PERMIT AND CITY OF MILWAUKEE EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WITINGS AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
 3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
 6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. IN NO CASES SHALL UNTREATED RUN-OFF BE PUMPED TO THE CANAL. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (40 MSU, TSS).
 7. INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
 8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCHUP AS A RESULT OF REMOVAL.
 11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.

LEGEND	
	STORM SEWER CURB INLET
	CONTOUR
	SPOT ELEVATION
	FINISHED FLOOR
	GROUND
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING



CONTRACTOR SHALL SWEEP VILLAGE STREETS OF SEDIMENT AND CONSTRUCTION DEBRIS AFTER EACH DAY AND AS DIRECTED BY VILLAGE OR ENGINEER.

SOUTH INDUSTRIAL DRIVE (80' R.O.W.)

GRAPHICAL SCALE (FEET)



GRADING & EROSION CONTROL PLAN



MSI GENERAL CORPORATION
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FAX: 262.367.2764
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262.367.3662
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REVISIONS:
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4-28-14 PLAN COMMISSION.



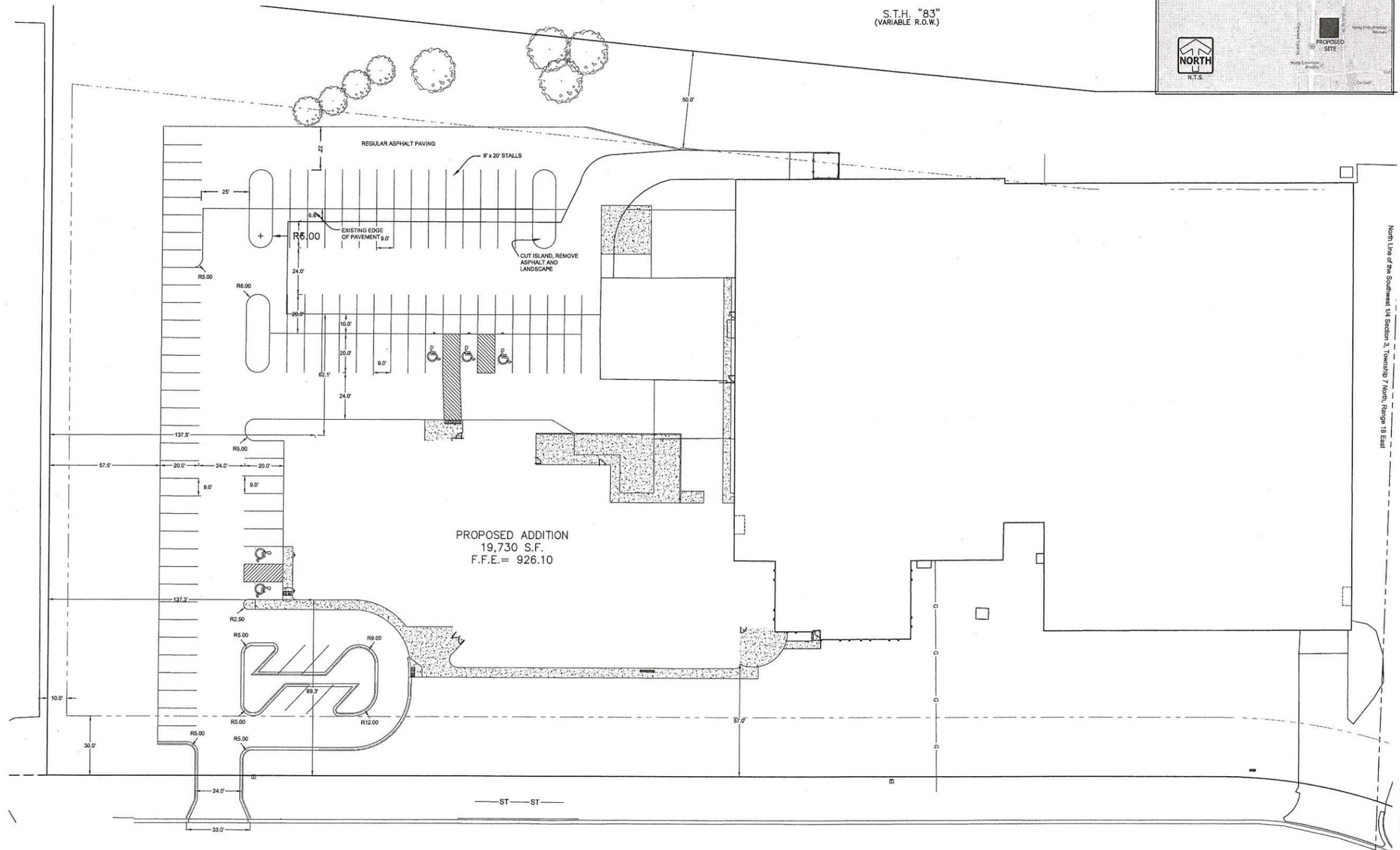
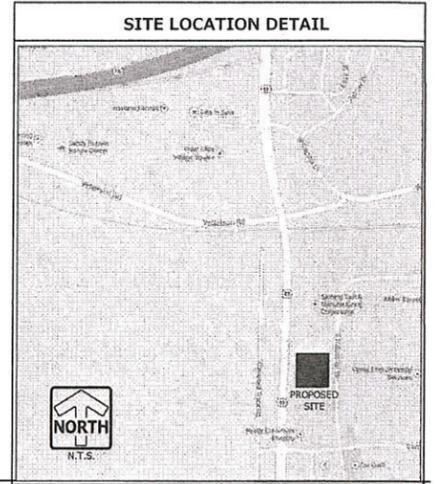
PROJECT ADDRESS:
PROJECT NAME
Heraeus Electro-Nite Co, LLC
STREET ADDRESS
541 S. Industrial Dr.
CITY/STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 04.02.15
Drawn By: PEG
Sheet Title: GRADING & EROSION CONTROL PLAN
Sheet Number: C-102
Project Number: P11032
4366

MANAGERS
ENGINEERS
CONTRACTORS
ARCHITECTS

SITE DATA TABLE	
TOTAL SITE AREA:	6.4 ACRES
TOTAL DISTURBED AREA:	1.9 ACRES
ADDITION ROOF AREA:	19,730 SF
ADDITION HARD SURFACE/PARKING LOT AREA:	38,000 SF
ADDITION OPEN SPACE AREA:	25,000 SF
ADDITION TOTAL PARKING SPACES PROVIDED:	108 SPACES (S.H.C.)



S.T.H. "83"
(VARIABLE R.O.W.)

PROPOSED ADDITION
19,730 S.F.
F.F.E. = 926.10

SOUTH INDUSTRIAL DRIVE
(80' R.O.W.)



PAVING PLAN

REVISIONS:	
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44	6-2-14 SUBMIT PLANS TO STATE
	4-28-14 PLAN COMMISSION.



PROJECT ADDRESS:
PROJECT NAME
Heraeus Electro-Nite Co, LLC
STREET ADDRESS
541 S. Industrial Dr.
CITY/STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04.18.14
Sheet Title: PAVING PLAN
Sheet Number: C-104
Project Number: 4366
Drawn By: PEG
P11032



MSI GENERAL CORPORATION
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MANAGERS

ENGINEERS

CONTRACTORS

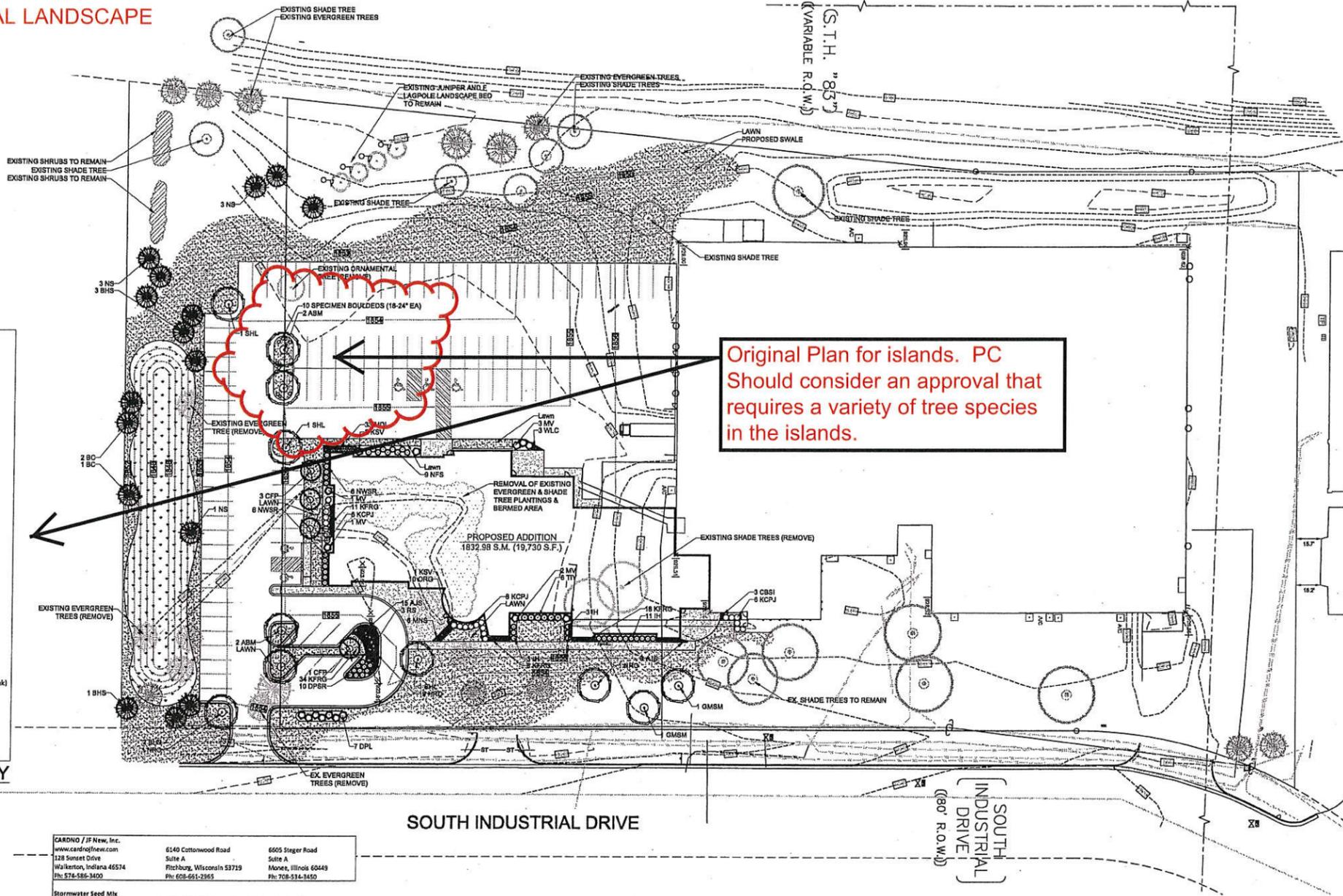
ARCHITECTS



ORIGINAL LANDSCAPE PLANS

- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - GMSM Green Mountain Sugar Maple
 - SHL Skyline Honeylocust
 - NRO Northern Red Oak
 - BC Bald Cypress
- ORNAMENTAL TREES (DECIDUOUS)**
- CFP Chanticleer Flowering Pear
- EVERGREEN TREES**
- NS Norway Spruce
 - BHS Black Hills Spruce
- EVERGREEN SHRUBS**
- KCPJ Kalfay Compact Pfitzer Juniper
 - TY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
 - NWSR Nearly Wild Shrub Rose
 - DPSR Dwarf Pavement Shrub Rose
 - NFS Neon Flash Spirea
 - DPL Palatin Dwarf Ulac
 - KSV Fragrant Koreanspice Viburnum
 - MV Mahlian Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - ORG Overdam Feather Reed Grass
- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
 - MDL Catherine Woodbury Daylily (Soft Pink)
 - MDL Hyperion Daylily (Lemon Yellow)
 - MDL Summer Wine Daylily (Maroon)
 - CBSI Caesar's Brother Siberian Iris
 - WLC Walker's Low Catmint
 - RS Russian Sage
 - MNS May Night Salvia
 - AIS Autumn Joy Sedum

PLANT ABBREVIATION KEY



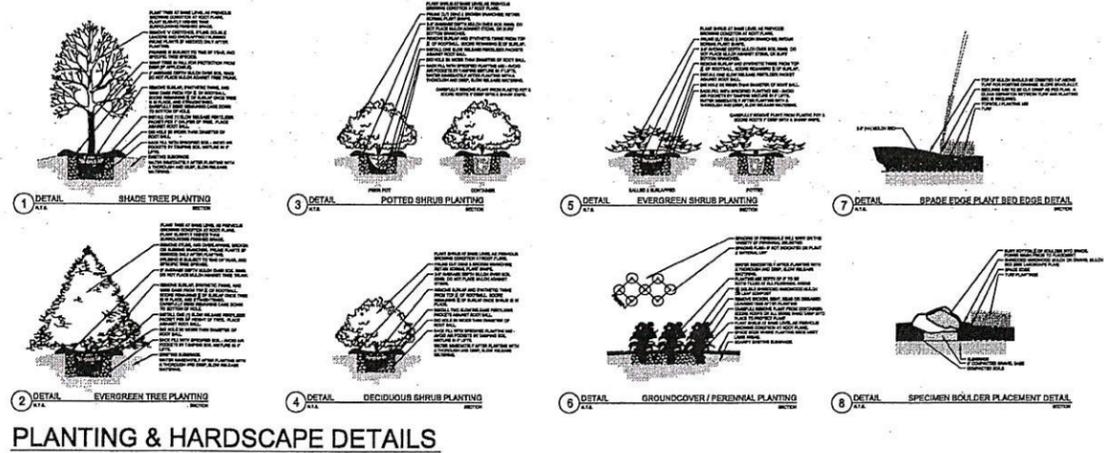
Original Plan for islands. PC Should consider an approval that requires a variety of tree species in the islands.

CARDNO / JF New, Inc. 6140 Cottonwood Road 6605 Steger Road
www.cardnojfn.com Suite A Suite A
128 Sunset Drive Fitchburg, Wisconsin 53719 Monee, Illinois 60449
Wakaraton, Indiana 46574 Ph: 608-661-2965 Ph: 708-534-8450
(H: 574-586-3400)

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Quince/Acft
Permanent Grasses/Sedges/Rushes:			
<i>Carex crinitella</i>	Crested Oval Sedge		1.00
<i>Carex frankii</i>	Blasdy Cattail Sedge		1.00
<i>Carex lasida</i>	Bottlebrush Sedge		2.00
<i>Carex sparganoides v. cephaloides</i>	Rough-Clustered Sedge		2.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge		6.00
<i>Eleocharis acuta</i>	Blunt Spike Rush		0.50
<i>Glymus virginicus</i>	Virginia Wild Rye		32.00
<i>Glyceria striata</i>	Fowl Manca Grass		1.25
<i>Juncus effusus</i>	Common Rush		1.00
<i>Juncus torreyi</i>	Torrey's Rush		0.25
<i>Leersia oryzoides</i>	Rice Cut Grass		1.00
<i>Panicum virgatum</i>	Switch Grass		2.00
<i>Scirpus americanus</i>	Dark Green Rush		1.00
<i>Scirpus cypripedium</i>	Wool Grass		0.50
<i>Scirpus pinnatifidus</i>	River Bulrush		0.25
<i>Scirpus validus</i>	Great Bulrush		6.00
	Total		45.75
Temporary Cover:			
<i>Avena sativa</i>	Common Oat		350.00
<i>Lolium multiflorum</i>	Annual Rye		116.00
	Total		476.00
Forbs:			
<i>Allium spp.</i>	Water Plantain (Various Mix)		4.25
<i>Asclepias incarnata</i>	Swamp Milkweed		1.50
<i>Bidens spp.</i>	Bidens (Various Mix)		2.00
<i>Helenium autumnale</i>	Sneezeweed		3.00
<i>Mimulus rigostris</i>	Monkey Flower		1.00
<i>Pentstemon sedoides</i>	Diach Stonecrop		0.50
<i>Polygonum pennsylvanicum</i>	Pinkweed		4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan		1.00
<i>Sagittaria latifolia</i>	Broad-Leaf Arrowweed		1.00
<i>Senna hebecarpa</i>	Wild Senna		1.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue		2.00
	Total		21.25
Approximate area of coverage:			
Total area (SF) of coverage surrounding SWM ponds:			8,500
Total area (acres) of coverage surrounding SWM ponds:			0.20

STORMWATER SEED MIX



PLANTING & HARDSCAPE DETAILS

OVERALL LANDSCAPE PLAN

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

One Redwood Court
Racine, Wisconsin 53402
ph 262.639.9733
fx 262.639.9737
david@wdavidheller.com



MSI GENERAL CORPORATION
P.O. BOX. 7
OCOMOWOC, WI 53066
262.367.3661
FAX: 262.367.2764

ESTIMATING DEPARTMENT
262.367.3662

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4-28-14 PLAN COMMISSION.

PROJECT ADDRESS:

PROJECT NAME
Hartland Industrial Building
STREET ADDRESS
541 S. Industrial Dr.
CITY/STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04.24.14 Drawn By: WDH
Sheet Title: LANDSCAPE PLAN
Sheet Number: C-105
Project Number: P11032
4366



RECEIVED

APR 03 2015

Village of Hartland

ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**APPLICATION FOR
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description +- 13,400 SQ/FT AUTO SERVICE, AUTO DETAIL & CAR WASH ADDITION			
Proposed Use Auto repair, auto detailing & car wash services.		No. of Employees 16	
Project Location 400 East Industrial Drive			
Project Name Hartland Service Car Wash & Detail Building		Hartland Service Retail Building	
Owner Michael and Deborah Kusch		Phone	
Address N65 W30981 Beaver Lake Road		City Hartland	State WI Zip 53029
Engineer/Architect MSI General (Pete Anderson)		Phone 262-563-5337	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX 262-719-2957	E-mail john@msgeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

From: David Cox
Sent: Thursday, April 16, 2015 2:50 PM
To: Darlene Igl
Subject: FW: Hartland Service Center

And possibly this e-mail as well.

Thanks,

Dave

David E. Cox, Village Administrator

262-367-2714

www.villageofhartland.com

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[What is a Village Administrator? Find out more in this video from ICMA.](#)

From: Amtmann, Ryan [<mailto:RAmtmann@ruekert-mielke.com>]

Sent: Monday, April 13, 2015 5:03 PM

To: Aaron Koch, P.E.; John Kutz

Cc: David Cox; Scott Hussinger; Mike Einweck

Subject: Hartland Service Center

Aaron/John,

Village staff met this morning to review the Hartland Service Center plan submittal in preparation for the 4/20 Plan Commission meeting.

The following comments will allow for you to be prepared for the Plan Commission meeting and to complete final plans for approval:

1. A storm water management plan was not submitted. The plan needs to address both storm water quantity and quality. There was a maintenance agreement submitted, this was not reviewed at this time.
2. A tree survey is required. Are there any trees with a 3" caliper or greater in the delineated wood line along the north side of the property that will be disturbed, if so include in the tree survey.
3. Show the removal of 2 driveway aprons along Cottonwood Avenue and provide details for the replacement with Village standard curb and gutter.
4. Sheet C-102, update reference to the construction sequence from Milwaukee/canal to Hartland.
5. Village staff have a preference for the landscaped areas on the north and north east (berm) sides of the parcel to be permanently stabilized and landscaped with trees right away during phase one. The Conditional Use will require that the landscaping be completed prior to occupancy and operation of the new facility. Locating the construction entrance off of Industrial Drive is preferable because:
 - a. The Village will have construction occurring in Cottonwood Avenue during the summer.
 - b. Construction traffic should be routed along Industrial to STH 83.
 - c. Will allow the construction of the berm during the front stage of the project.
 - d. Will provide for screening during construction for residents to the east.
6. Inlet protection should be Type D. Show additional inlets with inlet protection downstream from the site.
7. Show catch basin detail.
8. Does a 15" outlet pipe allow for the proper detention on site?

9. Do the storm pipes on site have acceptable depth of cover over the pipe? Should a rigid material be used for the pipe?
10. Show parking lot, stall, lane dimensions.
11. Differentiate between tree removals and installs on the landscape plan.
12. Minimum caliper for new trees is 2".
13. Village Storm water permit and erosion control permit is required.
14. Village Tree protection permit is required.
15. Village Curb cut/right-of-way permit is required.

If you have any questions please feel free to call me.

Ryan

Ryan T. Amtmann, P.E. (WI, IL)

Vice President

Ruekert & Mielke, Inc.

W233 N2080 Ridgeview Parkway

Waukesha, WI 53188

(262) 542-5733

(262) 953-3002 (direct)

(414) 840-3296 (cell)

www.ruekertmielke.com



From: David Cox
Sent: Thursday, April 16, 2015 2:49 PM
To: Darlene Igl
Subject: FW: Hartland Service Center
Attachments: image001.gif

Darlene,

Please plan to include this e-mail string in the packet for the PC tomorrow.

Dave

David E. Cox, Village Administrator
262-367-2714

www.villageofhartland.com

[Click here](#) to register for our electronic newsletter *Hartland Happenings*.

What is a Village Administrator? Find out more in this [video from ICMA](#).

From: John Kutz [<mailto:John@msigeneral.com>]
Sent: Thursday, April 16, 2015 11:23 AM
To: Amtmann, Ryan
Cc: Aaron Koch, P.E.; David Cox; Scott Hussinger; Mike Einweck; Ken Krahe; Pete Anderson; Mike Kusch
Subject: Re: Hartland Service Center

Ryan,

We have adjusted our plans per the comments below. We would like to discuss further the request to not have construction access off of Cottonwood. The intention was to leave the current detail building in operation as long as possible on the northwest side. Should we have to bring all construction traffic in from Industrial only from the beginning this would mean a loss of that portion of business for Mike Kusch for the duration of the project. We would like to discuss that particular request further to see if a better solution that satisfies the Village and allows the detail service building to remain operational can be found.

Thank you,
John

John Kutz
Project Director
MSI General Corp.
(m) 920.650.5032
(e) john@msigeneral.com

Sent from my iPhone

On Apr 13, 2015, at 5:03 PM, Amtmann, Ryan <RAmtmann@ruekert-mielke.com> wrote:

Aaron/John,
Village staff met this morning to review the Hartland Service Center plan submittal in preparation for the 4/20 Plan Commission meeting.

The following comments will allow for you to be prepared for the Plan Commission meeting and to complete final plans for approval:

1. A storm water management plan was not submitted. The plan needs to address both storm water quantity and quality. There was a maintenance agreement submitted, this was not reviewed at this time.
2. A tree survey is required. Are there any trees with a 3" caliper or greater in the delineated wood line along the north side of the property that will be disturbed, if so include in the tree survey.
3. Show the removal of 2 driveway aprons along Cottonwood Avenue and provide details for the replacement with Village standard curb and gutter.
4. Sheet C-102, update reference to the construction sequence from Milwaukee/canal to Hartland.
5. Village staff have a preference for the landscaped areas on the north and north east (berm) sides of the parcel to be permanently stabilized and landscaped with trees right away during phase one. The Conditional Use will require that the landscaping be completed prior to occupancy and operation of the new facility. Locating the construction entrance off of Industrial Drive is preferable because:
 - a. The Village will have construction occurring in Cottonwood Avenue during the summer.
 - b. Construction traffic should be routed along Industrial to STH 83.
 - c. Will allow the construction of the berm during the front stage of the project.
 - d. Will provide for screening during construction for residents to the east.
6. Inlet protection should be Type D. Show additional inlets with inlet protection downstream from the site.
7. Show catch basin detail.
8. Does a 15" outlet pipe allow for the proper detention on site?
9. Do the storm pipes on site have acceptable depth of cover over the pipe? Should a rigid material be used for the pipe?
10. Show parking lot, stall, lane dimensions.
11. Differentiate between tree removals and installs on the landscape plan.
12. Minimum caliper for new trees is 2".
13. Village Storm water permit and erosion control permit is required.
14. Village Tree protection permit is required.
15. Village Curb cut/right-of-way permit is required.

If you have any questions please feel free to call me.

Ryan

Ryan T. Amtmann, P.E. (WI, IL)

Vice President

Ruekert & Mielke, Inc.
 W233 N2080 Ridgeview Parkway
 Waukesha, WI 53188
 (262) 542-5733
 (262) 953-3002 (direct)
 (414) 840-3296 (cell)
www.ruekertmielke.com



David Cox

From: John Kutz [John@msigeneral.com]
Sent: Thursday, April 16, 2015 11:23 AM
To: Amtmann, Ryan
Cc: Aaron Koch, P.E.; David Cox; Scott Hussinger; Mike Einweck; Ken Krahe; Pete Anderson; Mike Kusch
Subject: Re: Hartland Service Center
Attachments: image001.gif

Ryan,

We have adjusted our plans per the comments below. We would like to discuss further the request to not have construction access off of Cottonwood. The intention was to leave the current detail building in operation as long as possible on the northwest side. Should we have to bring all construction traffic in from Industrial only from the beginning this would mean a loss of that portion of business for Mike Kusch for the duration of the project. We would like to discuss that particular request further to see if a better solution that satisfies the Village and allows the detail service building to remain operational can be found.

Thank you,
John

John Kutz
Project Director
MSI General Corp.
(m) 920.650.5032
) john@msigeneral.com

Sent from my iPhone

On Apr 13, 2015, at 5:03 PM, Amtmann, Ryan <RAmtmann@ruekert-mielke.com> wrote:

Aaron/John,
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Project Name

Hartland Service Addition

Project Address

400 East Industrial Drive

Hartland, WI 53029



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Existing Building Data

Automotive Repair, Carwash & Office Building	
Building Area	10,870 sq/ft
Construction Type Type 6	
(Under Previous Building Code)	
Number of Stories	1
Occupancy Non Separated	
B (Carwash Area)	1,455 sq/ft
S1 (Car Repair Area)	7,110 sq/ft
B (Office)	2,305 sq/ft

Building Addition Data

Automotive Repair, Automotive Detailing, Carwash & Office Addition	
Building Area	13,400 sq/ft
Construction Type IIB	
Number of Stories 1	
Occupancy Non Separated	
B (Carwash area)	4,560 sq/ft
S1 (Car Repair Area)	6,720 sq/ft
B (Office)	2,120 sq/ft
Total Building Area Including Addition	24,270 sq/ft
Allowable Building Area (Table 503 with Frontage Increase)	
Nonseparated use (S1 is most restrictive)	
Allowable Area	30,625 sq/ft
Fire Areas Based on Section 903.2.9.1	
not to exceed	12,000 sq/ft
(Refer to A-101 for locations of fire barriers)	
Total Building Occupant Load	
(This calculation does not include the dedicated carwash area)	
Per IBC 2009 Table 1004.1.1	182
Egress Width	
Required	36.4
Provided	160
Exit access Travel Distance 200'	
Fire Protection None	

Sanitary Facility Requirements

Men (91)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
Women (91)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
One unisex lav. is also provided in the building addition	
Janitor's Sink	
Required	1
Provided	1 Existing
Drinking fountain	
Required	1
Provided	1 Existing

Existing Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Existing Detail Building (To be Demolished)	2,525 S.F.
Existing House (To be Demolished)	850 S.F.
Existing Shed (To be Demolished)	220 S.F.
Existing Hard Surface (Buildings Excluded)	37,985 S.F.
Total Existing Hard Surface (Buildings Included) 52,450 S.F.	
Total Existing Green Space	46,400 S.F.
Existing Green Space Ratio	47%
Existing Parking Stalls	
Standard Parking Stalls	52
Accessible Parking Stalls	3

Proposed Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Proposed Auto Repair Addition	13,400 S.F.
Proposed Building Area Including Addition	24,270 S.F.
Proposed Building Footprint Ratio	25%
Total Hard Surface w/ Proposed Site Improvements & Building Addition 73,110 S.F.	
Total Greenspace w/ Proposed Site Improvements & Building Addition 25,740 S.F.	
Proposed Green Space Ratio 26%	

Parking Requirements	
1 Stall Per Employee	16
1 Stall Per 250 sq/ft of car repair area	
6,450 sq/ft (Does not include circulation or storage areas)	26
Total Stalls Required	42
Existing Parking Stalls to Remain	
Standard Parking Stalls	26
Accessible Parking Stalls	2
Proposed Parking Stalls	
Standard Parking Stalls	18
Total Parking Provided	
Standard Parking Stalls	44
Accessible Parking Stalls	2

Accessibility

Refer to C-101 for location of accessible route & existing accessible parking stalls. Once in the building there is an accessible route to all rooms & we are constructing a new accessible ADA unisex restroom in the building addition serving the primary function area.

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX

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C-001	ARCHITECTURAL DEMOLITION SITE PLAN																											
C-100	CIVIL EXISTING CONDITIONS & DEMOLITION PLAN																											
C-101	SITE PLAN																											
C-102	SITE GRADING & EROSION CONTROL PLAN																											
C-103	SITE UTILITY PLAN																											
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REVISIONS:

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PLAN COMMISSION SET 03.30.15	
PLAN COMMISSION SET 03.03.15	

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

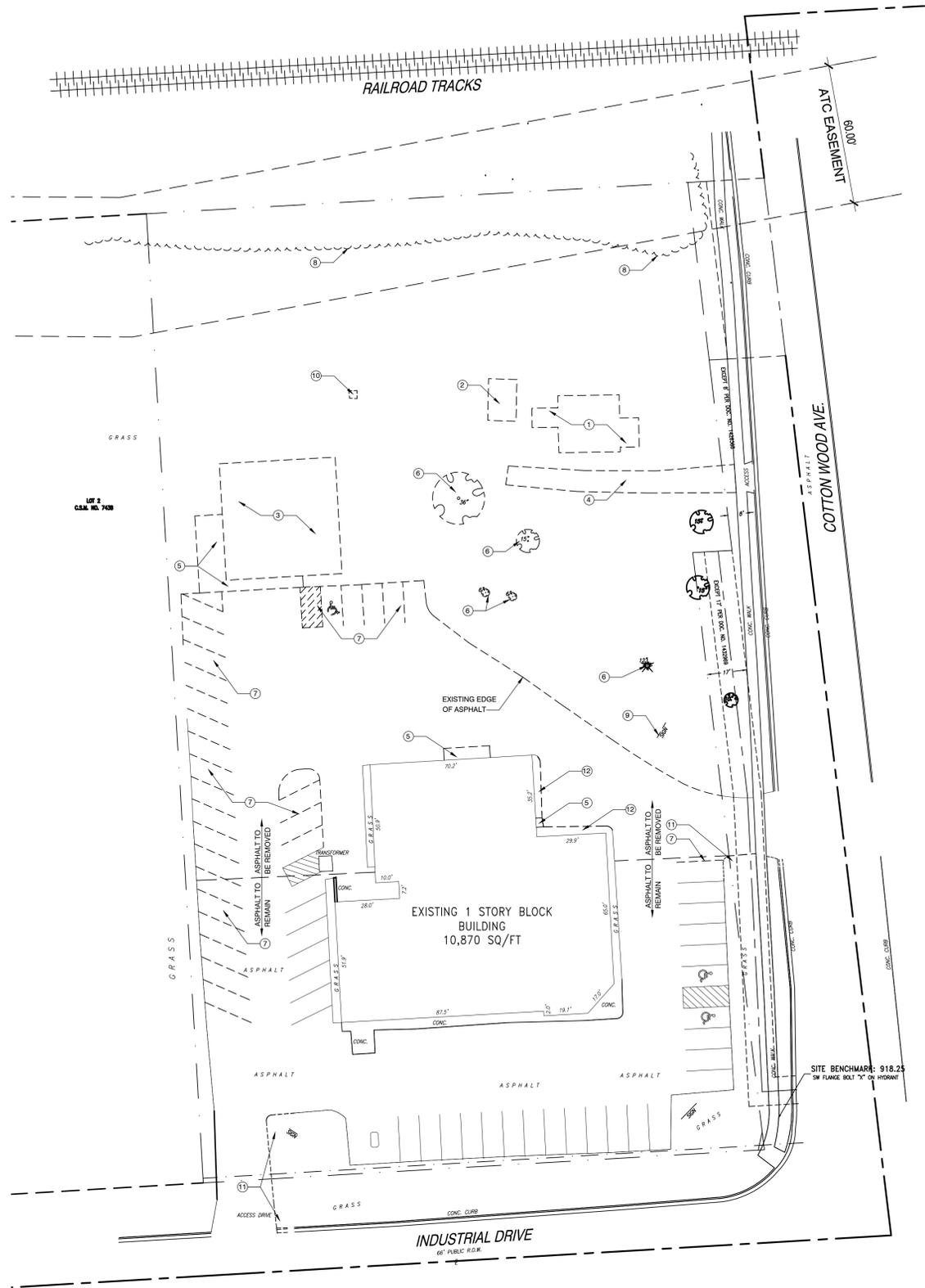
Date: 03.30.15 Drawn By: Pete Anderson
Sheet Title: COVER SHEET
Sheet Number: G-001
Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE DEMOLITION NOTES

- 1 EXISTING HOUSE REMOVED BY OWNER
- 2 EXISTING SHED REMOVED BY OWNER
- 3 COMMERCIAL BUILDING TO BE DEMOLISHED
- 4 EXISTING GRAVEL DRIVE TO BE REMOVED
- 5 EXISTING CONCRETE TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING PARKING STALL STRIPING TO BE REMOVED
- 8 EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- 9 EXISTING MONUMENT SIGN TO BE REMOVED
- 10 EXISTING TRANSFORMER TO BE REMOVED
- 11 WIDEN EXISTING EAST & SOUTH DRIVES BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE - REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH
- 12 EXISTING LANDSCAPING ALONG EXISTING OFFICE TO BE REMOVED



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REFERENCE KEYNOTES

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
(1) 50 LB PRECAST LIVE LOAD(03410) (2) 80 LB PRECAST LIVE LOAD(03410) (3) 100 LB PRECAST LIVE LOAD(03410) (4) 125 LB PRECAST LIVE LOAD(03410) (5) 150 LB PRECAST LIVE LOAD(03410) (6) 200 LB PRECAST LIVE LOAD(03410)	(3-1) CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02050 & 03000) (3-2) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) (3-3) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) (3-4) 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) (3-5) CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03000) (3-6) CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03000)	(4-1) 4" STANDARD CONCRETE MASONRY UNIT(04000) (4-2) 8" STANDARD CONCRETE MASONRY UNIT(04000) (4-3) 12" STANDARD CONCRETE MASONRY UNIT(04000) (4-4) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-5) 8" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-6) 12" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-7) 4" CONCRETE BRICK UNIT(04000) (4-8) 8" CONCRETE BRICK UNIT(04000) (4-9) 12" CONCRETE BRICK UNIT(04000)	(5-1) 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (03000, 05100 & 05000) (5-2) 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (05100, 05200, 05300 & 07000) (5-3) METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(05000) (5-4) CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05000) (5-5) 1 1/2" DIA. METAL RAILING(05000)	(7-1) PERIMETER INSULATION(07000) (7-2) FENITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) (7-3) 5/8" BATT INSULATION ROOF SYSTEM W/ 1 1/2" R20 INSULATION + 3 1/2" R5 INSULATION (07000) (7-4) 24 GAGE CONCEALED FASTENER METAL ROOF PANEL (7-5) 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) (7-6) 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL (7-7) 24 GAGE PREFINISHED METAL LINER PANEL (7-8) 2" VINYL FACED BLANKET INSULATION(07000) (7-9) 4" VINYL FACED BLANKET INSULATION(07000) (7-10) 2" FRICTION FIT INSULATION(07000) (7-11) EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV1)(07240)	(8-1) BRICKSTONE INSULATED LOW E GLASS(08410,08800) (8-2) GREY TONE INSULATED LOW E GLASS(08410,08800) (8-3) CLEAR INSULATED LOW E GLASS(08410,08800) (8-4) BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-5) CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-6) H.M. BOROHOVED LITE	(9-1) SUSPENDED CEILING SYSTEM(09100) (9-2) METAL SOFFIT PANEL
(2-1) 3"1/4" x 1 3/4" ASPHALT OVER 6" STONE BASE(02010,02000) (2-2) 4"1/2" x 1 1/2" ASPHALT OVER 6" STONE BASE(02010,02000) (2-3) 5"3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(02010,02000) (2-4) HANDICAPPED PARKING STALL SIGN	(3-7) CONCRETE REIN. W/ FIBER MESH REINFORCING(03000) (3-8) 1/2" EXPANSION JOINT MATERIAL(03000) (3-9) CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000)	(4-10) 12" PRECAST PLANK(0410) (4-11) 12" PRECAST PLANK(0410) (4-12) 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000) (4-13) 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03000, 03000)	(5-6) 1 1/2" DIA. METAL RAILING(05000)	(7-12) 2" VINYL FACED BLANKET INSULATION(07000) (7-13) 4" VINYL FACED BLANKET INSULATION(07000) (7-14) 2" FRICTION FIT INSULATION(07000) (7-15) EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV1)(07240)	(8-7) PLASTIC LAMINATE WINDOW BOLLARD(08100, 08400, 08400) (8-8) PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(08100, 08400, 08400) (8-9) PLASTIC LAMINATE WALL CABINET(08100, 08400, 08400) (8-10) SHELF AND POLE(08100, 08200)	(9-3) FLAG POLE (9-4) MONUMENT SIGN (9-5) DUMPSTER ENCLOSURE (9-6) ROOF HATCH AND LADDER

SITE DEMOLITION PLAN 1" = 30'-0"

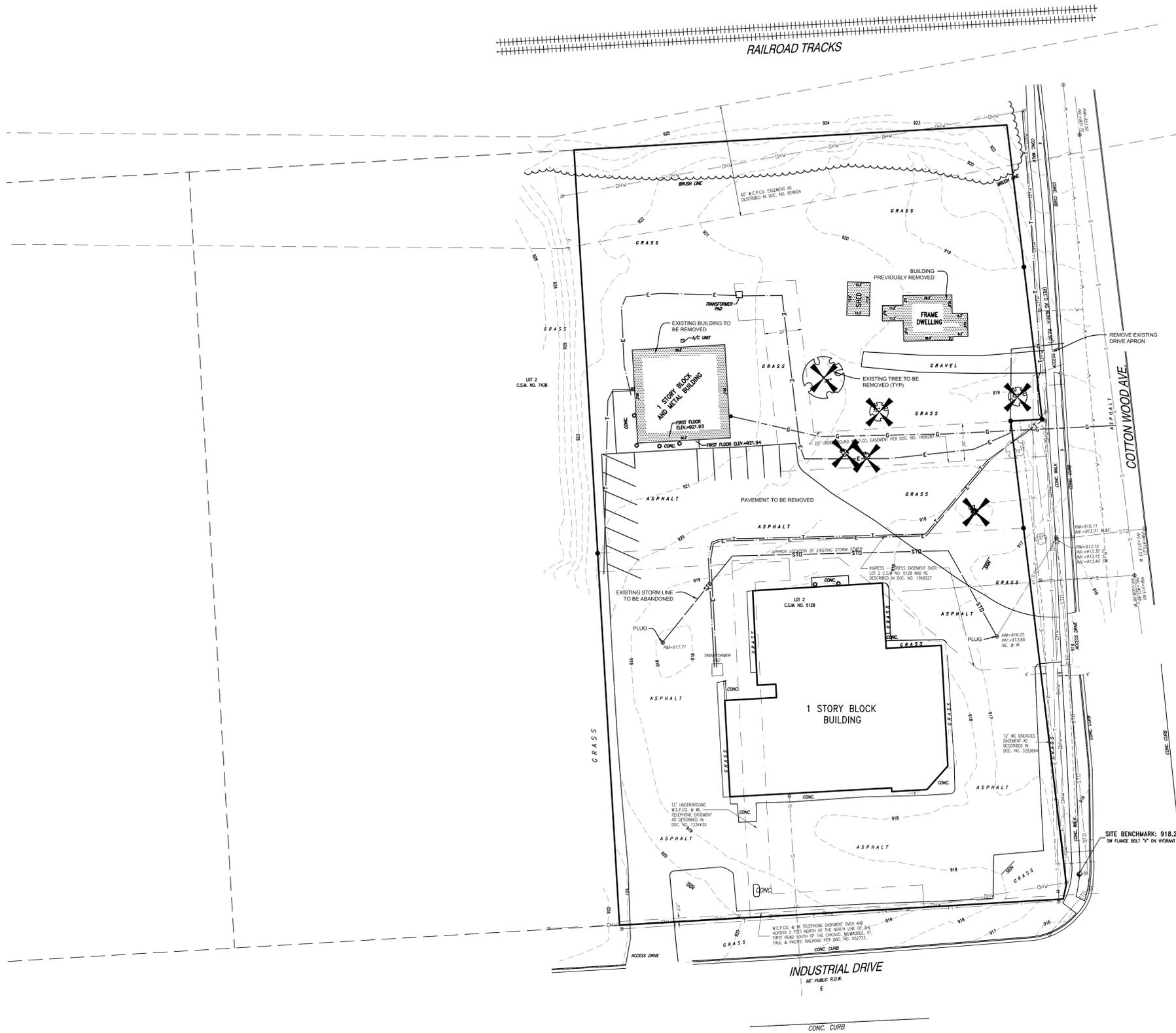
03.30.15
 Sheet Title:
SITE DEMOLITION PLAN
 Sheet Number:
C-001
 Project Number: P11162
4381

MANAGERS

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PLAN COMMISSION SET 03.30.15
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PROJECT ADDRESS:

Hartland Service Car Wash Building
 400 East Industrial Drive
 Hartland, WI 53029

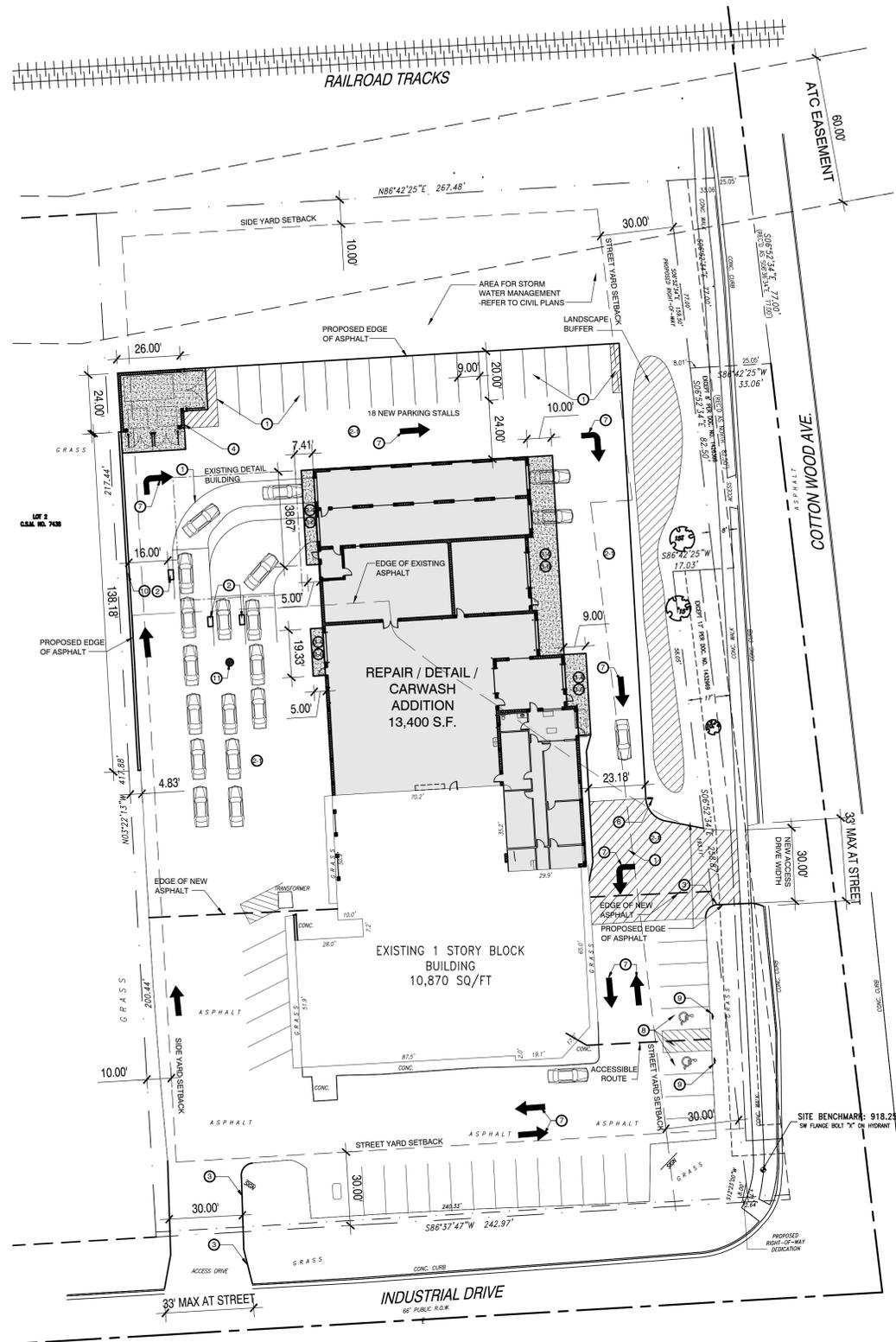
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03.30.15 PEG

EXISTING CONDITIONS & SITE DEMOLITION PLAN

C-100
 4381

P11162



SITE PLAN NOTES

- ① NEW PARKING LOT STRIPING
- ② CAR WASH PAY STATION
- ③ WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- ④ 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- ⑤ CONCRETE APRON
- ⑥ TWO SIDED SIGN
STOP SIGN FACING NORTH
ONE WAY DO NOT ENTER SIGN FACING SOUTH
- ⑦ PAINT DIRECTIONAL ARROWS ON EXISTING & NEW PAVEMENT AS INDICATED
- ⑧ REPAINT THE EXISTING HANDICAP PARKING STALLS & ASSOCIATED AISLE
- ⑨ ADD (2) NEW ADA PARKING SIGNS PER DETAIL C7/C-501
- ⑩ 2'-0" HIGH CMU RETAINING WALL- REFER TO SITE GRADING PLAN FOR MORE INFORMATION
- ⑪ NEW CATCH BASIN- REFER TO SITE UTILITY PLAN FOR MORE INFORMATION



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REFERENCE KEYNOTES

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
<ul style="list-style-type: none"> ① 50 LB PRECAST LIVE LOAD(03410) ② 80 LB PRECAST LIVE LOAD(03410) ③ 100 LB PRECAST LIVE LOAD(03410) ④ 125 LB PRECAST LIVE LOAD(03410) ⑤ 150 LB PRECAST LIVE LOAD(03410) ⑥ 200 LB PRECAST LIVE LOAD(03410) 	<ul style="list-style-type: none"> ① CONCRETE OVERPOUR- HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02001 & 03000) ② 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) ③ 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02000, 03000) ④ 4" PRECAST LIVE LOAD(03410) ⑤ CONCRETE REIN. W/ 600 #10 @ 10 W.F.(03000) ⑥ CONCRETE REIN. W/ 600 #6 @ 6 W.F.(03000) ⑦ CONCRETE REIN. W/ FIBERMESH REINFORCING(03000) ⑧ 1/2" EXPANSION JOINT MATERIAL(03000) ⑨ CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000) 	<ul style="list-style-type: none"> ① 4" STANDARD CONCRETE MASONRY UNIT(04000) ② 8" STANDARD CONCRETE MASONRY UNIT(04000) ③ 12" STANDARD CONCRETE MASONRY UNIT(04000) ④ 4" DECORATIVE CONCRETE MASONRY UNIT(04000) ⑤ 8" DECORATIVE CONCRETE MASONRY UNIT(04000) ⑥ 12" DECORATIVE CONCRETE MASONRY UNIT(04000) ⑦ 4" CONCRETE BRICK UNIT(04000) ⑧ 8" CONCRETE BRICK UNIT(04000) ⑨ 12" CONCRETE BRICK UNIT(04000) ⑩ FACE BRICK(04000) ⑪ 4" PRECAST PLANK(0410) ⑫ 10" PRECAST PLANK(0410) ⑬ 12" PRECAST PLANK(0410) ⑭ 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(05000, 06000) ⑮ 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(05000, 06000) 	<ul style="list-style-type: none"> ① 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(05000, 06100 & 06000) ② 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(06100, 06200, 06300 & 07000) ③ METAL STAIR UNIT W/ COR-STRUT TREADS/CLOSED RISERS(06000) ④ CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(06000, 06000) ⑤ 1 1/2" DIA. METAL RAILING(06000) ⑥ 24 GAGE CONCEALED FASTENER METAL ROOF PANEL ⑦ 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) ⑧ 24 GAGE SCULPTURED STEEL/METAL WALL PANEL ⑨ 24 GAGE PREFINISHED METAL LINER PANEL ⑩ 2" VINYL FACED BLANKET INSULATION(07000) ⑪ 2" VINYL FACED BLANKET INSULATION(07000) ⑫ 1" FRICTION FIT INSULATION(07000) ⑬ EFF EXTERIOR INSULATION FINISH SYSTEM(DRYVIT)(07000) 	<ul style="list-style-type: none"> ① BRICKSTONE INSULATED LOW E GLASS(0810/08000) ② GREYSTONE INSULATED LOW E GLASS(0810/08000) ③ CLEAR INSULATED LOW E GLASS(0810/08000) ④ BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) ⑤ CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) ⑥ HAZ. BOROHEXED LITE 	<ul style="list-style-type: none"> ① SUSPENDED CEILING SYSTEM(09010) ② METAL SOFFIT PANEL 	
<ul style="list-style-type: none"> ① 7" 1/4" + 1 3/4" ASPHALT OVER 8" STONE BASE(02010, 02000) ② 4" 1/2" + 1 1/2" ASPHALT OVER 8" STONE BASE(02010, 02000) ③ 5" 3/4" + 2 1/4" ASPHALT OVER 12" STONE BASE(02010, 02000) ④ HANDICAPPED PARKING STALL SIGN 	<ul style="list-style-type: none"> ① PLASTIC LAMINATE WINDOW BOLLARD(06000) ② PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400) ③ PLASTIC LAMINATE WALL CABINET(06100, 06200, 06400) ④ SHELF AND POLE(06100, 06200) 	<ul style="list-style-type: none"> ① 24 GAGE PREFINISHED STEEL/METAL WALL PANEL ② 24 GAGE SCULPTURED STEEL/METAL WALL PANEL ③ 24 GAGE CONCEALED FASTENER METAL ROOF PANEL ④ 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) ⑤ 2" VINYL FACED BLANKET INSULATION(07000) ⑥ 2" VINYL FACED BLANKET INSULATION(07000) ⑦ 1" FRICTION FIT INSULATION(07000) ⑧ EFF EXTERIOR INSULATION FINISH SYSTEM(DRYVIT)(07000) 	<ul style="list-style-type: none"> ① FLAG POLE ② MONUMENT SIGN ③ DUMPSTER ENCLOSURE ④ ROOF HATCH AND LADDER 			

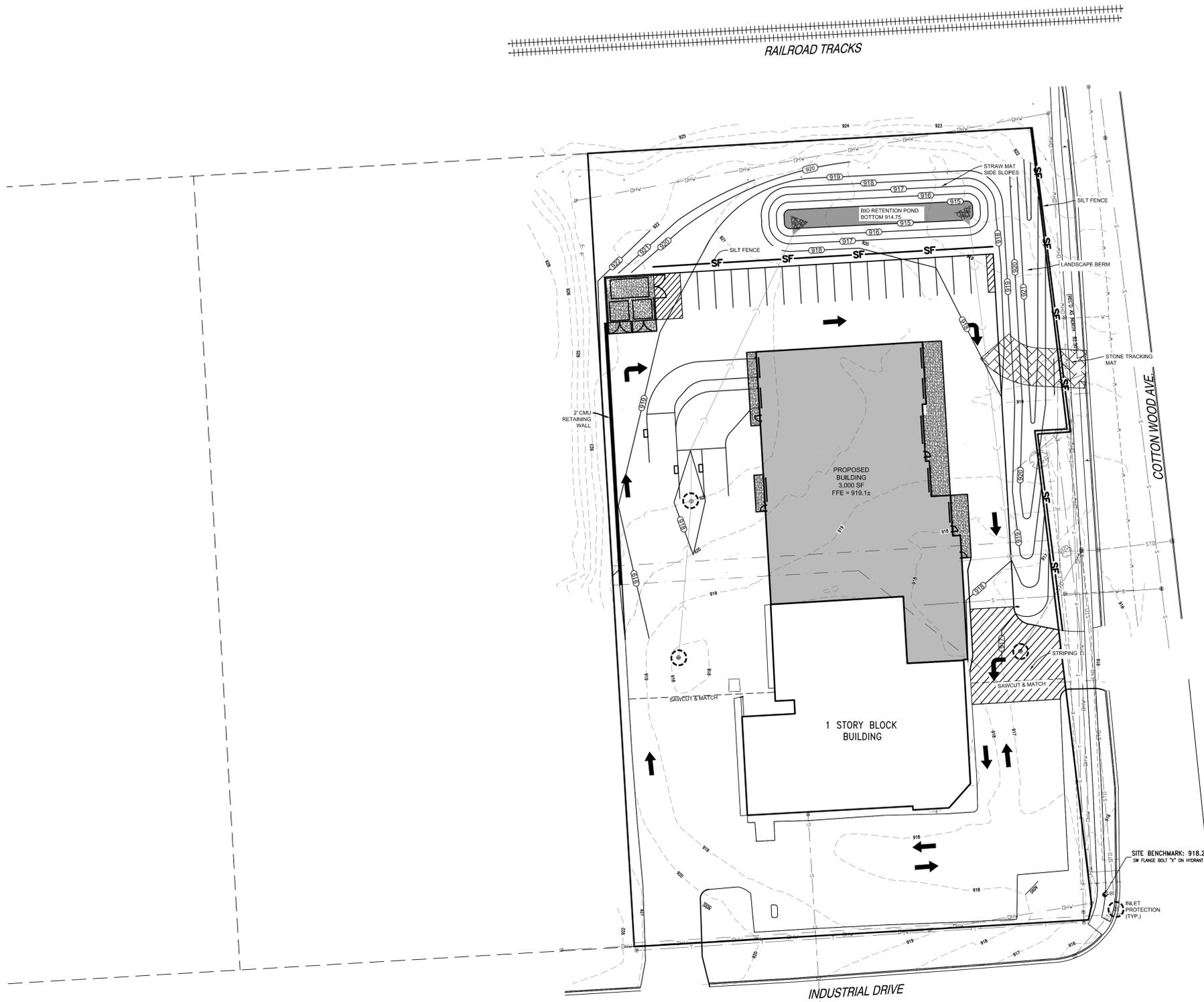
SITE PLAN 1" = 30'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



CONSTRUCTION SITE SEQUENCING

ALL WORK SHALL BE CONFORMANCE WITH THE DNR WPDES PERMIT AND CITY OF MILWAUKEE EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO - ALL CHANGES SHALL BE DOCUMENTED IN WRITING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. IN NO CASES SHALL UNTREATED RUNOFF BE PUMPED TO THE CANAL. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (>40 MG/L TSS).
7. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCH UP AS A RESULT OF REMOVAL.
11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

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PLAN COMMISSION SET 03.30.15
 PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

Hartland Service Car Wash Building
 400 East Industrial Drive
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

03.30.15 PEG

GRADING & EROSION CONTROL PLAN

C-102

P11162

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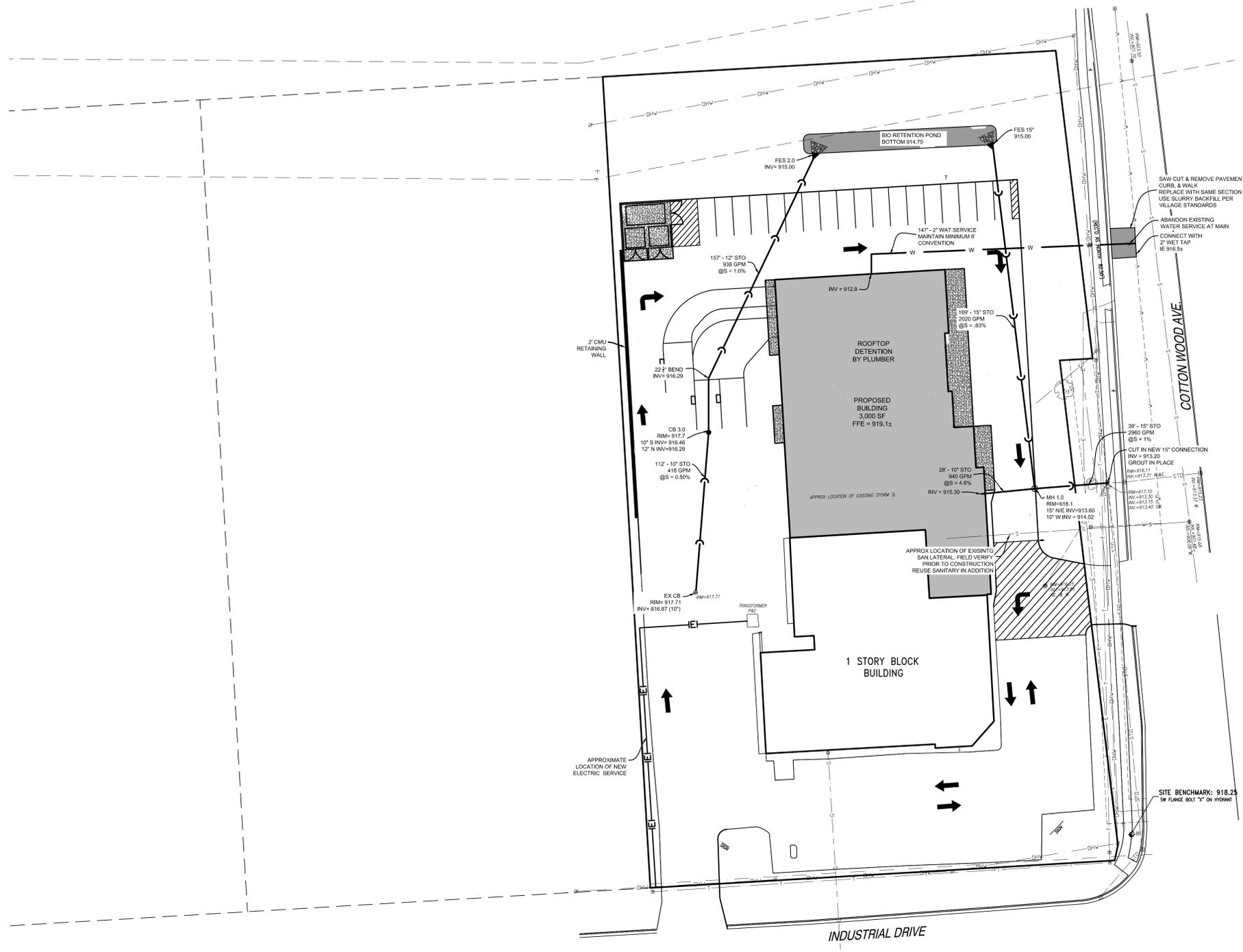
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

RAILROAD TRACKS



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SINGLE SOURCE RESPONSIBILITY™

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03.30.15 PEG

UTILITY PLAN

C-103

P11162

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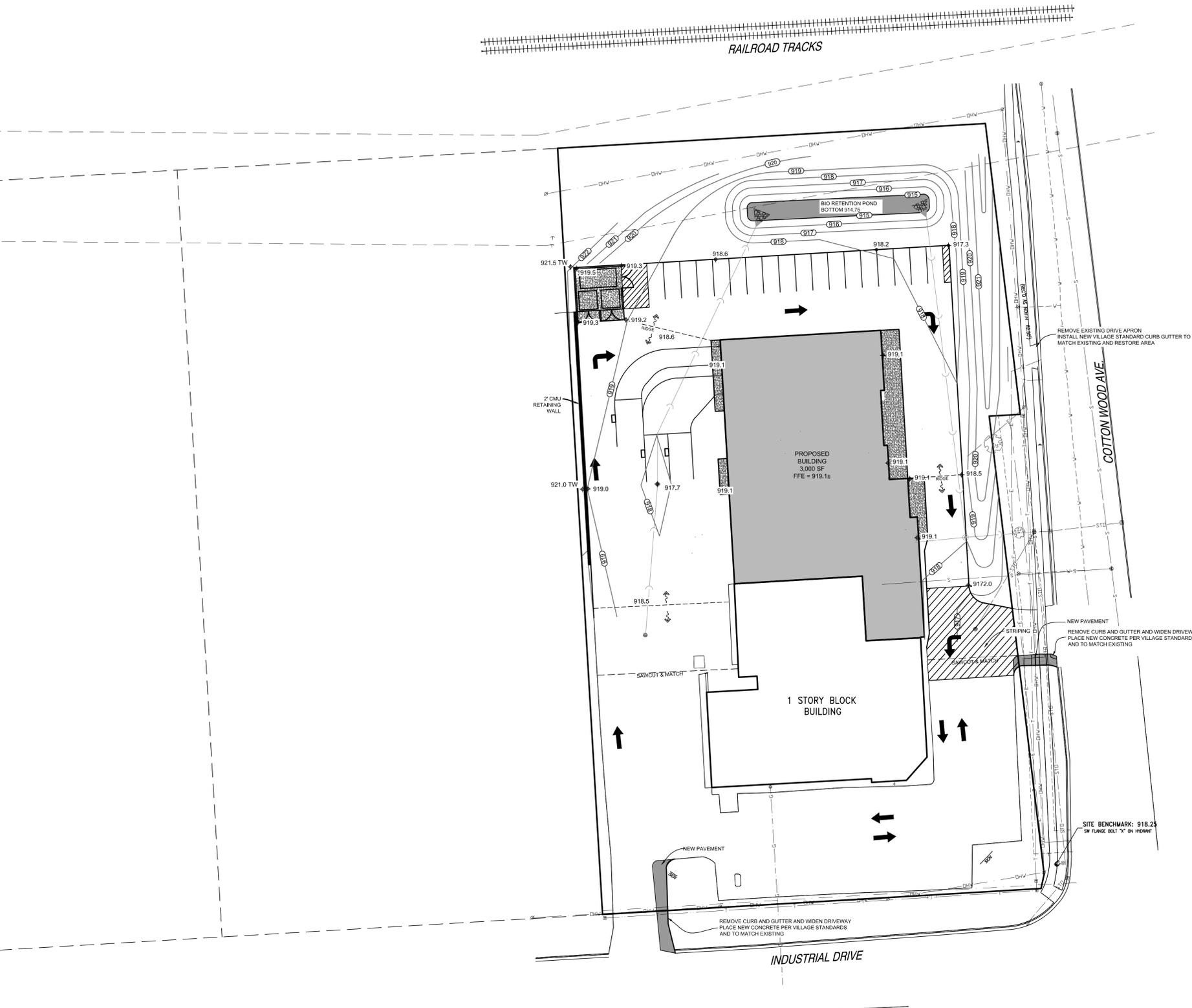
UTILITY PLAN

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
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262.367.3661
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SINGLE SOURCE RESPONSIBILITY™

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PLAN COMMISSION SET 03.30.15
PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

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400 East Industrial Drive
Hartland, WI 53029

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03.30.15 PEG
PAVING PLAN

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SINGLE SOURCE RESPONSIBILITY™

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PLAN COMMISSION SET 03.30.15
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ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

03.30.15 PEG

CONSTRUCTION DETAILS & SPECIFICATIONS

C-105 P11162

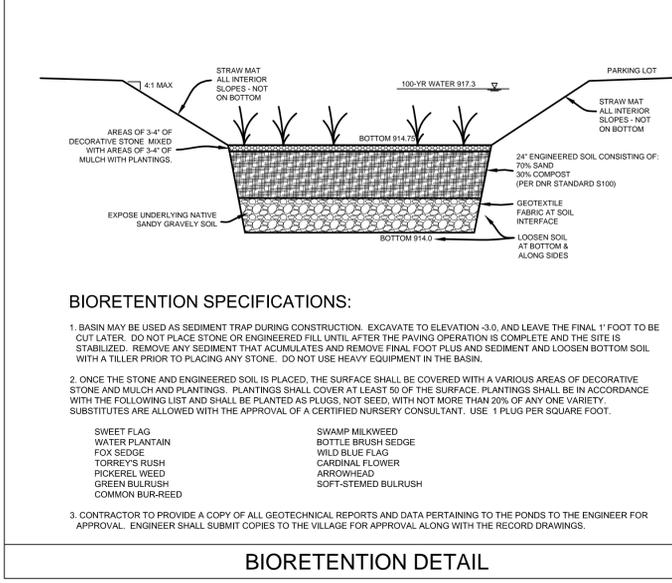
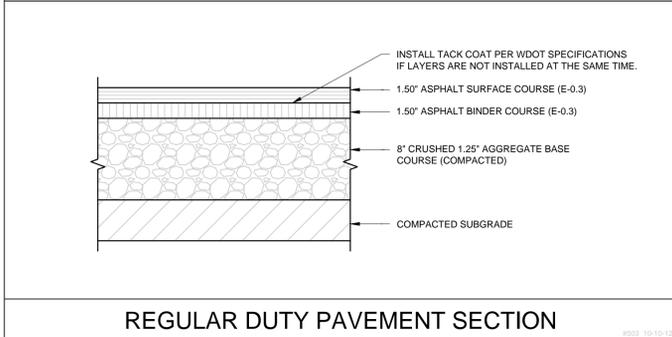
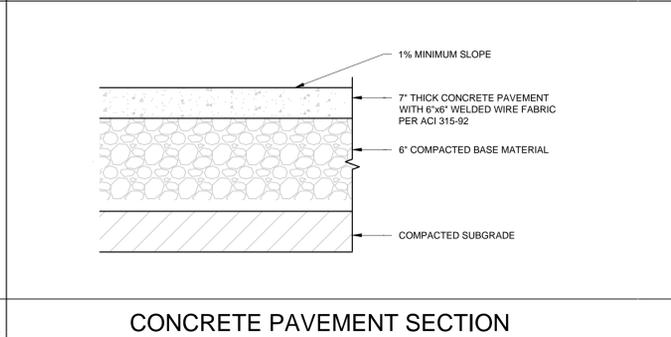
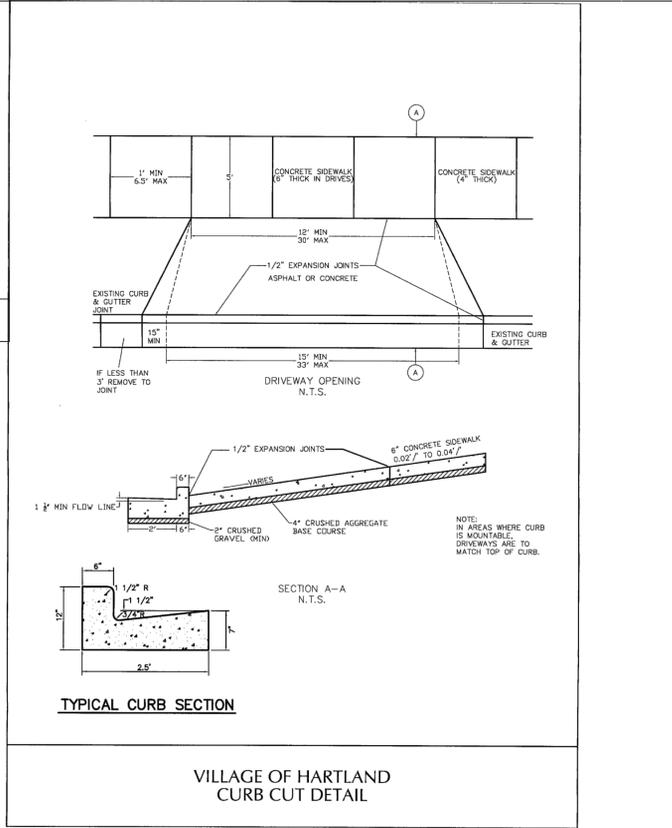
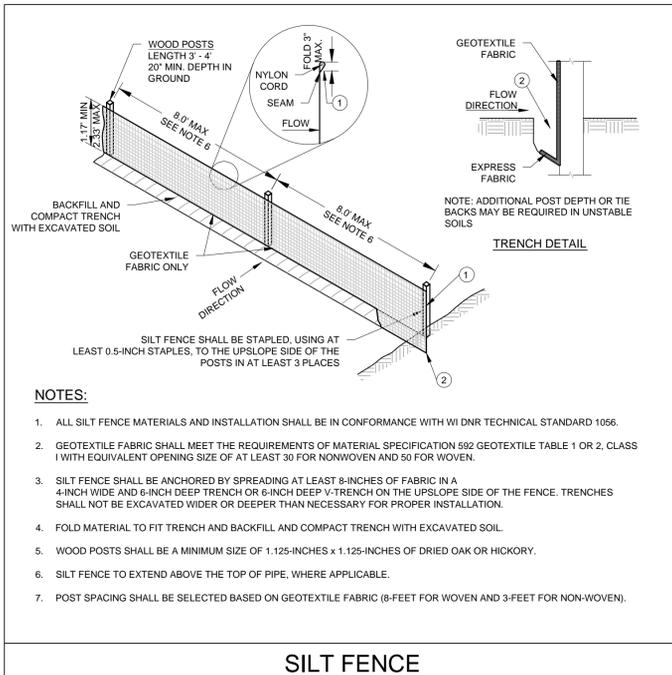
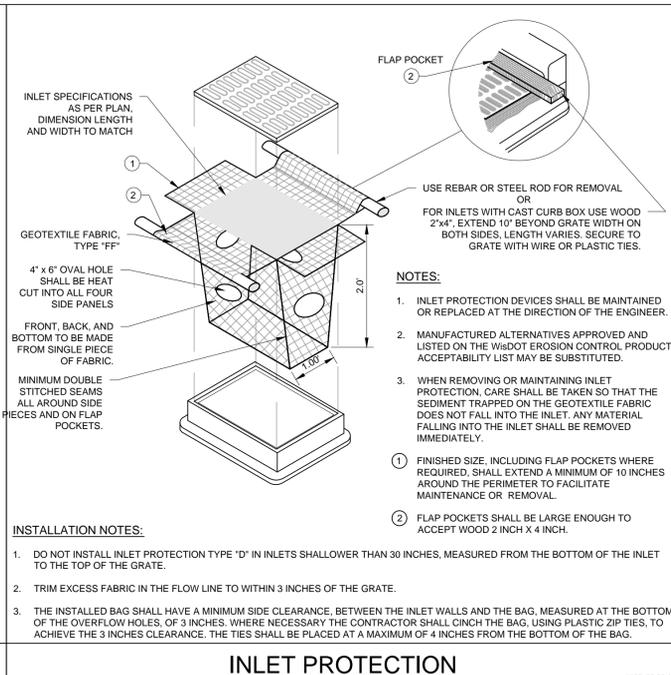
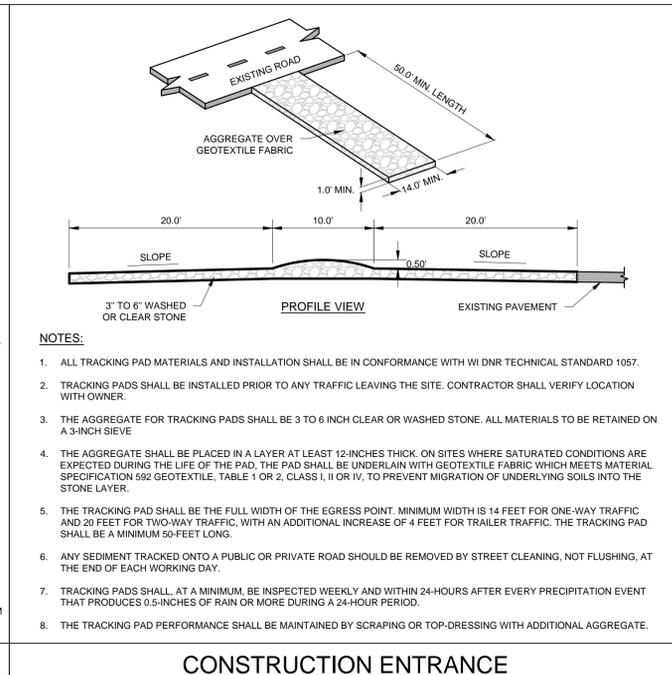
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MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



BIORETENTION DETAIL

03.30.15 PEG

CONSTRUCTION DETAILS & SPECIFICATIONS

C-105 P11162

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GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL +3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/-1' FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT

DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.

10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEEPED IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.

SPECIFICATIONS FOR PRIVATE UTILITIES

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEP TAPPING SLEEVE.
3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED, WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE. MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE-CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADS NYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE NONRISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES, DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO. 8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1/2 INCH DIAMETER UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 TYPE E-0.3 IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. CONCRETE FOR CURBS, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.



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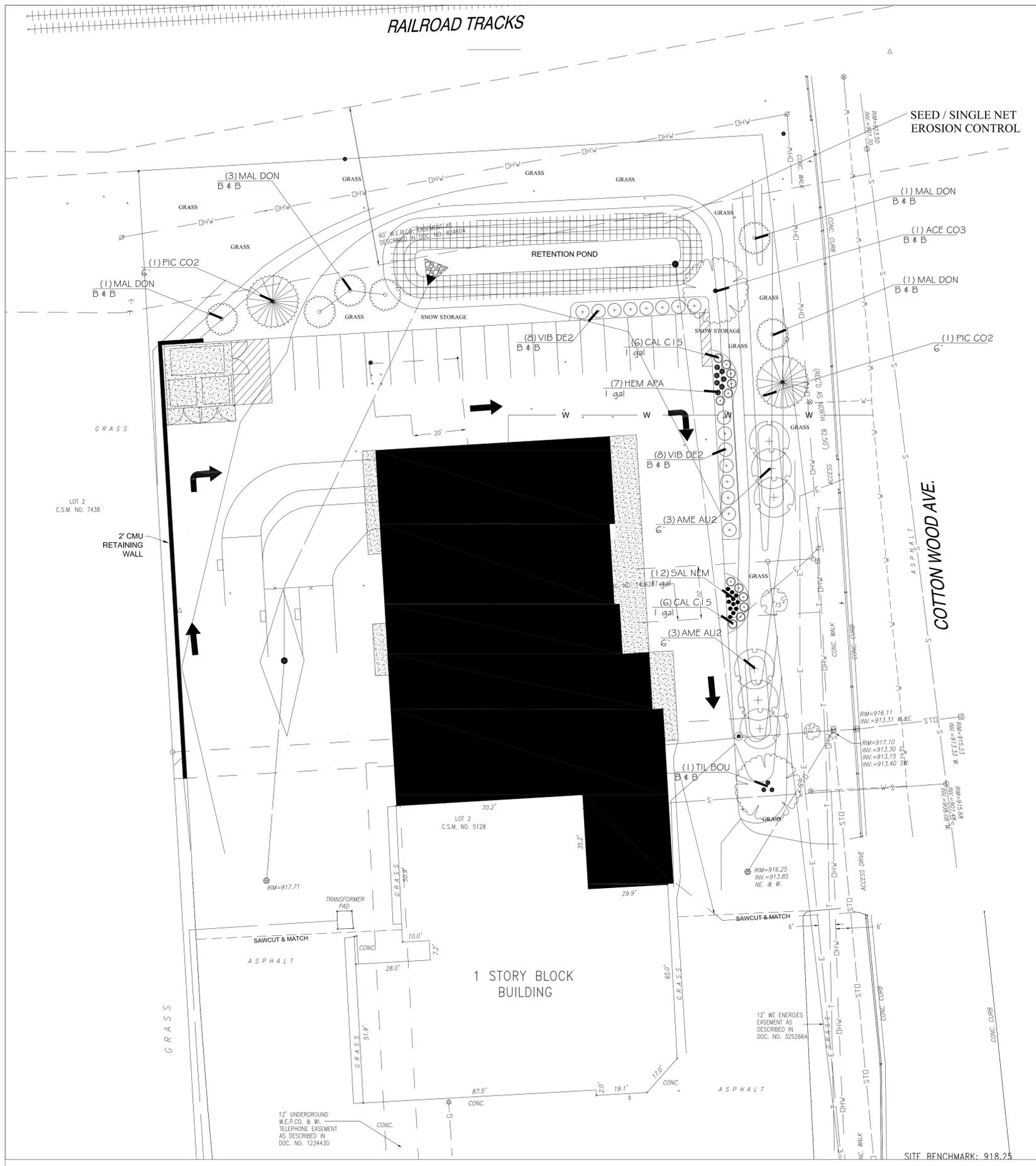
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PLAN COMMISSION SET 03.30.2015	
PLAN COMMISSION SET 03.03.2015	

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Detail Building
STREET ADDRESS
400 East Industrial Drive
CITY/ STATE / ZIP
Hartland, WI 53029

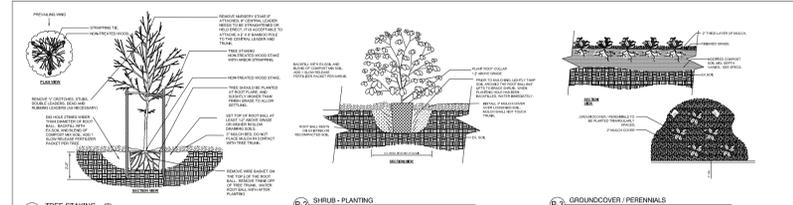
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Date: 03.30.15 Drawn By: PEG
Sheet Title:
CONSTRUCTION DETAILS & SPECIFICATIONS
Sheet Number:
C-106
Project Number: 4381 P11162



GENERAL LANDSCAPE NOTES:

1. Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
2. Always contact Diggers Hotline (800-242-8511) before proceeding with any work.
3. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs.
4. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect.
5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 2" layer of shredded bark mulch.
6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
8. Seeded lawn areas to have Bluegrass blend of seed for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on application rates.
9. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade.
10. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. Single net, double net or Turf Reinforcement Mats shall be used as per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations. Unless stated by plan.
11. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth and the landscape.
12. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering.
13. If a permanent irrigation system is required in turf areas install system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician.
14. Warranty of plants, trees, evergreens, shrubs shall be for a period of one (1) year from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.



PLANTING & HARDSCAPE DETAILS

PLANT SCHEDULE					
TREES	BOTANICAL NAME / COMMON NAME	CONT.	GAL.	SIZE QTY	
●	Acer rubrum 'Columbian' / Columnar Red Maple	B # B	29'Gal	1	
●	Amaranthus canadensis 'Autumn Brilliance' / Autumn Brilliance Spineberry	6"		6	
●	Malus x 'Donald Wyman' / Donald Wyman Crab Apple	B # B	19'Gal	6	
●	Tilia americana 'Boulevard' / Boulevard Linden	B # B	29'Gal	1	
CONIFERS	BOTANICAL NAME / COMMON NAME	CONT.	GAL.	SIZE QTY	
●	Picea pungens / Colorado Blue Spruce	6"		6-8" 2	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQLOS	QTY
●	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	B # B	24"-30"		16
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQLOS	QTY
●	Hemerocallis x 'Chicago Apache' / Daylily	1 gal			7
●	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	1 gal			12
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELDS	EQLOS	QTY
○	Calamagrostis canadensis 'Karri Foerster' / Karri Foerster Grass	1 gal			12

LANDSCAPE PLAN

General Notes



Division of
THE REESMAN COMPANIES

No.	Revision/Issue	Date
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**28815 Bushnell Road
Burlington, WI 53105**

Phone 262.342.1425
Fax 262.539.2665
www.reesmans.com

**HARTLAND SERVICE
400 E. INDUSTRIAL DR.
HARTLAND, WI**

Project LSCP	Sheet
Date 3/23/2015	C-108
Scale 1"=20'	



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PLAN COMMISSION SET 03.30.15
 PLAN COMMISSION SET 03.03.15

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 CITY / STATE / ZIP
 Hartland, WI 53029

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Date: 03.30.15 Drawn By: Pete Anderson

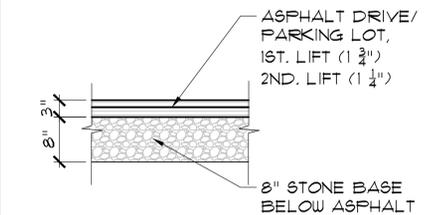
Sheet Title:
SITE DETAILS
 Sheet Number:
C-501
 Project Number: P11162
4381

MANAGERS

ENGINEERS

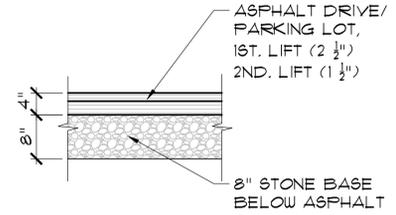
CONTRACTORS

ARCHITECTS



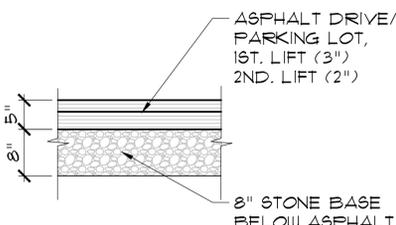
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"



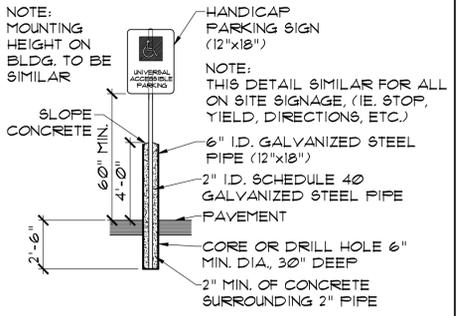
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C5 ASPHALT DRIVE - 4"



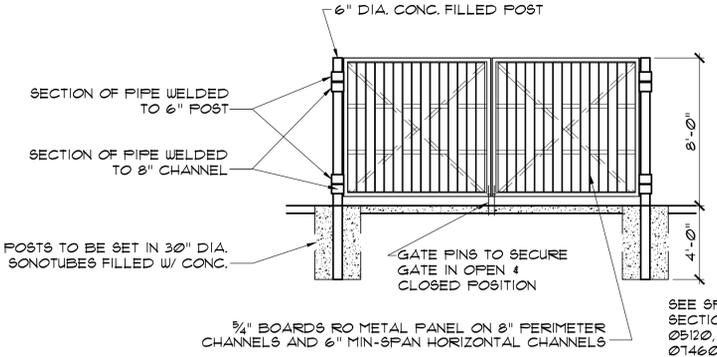
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C9 ASPHALT DRIVE - 5"

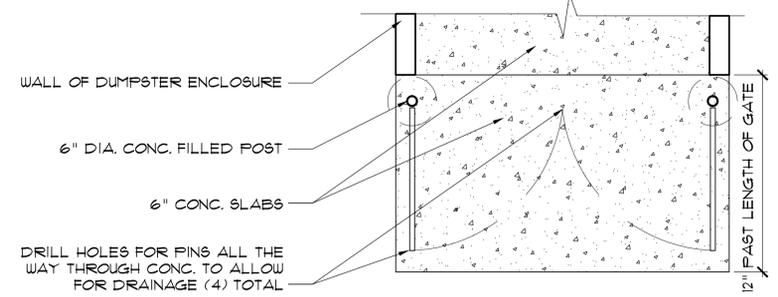


SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN

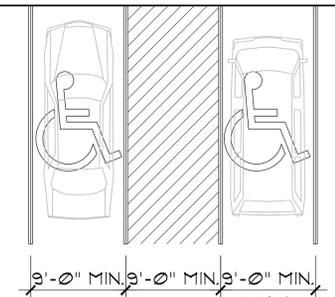


C8 DUMPSTER ENCLOSURE GATE - ELEVATION



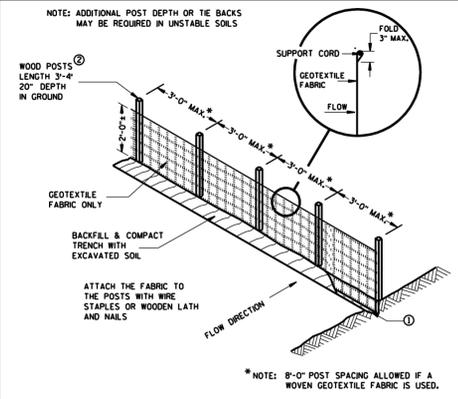
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C10 DUMPSTER ENCLOSURE GATE - PLAN

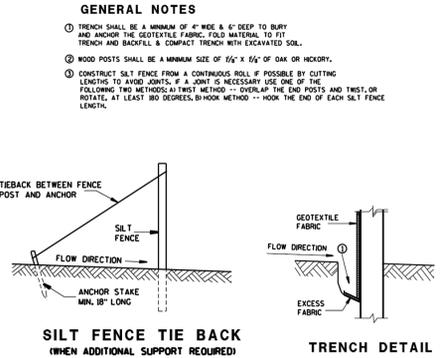


SEE SPECIFICATION SECTIONS: 02510, 03300 & 03350

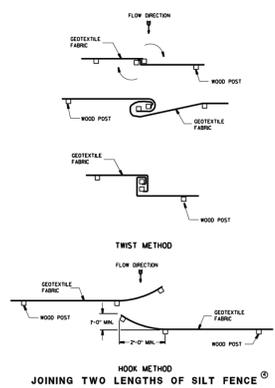
C11 PARKING SPACE ACCESS AISLE



C13 SILT FENCE



C13A SILT FENCE NOTES & SECTIONS



C13B SILT FENCE DETAILS



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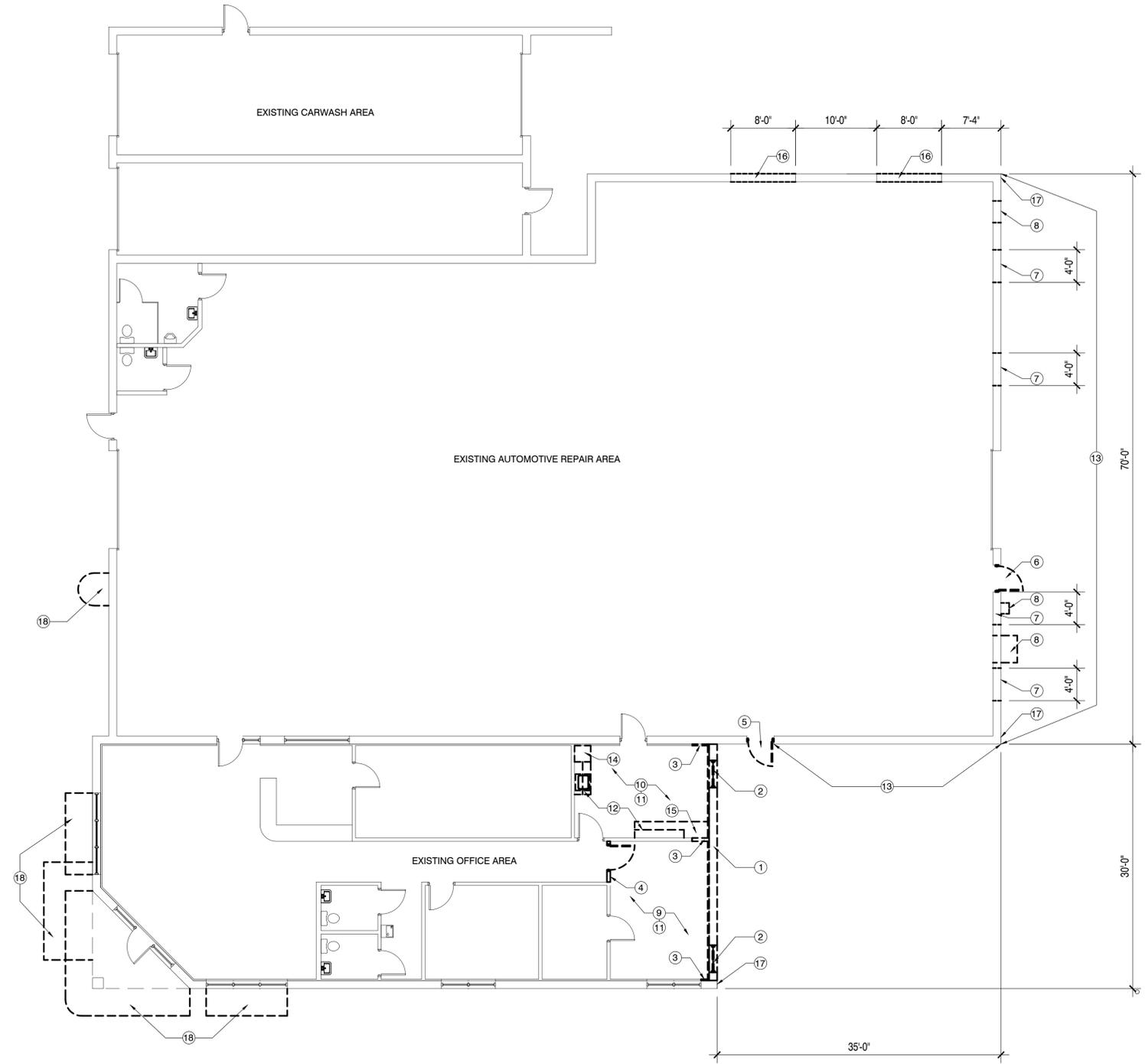
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PLAN COMMISSION SET 03.30.15	
PLAN COMMISSION SET 03.03.15	

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Car Wash Building
 STREET ADDRESS
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 CITY / STATE / ZIP
 Hartland, WI 53029

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Date: 03.30.15 Drawn By: Pete Anderson
 Sheet Title:
DEMOLITION PLAN
 Sheet Number:
A-001
 Project Number: P11162
4381



DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CMU WALL FROM 8" BELOW FINISHED FLOOR TO TO TOP OF WALL
- ② REMOVE EXISTING ALUMINUM FRAMED EXTERIOR WINDOW
- ③ REMOVE PORTION OF EXISTING PARTITION WALL & EXTERIOR FURRING AS REQUIRED TO REMOVE EXISTING CMU WALL
- ④ REMOVE EXISTING WOOD DOOR, WOOD FRAME & ADJACENT WALLS AS INDICATED- INSTALL BULKHEAD AT 8'-0" IN LINE WITH WALL REMOVAL
- ⑤ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING AS REQUIRED FOR 12" CMU INFILL
- ⑥ REMOVE EXISTING HOLLOW METAL DOOR & FRAME- PREPARE MASONRY OPENING FOR INSTALLATION OF NEW 3 HOUR RATED HOLLOW METAL DOOR & FRAME
- ⑦ REMOVE EXISTING 4'X4' AREA OF GLASS BLOCK IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑧ REMOVE & RELOCATE EXISTING EXHAUST VENT IN MASONRY OPENING ABOVE- PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑨ REMOVE EXISTING CARPET & WOOD BASE
- ⑩ REMOVE EXISTING VCT & WOOD BASE
- ⑪ REMOVE EXISTING CEILING TILE, CEILING GRID & ALL ASSOCIATED MECHANICALS
- ⑫ REMOVE EXISTING BASE CABINETS, UPPER WALL CABINETS & ALL ASSOCIATED PLUMBING
- ⑬ FIRE CAULK AROUND ALL WALL PENETRATIONS AS REQUIRED TO CREATE A 3HR RATED FIRE BARRIER
- ⑭ REMOVE EXISTING REFRIGERATOR & SAVE PER OWNER'S DIRECTION
- ⑮ REMOVE EXISTING TELEVISION & SAVE PER OWNER'S DIRECTION
- ⑯ SHORE EXISTING ROOF STRUCTURE
 -DEMO OPENING IN EXISTING CMU WALL FOR INSTALLATION OF NEW UPPER WINDOW- REFER TO ELEVATIONS AND SECTIONS
 -INSTALL STEEL LINTEL & FLEXIBLE FLASHING W/ STAINLESS STEEL DRIP EDGE (CONSTRUCT W/ END DAMS)
 -TOOTH IN CMU AT JAMBS & GROUT CMU CORES SOLID AT BEARING
- ⑰ REMOVE RIBBED PORTION OF EXISTING CMU AS REQUIRED TO BEGIN NEW CMU COURSING
- ⑱ REMOVE EXISTING AWNINGS & STORE PER OWNERS DIRECTION

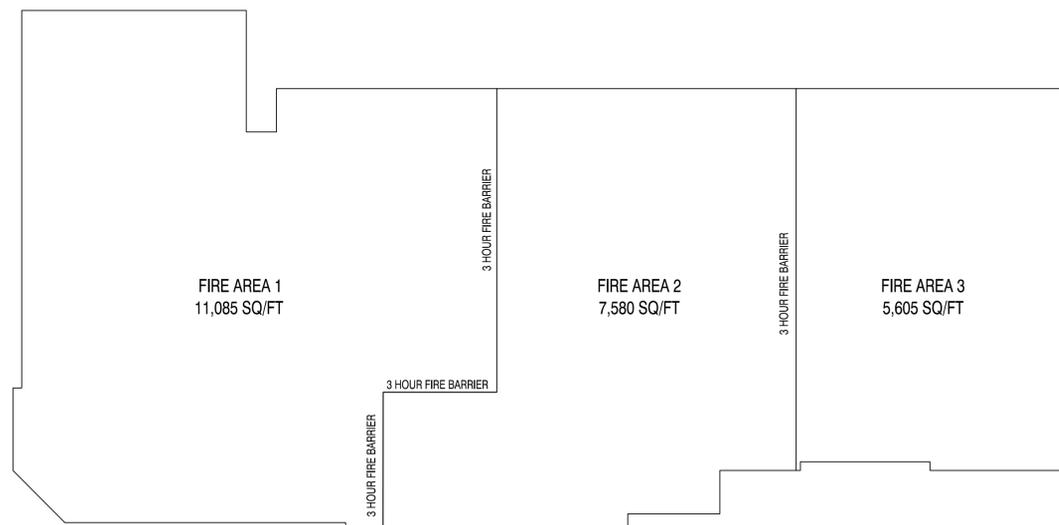
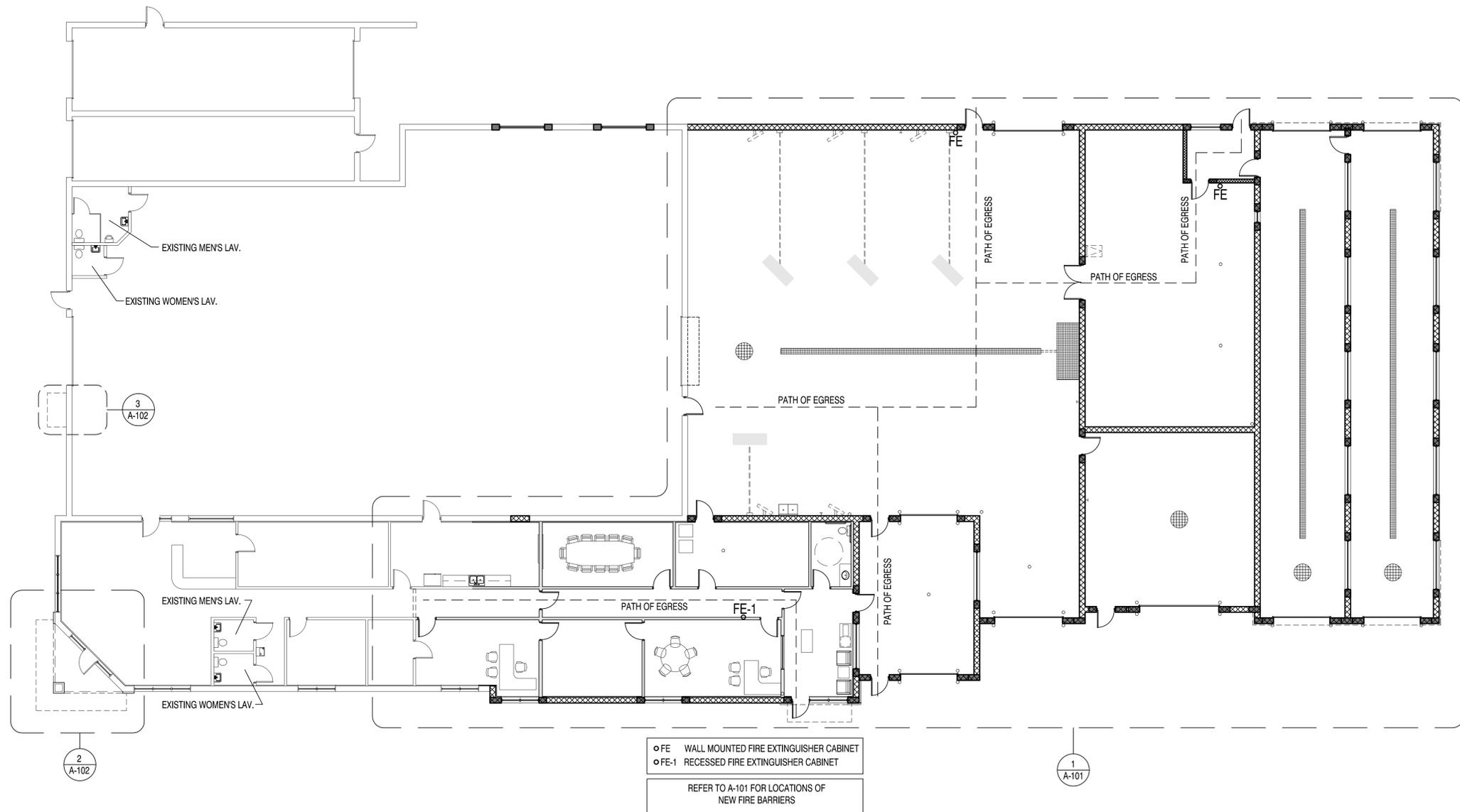
DEMOLITION PLAN 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



FIRE AREA PLAN NO SCALE

OVERALL BUILDING PLAN 3/32" = 1'-0"



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Date: 03.30.15 Drawn By: Pete Anderson

OVERALL FLOOR PLAN EGRESS PLAN

Sheet Number:
A-002

Project Number: P11162

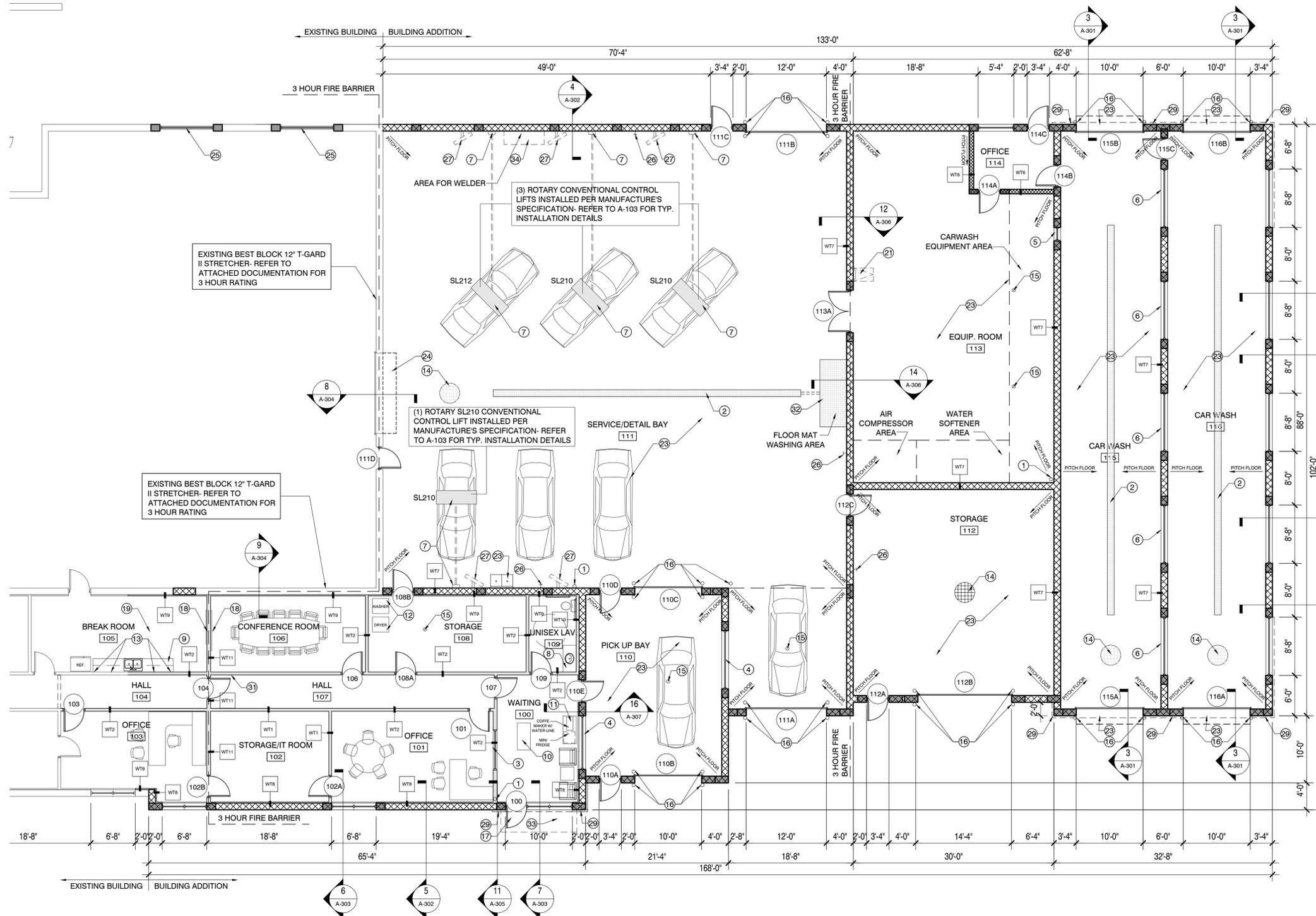
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MANAGERS

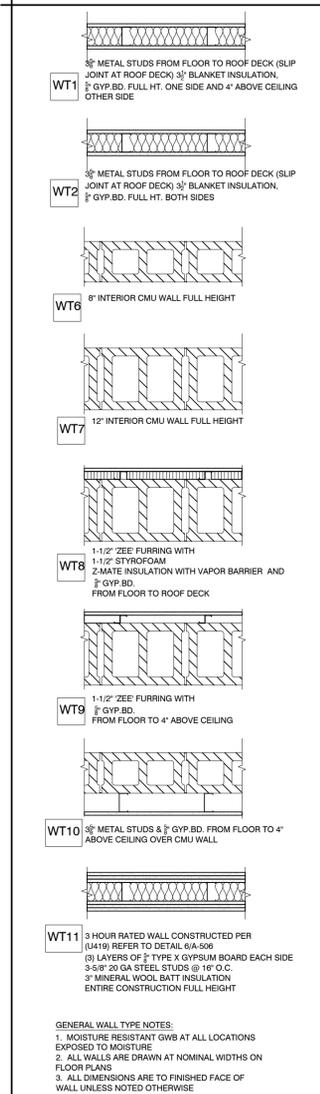
ENGINEERS

CONTRACTORS

ARCHITECTS



WALL TYPES



GENERAL WALL TYPE NOTES:
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



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FLOOR PLAN NOTES

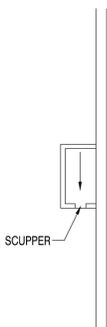
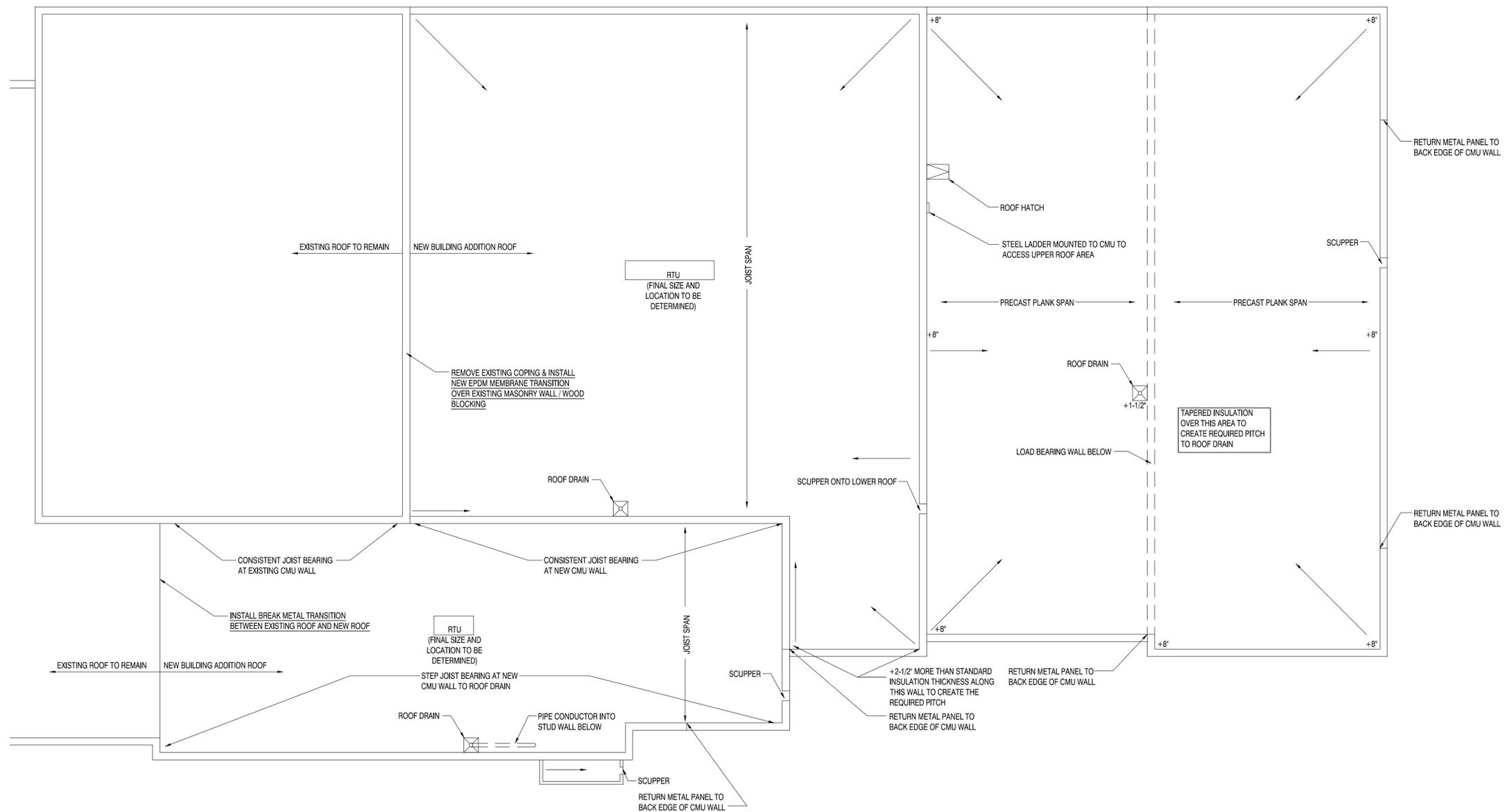
- REFER TO THE DEMOLITION PLAN FOR INFORMATION REGARDING THE INFILL OF EXISTING OPENINGS & CAULKING OF EXISTING PENETRATIONS ALONG THE NORTH WALL OF THE EXISTING BUILDING
- ROOF DRAIN
 - 12" WIDE TRENCH DRAIN W/ STEEL GRATE- REFER TO FLOOR PLAN FOR LENGTHS (PITCH SURROUNDING CONCRETE TO DRAIN)
 - 6'-0" X 4'-0" WOOD FRAMED BORROWED LITE W/ ONE WAY GLASS ALIGN WINDOW HEAD W/ DOOR HEAD
 - 8'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ 1" CLEAR INSULATING GLASS- ALIGN HEAD WITH DOOR HEAD IN CMU WALL
 - 2'-0" X 2'-0" FRP FRAMED WINDOW W/ 1" CLEAR INSULATING GLASS- INSTALL WINDOW HEAD AT 6'-0" A.F.F.
 - 8'-8" X 6'-0" FRP FRAMED WINDOW W/ 1" CLEAR INSULATING GLASS- INSTALL WINDOW HEAD AT 8'-0" A.F.F.
 - 105" DEEP LIFT / CONTAINMENT TUBE & CONDUIT FOR HYDRAULIC LINE TO WALL FOR OWNER SUPPLIED HYDRAULIC LIFT & WALL MOUNTED CONTROL PANEL

- PLASTIC LAMINATE VANITY COUNTER TOP
- PLASTIC LAMINATE BASE CABINETS, UPPER WALL CABINETS & COUNTER TOP W/ DOUBLE BASIN SINK AS SHOWN
- PLASTIC LAMINATE POINT OF SALE DESK
- PLASTIC LAMINATE BASE CABINET W/ MINI FRIDGE & COFFEE MAKER ABOVE- INSTALL WATERLINE FOR COFFEE MAKER
- COMMERCIAL GRADE CLOTHES WASHER/DRYER W/ ASSOCIATED POWER & VENTING
- INSTALL 4 DUPLEX OUTLETS ABOVE BACKSPASH
- CATCH BASIN
- FLOOR DRAIN
- 6'0" x 4'-0" HIGH CONCRETE FILLED STEEL PIPE BOLLARD
- REINFORCED CONCRETE SLAB & STOOP

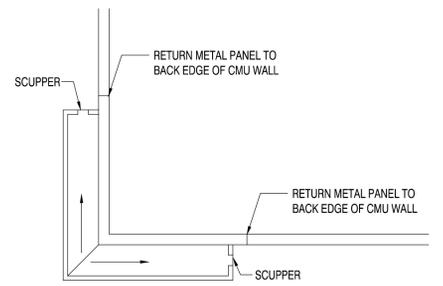
- WALL MOUNTED TELEVISION
- INSTALL EXHAUST FAN W/ IN WALL SWITCH IN NEW BREAK ROOM
- 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- WALL MOUNTED STEEL LADDER & ROOF HATCH ABOVE
- FLOOR MOUNTED JANITOR'S SINK
- INSTALL HYDRONIC FLOOR HEAT IN THE ENTIRE BUILDING ADDITION EXCLUDING THE OFFICE AREA
- IN THE CAR WASH BAYS EXTEND 15" PAST THE EXTERIOR WALLS AT THE OVERHEAD DOORS
- INSTALL 2" RIGID INSULATION BOARD UNDER THE CONCRETE SLAB AT LOCATION OF HYDRONIC HEAT- REFER TO SECTIONS FOR MORE INFORMATION
- DOUBLE BASIN LAUNDRY TUB
- 12X14' 3HR RATED FIRE SHUTTER AT EXISTING OPENING (MINIMUM FIRE RESISTANCE REQUIREMENTS MUST MEET ASTM E 119 OR UL263)
- NEW ALUMINUM FRAMED WINDOW INSTALLED IN UPPER WALL- REFER TO SECTIONS FOR WINDOW HEIGHTS

- HOSE BIB WITH HOT AND COLD WATER SUPPLY
- 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- METAL WALL PANEL SYSTEM INSTALLED OVER METAL FRAMING & CLIPS OVER EXISTING SPLIT FACE CMU WALL- REFER TO SECTIONS FOR MORE INFORMATION
- METAL WALL PANEL SYSTEM INSTALL OVER 1/2" HAT CHANNELS OVER NEW SMOOTH FACE CMU WALL- REFER TO SECTIONS FOR MORE INFORMATION
- RE-PAINT EXISTING SOFFIT AT MAIN BUILDING ENTRY
- INSTALL MAGNETIC DOOR HOLD OPEN/RELEASE DEVICE WITH SMOKE DETECTION ON BOTH SIDES OF THE DOOR
- 1'-0" DEEP CONCRETE PIT W/ ANGLE EMBED FOR STEEL GRATE SUPPORT- PITCH CONCRETE TO DRAIN & CONNECT DRAIN PIPING TO MAIN TRENCH DRAIN- REFER TO SECTION FOR MORE INFORMATION
- INSTALL RECESSED LIGHTING IN THE UNDERSIDE OF EACH NEW CANOPY
- INSTALL EXISTING VENT/HOOD RELOCATED FROM EXISTING DETAIL BUILDING- MODIFY EXISTING VENT PIPING TO DISCHARGE THROUGH NEW ROOF OR NEW CMU WALL- VERIFY FINAL LOCATION WITH OWNER

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



NEW CANOPY OVER EXISTING KEY DROP 1/8" = 1'-0"



NEW CANOPY OVER EXISTING ENTRY 1/8" = 1'-0"

ROOF PLAN 1/8" = 1'-0"



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 03.30.15
PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson
Sheet Title:
ROOF PLAN
Sheet Number:
A-105
Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 262.367.3661
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 03.30.15
 PLAN COMMISSION SET 03.03.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Car Wash Building
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson

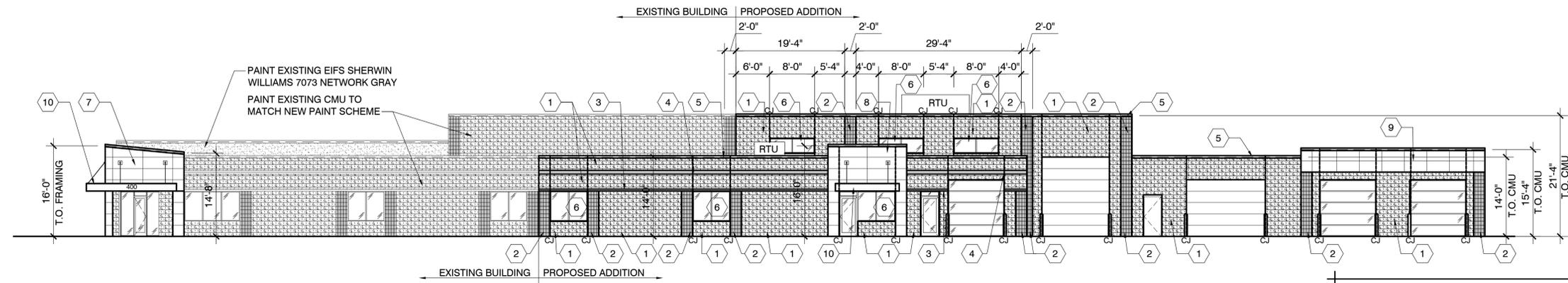
EXTERIOR ELEVATIONS

Sheet Number:
A-201
 Project Number: P11162
4381

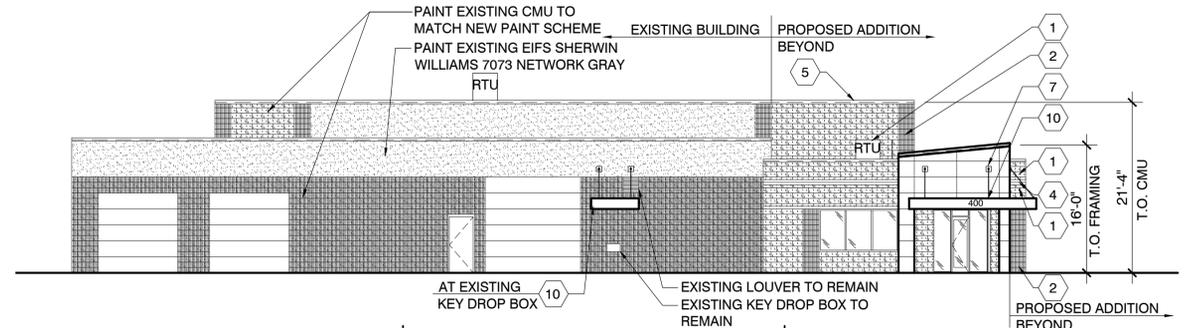
ELEVATION NOTES

GENERAL NOTES FOR EXISTING MATERIAL
 -PAINT EXISTING SPLIT-FACE CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING SPLIT-FACE RIB CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING HALF SPLIT-FACE BANDS TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING EIFS A COMPLIMENTARY COLOR THAT IS YET TO BE SELECTED
 TOP COURSE OF ALL NEW CMU WALLS ARE PAINTED SMOOTH CMU

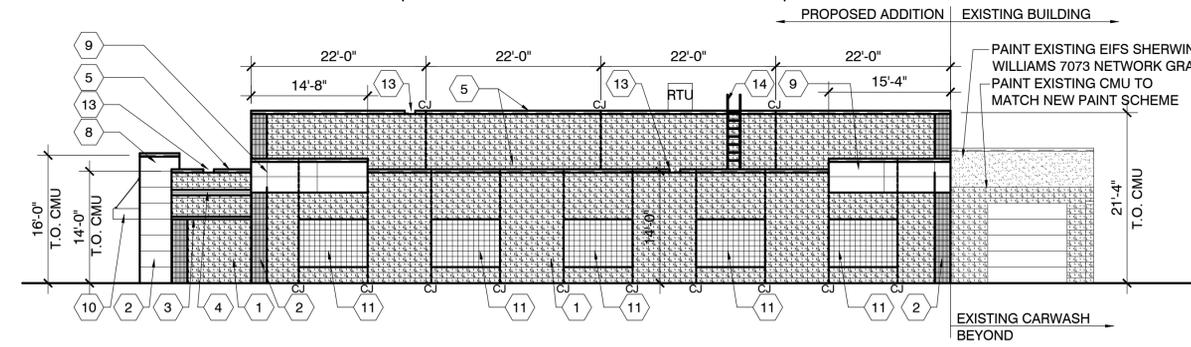
- 1 PAINTED SPLIT-FACE CMU (SHERWIN WILLIAMS SW7074 SOFTWARE)
- 2 PAINTED SPLIT-FACE RIB CMU (RIB STYLE TO MATCH EXISTING (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 3 PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE)
 SMOOTH HALF (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 4 2 COURSES OF PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE)
 SMOOTH HALF (CUSTOM HARTLAND BLUE TO BE DETERMINED)
- 5 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH EXISTING)
- 6 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 7 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER EXISTING MASONRY & NEW STUD FRAMED PARAPET W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
- 8 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE SIMILAR TO CLEAR ANODIZED)
- 9 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR TO BE BLUE)
- 10 STEEL FRAMED CANOPY WRAPPED IN BREAK METAL TO MATCH METAL WALL PANEL W/ PAINTED STEEL SUPPORT RODS & BRACKETS
- 11 8"x8" GLASS BLOCK
- 12 DEMO NEW MASONRY OPENING IN THE EXISTING WALL FOR THE INSTALLATION OF 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 13 SCUPPER
- 14 ROOF ACCESS LADDER MOUNTED TO CMU WALL
- 15 STEEL FRAMED DUMPSTER GATES- REFER TO STANDARD DETAILS ON C-501



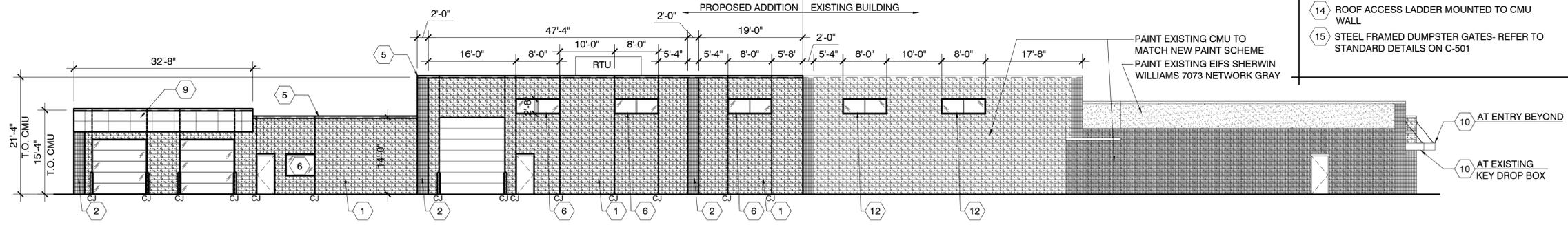
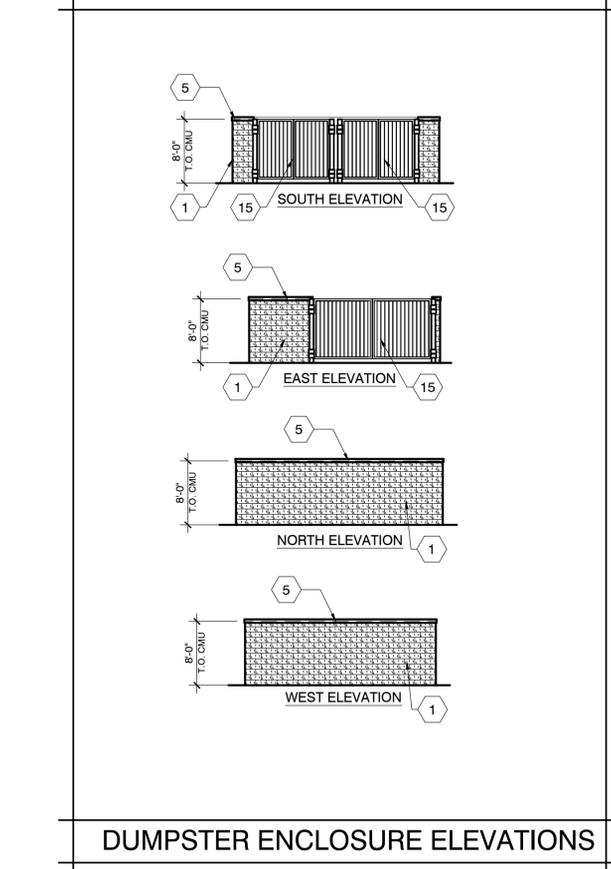
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

ELEVATIONS 3/32" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

HARTLAND SERVICE ADDITION



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST

SINGLE SOURCE RESPONSIBILITY



CONDITIONAL USE PERMIT

[Hartland Service]

Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to Hartland Service Inc. (hereinafter "Grantee") for the operation of an Automobile Service Facility including car wash, detailing and vehicle service at the property located at 400 E Industrial Drive.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of an Automotive Service facility in the B-2 Zoning District at 400 E Industrial Drive, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0729947002, HAV 0729947003, HAV 0729939, HAV 0729940]

OWNER: Michael Kusch

Deborah Kusch

N65W30981 Beaver Lake Road

Hartland, WI 53029

Recording Area

Name and Return Address

Village of Hartland

210 Cottonwood Ave.

Hartland, WI 53029

Parcel Identification Number

HAV 0729947002

HAV 0729947003

HAV 0729939

HAV 0729940

WHEREAS, the Property is located in the B-2 Community Business District; and

WHEREAS, Section 46-469 (2) of the Village of Hartland Code of Ordinances provides that Automotive Sales and Service in the B-2 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibit A and incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the automotive service facility may be expanded, constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the maintenance and servicing of various vehicles including automobiles and light and medium duty trucks, provision of vehicle emissions testing and automatic and hand washing and detailing of automobiles and light and medium duty trucks;
2. the operator of the automotive service facility will construct the building expansion in accordance with the plans as submitted and as finally approved including stormwater retention, buffers and landscaping;
3. buffers and landscaping on the east side of the project parallel to Cottonwood Avenue shall be completed prior to the occupancy and operation of the expanded portions of facility and shall be maintained during the ongoing operation of the vehicle wash facility in a manner to mitigate the impact of vehicle headlights on the neighboring properties;
4. the operator of the automotive service facility shall operate the traffic flow and parking needs of the facility completely within the limits of the parcel's parking lot;
5. all vehicle maintenance, service, washing and detailing shall occur inside the building with the exception of emissions testing, which may be located outside the main service entrance at the southeast corner of the building;
6. Except for vehicles dropped for service after hours, all vehicles in the parking lot shall include all of their body parts and wheels/tires and be capable of being moved on their own wheels/tires;
7. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate an automotive service facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Hartland Service.
2. The business activities permitted hereunder are limited to the operation of an automotive service facility.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein in addition to the conditions contained herein below.

- a. The touch-less wash may be operated on a 24 hours per day seven days per week basis provided noise and light levels are maintained at an acceptable level.
 - b. The “soft-cloth,” conveyor system may be operated approximately 12 hours per day between the hours of 6:00am and 9:00pm, seven days per week, with an attendant at all times the conveyor is in use.
 - c. Wash equipment shall be located, oriented, operated and maintained in such a way as to minimize light, visual and noise impact on residential neighbors
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
 6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
 7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the automobile service facility operations by November 15, 2016.
 8. Notwithstanding the forgoing, this CUP shall expire on April 27, 2017.

This conditional use permit is hereby issued this 27th day of April, 2015 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]

MEMO

TO: David E. Cox, Village Administrator
FROM: Michael Einweck, Director of Public Works
DATE: April 23, 2015
SUBJECT: State/Municipal Agreement (SMA) for a State-Let Project -
Community Sensitive Solutions (CSS)

Attached for the Village Board's consideration is an agreement with the Wisconsin Department of Transportation (WISDOT) to perform work on the STH 83 Interchange with STH 16. This agreement will set a budget of \$148,500 in order to provide Community Sensitive Solutions (CSS) for the project and to assign maintenance responsibility to the Village for the new sidewalk/pathway within the Village's jurisdiction. The CSS items include bridge aesthetics on retaining walls, abutments, parapets and railings, benches along the multi-use path, and trees along the terrace and medians.

The Village received a clarification from WISDOT that our potential project costs are limited to only Village-requested non-participating items and costs that exceed the CSS budgeted amount (please see attached).

There is also a nominal amount budgeted for any non-participating items that may be encountered with the project. None are anticipated at this time though.

Please place this on the April 27, 2015, Village Board agenda for consideration.

Attachments

cc: Darlene Igl, Village Clerk
Mike Gerszewski, DPW Operations Supervisor



**STATE/MUNICIPAL AGREEMENT
FOR A STATE- LET HIGHWAY
PROJECT**

Date: April 9, 2015
 I.D.: 1330-10-01/21/71
 Road Name: STH 16
 Limits: STH 83 Interchange
 County: Waukesha
 Roadway Length: 0.49 Miles

The signatory Village of Hartland, hereinafter called the Municipality, through its undersigned duly authorized officers or officials, hereby requests the State of Wisconsin Department of Transportation, hereinafter called the State, to initiate and effect the highway or street improvement hereinafter described.

The authority for the Municipality to enter into this agreement with the State is provided by Section 86.25(1), (2), and (3) of the Statutes.

NEEDS AND ESTIMATE SUMMARY:

Existing Facility - Describe and give reason for request: Improvement

Proposed Improvement - Nature of work: As determined by project scoping.

Describe non-participating work included in the project and other work necessary to finish the project completely which will be undertaken independently by the municipality: A nominal amount is included to cover items in paragraph 4 (to be adjusted in the final plan).

TABLE 1: SUMMARY OF COSTS

Phase	Total Est. Cost	Federal/State Funds	%	Municipal Funds	%*
Preliminary Engineering: Plan Development	\$ 500,000	\$ 500,000	100%	\$ -	0%
Real Estate Acquisition: Acquisition	\$ 200,000	\$ 200,000	100%	\$ -	0%
Compensable Utilities	\$ 10,000	\$ 10,000	100%	\$ -	0%
Construction: Participating	\$ 9,700,000	\$ 9,700,000	100%	\$ -	0%
CSS #	\$ 148,500	\$ 148,500	MAX	\$ -	BAL
New Sidewalk	\$ 200,000	\$ 200,000	100%	\$ -	0%
Non-Participating	\$ 1,000	\$ -	0%	\$ 1,000	100%

Total Cost Distribution \$ 10,759,500 \$ 10,758,500 \$ 1,000

* See Item 9 Basis for local participation in Terms and Conditions

Total CSS funds of \$148,500 to be distributed between, Village of Hartland, City of Delafield and Town of Merton per mutual agreement determined during design.

This request is subject to the terms and conditions that follow (pages 2 – 4) and is made by the undersigned under proper authority to make such request for the designated Municipality and upon signature by the State and delivery to the Municipality shall constitute agreement between the Municipality and the State. No term or provision of neither the State/Municipal Agreement nor any of its attachments may be changed, waived or

terminated orally but only by an instrument in writing executed by both parties to the State/Municipal Agreement.

Signed for and in behalf of the Village of Hartland (please sign in blue ink)		
Name	Title	Date
Signed for and in behalf of the State (please sign in blue ink)		
Name	Title SE Region Planning Chief	Date

TERMS AND CONDITIONS:

1. The initiation and accomplishment of the improvement will be subject to the applicable Federal and State regulations.
2. The Municipality shall pay to the State all costs incurred by the State in connection with the improvement which exceed Federal/State financing commitments or are ineligible for Federal/State financing. Local participation shall be limited to the items and percentages set forth in the Summary of Costs table that show Municipal funding participation. In order to guarantee the Municipality's foregoing agreements to pay the State, the Municipality, through its above duly authorized officers or officials, agrees and authorizes the State to set off and withhold the required reimbursement amount as determined by the State from any moneys otherwise due and payable by the State to the Municipality. The costs listed in Table 1: Summary of Costs are approximate costs unless otherwise noted. The Municipality will be responsible for actual costs incurred.
3. Funding of each project Phase is subject to inclusion in an approved program and per the State's Facility Development Manual (FDM) standards. Federal aid and/or State transportation fund financing will be limited to participation in the costs of the following items as specified in the Summary of Costs:
 - (a) Design engineering and state review services.
 - (b) Real Estate necessitated for the improvement.
 - (c) Compensable utility adjustment and railroad force work necessitated for the project.
 - (d) The grading, base, pavement, curb and gutter and bridge costs to State standards, excluding the cost of parking areas.
 - (e) Storm sewer mains, culverts, laterals, manholes, inlets, catch basins and connections for surface water drainage of the improvement; including replacement and/or adjustments of existing storm sewer manhole covers and inlet grates as needed.
 - (f) Construction engineering incidental to inspection and supervision of actual construction work, except for inspection, staking and testing of sanitary sewer and water main.
 - (g) Signing and pavement marking necessitated for the safe and efficient flow of traffic, including detour routes.
 - (h) Replacement of existing sidewalks necessitated by construction and construction of new sidewalk at the time of construction. Sidewalk is considered to be new if it's constructed in a location where it has not existed before.
 - (i) Replacement of existing driveways, in kind, necessitated by the project.
 - (j) New installations or alteration resulting from roadway construction of standard State street lighting and traffic signals or devices. Alteration may include salvaging and replacement of existing components.

4. Work necessary to complete the improvement to be financed entirely by the Municipality or other Utility or Facility Owner includes the following items:
 - (a) New installations of or alteration of sanitary sewers and connections, water, gas, electric, telephone, telegraph, fire or police alarm facilities, parking meters, and similar utilities.
 - (b) New installation or alteration of signs not necessary for the safe and efficient flow of traffic.
 - (c) Roadway and Bridge width in excess of standards.
 - (d) Construction inspection, staking and material testing and acceptance for construction of sanitary sewer and water main.
 - (e) Parking lane costs.
 - (f) Coordinate, clean up, and fund any hazardous materials encountered for city utility construction. All hazardous material cleanup work shall be performed in accordance to state and federal regulations.
5. As the work progresses, the Municipality will be billed for work completed which is not chargeable to Federal/State funds. Upon completion of the project, a final audit will be made to determine the final division of costs.
6. If the Municipality should withdraw the project, it shall reimburse the State for any costs incurred by the State in behalf of the project.
7. The work will be administered by the State and may include items not eligible for Federal/State participation.
8. The Municipality shall at its own cost and expense:
 - (a) Maintain all portions of the project that lie within its jurisdiction for such maintenance through statutory requirements, in a manner satisfactory to the State and shall make ample provision for such maintenance each year. This agreement does not remove the current municipal maintenance responsibility.
 - (b) Maintain all items outside the travel lane along the project, to include but not limited to parking lanes, curb and gutter, drainage facilities, sidewalks, multi-use paths, retaining walls, pedestrian refuge islands, landscaping features and amenities funded by community sensitive solutions.
 - (c) Maintain and accept responsibility for the energy, operation, maintenance, repair and replacement of the lighting system.
 - (d) Prohibit angle parking.
 - (e) Regulate parking along the highway. The municipality will file a parking declaration with the state.
 - (f) Use the WisDOT Utility Accommodation Policy unless the Municipality adopts a policy which has equal or more restrictive controls.
 - (g) Provide complete plans, specifications and estimates for sanitary sewer and water main work. The Municipality assumes full responsibility for the design, installation, inspection, testing and operation of the sanitary sewer and water system. This relieves the State and all of its employees from the liability for all suits, actions or claims resulting from the sanitary sewer and water system construction.
 - (h) Maintain all community sensitive solutions and/or enhancement funded items.
 - (i) Coordinate with the state on changes to highway access within the project limits.
 - (j) In cooperation with the state, assist with public relations for the project and announcements to the press and such outlets as would generally alert the affected property owners and the community of the nature, extent, and timing of the project and arrangements for handling traffic within and around the project.

- (k) Maintain signs and pavement markings not necessary for the safe and efficient movement of traffic (no parking signs, crosswalk pavement markings not at signalized intersections, etc).
9. Basis for local participation: Participation is based on actual costs incurred, all costs listed in Table 1: Summary of Costs are approximate costs unless otherwise noted.
- (a) Funding for preliminary engineering 100% State
 - (b) Funding for real estate required for standard roadway construction, 100% State
 - (c) Funding for compensable utilities required for standard roadway construction, 100% State.
 - (d) Funding for construction of standard roadway items – 100% State.
 - (e) Funding for sidewalks on NHS route, where no Trans 75 exceptions apply is funded 100% State. The Municipality agrees to maintain the multi-use path.
 - (f) Funding for Community Sensitive Solutions (CSS) – 100% State, maximum amount \$148,500. Costs above this maximum are 100% Municipal. The funding is to be used for enhancement features along the project limits. CSS funding of \$148,500 to be split between Village of Hartland, City of Delafield and Town of Merton per mutual agreement determined by design.
 - (g) Funding for non-participating items 100% Municipality.

[END]

Mike Einweck

From: Longtin, Thomas - DOT <Thomas.Longtin@dot.wi.gov>
Sent: Friday, April 24, 2015 9:09 AM
To: Mike Einweck
Cc: Higdon, Hans - DOT; Burns, Roslin - DOT
Subject: 1330-10-01 STH 16 and STH 83 Interchange State Municipal Agreement
Attachments: 1330-10-01 STH 16 VofHart STH 83inter.pdf

Mike,

I think most of your concerns about village costs should be addressed in the second sentence of section 2. "Local participation shall be limited to the items and percentages set forth in the Summary of Costs table that show Municipal funding participation."

The same thing for section 3 where it states "Federal aid and/or State transportation fund financing will be limited to participation in the costs of the following items as specified in the Summary of Costs:"

The Summary of Costs chart directs you to Section 9, which supplements the chart.

For the village on this project, the Section 8 focus is about maintenance of the multi use paths and sidewalk maintenance. The DOT does not have the equipment or staffing to do this maintenance and as such cannot respond to complaints.

Let me know if you have additional questions.Tom

Thomas Longtin | 262.548.5949 | SE Region State Program Engineer | thomas.longtin@dot.wi.gov