

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA  
MONDAY, MAY 18, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of April 20, 2015
2. Architectural Board consideration of an application for the construction of a 14' x 14' addition with basement to a single-family residence at 205 Chestnut Ridge.  
  
Applicant: Doug & Cindy Langford, 205 Chestnut Ridge Dr., Hartland, WI 53029  
Contractor: Country Life Homes, W239 N7456 Maple Ave., Sussex, WI 53089
3. Architectural Board consideration of an application for exterior updates for Bark River Properties, 300 Cottonwood Ave.  
  
Applicant: Bark River Properties, 252 E. Highland Ave., Milwaukee, WI 53202  
Contractor: Dick Bertrand/CMR Carpentry, W1890 Washington Rd., Oconomowoc, WI 53066
4. Items related to Architectural Board and Plan Commission consideration of a proposed 32-bed Memory Care CBRF and related Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit for the properties located at 430, 438 and 444 Merton Ave.
  - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to allow a community living arrangement with a capacity of greater than 16 (32 unit memory car facility).
  - b. Review of Site and Building Plans, Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit.  
Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027  
Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005
5. Architectural Board and Plan Commission review and consideration of an application for review of site and building plans for construction of an addition for Dorner Manufacturing, 975 Cottonwood Ave.  
  
Applicant: Dorner Manufacturing, 975 Cottonwood Ave., Hartland WI 53029  
Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

Joint Architectural Board/Plan Commission Agenda

Monday, May 18, 2015

Page 2

6. Plan Commission review and consideration of an application for a fence relocation for Kinney Properties, 630 E. Industrial Drive.

Applicant: Russ Kinney, 7051 Leanne Ct., Hartland, WI 53029

7. Plan Commission review and consideration of an application for the construction of a CNG Fuel Facility and Certified Survey Map to combine properties for Advanced Disposal Services, 547/559 Progress Drive.

Applicant: Advanced Disposal, 559 Progress Drive, Hartland, WI 53029

Engineer: Timothy E. Nelligan, 1644 N El Camino, San Clemente, CA 92672

8. Adjourn

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** Architectural Board and Plan Commission

**FROM:** David E. Cox, Village Administrator

**DATE:** May 15, 2015

**SUBJECT:** Agenda Information – May 18, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 4 Related to the Merton Ave Memory Care CBRF.

**Background:** This item is scheduled for conclusion of the required public hearing consideration of final approval. As a reminder, the project includes a proposed 32 unit memory care community based residential facility (CBRF) for the southeast corner of Merton Avenue and Sunny Slope Drive. The developer of the project has provided finalized plans for the building and site including building layout and elevations, site layout, storm water facilities, landscaping and lighting. Commission is asked to open and continue the public hearing and to give final review of the material. A revised draft of the Conditional Use Permit (CUP) for this project, used to allow a community living arrangement of this size in this District, is in the packet for consideration. In addition to the items outlined in the draft CUP, the Commission may wish to discuss with the developer the following items:

1. How deliveries to the facility will be handled and whether any restrictions should be placed on that activity.
2. Service times for the facility as they relate to refuse and recycling removal and deliveries.
3. Potential revisions to the lighting plan.
4. Clearing, cleaning and maintenance plans for the wooded area on the east side of the parcel.

**Recommendation:** Notwithstanding the final discussion, staff recommends approval of the proposed project including final recommendations on:

1. Land Use Plan Amendment to Multi Family Senior Housing.
2. Zoning Amendment from B-1 Neighborhood Business and RD-2 Two Family Residential to RM-1 Multiple Family Residential.
3. Site and Building Plans
4. Conditional Use Permit

Item 5 Related to an addition to Dorner Manufacturing

**Background:** Dorner Manufacturing is proposing a 25,000 square foot addition to its existing facility on the company's 18 acre site on Cottonwood Avenue. The addition, which will provide for an expansion of the company's manufacturing area, includes an overhead door for

shipping and receiving as well the related access drive. The proposed project includes expansion of the existing storm water management facilities to accommodate the additional hard surface and the proposal seems to accomplish that task. Staff has encouraged the petitioner to examine the future potential build out of the site, which could include more than 100,000 square feet of building and considerable parking lot space, to determine if future expansions of the storm water facilities would likely be needed.

Recommendation: Staff recommends approval of the building and site plans.

Item 6 Related to a fence relocation at Kinney Properties

Background: Kinney Properties is proposing to relocate a fence on the property from its existing location near the building to a location nearer to the street in an effort to eliminate some maneuvering difficulties on the site for large trucks caused by the current fence configuration. The proposed location is allowed by the Code in the industrial area. The Commission may wish to review the staging of trucks outside the gate to determine whether there is enough space for a truck to stop outside the gate and not extend onto the roadway. Additionally, the Commission should ensure that it is comfortable with the proposed landscaping plan.

Recommendation: Staff recommends approval of the fence relocation.

Item 6 Related to addition of CNG Fueling to the Advanced Disposal Property

Background: Advanced Disposal Services (ADS) is proposing to convert part of its refuse and recycling collection vehicle fleet to Compressed Natural Gas (CNG). Commensurate with that change, ADS is proposing to add the related fueling facilities for the new vehicles. The fueling facilities will allow the filling of CNG vehicles on site generally during overnight hours. As part of the work related to the CNG system, staff has requested ADS to address certain deficiencies in the property including fencing, asphalt condition and screening issues. Currently, the operations at this facility have made employee parking a challenge and, long term, the company may need to address that situation. Additionally, ADS is combining the two properties they occupy into one parcel.

Recommendation: Staff recommends approval of the CNG fueling system.

DC:PC Agenda Info 5-18

cc: Ryan Amtmann, Village Engineer  
Mike Einweck, Public Works Director  
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND  
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES  
MONDAY, APRIL 20, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand (Chairperson), Jim Schneeberger, Randy Swenson and Jack Wenstrom.

Others Scott Hussinger, Building Inspector/Zoning Administrator, Lynn Meyer/Deputy Clerk and David Cox/Administrator.

Roll Call

1. Motion (deCourcy-Bower/Hallquist) to approve the Jt. Architectural Board/Plan Commission Minutes of March 16, 2015. Carried (7-0).
2. Architectural Board consideration of an application for a sign permit for Premier Real Estate Hartland, LLC, 621 W. Capitol Drive.

Contractor: Nicolet Lumber, 4050 Nicolet Dr., Green Bay, WI 54311

The non-illuminated monument sign will be constructed with brick that matches the buildings. It meets all Village requirements. There will be landscaping at the base. The name of the complex is Arbor Valley Estates Apartment Homes.

Motion (deCourcy-Bower/Hallquist) to approve an application for a sign permit for Premier Real Estate Hartland, LLC, 621 W. Capitol Drive. Carried (7-0).

3. Architectural Board consideration of an application for a sign permit for Hartland Village Mart, Inc., 301 E. Capitol Drive.

Contractor: Bauer Sign Company, 2500 South 170<sup>th</sup> Street, New Berlin, WI 53151

Mike Bedani would like to upgrade his business sign so that he can market his diesel fuel and also use the electronic message center feature to promote business products and community events. The sign will be mounted on a single pole. The message will have their open business hours which are Monday – Saturday 5 AM – 10 PM, Sunday 6 AM – 9 PM. The message will be color LED lighting.

Scott Hussinger stated that gas stations have always been allotted more square footage for their signs because of a State Statute (Scott needs to confirm this) that says they have to display prices. All of the Village's gas station signs exceed the 35 square feet maximum.

The Board questioned the brightness of the sign, the scrolling message, the duration of the message, the flashing and the changing. It was thought that this could be a distraction.

Mr. Bedani said he will keep the distraction of the drivers to a minimum and keep the messages simple. He will input three to four messages, no more.

Mr. Bedani was asked if the lighting for the message is dimmable, however, he did not know. He does plan on shutting the message off at 10 PM each night. He may use a static time/temp display.

If the duration of the message is too quick, it's a distraction. The Village should have a minimum standard and it can always be modified in 30 days or so.

David deCourcy-Bower was concerned if other businesses on E. Capitol Drive would want to put up similar signs. Visually, he felt that would not fit with what we have planned for the downtown area. This type of sign is fine for HWY 16 or HWY 83. Mr. deCourcy-Bower was not opposed to the additional diesel price information on the sign.

Chairperson Lamerand stated that the Village would look at each sign application individually if that should come up in the future. This area used to have banners announcing Village activities. We don't allow the banners anymore but this could replace that in an acceptable way.

Studies on these types of signs have shown that for safety purposes, the messages should not scroll, should not flash, and they should remain visible for a long enough time that the driver can decide when to read it. Administrator Cox said that a 20 – 30 second duration seems reasonable. If that duration seems excessive, the Commission can modify it at a later date.

Motion (Wenstrom/Swenson) to approve an application for a sign permit for Hartland Village Mart, Inc., 301 E. Capitol Drive, contingent upon staff's recommendations and control over the brightness and duration of the messages. Carried (6-1). deCourcy-Bower – No.

4. Architectural Board consideration of an application for the construction of an 8' x 14' porch addition to a single-family residence at 242 Hill Street.

Applicant: Karen Booth, 242 Hill Street, Hartland, WI 53029

Contractor: Mark Oberst, N43 W32831 Rasmus Rd., Nashotah, WI 53058

Karen Booth stated that the contractor will regrade the driveway to help water flow. An 8' x 14' porch will be added to the front of the home, creating a new entrance that is at least 7 inches above grade. The doorway will also be moved. The proposed addition meets the setback requirements.

Motion (deCourcy-Bower/Wenstrom) to approve the construction of an 8' x 14' porch addition to a single-family residence at 242 Hill Street. Carried (7-0).

5. Architectural Board consideration of an application for exterior updates for HL Salon, 140 Cottonwood Ave.

Applicant: Heidi Lindemann, N627 S Hickory Hills Dr., Oconomowoc, WI 53066  
Contractor: Scott Watson Construction, 929 N. Astor, Unit 1206, Milwaukee, WI 53202

Heidi Lindemann gave an overview of the project. There will be new windows, new signs, dormers over the doors, scalloped shingles and stone work. The building will be painted blue. The Business Improvement District Board has seen the plans and approves the project.

The building front improvements will include scalloped shingles at the top, a dormer over the front door, and new shingles on the front small roof area. The old cinderblock brick will be removed and stone veneer will be installed on the lower front of the building. The upper windows have previously been replaced. The two lower windows will stay and are in good condition. The planter boxes on the upper windows will be taken down.

The BID Board suggested some decorative grid-work on the two front windows; however, the two windows are not the same dimension. The top windows have a white grid that makes a "T" and the BID Board thought the same should be done with the two larger windows at the bottom. The applicant will try the grids to see how they look. There will be white horizontal blinds on the windows.

The north side of the building will have the same sign as on the front. Two windows will be added to help cross ventilation and lighting.

At the back side of the building, the large tree has been taken down because it was infested with bugs and it was a nuisance to the building. The gutters will be replaced on the building. The same scallops and dormer will be added over the back door, as in the front. A sign will also be added. There will be three signs total that are all the same size.

Motion (Hallquist/deCourcy-Bower) to approve the application for exterior updates for HL Salon, 140 Cottonwood Avenue and also for the signs. Carried (7-0).

6. Items related to Architectural Board and Plan Commission consideration of a proposed 32-bed Memory Care CBRF and related Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit for the properties located at 430, 438 and 444 Merton Ave.
  - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to allow a community living arrangement with a capacity of greater than 16 (32

unit memory care facility) – MOTION to continue the Public Hearing to the May 18, 2015 meeting.

The continuation of the Public Hearing to the May meeting is due to the fact that a full set of plans was not available for the public to review prior to the April meeting.

Jackie & Bryan Lufter of 405 Hill N Dale Circle were present. Their property lies south and east of the planned development. They wanted to know where the planned building would be positioned in relation to their property. The Board pointed out the layout. There was discussion regarding a wooded area that belonged to the previous property owner that was not taken care of. In the past, the Lufters have tried to take care of it. The quality of trees is not the best and many are dead.

At this point the developer has not done a thorough review of that woods. The applicant was present and stated that he would go through and clean up that wooded area.

The cyclone fence between the commercial property and the applicant's property will be taken down and the area will be landscaped.

Motion (deCourcy-Bower/Swenson) to continue the Public Hearing to the May 18, 2015 Meeting. Carried (7-0).

- b. Review of Site and Building Plans, Land Use Plan Amendment, RM-1 Zoning and Conditional Use Permit and MOTION to table the item to the May 18, 2015 meeting.

Applicant: JPS Limited, LLC, 126 E. Prospect Ave., Hartford, WI 53027

Architect: Trio Engineering, 12660 W. North Ave., Brookfield, WI 53005

The tree survey, landscaping and storm water are being worked on and are not yet complete. A draft of the conditional use was in the packets, outlining some of the conditions that staff has mentioned. At the meeting in May, the Board will consider the following: The amendment to the Land Use Plan to designate the area as high density multi-family senior, a recommendation for the zoning to turn this into a multi-family 1 zoning, and a Conditional Use Permit to allow a community living arrangement of this size in the District.

Motion (deCourcy-Bower/Wenstrom) to table this item and carry it over to the May 18, 2015 meeting. Carried (7-0).

7. Items related to Architectural Board and Plan Commission consideration of a 13,400 sq. ft. auto service, auto detail and car wash addition for Hartland Service Car Wash & Detail Building, 400 E. Industrial Drive, Hartland

Applicant: Michael & Deborah Kusch, N65 W30981 Beaver Lake Rd., Hartland, WI 53029

Engineer: MSI General, P.O. Box 7, Oconomowoc, WI 53066

The project was reviewed and initially approved by the Plan Commission at its March meeting. At that time, the Commission was not asked to set a public hearing. However, based on the revised project and the fact that the project was reviewed twice by the Commission, a public hearing was noticed by staff in order to give the Commission the opportunity to evaluate and finalize the project without delay.

- a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to allow Automotive Service (Vehicle Wash and Vehicle Service)

There were no comments from the public.

The Commission raised the question asking if the residents across Cottonwood Avenue were notified of tonight's meeting. Administrator Cox replied that all properties within about 400 feet should have received notification by last week Thursday.

The Commission would like to receive a listing of who is notified. Administrator Cox said the Clerk will provide a list in future packets.

The applicant submitted the construction documents. The previous comments received from Ryan Amtmann were addressed. One open item was the discussion on during construction, having access only on Industrial Drive. However, Mike Kusch wants to also use the Cottonwood drive. All construction traffic will use HWY 83 and Industrial Drive.

The project will be substantially complete by October.

The Village wants to make sure that the screening for headlights coming from the car wash is finished before it opens. The applicant said that the 3 foot berm with plantings will be put in place right away. The fill for the berm will come from the retention pond that will be dug. The use of the Cottonwood drive will be needed for these projects.

The current detail center will stay up for as long as it can. Mr. Kusch is hoping to move the equipment from the old building to the new building when that is finished. But, if that doesn't work, he can use the existing shop area for car detailing.

Administrator Cox described the three components of the business operation – the repair shop, the emissions testing station and the car wash. The Conditional

Use will initially be a two year permit. In late 2016, Hartland Service will come back to the Plan Commission and will mostly likely be granted a longer permit.

The outside of the building will be repainted dark gray and light gray, with a blue accent band and the carwash will have a red accent panel. The southeast corner will have a new entryway top. Mr. Kusch is planning on keeping the awning that is currently used for the emissions testing area.

- b. Consideration of a Motion to approve Site and Building Plans.

Motion (Swenson/Hallquist) to recommend to the Village Board approval of Site and Building Plans for a 13,400 sq. ft. auto service, auto detail and car wash addition for Hartland Service Car Wash & Detail Building, 400 E. Industrial Drive, Hartland. Carried (7-0).

- c. Consideration of a Motion to approve a Conditional Use Permit.

The wall mounted lights will be LED. The Village Ordinance is one-half foot candle at the property line and the photometrics show that the lighting will be near zero.

Administrator Cox mentioned that one of the items in the Conditional Use Permit addresses the vehicles that are dropped off at the parking lot. The parked vehicles need to appear to be functional. If a vehicle has been in a wreck, it should be pulled inside the building.

Motion (Hallquist/Swenson) to recommend to the Village Board the approval of a Conditional Use Permit for a 13,400 sq. ft. auto service, auto detail and car wash addition for Hartland Service Car Wash & Detail Building, 400 E. Industrial Drive, Hartland. Carried (7-0).

- 8. Plan Commission consideration of an application for a proposed parking lot expansion for Heraeus Electro-Nite Co., 541 S. Industrial Drive.

Applicant: Heraeus Electro-Nite Co., LLC, 541 S. Industrial Drive, Hartland, WI 53029

Engineer: MSI General, P.O. Box 7, Oconomowoc, WI 53066

Heraeus Electro-Nite Co. is experiencing parking shortages after its recent expansion. The proposed addition will add 23 new spaces to the west side of the property adjacent to STH 83. The storm water plan has been modified and the storm water facilities are able to accommodate the additional parking. New landscaping will be added to the "islands" in the new section of the parking lot. The new parking is generally at the rear of the property as the building and site is orientated toward S. Industrial Drive.

The islands are depressions with boulders around them and trees in the middle. Administrator Cox requested that they mix the variety of deciduous trees that will be planted.

The total number of parking spaces will be 146.

Motion (deCourcy-Bower/Hallquist) to recommend to the Village Board approval of application for a proposed parking lot expansion for Heraeus Electro-Nite Co., 541 S. Industrial Drive. Carried (7-0).

9. Adjourn

Motion (Wenstrom/Swenson) to adjourn. Carried (7-0). Meeting adjourned at 8:00 PM.

Respectfully submitted by  
Recording Secretary,

Lynn Meyer  
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>205 CHESTNUT RIDGE DR, HARTLAND, WI 53029</u>			
Lot <u>15</u>	Block <u>2</u>	Subdivision <u>CHESTNUT RIDGE</u>	Key No. HAV <u>0424 068</u>
Owner <u>DOUG/CINDY LANGFORD</u>		EMAIL <u>dlangford@wi-rt.com</u>	Phone <u>262-367-8351</u>
Address <u>205 CHESTNUT RIDGE DR</u>		City <u>HARTLAND</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>COUNTRY LIFE HOMES</u>		Phone <u>262-246-8533</u> FAX	EMAIL <u>NA</u>
Address <u>W239 N7456 MAPLE AVE</u>		City <u>SUSSEX</u>	State <u>WI</u> Zip <u>53089</u>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is on the SECOND MONDAY of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**One & Two Family**

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: \_\_\_\_\_ Date of Meeting: 05/18/15 Item No. 3



Department of Building Inspection

PERMIT # \_\_\_\_\_

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION 205 CHESTNUT RIDGE DR. HARTLAND, WI 53029
LOT 15 BLOCK 2 SUBD CHESTNUT RIDGE TAX KEY 0424068
OWNER DOUG & CINDY LANGFORD PHONE 262-367-8351 FAX NA
ADDRESS 205 CHESTNUT RIDGE DR CITY, STATE, ZIP HARTLAND, WI 53029
CONTRACTOR COUNTRY LIFE HOMES PHONE 262-246-8532 FAX NA
ADDRESS 10239 N7456 MAPLE AVENUE CITY, STATE, ZIP SUSSEX, WI 53089

When permit is ready notify: Contractor Owner By: Mail Phone Fax
Project Description: 14' X 14' ADDITION WITH BASEMENT

Current principal use of property RESIDENCE
Proposed principal use of property RESIDENCE
Width 14' Length 14' Sq. Ft. 196 Height 13' 6" Cu. Ft. 2,156
Estimated cost of above job(s) \$ 35,000
State Approval \_\_\_\_\_ Date \_\_\_\_\_
Class of Construction \_\_\_\_\_ Sprinkler \_\_\_\_\_ Stories \_\_\_\_\_

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Doug Langford Date 4/30/15

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

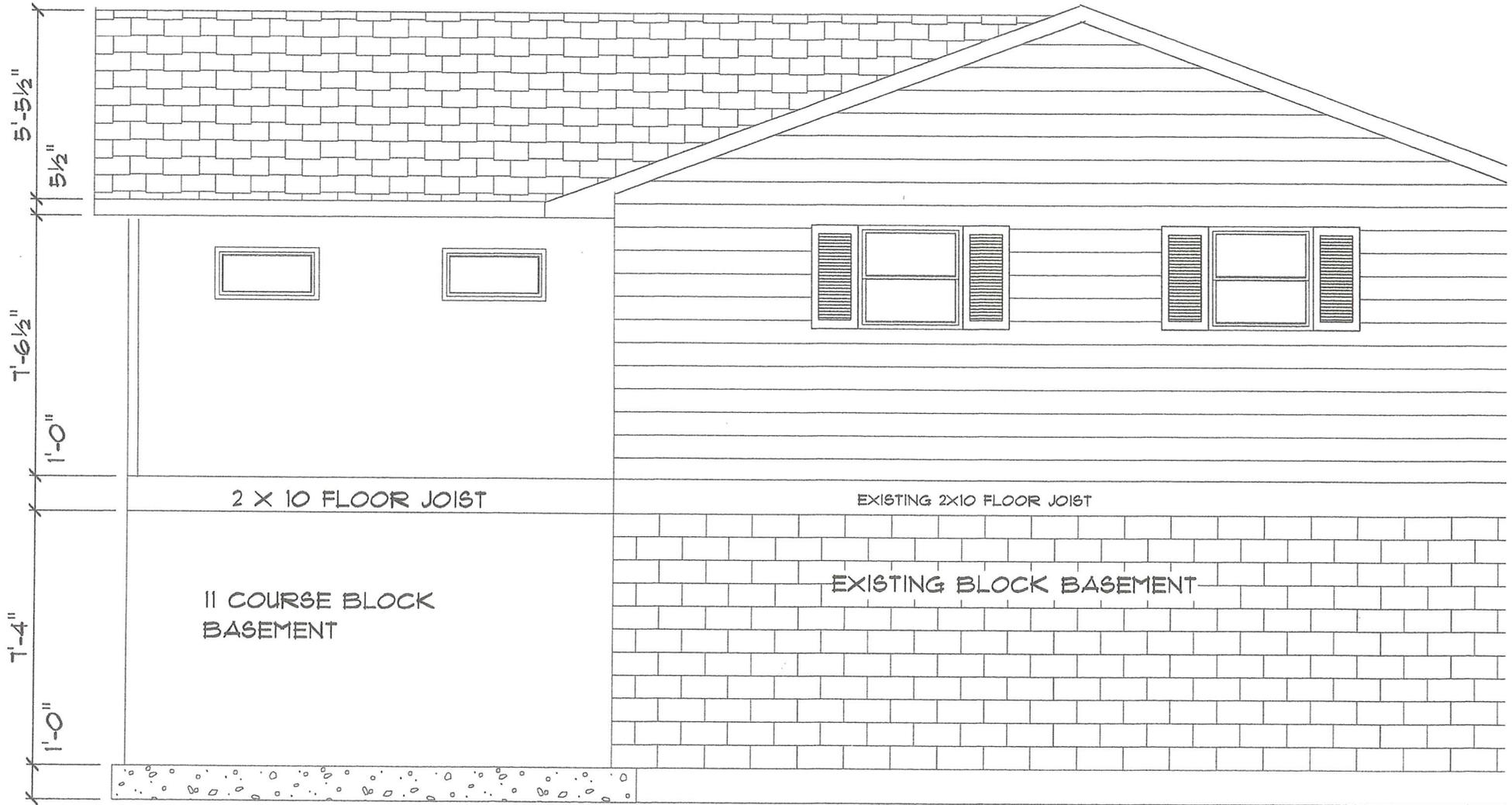
- 1. See plans for possible conditions/recommendations
2.
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TOTAL FEES
Date Paid
Receipt

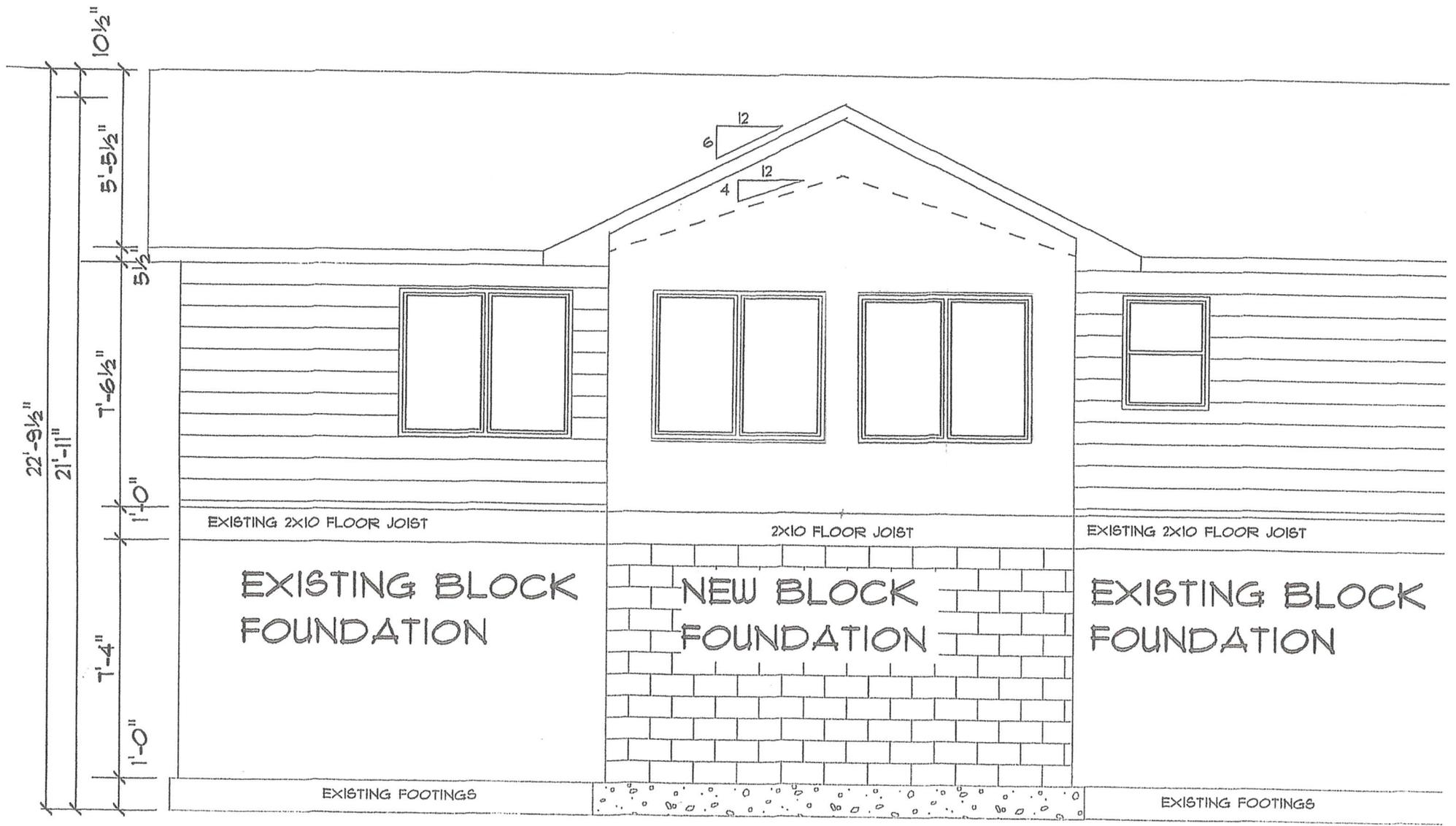
Meeting dates plans were approved for building permit:
Plan Commission \_\_\_\_\_ Village Board \_\_\_\_\_ Arch Board \_\_\_\_\_

APPLICATION APPROVED ON: \_\_\_\_\_ DATE BY: \_\_\_\_\_ BUILDING INSPECTOR

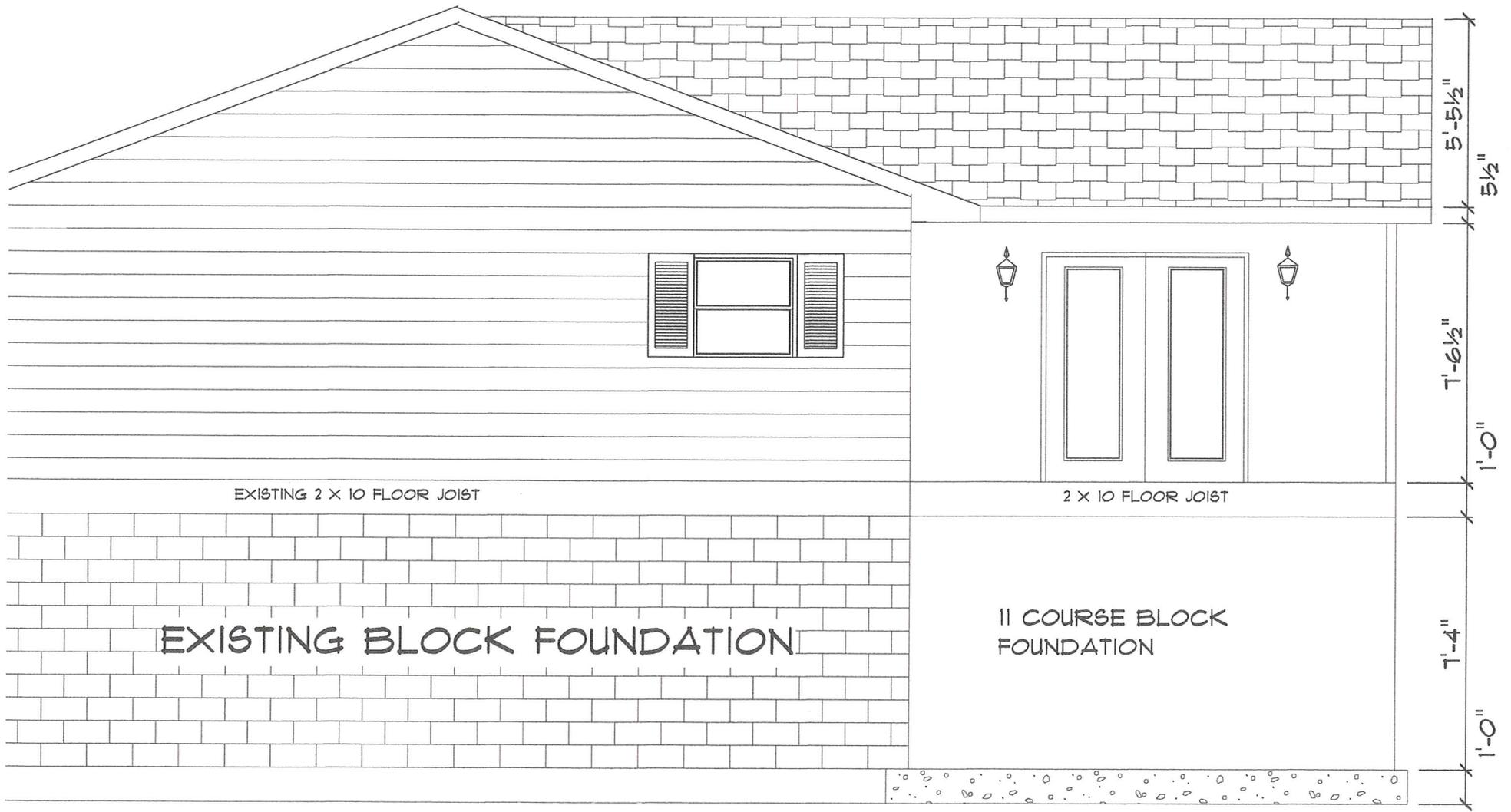
OWNER: DOUG & CINDY LANGFORD  
PROJECT ADDRESS: 205 CHESTNUT RIDGE DR, HARTLAND, WI 53029  
BUILDER: COUNTRY LIFE HOMES  
PHONE: 262-246-8533  
ADDRESS: W239 N7456 MAPLE AVENUE, SUSSEX, WI 53089



EAST ELEVATION WITH BASEMENT

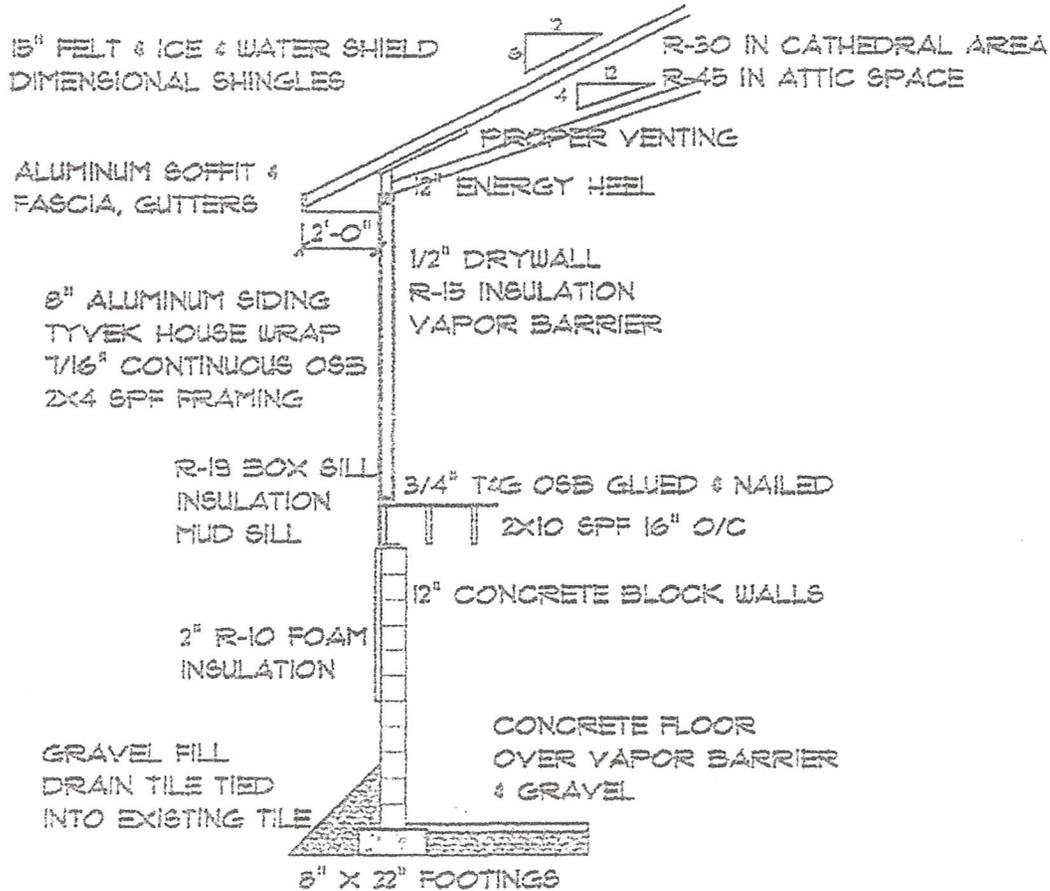


SOUTH ELEVATION W/BASEMENT

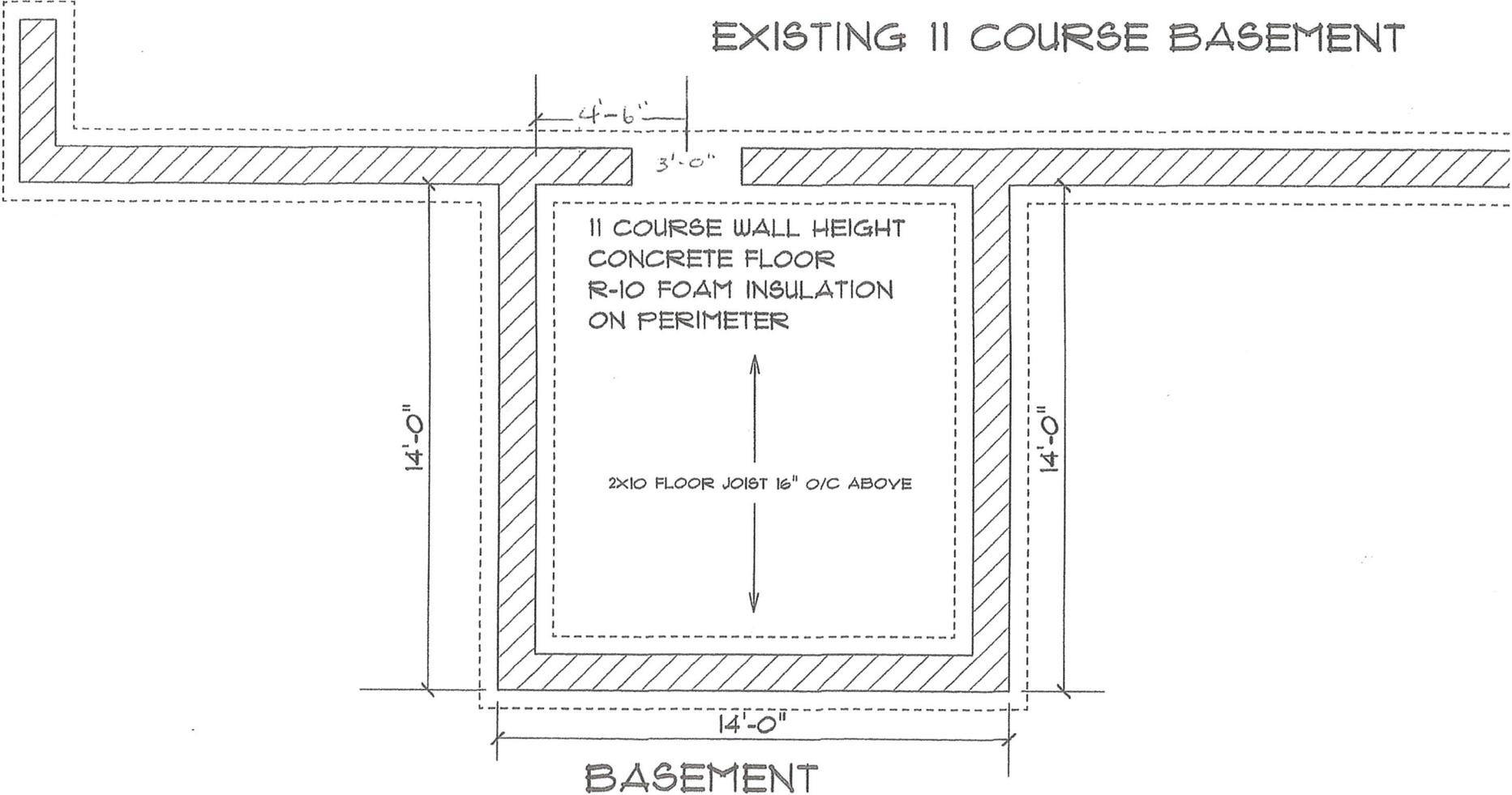


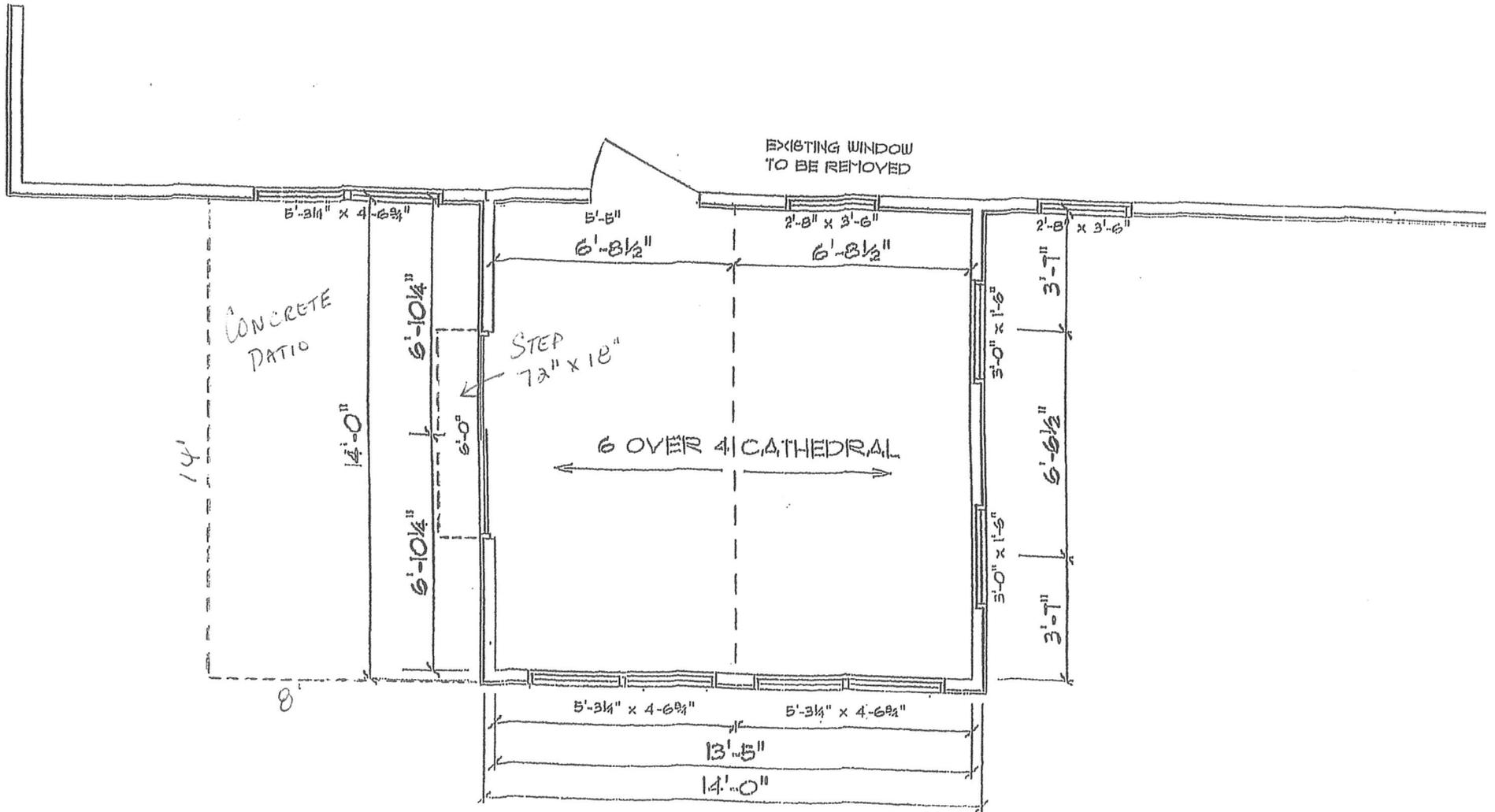
WEST ELEVATION WITH BASEMENT

# WALL CROSS SECTION WITH BASEMENT



# EXISTING 11 COURSE BASEMENT





FIRST FLOOR PLAN





ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430  
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR ARCHITECTURAL BOARD

\* email agenda \*

Job Address <u>300 Cottonwood</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>BARKRIVER Properties</u>		Phone <u>920-474-3800</u>	
Address <u>Hartland</u>		City <u>Hartland</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>CMR &amp; Dicks</u>	Phone	FAX	E-Mail Address
Address <u>Boston</u>		City	State Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

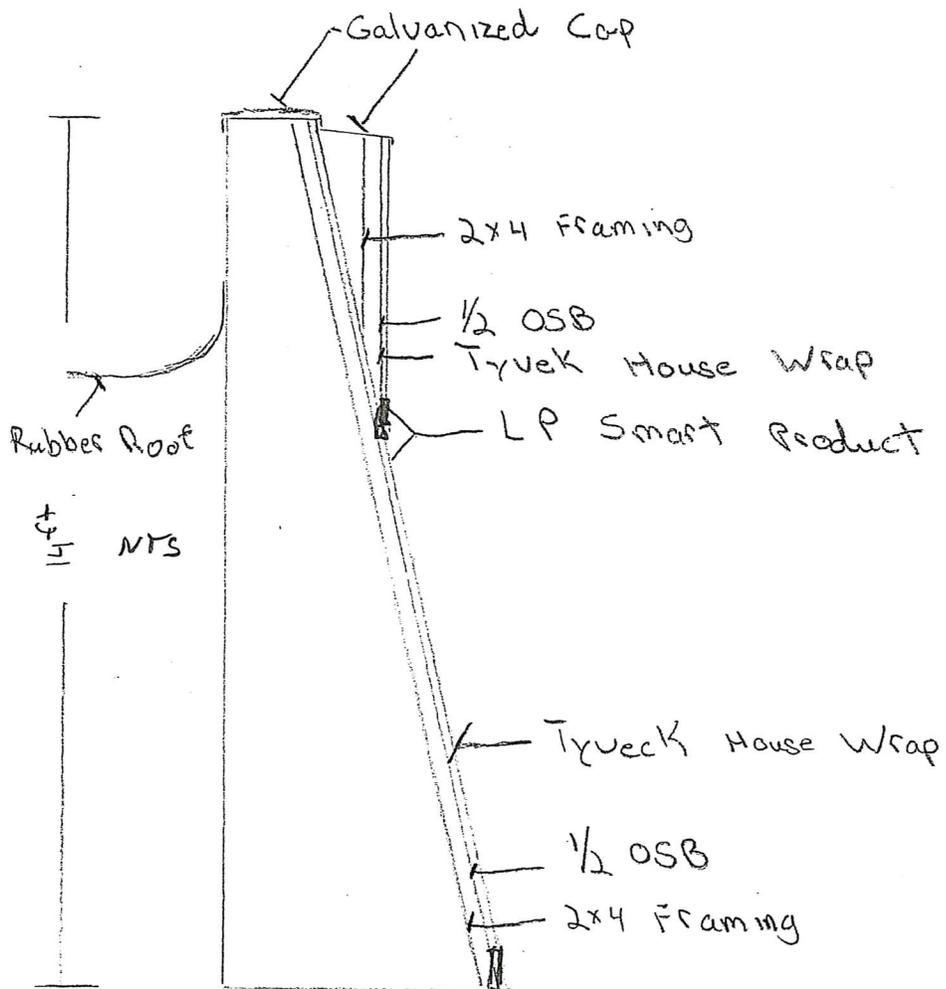
**One & Two Family**

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
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NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

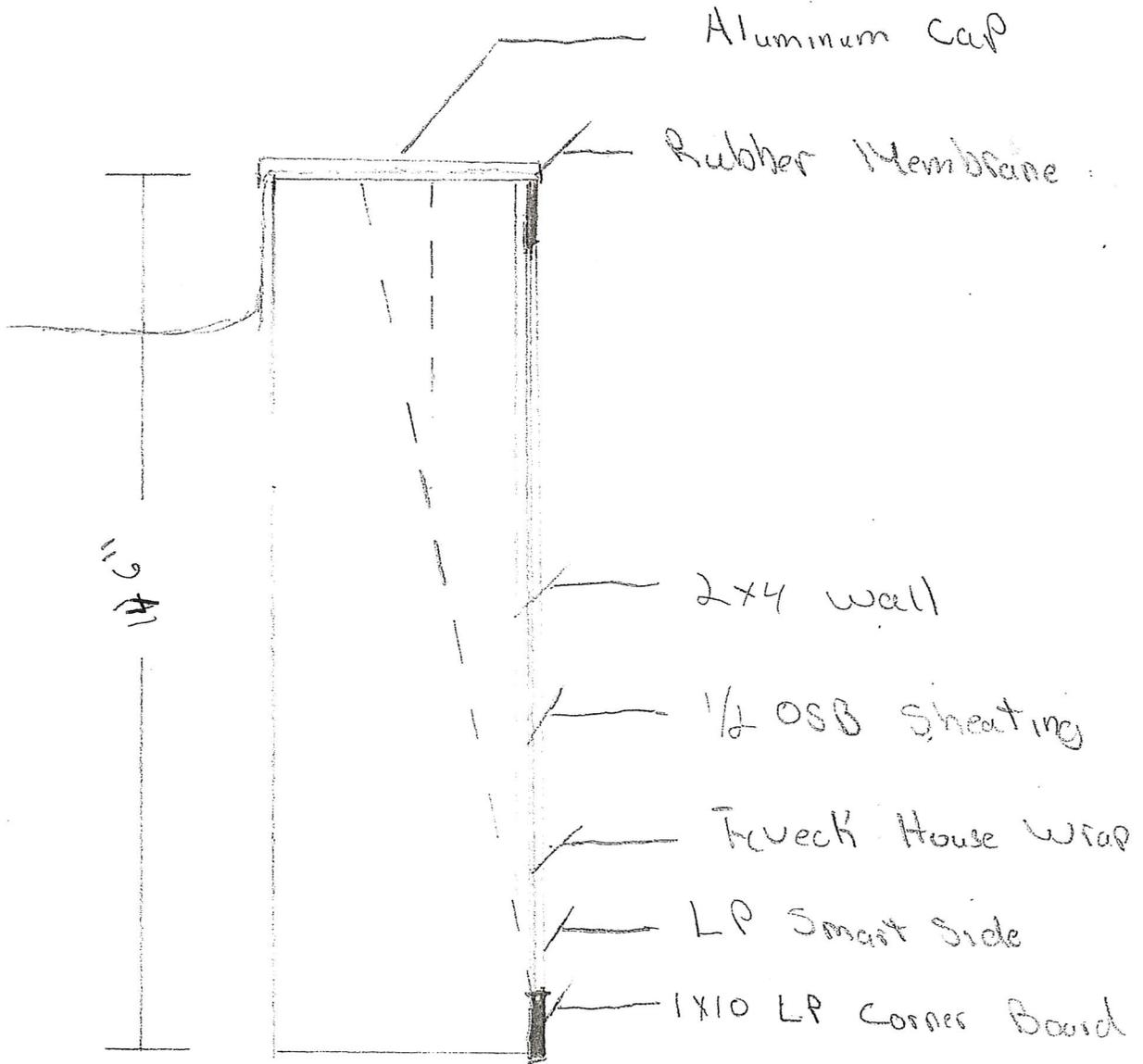
Date Applied: \_\_\_\_\_ Date of Meeting: 05/18/15 Item No. 2

# New WALL IN BETWEEN CORNER



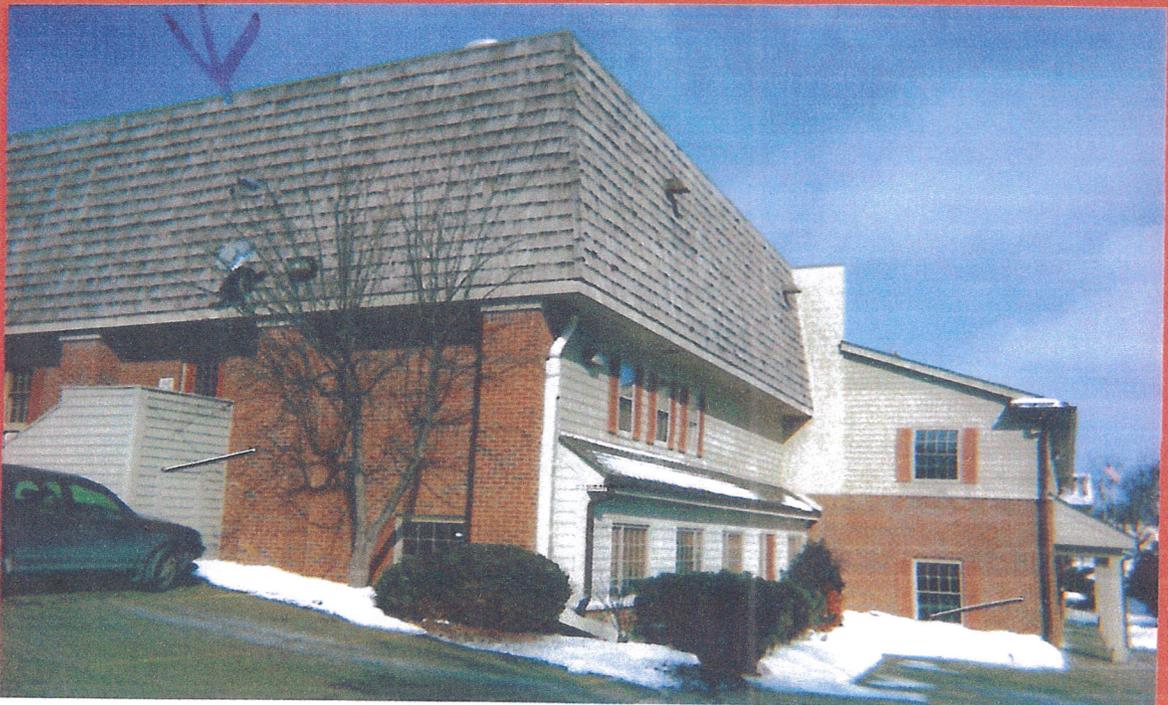
New WALL - cut Side CORNERS

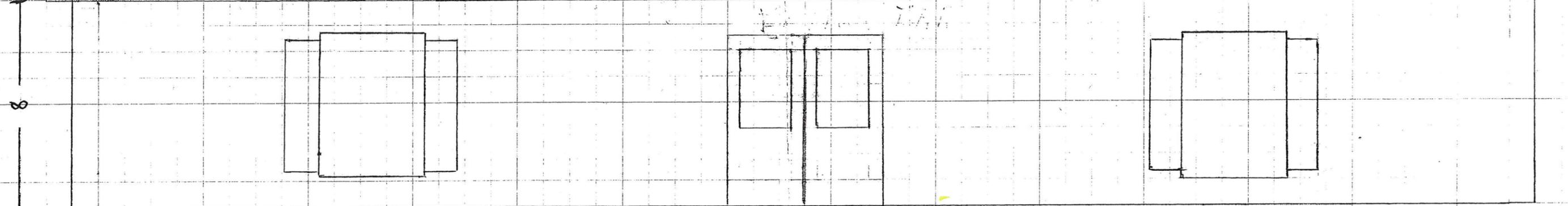
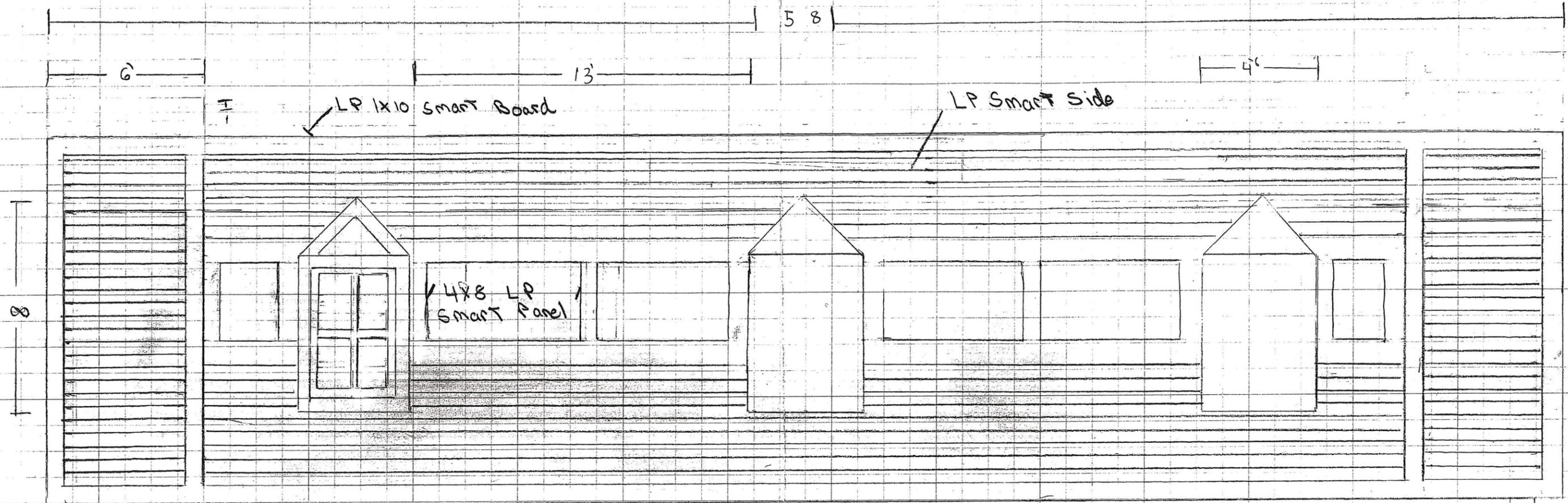
Three CORNERS



4-10-15

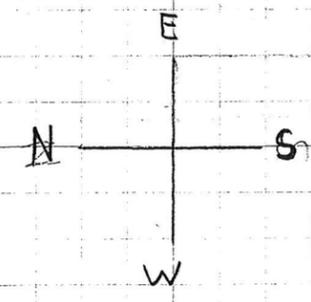
We will  
Remove  
50 yr old  
cedar shake  
shingles





Front/West/Elevation - Elevation is the same on all 3 sides

Dormers Windows will be replaced with LP Smart panel and wrapped with LP Smart Trim for a raised grid Look



BAYRIVEN Properties  
300 COTTONWOOD AVE  
HARTLAND WI 53029

Key  
5-1-15  
LP Smart Board

**CMR Carpentry, Inc.**  
Decks, Finish, Remodeling  
Free Estimates • Fully Insured

**Chris Rzepiejewski**

262-966-0382 Home

RIVER RESERVE HOMEOWNERS  
C/O JACK WENSTROM  
PO BOX 82  
HARTLAND WI 53029

MARK A HAGLIN  
WENDY B HAGLIN  
1001 WOODS DR  
HARTLAND WI 53029

DANIEL TAYLOR  
MARY-JO TAYLOR  
1003 WOODS DR  
HARTLAND WI 53029

PDC PARTNERS LLC  
700 WALNUT RIDGE DR  
HARTLAND WI 53029-8892

TI INVESTORS OF HARTLAND LLC  
710 N PLANKINTON AVE STE 1400  
MILWAUKEE WI 53203-2418

DAISY PROPERTIES LLC  
9700 W BLUEMOUND RD  
WAUWATOSA WI 53226

UBIII (COTTONWOOD) LLC  
9450 W BRYN MAWR AVE STE 750  
ROSEMONT IL 60018-5253

COTTONWOOD III LLC  
C/O BRIOHN MANAGEMENT LLC  
3885 N BROOKFIELD RD STE 200  
BROOKFIELD WI 53045

THERESA M THOMAS  
915 WOODS DR  
HARTLAND WI 53029-2905

GREGG W MARTIN  
DORENE A MARTIN  
917 WOODS DR  
HARTLAND WI 53029

ENVIRONMENTAL INVESTMENT GROUP  
950 WALNUT RIDGE DR  
HARTLAND WI 53029

EMIL M GEORGIEV  
921 WOODS DR  
HARTLAND WI 53029

ROBERT J ROTH  
LAURIE J ROTH  
101 TRAILS EDGE CT  
HARTLAND WI 53029

EDWARD G & CARLEEN J MICHALSKI  
FAMILY TRUST  
1005 WOODS DR  
HARTLAND WI 53029

ROBERT T HASSLER  
KELLY M HASSLER  
913 WOODS DR  
HARTLAND WI 53029-2903

EALON LLC  
6231 HIGHWAY 83  
HARTLAND WI 53029-9706

JEFFREY WAGNER  
JACQUELINE WAGNER  
919 WOODS DR  
HARTLAND WI 53029-2905

JARED W HENZLIK  
SHEILA R HENZLIK  
102 TRAILS EDGE CT  
HARTLAND WI 53029

ICE AGE PARK & TRAIL FOUNDATION  
207 E BUFFALO ST STE 515  
MILWAUKEE WI 53202

BRC INC  
700 WALNUT RIDGE DR  
HARTLAND WI 53029

CARL HAROLDSON  
MARILYN HAROLDSON  
N49W28689 CHARDON DR  
HARTLAND WI 53029

JACK DAHLKE PROPERTIES LLC  
336 COTTONWOOD AVE  
HARTLAND WI 53029

ELIZABETH M TOBOLT  
W313N9173 HOFF RD  
HARTLAND WI 53029

KELLY NORDBY  
221 COTTONWOOD AVE  
HARTLAND WI 53029

BARK RIVER PROPERTIES  
252 E HIGHLAND AVE  
PO BOX 223  
MILWAUKEE WI 53202-3131

BELTER AND ASSOCIATES LLC  
N78W29196 FLYNN RD  
HARTLAND WI 53029

TERRANCE J GUNDERSON  
227 GOODWIN AVE  
HARTLAND WI 53029

DANIEL M SAAR & AMIE L KLEMP-SAAR  
S68W29422 VALLEY PASS WOODS  
MUKWONAGO WI 53149

MARTIN M KOMONDOROS  
223 WILLOW CT  
HARTLAND WI 53029

SHAWN RIEGE  
AMY RIEGE  
193 CHESTNUT RIDGE DR  
HARTLAND WI 53029

JEREMY L HEDRICK  
ALLISON M HEDRICK  
188 CHESTNUT RIDGE DR  
HARTLAND WI 53029

HARRY GEORGE  
LINDA GEORGE  
217 CHESTNUT RIDGE DR  
HARTLAND WI 53029

BERNARD J HETRICK  
CYNTHIA L HETRICK  
194 CHESTNUT RIDGE DR  
HARTLAND WI 53029

BRIAN OCONNOR  
BARBARA OCONNOR  
206 CHESTNUT RIDGE DR  
HARTLAND WI 53029

THOMAS HESS  
DEANNA HESS  
221 WILLOW CT  
HARTLAND WI 53029

MSI GENERAL  
PO BOX 7  
OCONOMOWOC, WI 53066

DOUGLAS N LANGFORD  
CYNTHIA L LANGFORD  
205 CHESTNUT RIDGE DR  
HARTLAND WI 53029

MARY JANE FENNIG  
196 LINDEN CT  
HARTLAND WI 53029-1307

JAMES MURDOCK  
CAROL MURDOCK  
211 CHESTNUT RIDGE DR  
HARTLAND WI 53029

ROBERT M GINN  
SHARON E GINN  
199 CHESTNUT RIDGE DR  
HARTLAND WI 53029

COUNTRY LIFE HOMES  
W239 N7456 MAPLE AVE  
SUSSEX, WI 53089

DORNER MFG  
PO BOX 20  
HARTLAND, WI 53029

MANFRED & JEANNE C TREU 2014  
208 LINDEN CT  
HARTLAND WI 53029-1308

KEVIN BIELECKI  
JENNIFER BIELECKI  
202 LINDEN CT  
HARTLAND WI 53029

GLENN W LINDEMANN  
KATHLEEN A LINDEMANN  
200 CHESTNUT RIDGE DR  
HARTLAND WI 53029

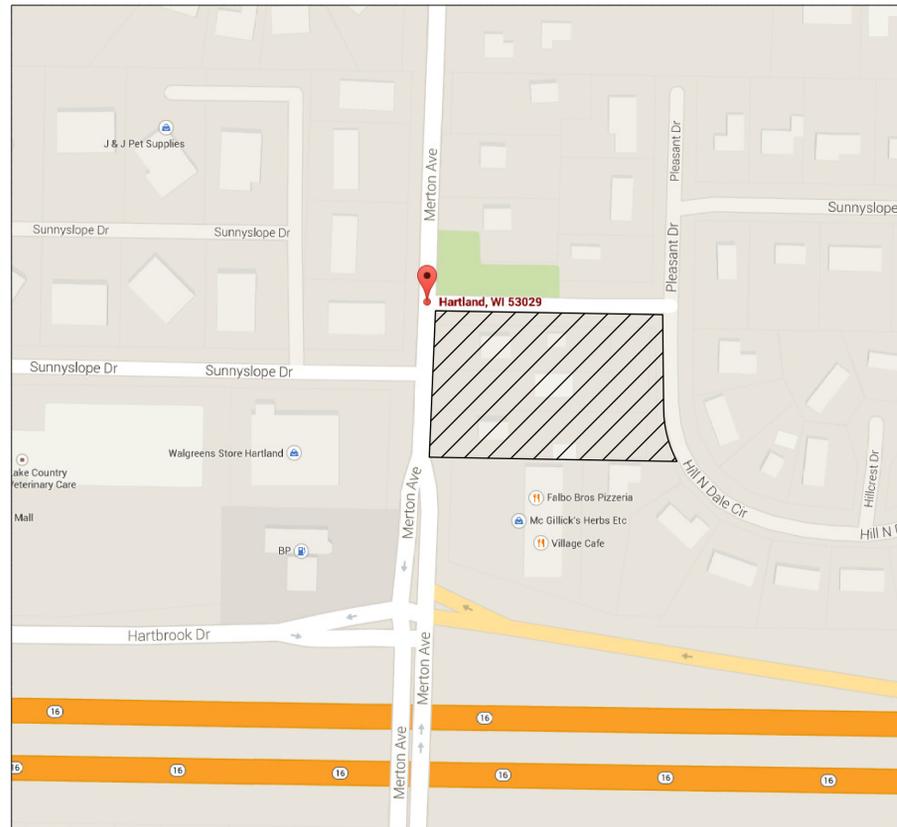
ROBERT ARNOLD  
GAIL ARNOLD  
182 CHESTNUT RIDGE DR  
HARTLAND WI 53029

DICK BERTRAND  
W1890 WASHINGTON RD  
OCONOMOWOC, WI 53066

HARTLAND SENIOR LIVING LLC  
 THIRTY-TWO UNIT COMMUNITY BASED  
 RESIDENTIAL FACILITY

PROJECT LOCATION:  
 SE CORNER OF MERTON AVENUE & SUNNY SLOPE DRIVE  
 VILLAGE OF HARTLAND, WI

DEVELOPER:  
 JPS LIMITED, LLC  
 126 E. PROSPECT AVENUE  
 HARTFORD, WI 53027  
 414-881-2112



VICINITY MAP  
 SCALE: NOT TO SCALE



SHEET INDEX	
<u>COVER</u>	
C-1	PROJECT COVER SHEET
<u>ARCHITECTURAL</u>	
A-1	CONGREGATE FLOOR DETAIL EGRESS CORRIDORES & SMOKE COMPARTMENTS
A-2	GENERAL FLOOR PLAN
A-3	UNIT FLOOR PLANS
A-4	WALL FRAMING PLAN A
A-5	WALL FRAMING PLAN B
A-6	WALL FRAMING PLAN C
A-7	WALL FRAMING PLAN D
A-8	ELEVATIONS
A-9	ROOF PLAN
A-10	BUILDING SECTIONS 1 & 2
A-11	BUILDING SECTION 3
A-12	DOOR, WINDOW, FINISH SCHEDULES, AND MANEUVERING CLEARANCE AT SWING DOORS
A-13	ACCESSIBILITY NOTES & DETAILS
A-14	DUMPSTER ENCLOSURE DRAWINGS
A-15	FIRE RATING SPECIFICATIONS
<u>STRUCTURAL</u>	
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
S-3	STRUCTURAL DETAILS
S-4	SHEAR WALL & STRUCTURAL NOTES

REVIEW DRAWINGS  
 NOT FOR CONSTRUCTION

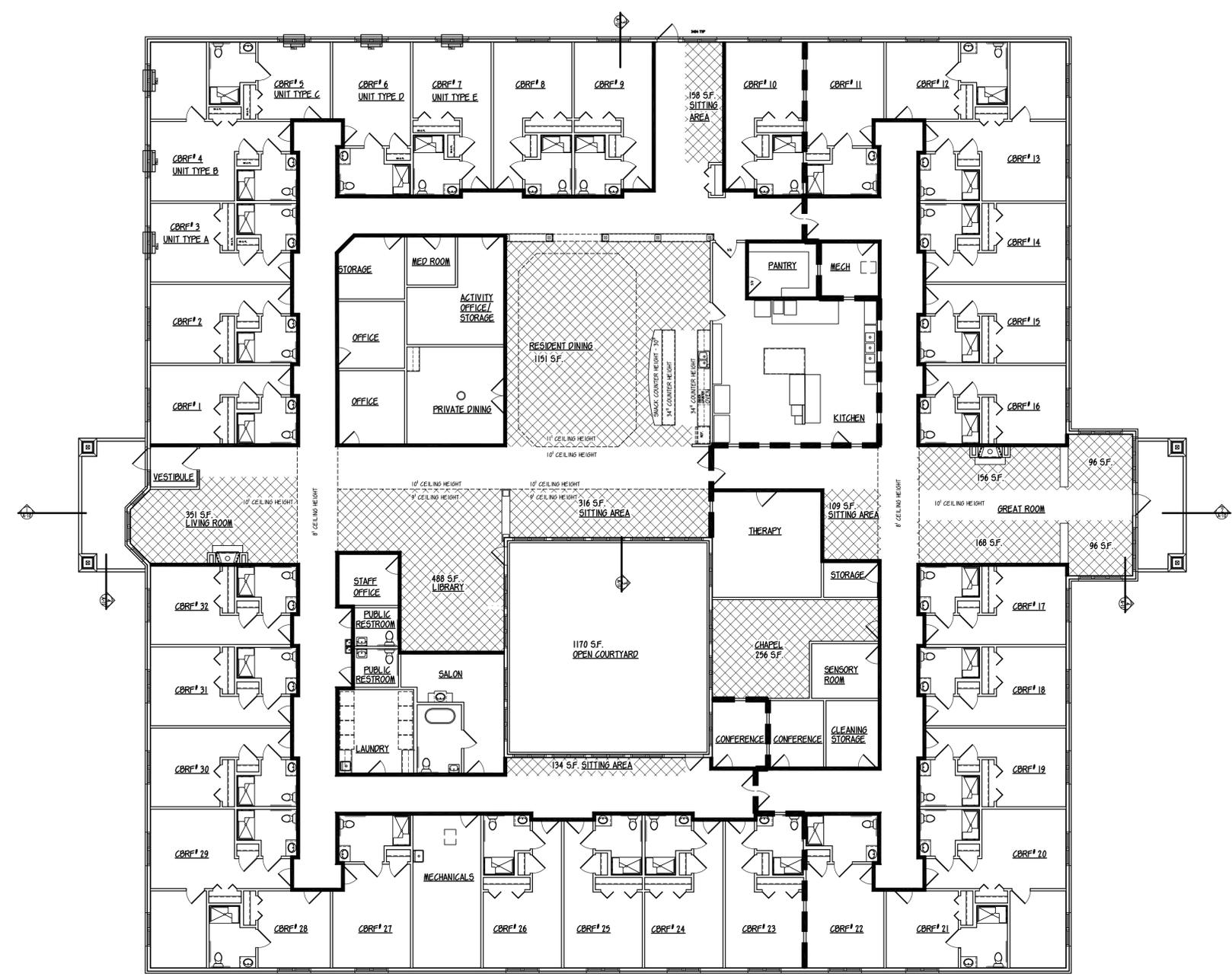
JOB NUMBER  
 JFS-2700-215  
 DATE  
 5 / 8 / 2015

NEW HORIZON  
 VENTURES, L.L.C.  
 ARCHITECTS/PLANNERS  
 P.O. BOX 292, GRAFTON, WI 53024  
 www.NEWHORIZONVENTURES.com  
 262.377.4730 or 262.375.2397

NOTE:  
COMMONS AREA FURNACE LOCATION & NUMBER TO BE VERIFIED BY HVAC CONTRACTOR. CONTRACTOR TO NOTIFY ARCHITECT OF LOCATION AND CHASE REQUIREMENTS. ALL CEILING PENETRATIONS REQUIRE ONE-HOUR FIRESTOP SYSTEM.

NOTE:  
D.H.S. 83.35 (6)(b)  
THE TEMPERATURE OF ALL DOMESTIC WATER HEATERS CONNECTED TO SINKS, SHOWERS, AND TUBS USED BY RESIDENTS SHALL BE SET AT A TEMPERATURE OF AT LEAST 140° F.  
THE TEMPERATURES OF WATER AT FIXTURES IN SHOWERS AND TUBS USED BY RESIDENTS SHALL BE AUTOMATICALLY REGULATED BY VALVES AND MAY NOT EXCEED 115° F, EXCEPT FOR CBRF'S EXCLUSIVELY SERVING RESIDENTS RECOVERING FROM ALCOHOL OR DRUG DEPENDENCY OR CLIENTS OF A GOVERNMENTAL CORRECTIONS AGENCY.

NOTE:  
OCCUPANCY - GROUP, I-2 INSTITUTIONAL  
TYPE OF CONSTRUCTION - VA  
WOOD FRAME PROTECTED STRUCTURAL FRAME, BEARING WALLS AND ROOF CONSTRUCTION I HR. FIRE-RESISTANCE RATING.  
CEILING PENETRATIONS TO MEET "UL" REQUIREMENTS FOR 1 HOUR FIRE RATED MEMBRANE PENETRATION.  
PROVIDE AUTOMATIC SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH NFPA 13.  
PROVIDE COMPLETE NFPA 13 AUTOMATIC SYSTEM WITH RESIDENTIAL SPRINKLER HEADS IN ALL BEDROOMS, & ALL OTHER HABITABLE ROOMS & CORRIDORS. D.H.S. 83.48(8) 3 & 4.  
PROVIDE INTERCONNECTED SMOKE DETECTION SYSTEM WITH BUILDING ALARM. D.H.S. 83.48(1)  
PROVIDE HEAT DETECTION IN KITCHEN, EACH ENCLOSED COMPARTMENT OF ATTIC, FURNACE ROOM, AND LAUNDRY ROOM. D.H.S. 83.48(6)



REQUIRED LIGHT & VENTILATION: IN CONGREGATE AREAS	
LIVING ROOM	SQUARE FOOTAGE = 351 SQ. FT. REQUIRED LIGHT (8%) = 28.08 PROVIDED LIGHT = 32.6 REQUIRED VENTILATION (4%) = 14.04 PROVIDED VENTILATION = 15.89
GREAT ROOM and SITTING AREA	SQUARE FOOTAGE = 625 SQ. FT. REQUIRED LIGHT (8%) = 50 PROVIDED LIGHT = 100.32 REQUIRED VENTILATION (4%) = 25 PROVIDED VENTILATION = 33.03
SITTING ROOM - NORTH END	SQUARE FOOTAGE = 158 SQ. FT. REQUIRED LIGHT (8%) = 12.64 PROVIDED LIGHT = 16.60 REQUIRED VENTILATION (4%) = 6.32 PROVIDED VENTILATION = 8.55
SITTING ROOM - SOUTH END	SQUARE FOOTAGE = 134 SQ. FT. REQUIRED LIGHT (8%) = 10.72 PROVIDED LIGHT = 66.4 REQUIRED VENTILATION (4%) = 5.36 PROVIDED VENTILATION = 34.23
CHAPEL	SQUARE FOOTAGE = 256 SQ. FT. REQUIRED LIGHT (8%) = 20.48 PROVIDED LIGHT = 33.20 REQUIRED VENTILATION (4%) = 10.24 PROVIDED VENTILATION = 17.16
LIBRARY	SQUARE FOOTAGE = 488 SQ. FT. REQUIRED LIGHT (8%) = 39.04 PROVIDED LIGHT = 33.20 REQUIRED VENTILATION (4%) = 19.52 PROVIDED VENTILATION = 17.16 ALLOWED CONGREGATE AREA S.F. = 429
DINING & SITTING AREA	SQUARE FOOTAGE = 1467 SQ. FT. REQUIRED LIGHT (8%) = 117.36 PROVIDED LIGHT = 116.8 REQUIRED VENTILATION (4%) = 58.68 PROVIDED VENTILATION = 54.60 ALLOWED CONGREGATE AREA S.F. = 1365

SMOKE COMPARTMENTS  
EGRESS CORRIDORS  
CONGREGATE AREA

--- (SMOKE BARRIER WALL)  
--- (SMOKE PARTITION WALL)

CONGREGATE SQAURE FOOTAGE REQUIREMENTS:  
90 SQ. FT. PER RESIDENT (90 x 36 = 3240 SQ. FT.)  
TOTAL CONGREGATE SQAURE FOOTAGE = 3318  
(ALL WITH REQUIRED LIGHT & VENTILATION)

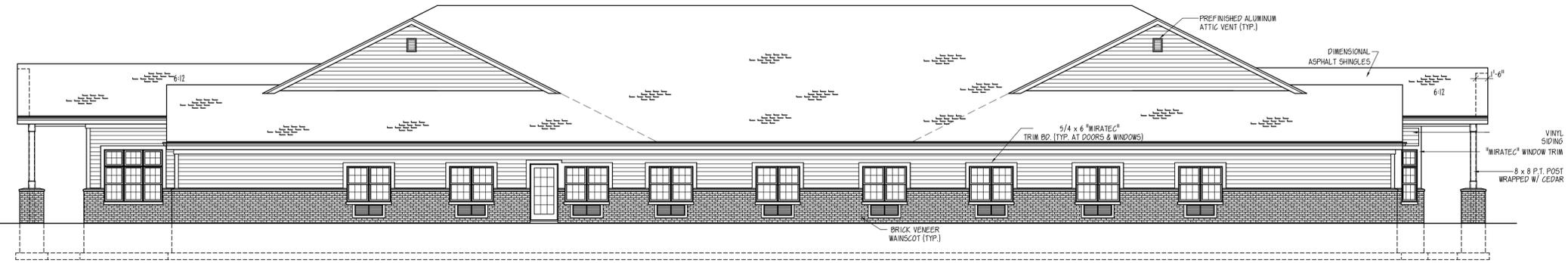


CONGREGATE FLOOR DETAIL, EGRESS CORRIDORS & SMOKE COMPARTMENTS

SCALE: 3/32" = 1'-0"  
GROSS SQUARE FOOTAGE = 22,699  
GROSS SQUARE FOOTAGE PLUS COVERED CANOPIES = 22,732

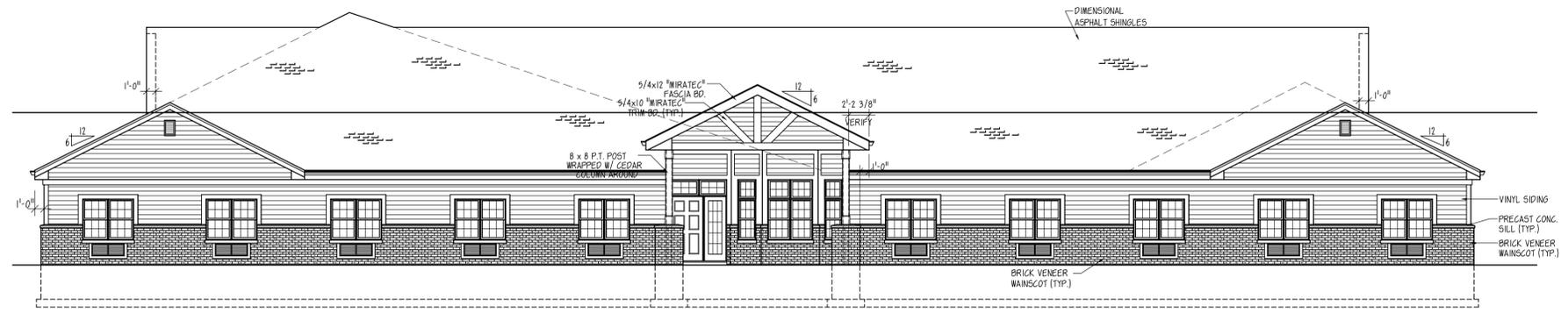
PROJECT  
HARTLAND 32 UNIT CBRF  
 NEW HORIZON VENTURES, L.L.C.  
ARCHITECTS/PLANNERS  
 P.O. BOX 292, GRAFTON, WI 53024  
http://www.nhv-arch.com  
262-377-4730 or 262-375-2397  
 JOB NUMBER: JFS-2700-215  
DATE: 5/8/2015  
 SHEET: A-1  
 CHECKED BY: D-S  
DRAWN BY: D-S  
 REVISIONS:

- OVERALL ROOF HEIGHT  
+126'-9"
- GABLE ROOF  
+118'-11 15/16"
- ROOF OVERHANG (MIN. HT.)  
+112'-0"
- CEILING HEIGHT  
+109'-0"
- TOP OF WAINSCOT  
+104'-0"
- FINISH FLOOR HEIGHT  
+100'-0"
- FINISH GRADE HEIGHT  
+99'-8"
- TOP OF FOOTING  
+96'-0"



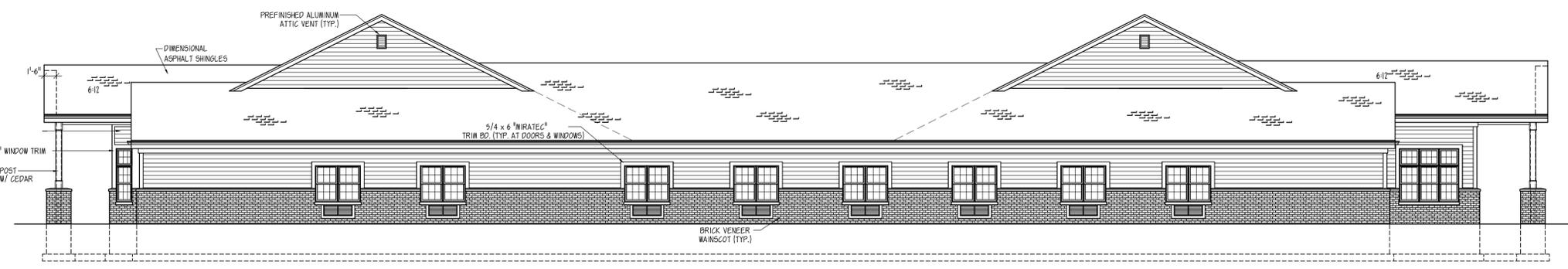
LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

- OVERALL ROOF HEIGHT  
+126'-9"
- GABLE ROOF  
+118'-11 15/16"
- ROOF OVERHANG (MIN. HT.)  
+112'-0"
- CEILING HEIGHT  
+109'-0"
- TOP OF WAINSCOT  
+104'-0"
- FINISH FLOOR HEIGHT  
+100'-0"
- FINISH GRADE HEIGHT  
+99'-8"
- TOP OF FOOTING  
+96'-0"



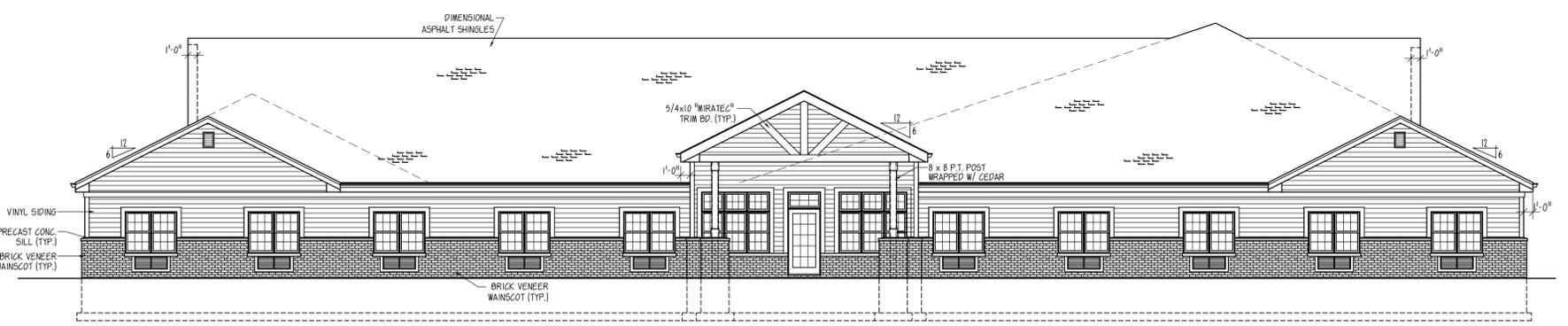
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

- OVERALL ROOF HEIGHT  
+126'-9"
- GABLE ROOF  
+118'-11 15/16"
- ROOF OVERHANG (MIN. HT.)  
+112'-0"
- CEILING HEIGHT  
+109'-0"
- TOP OF WAINSCOT  
+104'-0"
- FINISH FLOOR HEIGHT  
+100'-0"
- FINISH GRADE HEIGHT  
+99'-8"
- TOP OF FOOTING  
+96'-0"



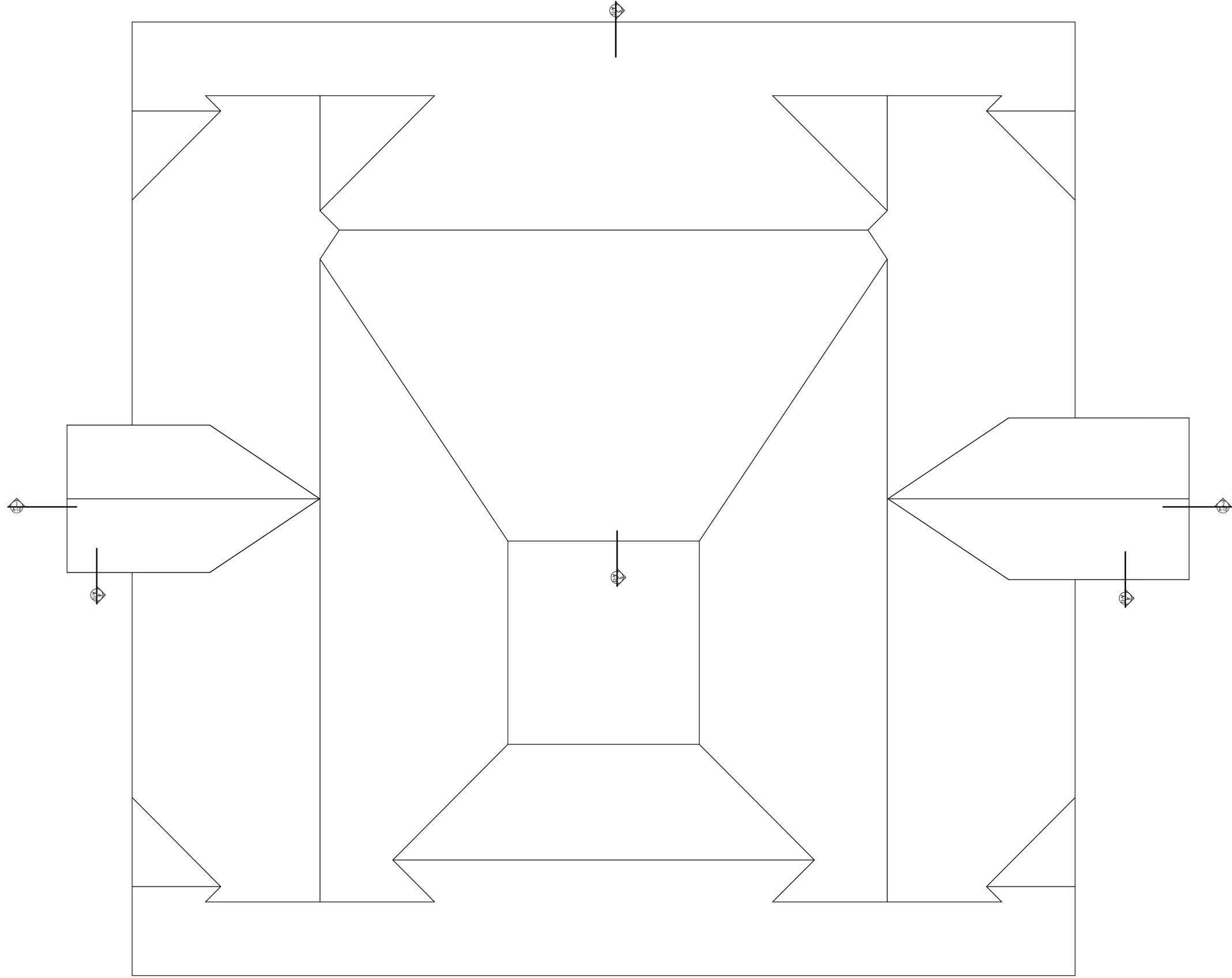
RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

- OVERALL ROOF HEIGHT  
+126'-9"
- GABLE ROOF  
+118'-11 15/16"
- ROOF OVERHANG (MIN. HT.)  
+112'-0"
- CEILING HEIGHT  
+109'-0"
- TOP OF WAINSCOT  
+104'-0"
- FINISH FLOOR HEIGHT  
+100'-0"
- FINISH GRADE HEIGHT  
+99'-8"
- TOP OF FOOTING  
+96'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

PROJECT HARTLAND 32 UNIT CERF			
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS			
P.O. BOX 292, GRAFTON, WI 53024 <a href="http://www.nhv-arch.com">http://www.nhv-arch.com</a> 262-377-4730 or 262-375-2397			
JOB NUMBER JFS-2700-215	DATE 5/8/2015	REVISIONS:	
SHEET  A-8	CHECKED BY: D.S.	DRAWN BY: D.S.	
NEW HORIZON VENTURES L.L.C. © 2013			



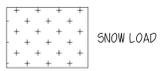
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

SNOW LOADS:  
BALANCED = 27.0 P.S.F.  
UNBALANCED = HIP/GABLE  
WINDWARD = 31 P.S.F.  
LEEWARD = 42.4 P.S.F.

DESIGN LOADS:  
TC LIVE 30 PSF  
TC DEAD 10 PSF  
EC DEAD 10 PSF

PROVIDE FOR SNOW DRIFT LOADS AND  
EQUIPMENT LOADS AS NOTED ON PLAN

ICE & WATER SHIELD @ ALL VALLEYS & GUTTERS  
ALL VALLEYS TO RECEIVE PREFINISHED METAL VALLEY MATERIAL



<b>PROJECT</b> HARTLAND 32 CERF	
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, CRAFTON, WI. 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397	
<b>JOB NUMBER</b> JF-9-2700-21B	<b>DATE</b> 5-8-2015
<b>REVISIONS:</b>	
<b>SHEET</b> A-9	<b>CHECKED BY:</b> D.S.
<b>DRAWN BY:</b> D.S.	



**GARLAND ALLIANCE**  
 P.O. BOX 51025  
 MILWAUKEE, WI 53203  
 MR. TIM R.S. GARLAND, RLA  
 MASTER LANDSCAPE ARCHITECT



**GARLAND ALLIANCE**  
 LANDSCAPE ARCHITECTS  
 P.O. BOX 51025  
 MILWAUKEE, WI 53203  
 PHONE: (414) 962-1602  
 EMAIL: tim@garlandbygarland.com



12660 W. NORTH AVENUE  
 BROOKFIELD, WI 53005  
 PHONE: (262) 790-1480  
 FAX: (262) 790-1481  
 EMAIL: jpdello@trioeng.com

**PROJECT:**  
**HARTLAND 32-BED CBRF**  
 VILLAGE OF HARTLAND, WISCONSIN  
 BY: JPS LIMITED LLC,  
 126 E. PROSPECT AVE.  
 HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/27/2015	PER VILLAGE REVIEW

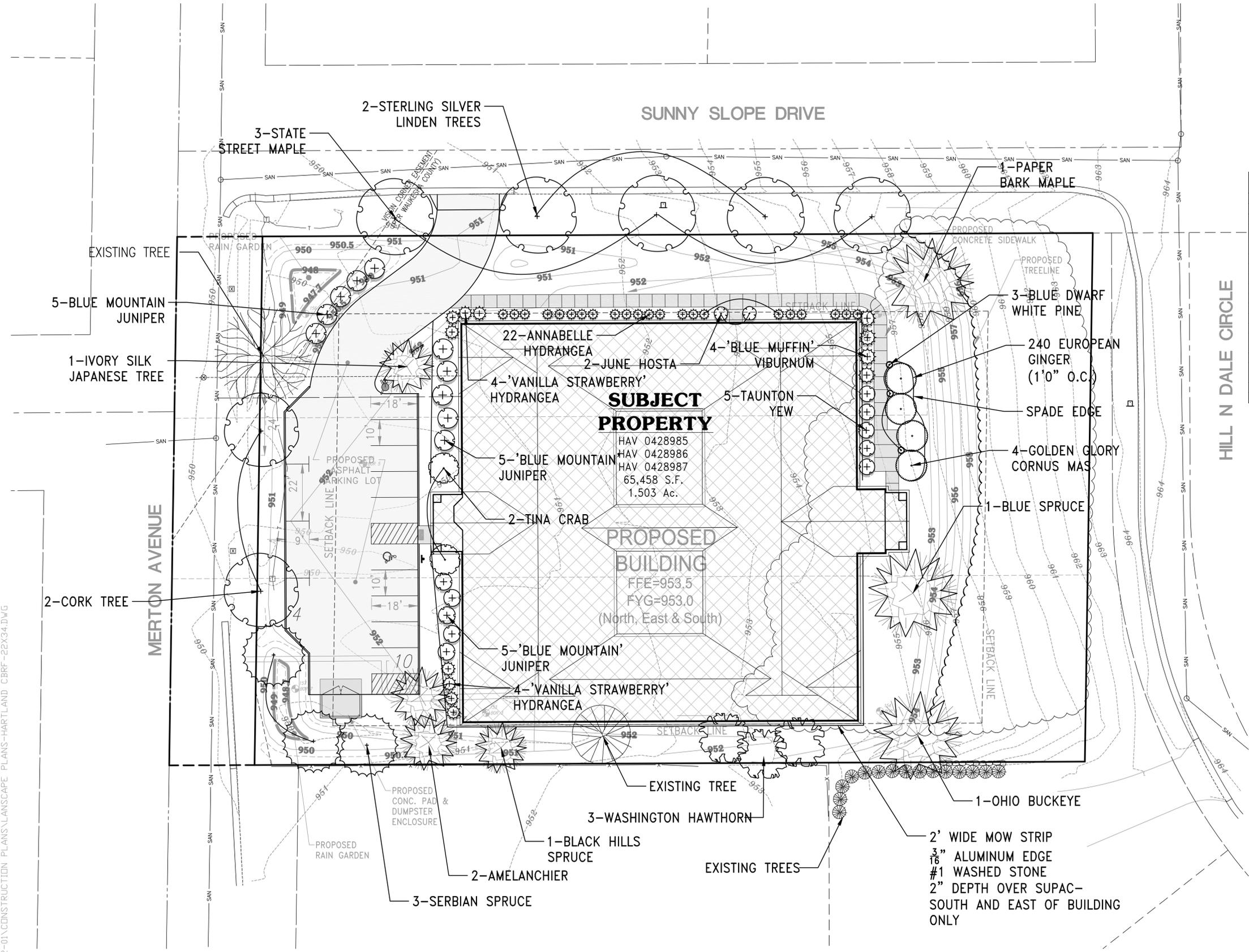
**DATE:**  
 APRIL 27, 2015

**JOB NUMBER:**  
 15002

**DESCRIPTION:**  
 PROPOSED  
 LANDSCAPE PLAN

**SHEET**

**L1.0**



**PLANT SCHEDULE**

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Acer griseum	Paperbark Maple	7-8'	15 Gal	Multi-trunk
3	Acer mayabi	State Street Maple	2"	B&B	
2	Amelanchier x "Autumn Brilliance"	Autumn Brilliance Serviceberry	8-10'	B&B	
3	Craetagus phaenopyrum	Washington Hawthorn	6-7'	B&B	Multi-trunk
2	Malus x "Tina"	Tina Crabapple	4-5'	B&B	Multi-trunk
2	Phellodendron amurense	Amur Corktree	2-1/2"	B&B	
1	Syringa reticulata	Japanese Tree Lilac	6-7'	B&B	"Ivory Silk"
2	Tilia tomentosa "Sterling"	Sterling Silver Linden	3"	B&B	
3	Picea omirika	Serbian Spruce	6-7'	B&B	
1	Picea pungens densata	Black Hills Spruce	6-7'	B&B	
1	Picea pungens glauca "Shiner"	Blue Spruce	5-6'	B&B	
8	Hydrangea x "Vanilla Strawberry"	Vanilla Strawberry Hydrangea	18"	Cont	
22	Hydrangea arborescens	Annabelle Hydrangea	18"	Cont	
4	Viburnum dentatum "Blue Muffin"	Blue Muffin Viburnum	3-4'	Cont	
10	Juniperus x "Blue Mountain"	Blue Mountain Juniper	24"	Cont	
5	Taxus x "Tauntonii"	Taunton Yew	30"	Cont	

HILL N DALE CIRCLE

MERTON AVENUE

SUNNY SLOPE DRIVE

2-CORK TREE

5-BLUE MOUNTAIN JUNIPER

1-IVORY SILK JAPANESE TREE

3-STATE STREET MAPLE

2-STERLING SILVER LINDEN TREES

1-PAPER BARK MAPLE

3-BLUE DWARF WHITE PINE

240 EUROPEAN GINGER (1'0" O.C.)

SPADE EDGE

4-GOLDEN GLORY CORNUS MAS

1-BLUE SPRUCE

**SUBJECT PROPERTY**  
 HAV 0428985  
 HAV 0428986  
 HAV 0428987  
 65,458 S.F.  
 1.503 Ac.

**PROPOSED BUILDING**  
 FFE=953.5  
 FYG=953.0  
 (North, East & South)

22-ANNABELLE HYDRANGEA

4-VANILLA STRAWBERRY HYDRANGEA

5-BLUE MOUNTAIN JUNIPER

2-TINA CRAB

5-BLUE MOUNTAIN JUNIPER

4-VANILLA STRAWBERRY HYDRANGEA

2-CORK TREE

3-SERBIAN SPRUCE

1-BLACK HILLS SPRUCE

2-AMELANCHIER

3-WASHINGTON HAWTHORN

1-OHIO BUCKEYE

3-WASHINGTON HAWTHORN

1-BLACK HILLS SPRUCE

2-AMELANCHIER

3-SERBIAN SPRUCE

2-JUNE HOSTA

4-'BLUE MUFFIN' VIBURNUM

5-TAUNTON YEW

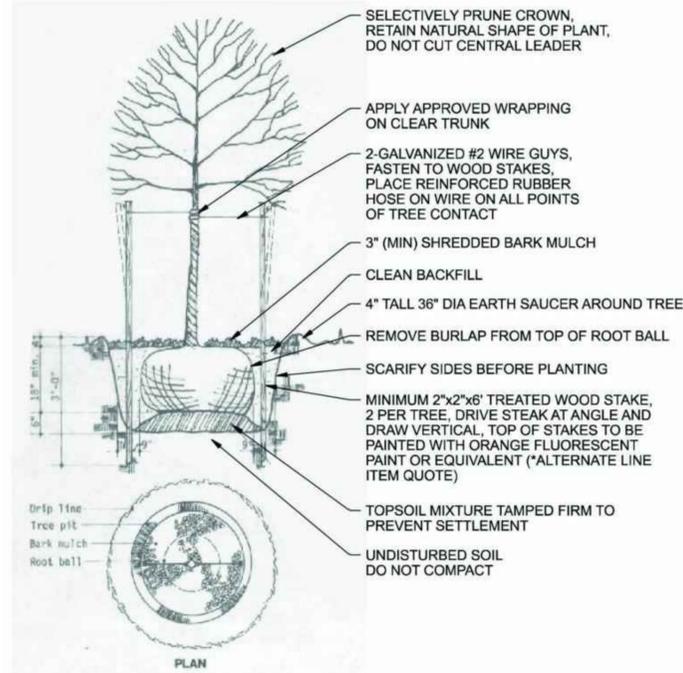
EXISTING TREE

EXISTING TREES

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

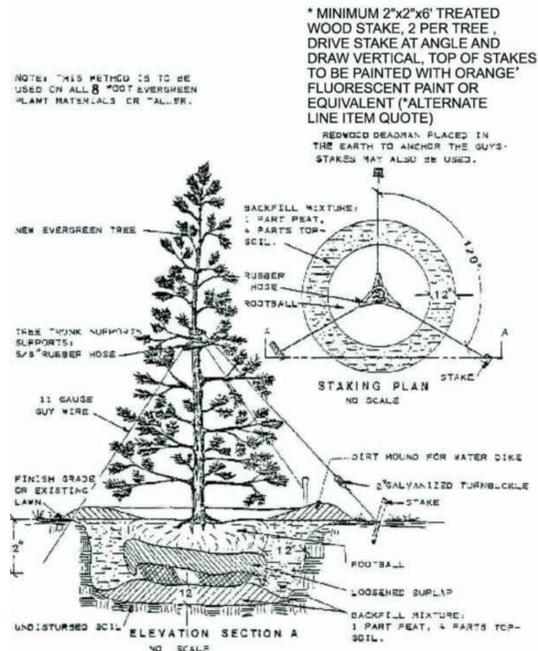
**NOTE:**  
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

H:\C800\886\15002-01\CONSTRUCTION PLANS\LANDSCAPE PLANS-HARTLAND CBRF-22X34.DWG



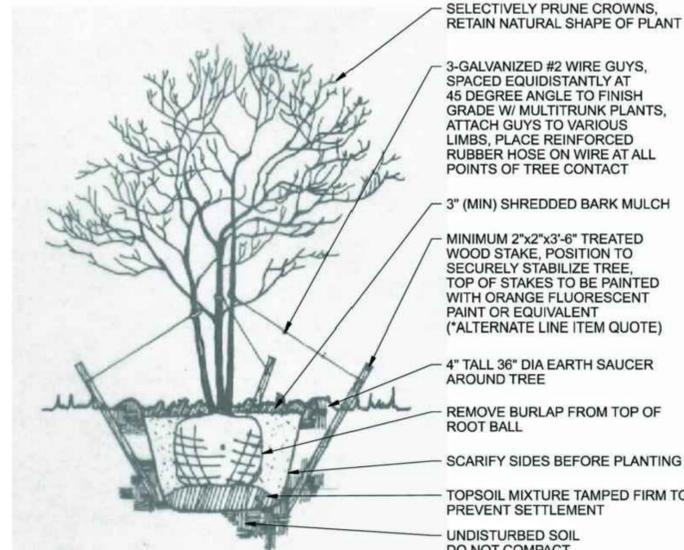
**SMALL TREE PLANTING DETAIL**

NTS



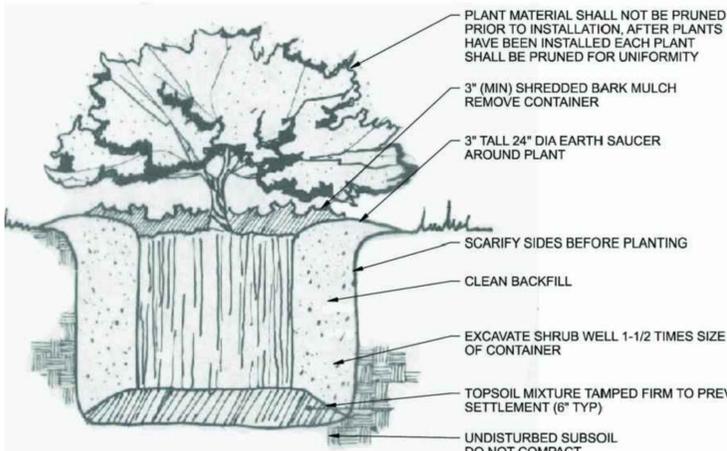
**EVERGREEN TREE PLANTING DETAIL**

NTS



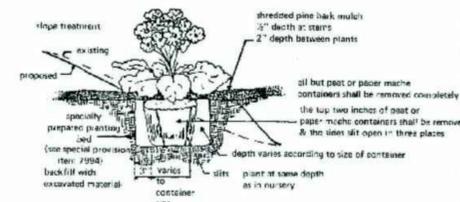
**MULTI-TRUNK TREE PLANTING**

NTS



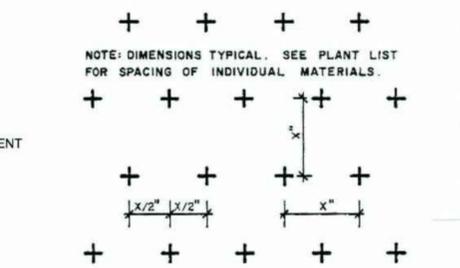
**CONTAINER SHRUB DETAIL**

NTS



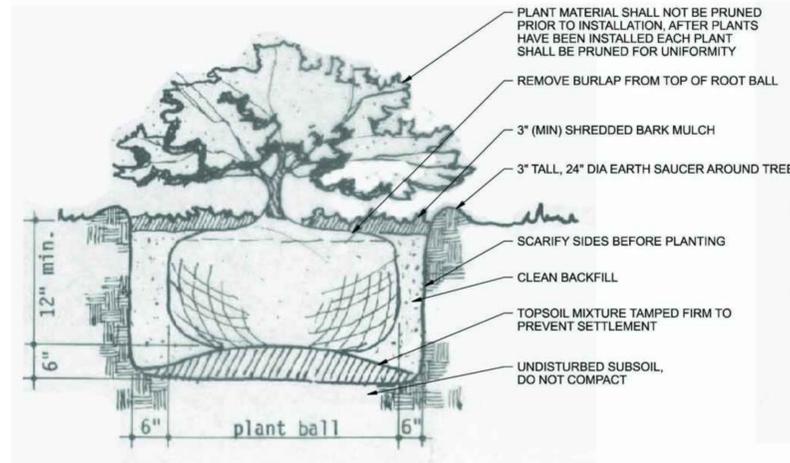
**PERENNIAL PLANTING DETAIL**

NTS



**GROUNDCOVER PLANTING DETAIL**

NTS



**B&B SHRUB PLANTING DETAIL**

NTS

**PLANTING AND LANDSCAPE NOTES:**

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATIONS AND RELATED CONTRACTUAL OPERATIONS WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO PLANTS, GRADES, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL, AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS. THE LANDSCAPE ARCHITECT RESERVES ALL RIGHTS TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH "EVEEESY GROW" 1-YEAR (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT, OR AGREED UPON GRANULAR FERTILIZER AS DISCUSSED WITH LANDSCAPE ARCHITECT.

APPLICATION RATES SHALL BE AS FOLLOWS:

TREES:  
1-1/2" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE  
GREATER THAN 3": 1 PACKET PER 1" CAL. (I.E. 4"-4 PACKETS)

SHRUBS:  
1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS IS REQUIRED.)

CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS DURING THE DURATION OF THE INSTALLATION.

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERABLE THEREFROM AND/OR AS SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE MECHANICALLY SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDING WITH A MECHANICAL SPREADER AT THE RATE OF 5#/100SF. AFTER SEEDING, ALL AREAS SHALL BE RAKED AND ROLLED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED, AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHOD OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. INSTALL EROSION CONTROL FABRIC ON EMBANKMENTS THAT EXCEED 1:3 SLOPE.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN PACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATIONS. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HAND RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

GUARANTEE PERIOD FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED AND SOD)	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS AND ROSES	90 DAYS FROM INTRODUCTION

\* IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIOD, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MIN. 3" DIA.).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000 SF WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

TYPICAL SEED MIXTURE:

KENTUCKY BLUEGRASS	50%
RED FESCUE	30%
PERENNIAL RYE GRASS	20%

PROPOSED TREES TO BE OPTIONALLY STAKED AS PER PLANTING DETAILS. (PLEASE SPECIFY LINE ITEM IN PROPOSAL FOR STAKING).

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKEN, WITH A COPY TO THE LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE NOT COVERED BY TURF SHALL BE RESEED BY THE CONTRACTOR. ANY SODDED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE RESEED BY THE LANDSCAPE CONTRACTOR. ALL REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATIONS TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDING TO A WIDTH OF 5'-0".

HERBICIDE (TRIFLORAL OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.



**GARLAND ALLIANCE  
LANDSCAPE ARCHITECTS**

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**PROJECT:**  
**HARTLAND 32-BED CBRF**  
**VILLAGE OF HARTLAND, WISCONSIN**  
**BY: JPS LIMITED LLC,**  
**126 E. PROSPECT AVE.**  
**HARTFORD, WI 53027**

**REVISION HISTORY**

DATE	DESCRIPTION
04/27/2015	PER VILLAGE REVIEW

**DATE:**  
**APRIL 27, 2015**

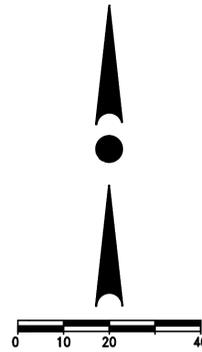
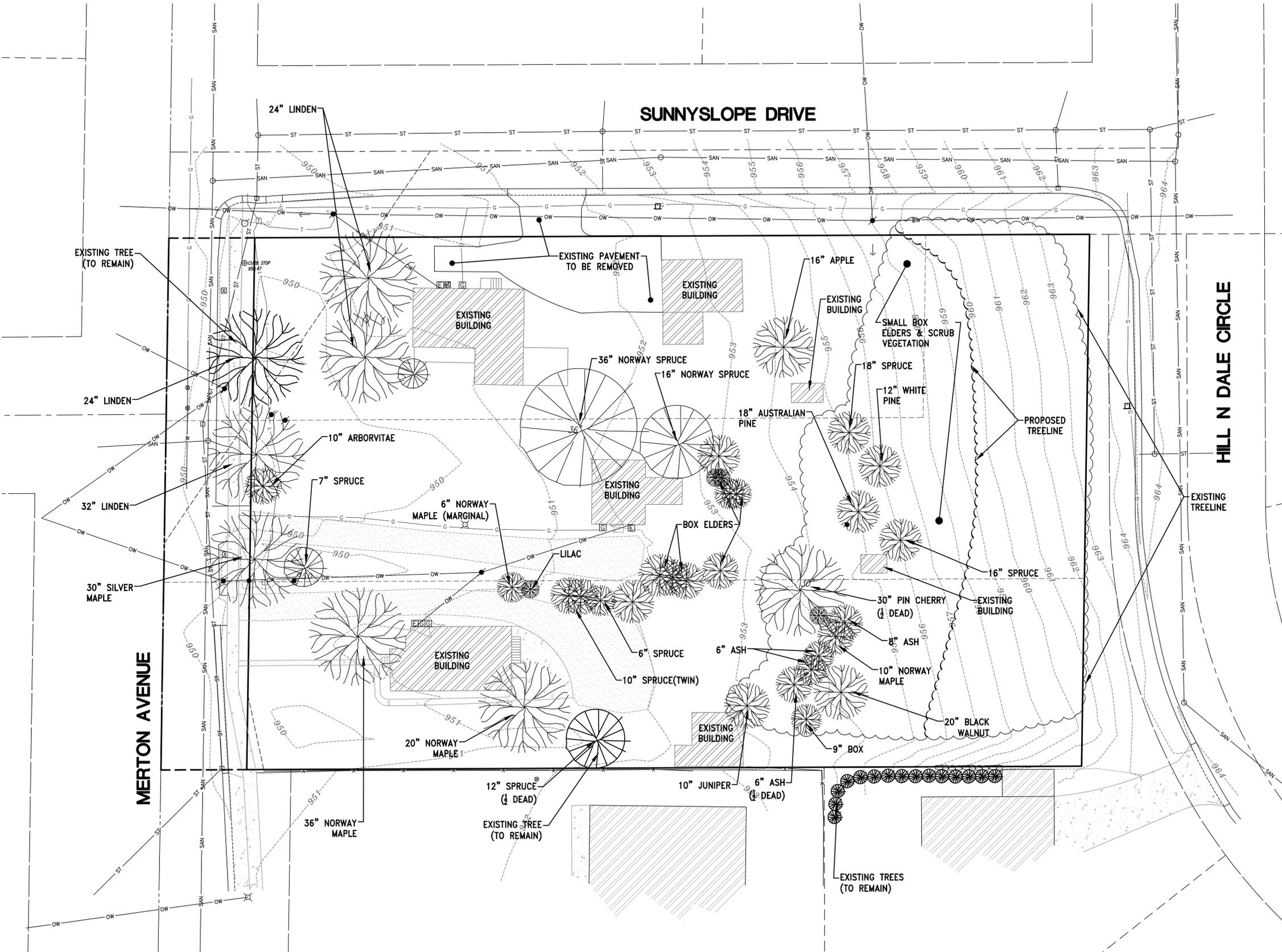
**JOB NUMBER:**  
**15002**

**DESCRIPTION:**  
**PROPOSED  
LANDSCAPE PLAN**

**SHEET**

**L1.1**

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**LEGEND:**

--- 953 ---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
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**REVISION HISTORY**

DATE	DESCRIPTION
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**DATE:**  
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**JOB NUMBER:**  
15002

**DESCRIPTION:**  
TREE SURVEY

**SHEET**

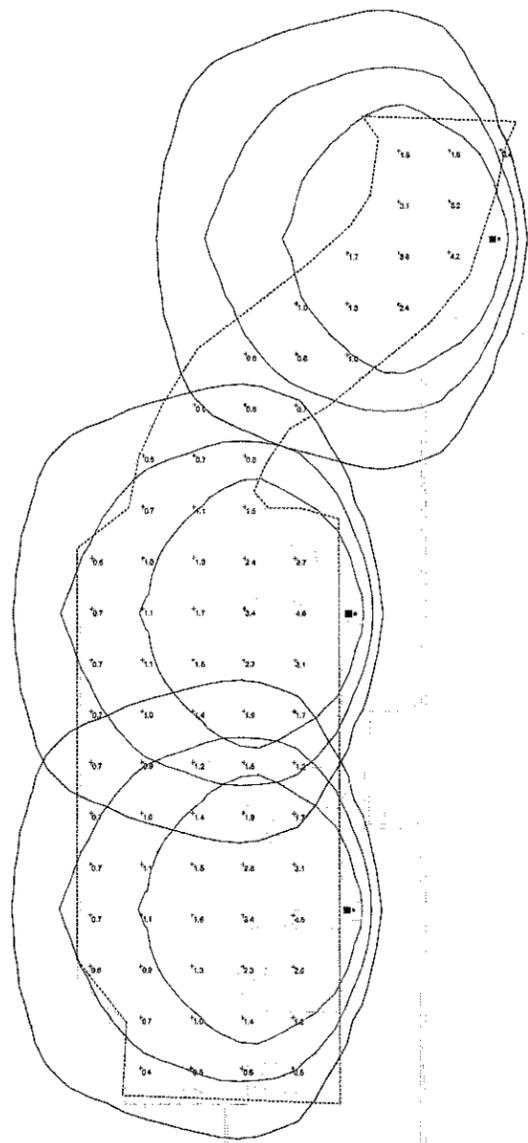
**T1.0**



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.  
**CALL DIGGERS HOTLINE 1-800-242-8511**

**NOTE:**  
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

WERTON AVENUE



Plan View  
Scale - 1" = 10'

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Lumens per Lamp	Wattage
□	B	0	RAD LIGHTING, INC.	ALED4T150Y - RWLED4T150Y - RWLED4T150Y - WPLED4T150Y (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR PLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), 2 LEDS TILTED 56-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 19-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTING 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 16-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 22-DEGREES FROM STRAIGHT AHEAD.	1090.150	152.0

Statistics	Symbol	Avg	Min	Max	Max/Min	Avg/Min	Avg/Max
Description							
Calc Zone #1		1.57	0.47	2.47	11.51	3.31	0.21

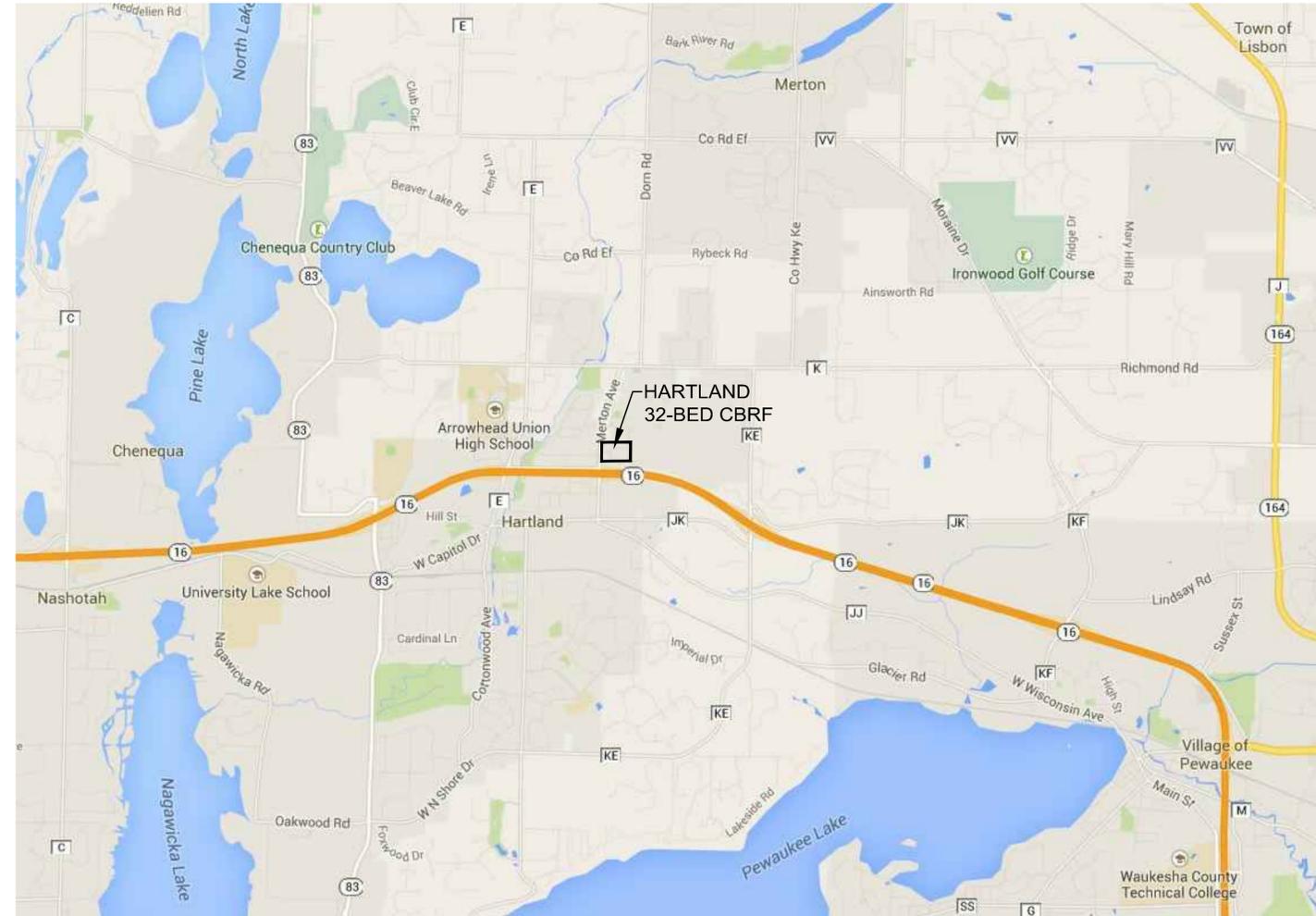
**GENERAL NOTES**

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
  - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
  - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
  - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
  - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
  - VILLAGE OF HARTLAND DEVELOPMENT STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF PEWAUKEE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

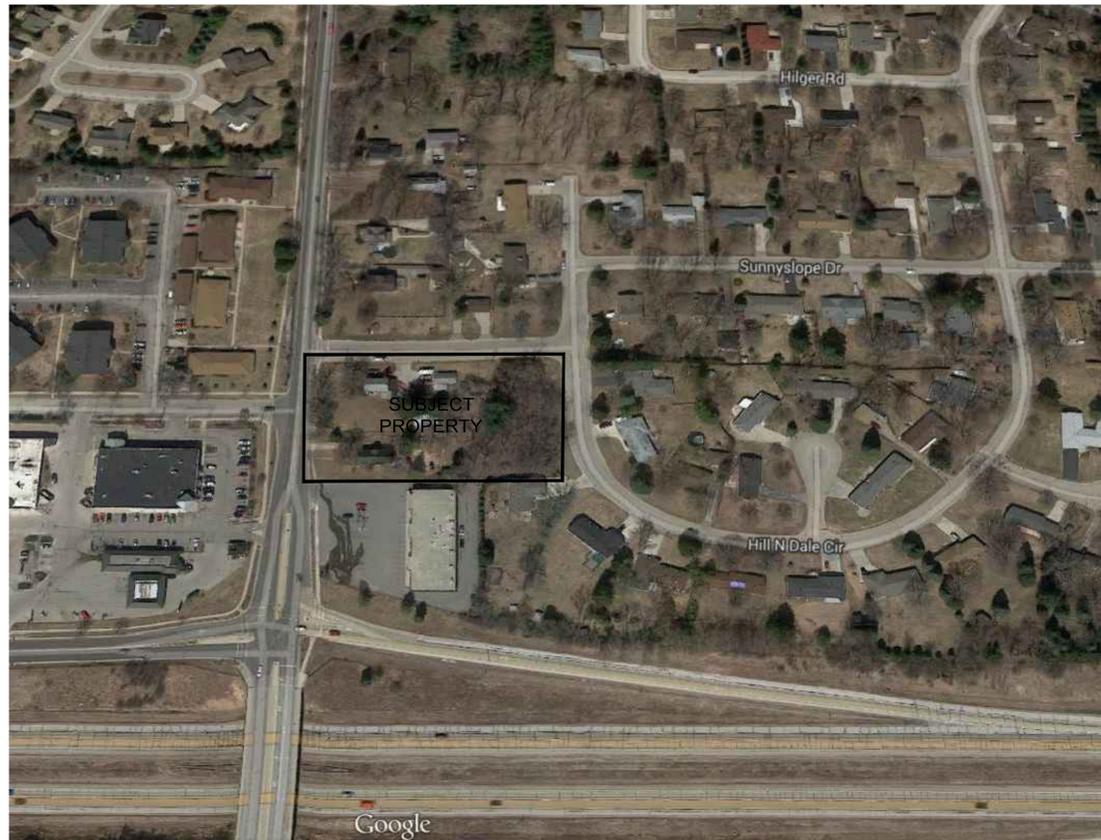
# HARTLAND 32-BED CBRF

## SITE DEVELOPMENT PLANS

### VILLAGE OF HARTLAND, WISCONSIN



**SITE VICINITY MAP**  
NOT TO SCALE



**AERIAL SITE PHOTO**  
NOT TO SCALE

**SHEET INDEX**

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE & DEMOLITION PLAN
C1.1	- PROPOSED SITE PLAN
C1.2	- MASTER GRADING & DRAINAGE PLAN
C1.3	- EROSION CONTROL PLAN
C1.4	- SITE UTILITY PLAN
C1.5	- STORMTECH UNDERGROUND STORAGE DETAILS
C1.6	- CONSTRUCTION NOTES & DETAILS
L1.0	- LANDSCAPE PLAN
L1.1	- LANDSCAPE NOTES & DETAILS
T1.0	- TREE SURVEY



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.  
**CALL DIGGERS HOTLINE 1-800-242-8511**

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FAX: (262) 790-1481  
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**PROJECT:**  
**HARTLAND 32-BED CBRF**  
VILLAGE OF HARTLAND, WISCONSIN  
**BY:** JPS LIMITED LLC  
126 E. PROSPECT AVENUE  
HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

**DATE:**  
APRIL 27, 2015

**JOB NUMBER:**  
15002

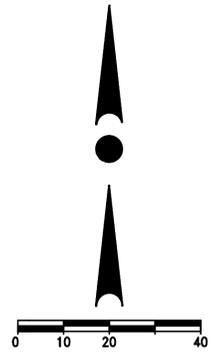
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COVER SHEET

**SHEET**

**T1**

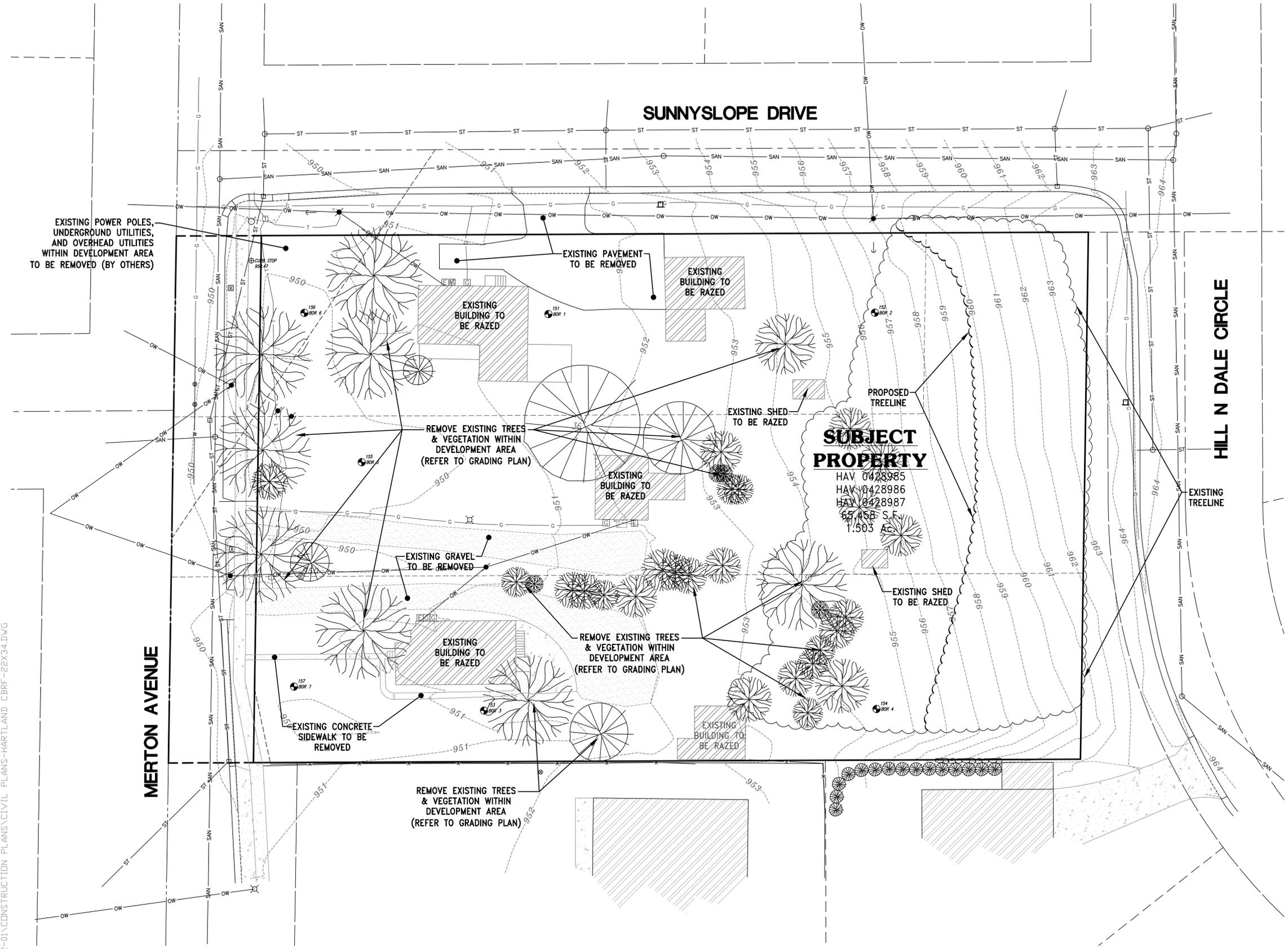


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**LEGEND:**

- - - - - 953 - - - - - EXISTING CONTOUR
- - - - - SAN - - - - - EXISTING SANITARY SEWER
- - - - - - EXISTING SANITARY MANHOLE
- - - - - W - - - - - EXISTING WATER MAIN
- ⊕ - - - - - EXISTING HYDRANT
- - - - - ST - - - - - EXISTING STORM SEWER
- - - - - - EXISTING STORM MANHOLE
- - - - - - EXISTING STORM INLET
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- ⊞ - - - - - EXISTING ELECTRIC PEDESTAL
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- ⊞ - - - - - EXISTING CATV PEDESTAL
- ⚡ - - - - - EXISTING POWER POLE



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**DESCRIPTION:**  
EXISTING SITE & DEMOLITION PLAN

**SHEET**

**C1.0**

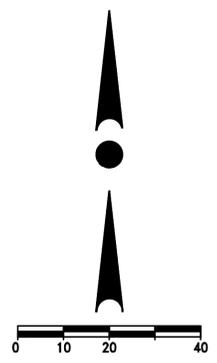
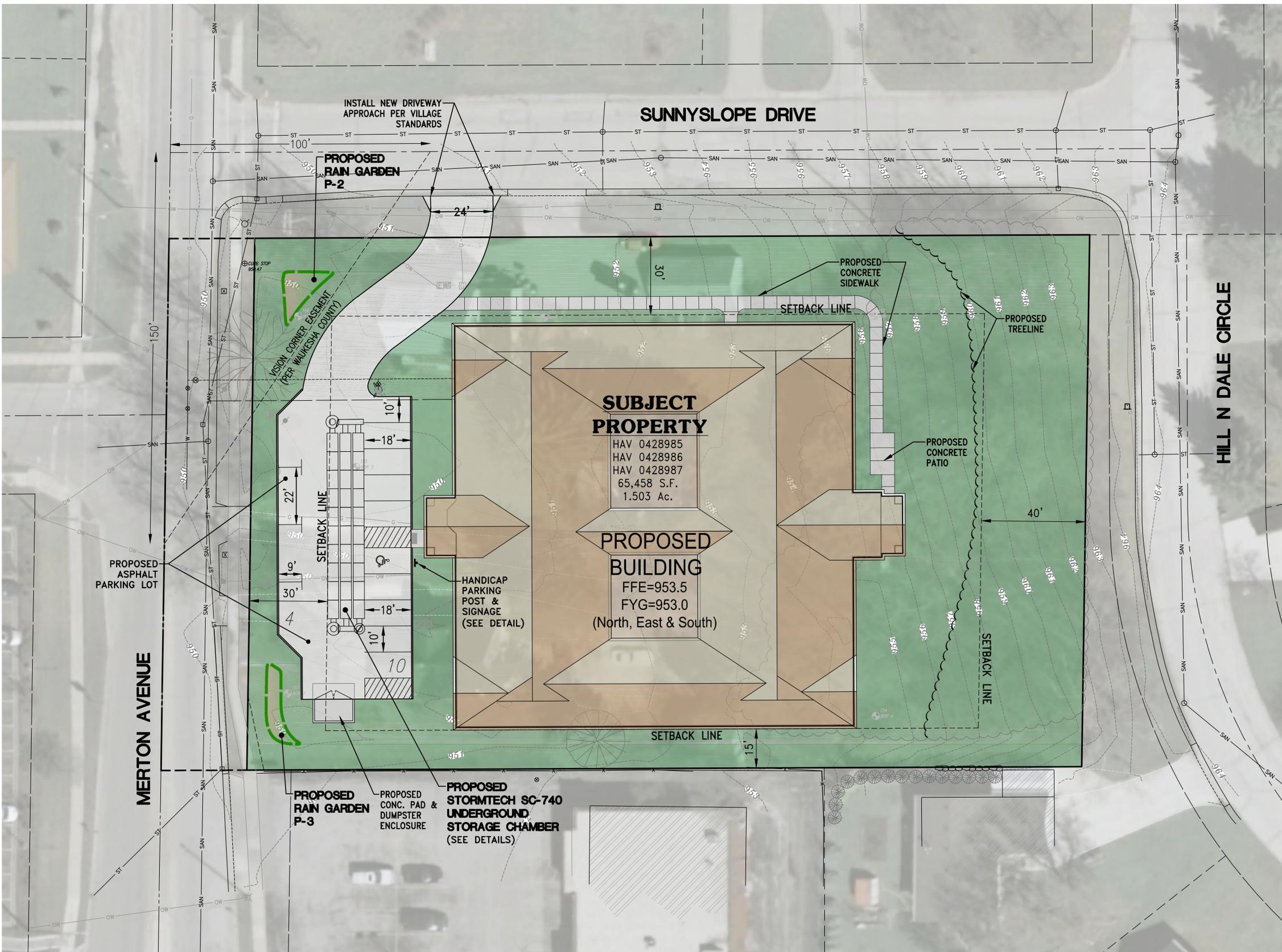
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**LEGEND:**

--- 953	EXISTING CONTOUR
- SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊗	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊕	EXISTING TRANSFORMER
⊕	EXISTING ELECTRIC PEDESTAL
⊕	EXISTING TELEPHONE PEDESTAL
⊕	EXISTING CATV PEDESTAL
⊕	EXISTING POWER POLE
○	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
⊗	PROPOSED HYDRANT
⊕	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
□	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

**SITE DATA**

TOTAL LOT AREA:	65,458 S.F. (1.50 Acres)
PROPOSED BUILDING FOOTPRINT:	24,255 S.F. (0.56 Acres) 37.05% of Lot
PROPOSED PARKING & DRIVE:	7,897 S.F. (0.18 Acres) 12.06% of Lot
PROPOSED SIDEWALK & PATIOS:	1,307 S.F. (0.03 Acres) 2.00% of Lot
TOTAL IMPERVIOUS AREA:	33,459 S.F. (0.77 Acres) 51.11% of Lot
TOTAL OPEN SPACE:	31,999 S.F. (0.73 Acres) 48.89% of Lot
TOTAL PARKING SPACES:	14 SPACES
1 HANDICAP PARKING SPACE IS PROVIDED	

**WISCONSIN**  
 JOSHUA D. PUDELKO  
 E-39420  
 WAUWATOSA, WI  
**PROFESSIONAL ENGINEER**

**TRIO**  
 DESIGN • LAND SURVEYING  
 CIVIL ENGINEERING

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 BROOKFIELD, WI 53005  
 PHONE: (262) 790-1480  
 FAX: (262) 790-1481  
 EMAIL: jpudelko@trioeng.com

**PROJECT:**  
**HARTLAND 32-BED CBRF**  
 VILLAGE OF HARTLAND, WISCONSIN  
 BY: JPS LIMITED LLC  
 126 E. PROSPECT AVENUE  
 HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/16	PER COUNTY COMMENT

**DATE:**  
 APRIL 27, 2015

**JOB NUMBER:**  
 15002

**DESCRIPTION:**  
 PROPOSED  
 SITE PLAN

**SHEET**  
 C1.1

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

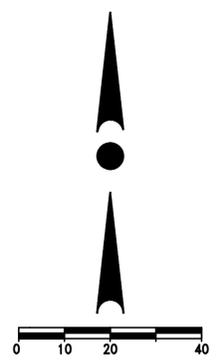
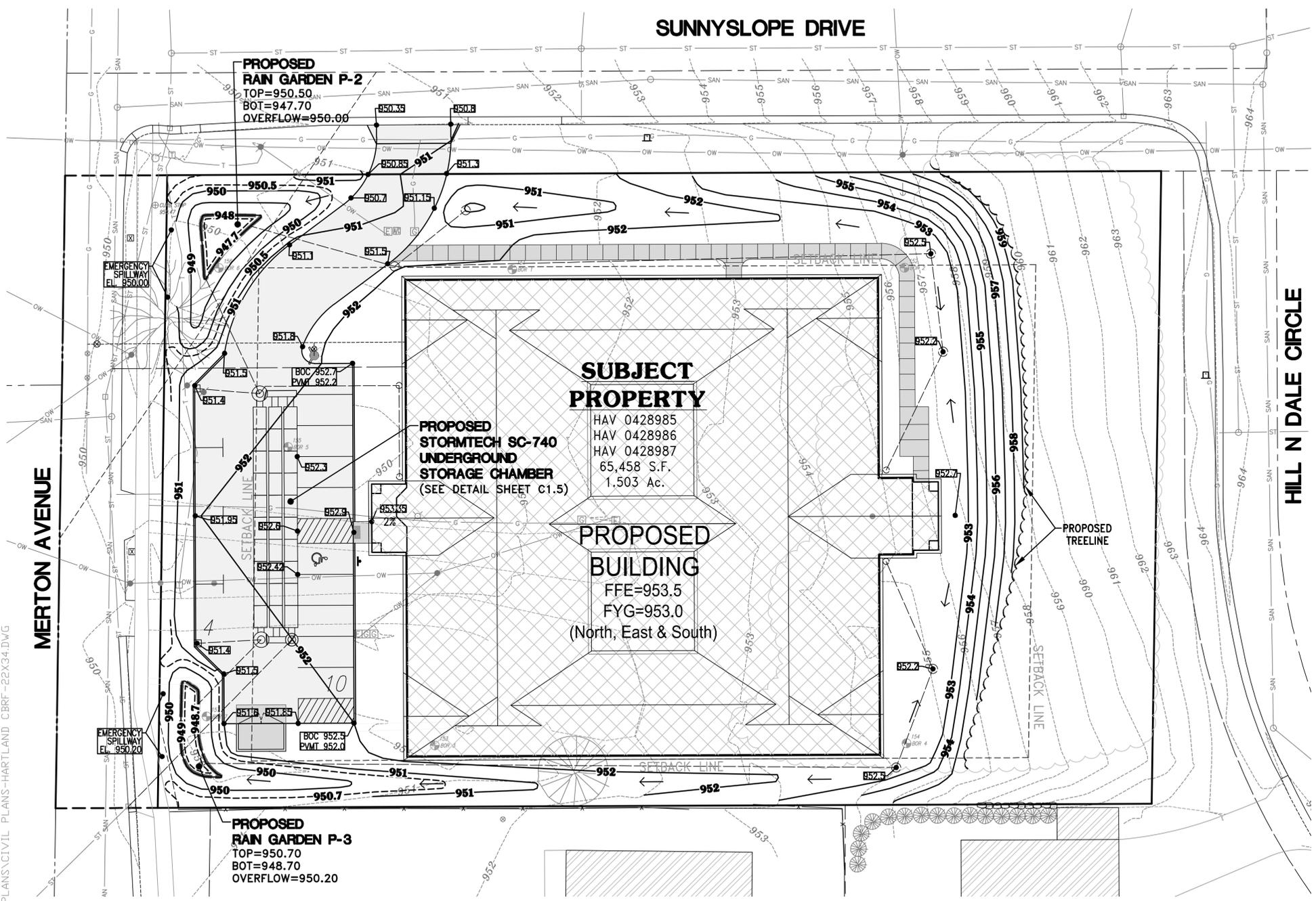
**NOTE:**  
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H:\C800\886\15002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG

MERTON AVENUE

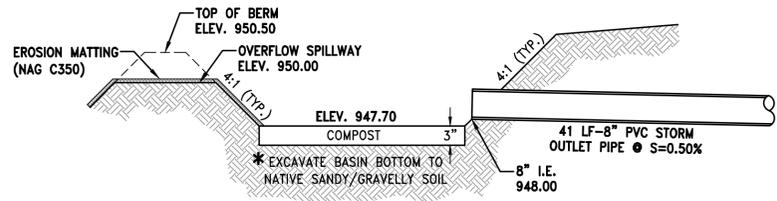
SUNNYSLOPE DRIVE

HILL N DALE CIRCLE



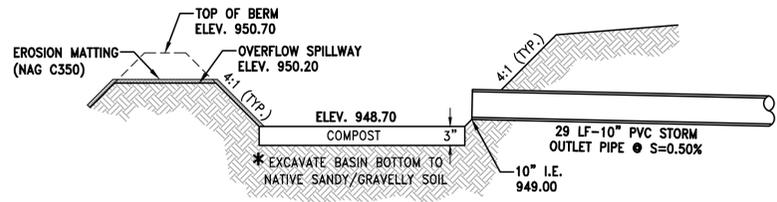
**LEGEND:**

- 953 --- EXISTING CONTOUR
- 953 PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- 953.00 PROPOSED SPOT ELEVATION
- FFE=953.50 PROPOSED FIRST FLOOR ELEV.
- FYG=953.00 PROPOSED FINISH YARD GRADE



RAIN GARDEN P-2 DETAIL  
NO SCALE

\* EXCAVATE BOTTOM OF ENGINEERED SOIL LAYER TO NATIVE SAND/GRAVEL SOILS PER GEOTECHNICAL REPORT. OVEREXCAVATION MAY BE BACKFILLED WITH OTHER ONSITE SAND OR GRAVEL MATCHING NATIVE UNDERLYING SOILS (AS DIRECTED BY GEOTECHNICAL ENGINEER).



RAIN GARDEN P-3 DETAIL  
NO SCALE

\* EXCAVATE BOTTOM OF ENGINEERED SOIL LAYER TO NATIVE SAND/GRAVEL SOILS PER GEOTECHNICAL REPORT. OVEREXCAVATION MAY BE BACKFILLED WITH OTHER ONSITE SAND OR GRAVEL MATCHING NATIVE UNDERLYING SOILS (AS DIRECTED BY GEOTECHNICAL ENGINEER).

1. TRACKED EQUIPMENT AND LOW WEIGHT VEHICLES SHALL BE USED TO CONSTRUCT RAIN GARDEN.
2. RAIN GARDEN SHALL BE CONSTRUCTED IN A MANNER THAT MINIMIZES SOIL COMPACTION.
3. THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS S100 - COMPOST.
4. REFER TO THE PROPOSED LANDSCAPING PLAN FOR RAIN GARDEN PLANTINGS.
5. ALL RAIN GARDEN SLOPES 4:1 OR GREATER SHALL BE MATTING WITH CLASS 1, TYPE A EROSION MATTING.
6. SOIL TESTS SHOULD BE COMPLETED PRIOR TO RAIN GARDEN CONSTRUCTION TO VERIFY THE DEPTH TO APPROPRIATE SOILS; A QUALIFIED SOILS PROFESSIONAL SHOULD BE ON-SITE TO VERIFY THAT APPROPRIATE DEPTHS ARE REACHED TO HELP ENSURE THE RAIN GARDEN FUNCTIONS PROPERLY.

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VILLAGE OF HARTLAND, WISCONSIN  
BY: JPS LIMITED LLC  
126 E. PROSPECT AVENUE  
HARTFORD, WI 53027

**REVISION HISTORY**

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04/03/15	PER COUNTY COMMENT

**DATE:**  
APRIL 27, 2015

**JOB NUMBER:**  
15002

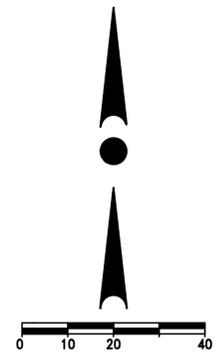
**DESCRIPTION:**  
MASTER  
GRADING &  
DRAINAGE PLAN

**SHEET**

**C1.2**

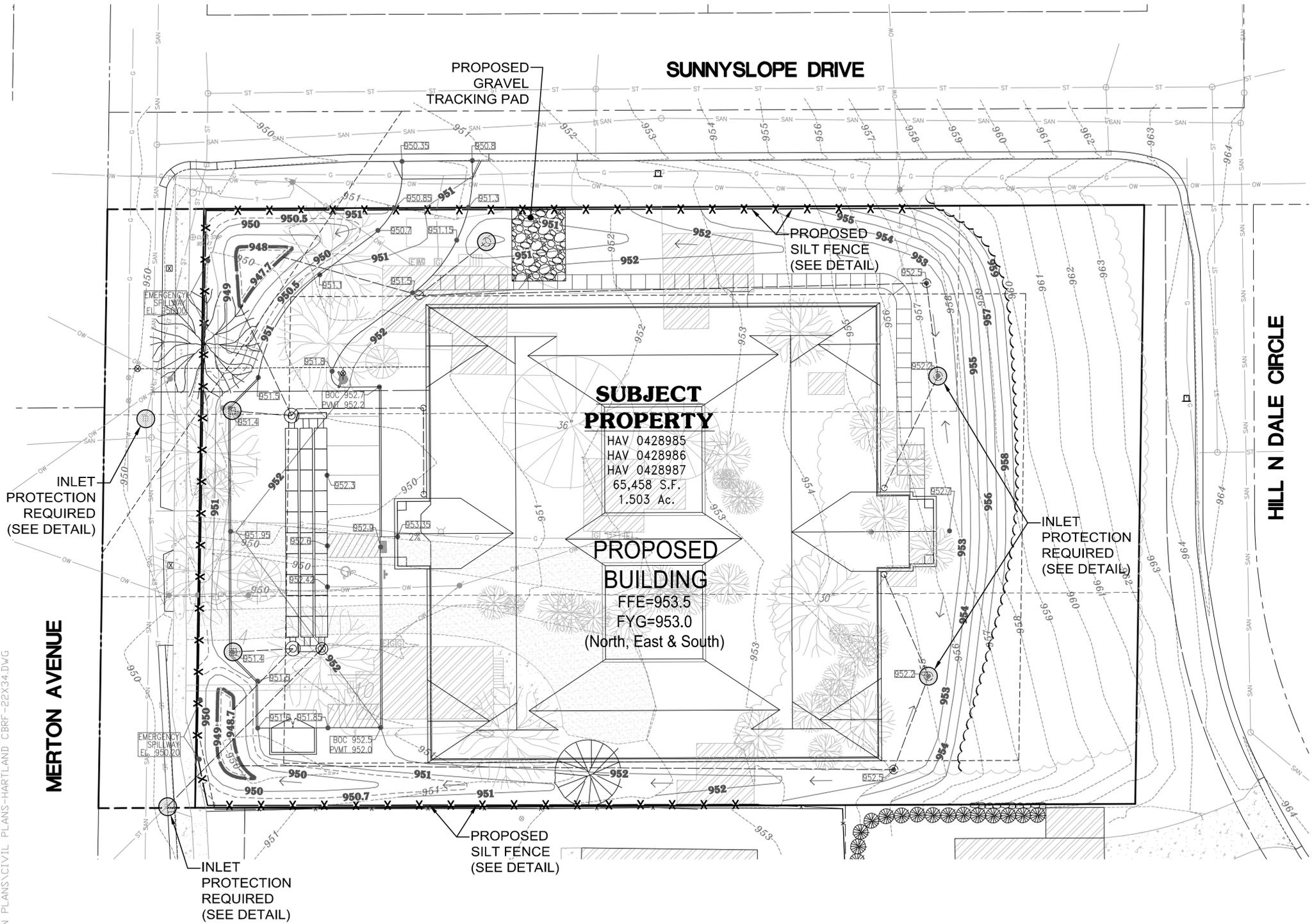


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**LEGEND:**

- - - - - EXISTING CONTOUR
- 953** - - - - - PROPOSED CONTOUR
- ← - - - - - PROPOSED FLOW ARROW
- 953.00 ● - - - - - PROPOSED SPOT ELEVATION
- X X - - - - - PROPOSED SILT FENCE
- - - - - - PROPOSED INLET PROTECTION
- ▨ - - - - - PROPOSED TRACKING PAD



**SUBJECT PROPERTY**  
HAY 0428985  
HAY 0428986  
HAY 0428987  
65,458 S.F.  
1.503 Ac.

**PROPOSED BUILDING**  
FFE=953.5  
FYG=953.0  
(North, East & South)

- EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
  - EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
  - IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
  - EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
    - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
    - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
    - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
    - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
    - MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
    - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
    - PROMPT REMOVAL OF EXCAVATED MATERIAL.
    - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
    - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
    - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
    - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
    - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDED AS OF THAT DATE.
  - TEMPORARY EROSION CONTROL MEASURES.
    - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
    - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
  - ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
  - ALL SEDIMENT TRAPS, SWALES AND DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO USE.
  - TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNr TECHNICAL STANDARDS.
  - INSTALL SILT FENCE IN ACCORDANCE WITH WDNr TECHNICAL STANDARD DETAILS.
  - ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE HR GEOTEXTILE FABRIC PER WisDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
  - EROSION CONTROL INSPECTION AND MAINTENANCE
    - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
    - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
  - ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WisDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

- CONSTRUCTION SEQUENCING PLAN**
- INSTALL SILT FENCE AND TRACKING PAD.
  - CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH SILT FENCE INSTALLATION.
  - STRIP TOPSOIL, STOCKPILE AND SURROUND WITH SILT FENCE. SEED TOPSOIL STOCKPILE IF ANTICIPATED IT WILL REMAIN UNDISTURBED FOR GREATER THAN 7 DAYS.
    - BEGIN BUILDING CONSTRUCTION AFTER SECURING ALL REQUIRED CITY, COUNTY AND STATE PERMITS. BUILDING CONSTRUCTION MAY OCCUR CONCURRENT WITH SITE GRADING AND MAY START ANY TIME AFTER STEP 3.
    - BEGIN SEDIMENT TRAPS EXCAVATION CONCURRENT WITH BUILDING FOOTING & FOUNDATION.
    - INSTALL GRAVEL/STONE FROM ENTRANCE AND GRADE AND STABILIZE OVER ENTRY DRIVE AND PROPOSED PARKING LOT FOR STAGING AND VEHICLE ACCESS AREA.
  - GRADE AND STABILIZE TEMPORARY SEDIMENT TRAPS (TO BE COMPLETED CONCURRENT WITH BUILDING CONSTRUCTION), SWALES AND ANY DIVERSION BERMS CONCURRENT WITH MASS SITE GRADING.
  - ROUGH GRADE SITE. NOTE THAT SOME GRADING MAY OCCUR CONCURRENT WITH STEP 4 FOR BUILDING PREPARATION OF BUILDING PAD SITE.
  - INSTALL SANITARY SEWER & WATER MAIN - CONTACT VILLAGE PRIOR TO CONNECTING TO EXISTING WATER MAIN. UTILITY INSTALLATION MAY OCCUR ANY TIME AFTER ROUGH GRADING UTILITY AREAS.
  - INSTALL STORM SEWER CULVERTS, OUTLET PIPE AND DOWNSPOUT COLLECTORS (NON-SEQUENTIAL ITEMS).
  - FINISH GRADE SITE.
  - INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
  - RESURFACE TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AREAS.
  - INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY.

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VILLAGE OF HARTLAND, WISCONSIN  
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126 E. PROSPECT AVENUE  
HARTFORD, WI 53027

**REVISION HISTORY**

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04/03/15	PER COUNTY COMMENT

**DATE:**  
APRIL 27, 2015

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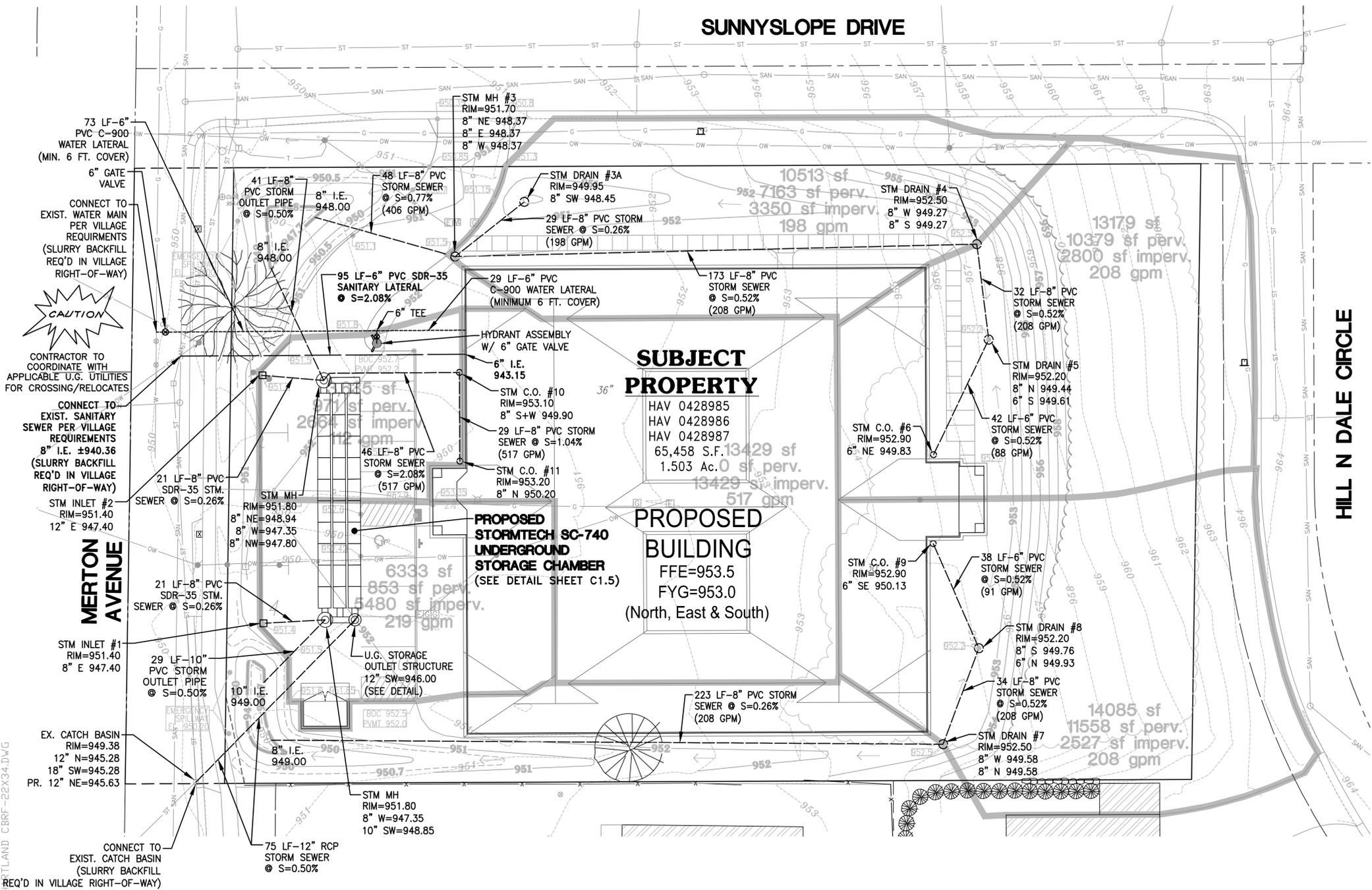
**DESCRIPTION:**  
EROSION CONTROL PLAN

**SHEET**

**C1.3**

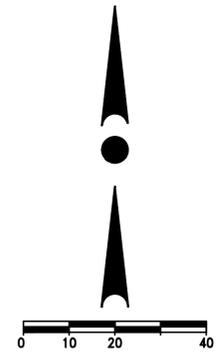
H:\C800\886\15002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG

H:\C800\886\15002-01\CONSTRUCTION PLANS\CIVIL PLANS-HARTLAND CBRF-22X34.DWG



**LEGEND:**

---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
—	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
□	EXISTING TRANSFORMER
□	EXISTING ELECTRIC PEDESTAL
□	EXISTING TELEPHONE PEDESTAL
□	EXISTING CATV PEDESTAL
●	EXISTING POWER POLE
○	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
—	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
---	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION



**SANITARY SEWER NOTES**

- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.

**TRACER WIRE NOTE**

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER SPS 382.30(1)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

**WATER MAIN NOTES**

**WATER MAIN**

- ALL 6" PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR19). PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSWCW).
- BLUE TRACER WIRE IS REQUIRED FOR ALL WATERMAIN LATERALS.
- DO NOT CONNECT TO PUBLIC WATER MAIN UNTIL AUTHORIZED BY THE VILLAGE SEWER AND WATER UTILITY.

**TRACER WIRE NOTE**

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER SPS 382.30(1)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

**STORM SEWER NOTES**

**STORM SEWER**

- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3034, SDR 35. SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE SMOOTH-WALL INTERIOR CORRUGATED PIPE & SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.010, OR EQUAL.
- ALL STORM SEWER PIPING SPECIFIED ON THE PLAN AS R.C.P. SHALL MEET SECTION 8.6.0 (SSWCW).
- ALL RCP STORM SEWER SHALL BE CLASS V.
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET AND REQUIREMENTS.
- CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER SPS 382 SPECIFICATIONS AND REQUIREMENTS.
- PVC STORM DRAINS SHALL BE NYLOPLAST BRAND (OR APPROVED EQUAL).

**NOTE:**

- ALL MATERIALS SHALL BE APPROVED BY THE VILLAGE OF HARTLAND PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
- SLURRY BACKFILL SHALL BE USED FOR ANY UTILITIES WITHIN THE PUBLIC STREET AND WITHIN 5 FEET OF THE EDGE OF PAVEMENT OR AS REQUIRED BY COUNTY PERMIT.
- ALL SANITARY SEWER, WATER AND STORM SEWER UTILITIES INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND/OR ARE TO BE TURNED OVER TO THE VILLAGE SHALL FOLLOW THE VILLAGE OF HARTLAND TECHNICAL STANDARDS.

**NOTE:**

- INSULATION WILL BE REQUIRED WHERE STORM SEWERS CROSS WATER MAINS WITH LESS THAN 3 FEET OF SEPARATION FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.

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**CAUTION**

CONTRACTOR TO COORDINATE WITH APPLICABLE U.G. UTILITIES FOR CROSSING/RELOCATES

CONNECT TO EXIST. SANITARY SEWER PER VILLAGE REQUIREMENTS (SLURRY BACKFILL REQ'D IN VILLAGE RIGHT-OF-WAY)

CONNECT TO EXIST. WATER MAIN PER VILLAGE REQUIREMENTS (SLURRY BACKFILL REQ'D IN VILLAGE RIGHT-OF-WAY)

CONNECT TO EXIST. CATCH BASIN (SLURRY BACKFILL REQ'D IN VILLAGE RIGHT-OF-WAY)

CONNECT TO EXIST. CATCH BASIN (SLURRY BACKFILL REQ'D IN VILLAGE RIGHT-OF-WAY)

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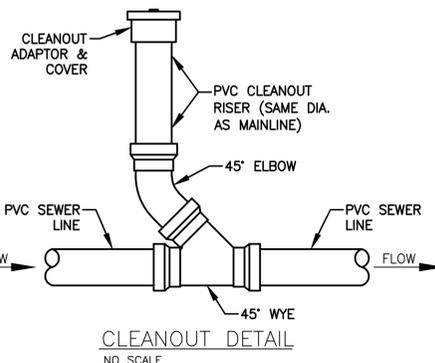
**SUBJECT PROPERTY**

HAV 0428985  
HAV 0428986  
HAV 0428987  
65,458 S.F.  
1.503 Ac.  
13429 sf perv.  
517 gpm

**PROPOSED BUILDING**

FFE=953.5  
FYG=953.0  
(North, East & South)

**PROPOSED STORMTECH SC-740 UNDERGROUND STORAGE CHAMBER**  
(SEE DETAIL SHEET C1.5)



— DOWNSPOUT CONNECTOR SHALL BE PVC AND TRANSITION FLEXIBLE PLUG (OR EQUAL) ABOVE GRADE (FLUSH WITH TOP OF SIDEWALK OR DRIVEWAY). FERNCO OR EQUAL

— THIS ILLUSTRATION IS PROVIDED FOR INFORMATIONAL PURPOSES. CONTRACTOR MAY UTILIZE DIFFERENT MATERIALS TO ACHIEVE THE REQUIRED ABOVE GRADE CONNECTION OF THE DOWNSPOUT WITH THE COLLECTOR PIPE.

**DOWNSPOUT CONNECTOR**  
NO SCALE

**PROJECT:**  
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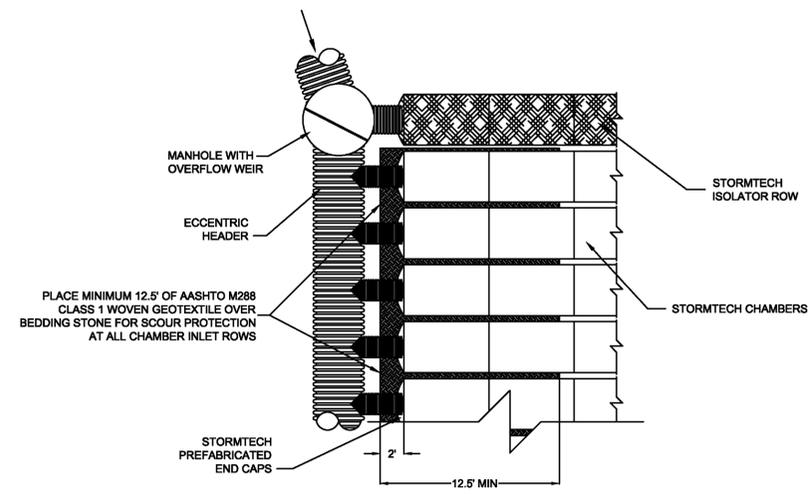
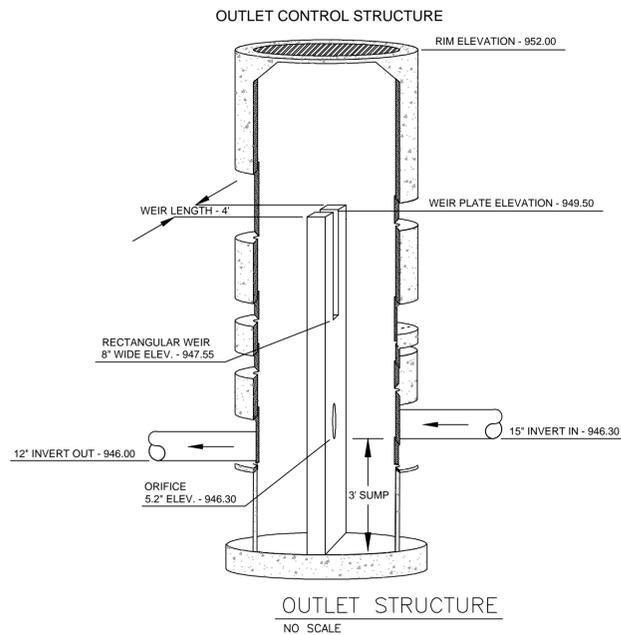
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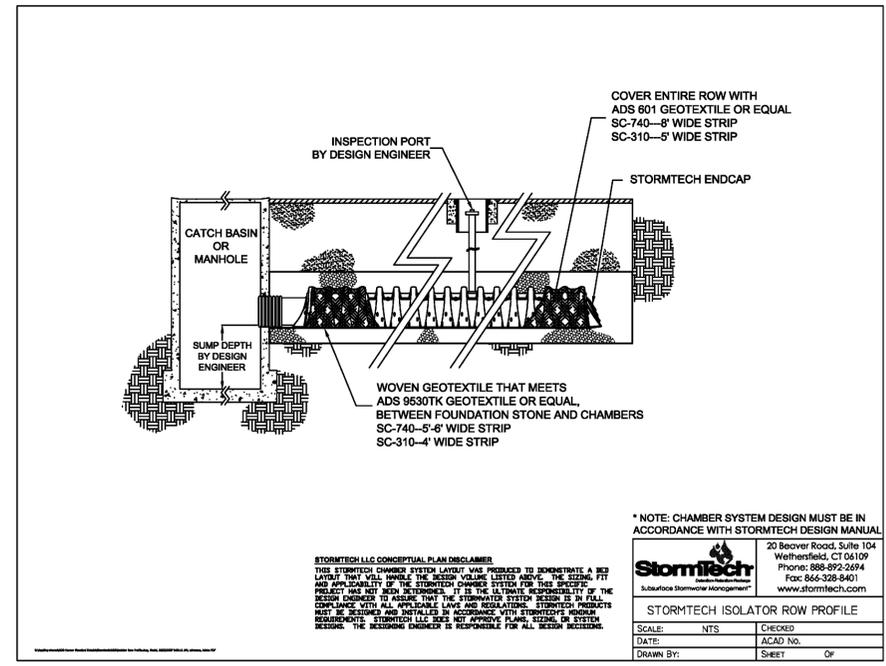
**DESCRIPTION:**  
PROPOSED SITE UTILITY PLAN

**SHEET**

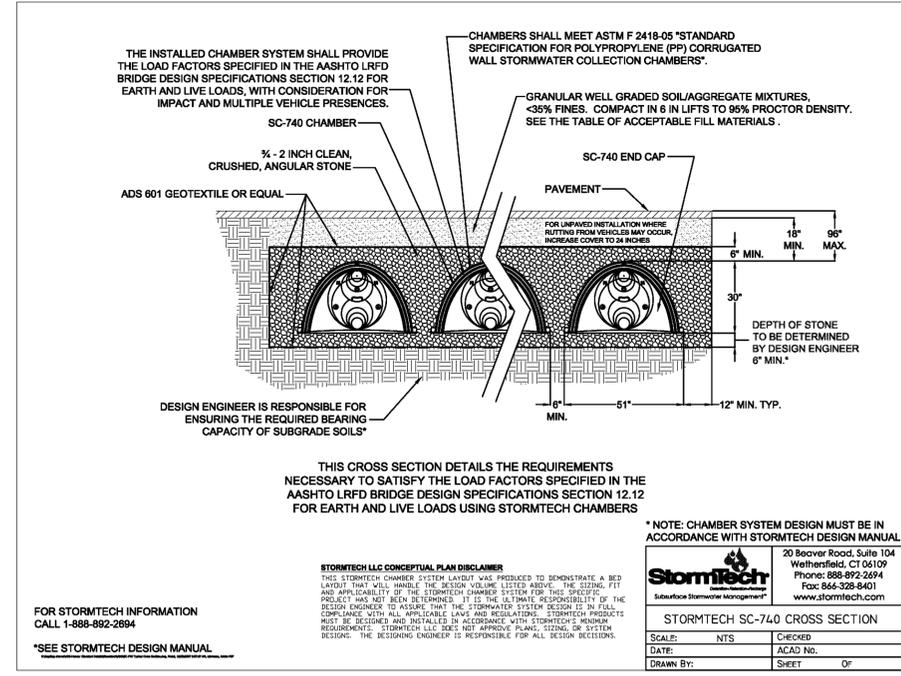
**C1.4**



"ISOLATOR ROW" MANIFOLD DETAIL & ASSEMBLY SCHEMATIC



"ISOLATOR ROW" WATER QUALITY FEATURE  
STORMTECH SC-740 UNDERGROUND STORAGE  
NO SCALE



UNDERGROUND STORAGE CROSS SECTION



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**JOB NUMBER:**  
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**DESCRIPTION:**  
STORMTECH  
UNDERGROUND  
STORAGE DETAILS

**SHEET**

**C1.5**

**COMPLIANT DOCUMENTATION:**

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF HARTLAND DEVELOPMENT STANDARDS, LATEST EDITION.

**CONTRACTOR RESPONSIBILITY:**

-EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

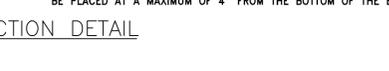
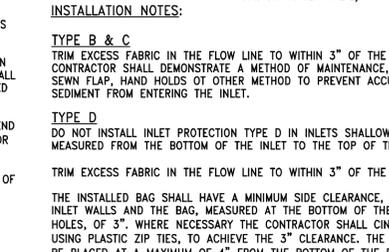
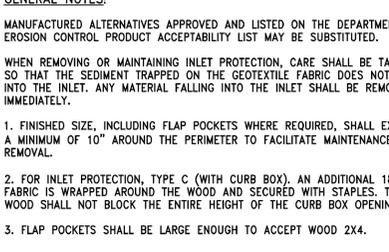
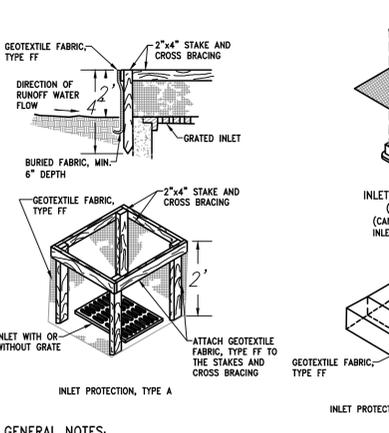
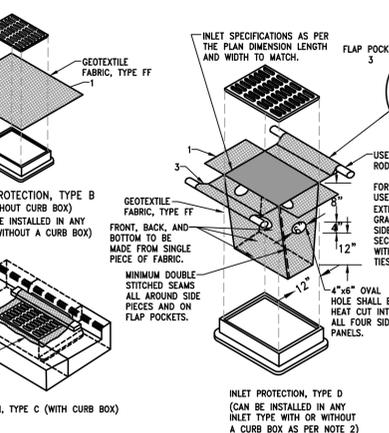
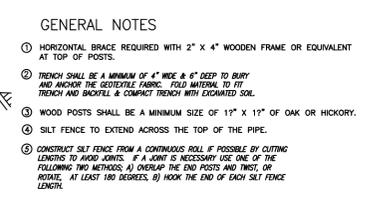
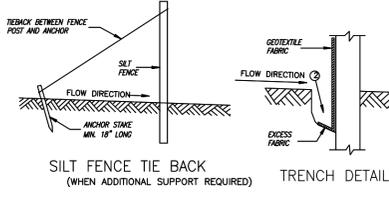
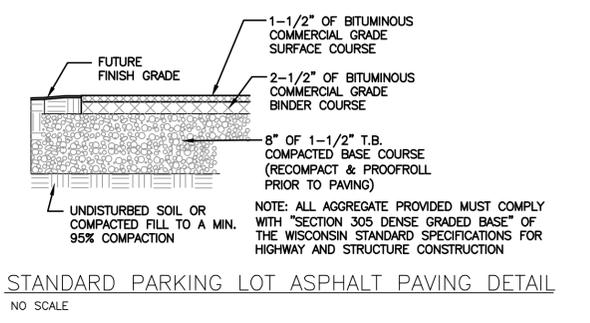
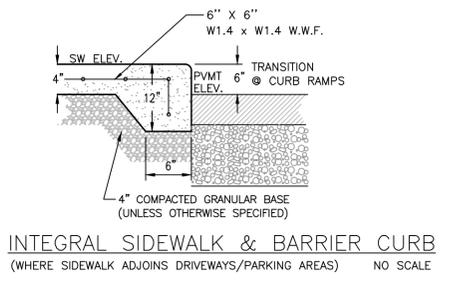
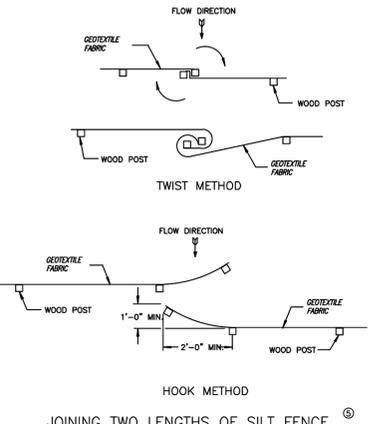
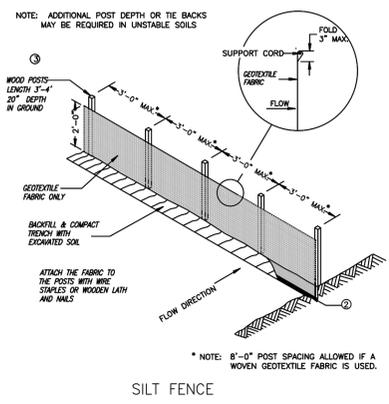
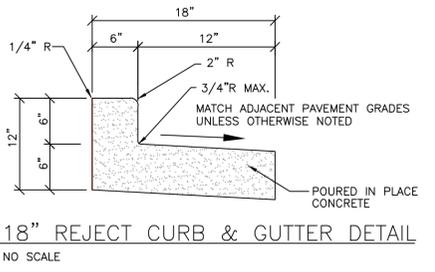
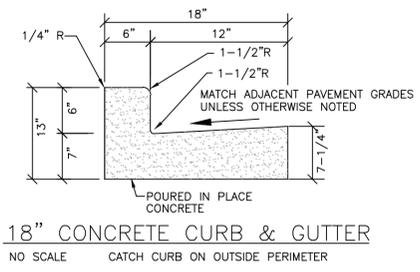
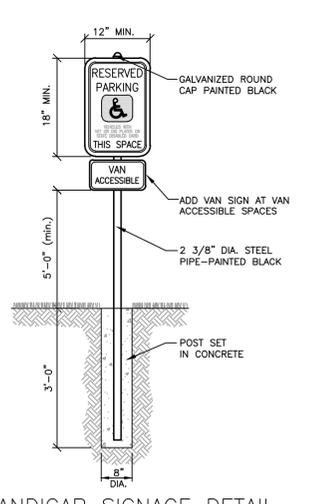
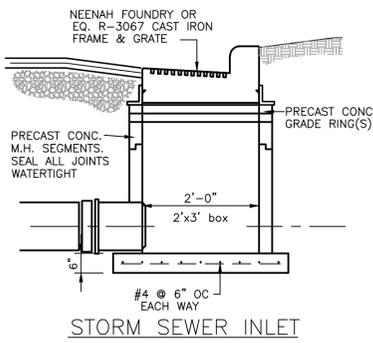
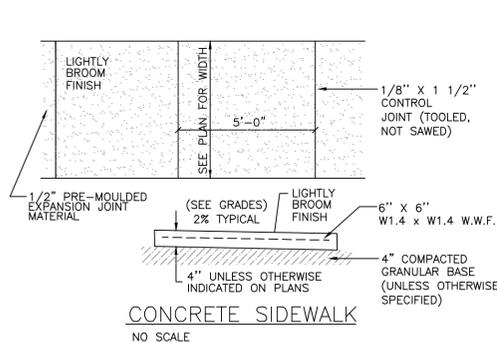
-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER CITY, COUNTY AND WDNR REQUIREMENTS PER TECHNICAL STANDARD 1061.

**TRAFFIC CONTROL:**

-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

**CONSTRUCTION NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
- ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
- ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, CITY OF PEWAUKEE SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
- INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDNR TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
- UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
- REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.



12660 W. NORTH AVENUE  
BROOKFIELD, WI 53005  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpuudelko@trioeng.com

**PROJECT:**  
**HARTLAND 32-BED CBRF**  
VILLAGE OF HARTLAND, WISCONSIN  
BY: JPS LIMITED LLC  
126 E. PROSPECT AVENUE  
HARTFORD, WI 53027

**REVISION HISTORY**

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

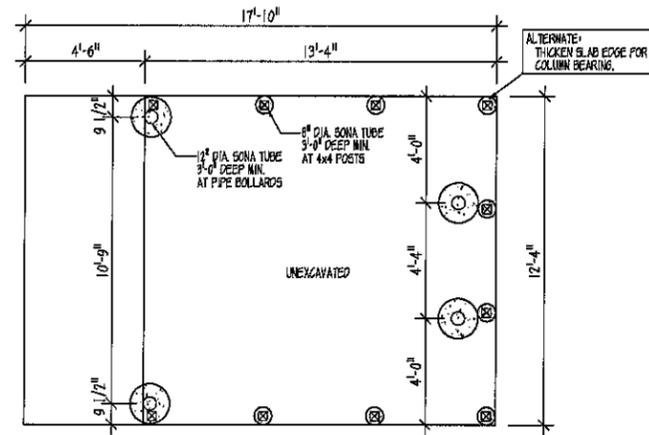
**DATE:**  
APRIL 27, 2015

**JOB NUMBER:**  
15002

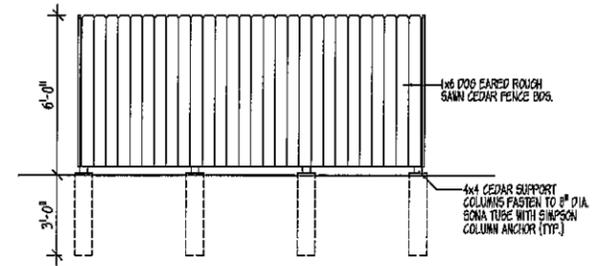
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CONSTRUCTION NOTES & DETAILS

**SHEET**  
C1.6

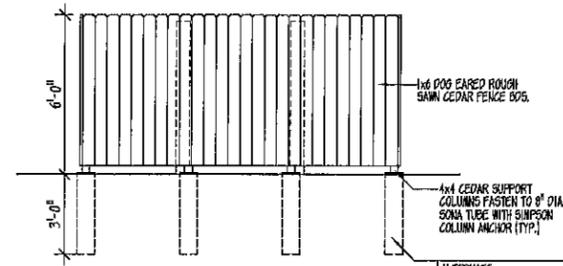
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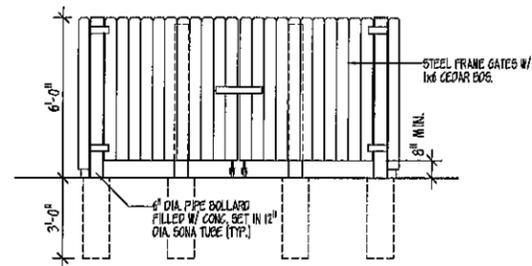
FOUNDATION PLAN  
SCALE: 3/8" = 1'-0"



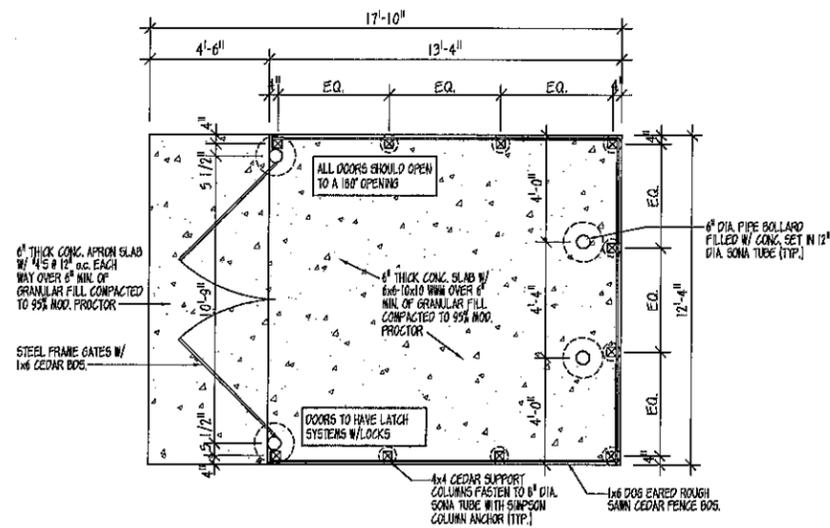
SIDE ELEVATION (TYP.)  
SCALE: 3/8" = 1'-0"



REAR ELEVATION  
SCALE: 3/8" = 1'-0"



FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



FLOOR PLAN  
SCALE: 3/8" = 1'-0"

DUMPSTER ENCLOSURE DRAWINGS

PROJECT HARTLAND 32 UNIT CBRP	
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292 GRAFTON, NH 03024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 263-877-4790 or 263-975-2897	
JOB NUMBER JF8-2700-215	DATE 5-6-2015
REVISIONS	
SHEET A-14	
CHECKED BY: CMB	DRAWN BY: CMB

April 27, 2015



Village of Hartland  
210 Cottonwood Avenue  
Hartland, WI 53029

Attn: Michael Einweck, P.E.  
Ryan T. Amtmann, P.E.

Re: Hartland 32-Bed CBRF  
**Development Plan Comments dated April 14, 2015**

Dear Michael and Ryan:

Enclosed please find updated comment responses for the Hartland 32-Bed CBRF for your review and approval. Our responses to your April 14, 2015 comments are provided in bold below.

**Comments:**

**Storm Water Management Plan**

1. Need to submit a storm water management plan.  
**A Storm Water Management Plan has been included for Village review and approval.**
2. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.  
**A storm water maintenance plan and agreement has been included within the Storm Water Management Plan for Village review.**

**Construction Plan Review**

1. A tree survey will be required as there are mature trees being removed.  
**A tree survey has been included for Village review.**
2. Some elevations refer to 800's and some refer to 900's, please update.  
**Elevations have been updated to refer to the 900 datum throughout the plans.**
3. Include details for curb/gutter; paving.  
**Details have been provided for the curb and gutter and pavement sections.**
4. Provide a landscape plan accounting for tree replacements.  
**A proposed landscape plan has been included for review and approval.**
5. Show overflow routes out of rain gardens, reinforce turf along overflows.  
**Overflow spillways have been labeled on the rain gardens and detailed cross sections have been provided which indicate turf reinforcement.**

6. Detail connections to water main and sewer main for services. Slurry backfill within right of way.  
**Detailed utility connection notes have been added for the water main and sewer services. Slurry backfill has been indicated for any utilities within the right-of-way.**
7. Review existing utilities for conflicts with new storm sewer connections to inlets.  
**Notes have been added to the utility plan which require the contractor to coordinate with the appropriate utility companies for any conflicts encountered during construction.**
8. Use RCP for storm sewer within right of way.  
**RCP storm sewer has been indicated on the utility plan for storm sewer within the right-of-way.**
9. Overflow structures – utilize a “raised” inlet grate to prevent clogging.  
**Overflow structures are no longer included in the rain garden designs.**
10. Provide a lighting plan and photometrics.  
**A lighting plan and photometric calculations will be provided to the Village under separate cover.**
11. Prior correspondence with Jay identified some building mechanicals are planned to be located at the southeast corner of the building. This is near residential property. A preferred location would be for the building mechanicals to be located at the northeast corner of the building, with landscape screening.  
**This comment is noted and will be coordinated and further discussed with the Village.**
12. There are notes on the plan “ROW Post” within the new parking lot, what are these?  
**Labels have been removed from the survey points on the plans. The point description in question was labeled incorrectly.**
13. Show dimensions for parallel parking stalls.  
**Dimensions have been added to the parallel parking stalls.**
14. Include a handicap sign and post.  
**A handicap sign and post has been added to the site plans and a detail has been provided.**
15. The Village will review the existing sidewalk within the Merton Ave right of way to see if there are any repairs to the existing sidewalk that should be completed with the project.  
**This is noted. The developer will coordinate with the Village as necessary.**

**Summary**

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer – submit 2 final copies with all relevant information from previous submittals included.  
**2 signed and stamped copies of the Construction Plans and Storm Water Management Plan have been provided for review and approval.**
2. Village storm water permit and erosion control permit.
3. Village tree protection permit.
4. Village curb cut/right-of-way permit.
5. Building permit
6. Plan of operations.

**All necessary permits and other applicable materials will be submitted to the Village at the appropriate time during the review/approval process and/or prior to construction.**

The applicant will be required to obtain any other permits determined to be necessary.

Please feel free to contact me with any questions, comments or to further discuss the updated plans.

Sincerely,



Josh Pudelko, M.S., P.E.  
President  
Trio Engineering

L:\LOBBYS\WPDOCS\DOCUMENT\886\15002-01\403-Review Comments & Responses\Comment Response - Hartland CBRF\_2015-04-27.docx

PINE & WHITNALL LLP  
6980 INDUSTRIAL LOOP  
PO BOX 196  
GREENDALE WI 53129

RODGER C BOOGREN  
GIGI A BOOGREN  
424 HILLCREST CT  
HARTLAND WI 53029

OSCAR INVESTMENTS LLC  
N49W28689 CHARDON DR  
HARTLAND WI 53029

KENNETH & KERRY JASIN TRUST  
1025 SUNNYSLOPE DR  
HARTLAND WI 53029

JOHN & BONNIE NOWAK FAMILY TRUST  
180 MAIN ST  
PO BOX 945  
OATMAN AZ 86433-0945

MOLLY J GIBBS  
1013 SUNNYSLOPE RD  
HARTLAND WI 53029

ROBERT A HESCHKE  
MARLAINE E HESCHKE  
409 HILL N DALE CIR  
HARTLAND WI 53029

THOMAS E REBLIN  
N27W27338 WOODLAND DR  
PEWAUKEE WI 53072

JOANN PRIEBE  
1012 SUNNYSLOPE DR  
HARTLAND WI 53029

DOUGLAS V TURNER 2007 LIVING  
TRUST  
402 HILL-N-DALE CIR  
HARTLAND WI 53029

MARGARET A JEFFERY  
408 HILL N DALE CIR  
HARTLAND WI 53029

VANSISTINE MARITAL PROPERTY  
REVOCABLE LIVING TRUST  
530 MERTON AVE  
HARTLAND WI 53029

POLLY J MUELLER  
432 HILLCREST CT  
HARTLAND WI 53029

HARTBROOK MALL ASSOCIATES LLP  
PO BOX 6124  
MADISON WI 53716

MICHAEL RUNGE  
513 PLEASANT DR  
HARTLAND WI 53029

F E PREUSSLER  
N G PREUSSLER  
428 HILLCREST CT  
HARTLAND WI 53029

HARTBROOK MALL ASSOCIATES LLP  
5900 MONONA DR STE 401  
MONONA WI 53716

DIANA L GIBBONS  
3851 N LALUMIERE RD  
OCONOMOWOC WI 53066

HARTLAND RETAIL LLC  
CENTRAL VENTURES LLC  
1243 N 10TH ST STE 300  
MILWAUKEE WI 53205

JEFFREY J CASTLES  
REBECCA H CASTLES  
508 MERTON AVE  
HARTLAND WI 53029

CLAUDIA & JOHN BERGES JR TRUST  
506 PLEASANT DR  
HARTLAND WI 53029

SCOTT CHILES  
LISA CHILES  
414 HILL N DALE CIR  
HARTLAND WI 53029

DCWI THREE LLC  
C/O WALGREEN CO - STORE 9365  
PO BOX 1159  
DEERFIELD IL 60015

WILLIAM MOSES  
419 HILL N DALE CIR  
HARTLAND WI 53029

BRYAN LUFTER  
JACQUELINE LUFTER  
405 HILL N DALE CIR  
HARTLAND WI 53029

JAMES BERGMAN  
527 PLEASANT DR  
HARTLAND WI 53029

ROY A & RUTH A HACKBART 2006  
LIVING TRUST  
415 HILL N DALE CIR  
HARTLAND WI 53029

CONDITIONAL USE PERMIT  
**[JPS Memory Care Facility]**  
Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to JPS Limited, LLC (hereinafter "Grantee") d/b/a Hartland Senior Living, LLC for the operation of a Memory Care Living Facility at the properties located at 430, 438 and 444 Merton Avenue.

RECITALS

**WHEREAS**, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of a Memory Care Facility in the RM-1 Zoning District at 430, 438 and 444 Merton Avenue, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0428985, HAV 0428986, HAV 0428987]  
**OWNER: JPS Limited, LLC**  
d/b/a Hartland Senior Living, LLC  
126 E Prospect Avenue  
Hartford, WI 53027

Recording Area

Name and Return Address  
Village of Hartland  
210 Cottonwood Ave.  
Hartland, WI 53029

Parcel Identification Number

HAV 0428985  
HAV 0428986  
HAV 0428987

**WHEREAS**, the Property is located in the RM-1 Multi-Family Residential District; and

**WHEREAS**, Section 46-374 (1) of the Village of Hartland Code of Ordinances provides that community living arrangements with a capacity for 16 or more persons in the RM-1 District is a conditional use; and

**WHEREAS**, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibits A and B and incorporated herein; and

**WHEREAS**, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20 and May 18, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the memory care facility may be constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the housing of persons experiencing memory deficiencies, dementia or similarly diagnosed medical situations;
2. the operator of the memory care facility shall operate the facility in accordance with State, federal or other applicable licensing requirements, shall provide adequate 24 hour care and supervision and shall ensure the safety of facility residents including prevention of unanticipated departures from the facility;
3. the operator of the memory care facility will construct and maintain the building and site in accordance with the plans as submitted and as finally approved including stormwater retention, buffers, landscaping and fencing;
4. the operator of the memory care facility shall operate the traffic flow and parking needs of the facility as approved and completely within the limits of the parcel's parking lot;
5. property owner and facility operator shall manage, maintain and operate the business, building and site in accordance with all applicable rules and regulations of the Village of Hartland and other regulatory bodies as those bodies may have jurisdiction;
6. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
7. OTHER CONDITIONS AS PLACED BY PC AND VB;
8. and

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

**NOW THEREFORE**, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate a memory care facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of JPS Limited, LLC.
2. The business activities permitted hereunder are limited to the operation of a memory care facility housing up to 32 residents diagnosed with memory deficiencies, dementia or other similarly diagnosed medical situations.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.

6. This CUP shall terminate upon the occurrence of any of the following:
  - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
  - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the memory care facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on May 26, 2017.

This conditional use permit is hereby issued this 26th day of May, 2015 subject to the conditions provided herein.

**VILLAGE OF HARTLAND**

\_\_\_\_\_  
David Lamerand, Village President

\_\_\_\_\_  
Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



Pd \$300<sup>00</sup> 4/24/15  
Rcpt 161564

RECEIVED

APR 24 2015

ADMINISTRATION  
210 COTTONWOOD AVENUE  
HARTLAND, WI 53029  
PHONE (262) 367-2714  
FAX (262) 367-2430

Village of Hartland

APPLICATION FOR  
PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description				25,000 sf. addition to Dorner Manufacturing																	
Proposed Use			Production area expansion		No. of Employees		N/A														
Project Location								975 Cottonwood Ave, Hartland													
Project Name								Dorner Manufacturing													
Owner				Dorner Mfg. Brian Baumgart				Phone				262-369-1102									
Address				975 Cottonwood Ave				City		Hartland		State		WI		Zip		53089			
Engineer/Architect				MSI General				Phone		414-333-6800		FAX									
Address				P.O. Box 7				City		Oconomowoc		State		WI		Zip		53066			
Contact Person				ERIC NEUMANN		Phone		414-333-6800		FAX		262-367-7390		E-mail				eric@msi-general.com			

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------



**AREA OF BUILDING ADDITION**

**PAINT COLORS TO MATCH EXISTING**

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <b>P.O. Box 20 - 975 Cottonwood Ave</b>				
Lot	Block	Subdivision	Key No. HAV	
Owner <b>Domer Mnf.</b>		EMAIL <b>brian.baumgart@domer.com</b>	Phone <b>Domer 369-1102</b>	
Address <b>975</b>		City <b>Hartland</b>	State <b>WI</b>	Zip <b>53029</b>
Contractor <b>MSI General</b>		Phone <b>414-333-6800</b>	EMAIL <b>eric@msigeneral.com</b>	
Address <b>P.O. Box 7</b>		City <b>Oconomowoc</b>	State <b>WI</b>	Zip <b>53066</b>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:** - N/A

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 05/18/15 Date of Meeting: 05/18/15 Item No. 1

# PLAT OF SURVEY

**CLIENT**  
Pinnacle Engineering Group

**SITE ADDRESS**  
975 Cottonwood Avenue, Village of Hartland, Waushara County, Wisconsin.

**LEGAL DESCRIPTION**

Lot 2 of Cottonwood Commerce Center, being part of the Northeast 1/4 of Section 10, Town 7 North, Range 18 East in the Village of Hartland, County of Waushara, State of Wisconsin.

**BASIS OF BEARINGS**

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of the Northeast 1/4 of Section 10, Town 7 North, Range 18 East bears North 00°12'23" East. (NAD-27)

**STARTING BENCHMARK**

Concrete monument with brass cap at East 1/4 corner of Section 10, Town 7 North, Range 18 East.

Elevation = 972.95 (NGVD29)

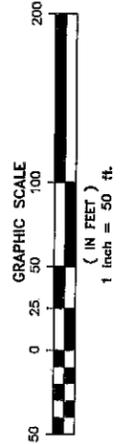
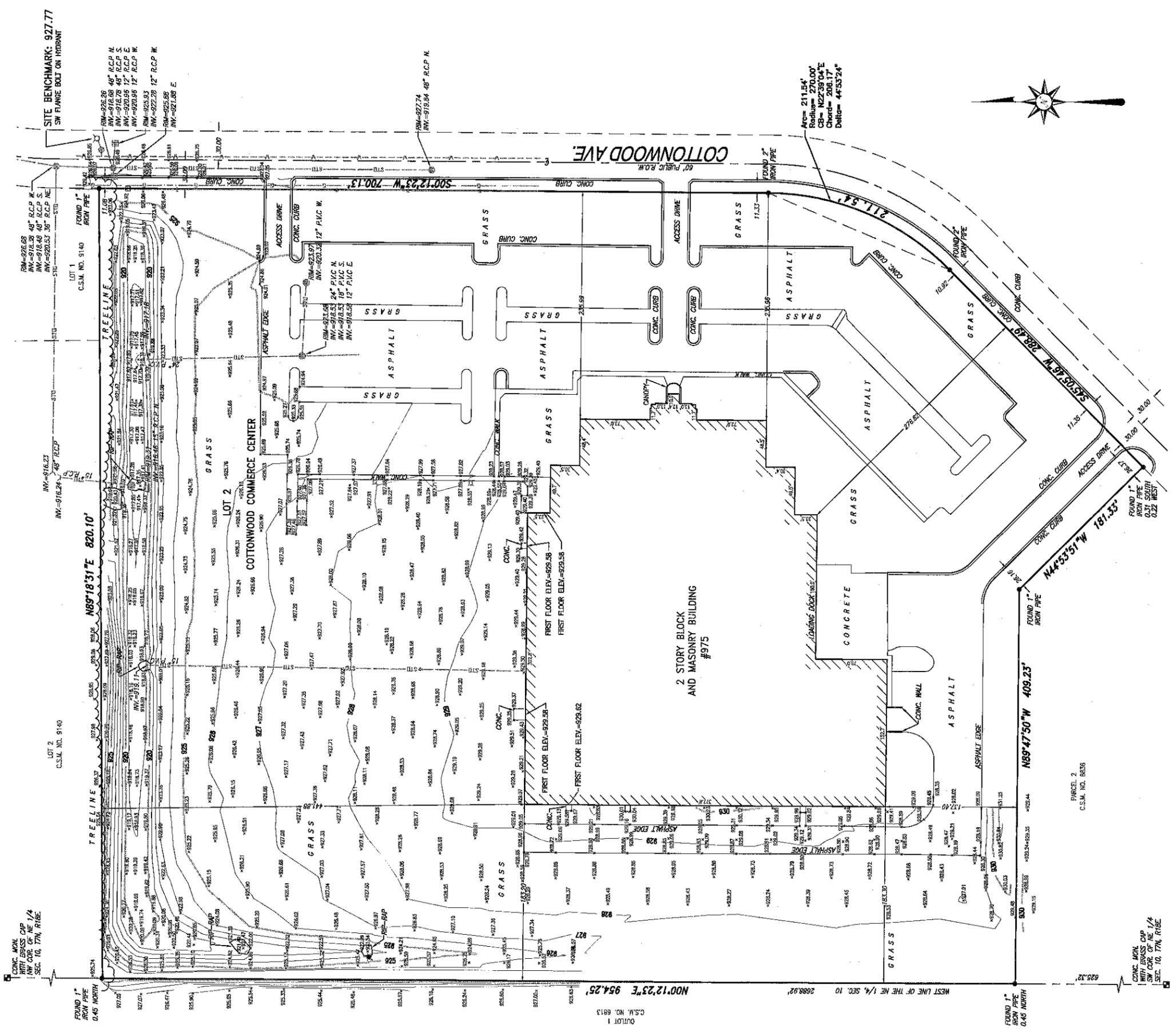
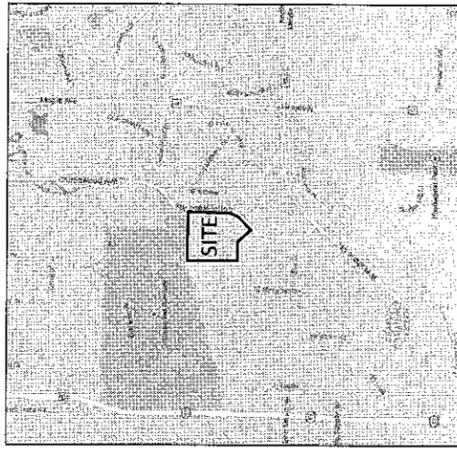
Vertical datum is based on National Geodetic Vertical Datum of 1929.

**LEGEND**

- INDICATES FOUND 1" IRON PIPE
- INDICATES FOUND CHISELED CROSS
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ M.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SERVICE CURB STOP
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SHOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER

- ☐ TELEPHONE PEDESTAL
- ☐ CABLE PEDESTAL
- ☐ CONTROL BOX
- ☐ FIBER OPTIC SIGN
- ☐ TRAFFIC LIGHT
- ☐ COMMUNICATION MANHOLE
- ☐ ROLLER
- ☐ SOIL BORING/MONITORING WELL
- ☐ WATER SURFACE
- ☐ WETLANDS FLAG
- ☐ MARSH
- ☐ PARKING METER
- ☐ SIGN
- ☐ MAILBOX
- ☐ HANDICAP CROSSING SIGNAL
- ☐ HANDICAP SPACE
- ☐ CONIFEROUS TREE
- ☐ DECIDUOUS TREE
- ☐ SANITARY SEWER
- ☐ STORM SEWER
- ☐ WATERLINE
- ☐ WATERLINE
- ☐ MARKED GAS MAIN
- ☐ MARKED ELECTRIC
- ☐ OVERHEAD WIRES
- ☐ MARKED CABLE TV LINE
- ☐ MARKED FIBER OPTIC
- ☐ FENCE

**VICINITY MAP**



**REVISION TABLE**

Revision No. 1	
Revision No. 2	
Revision No. 3	

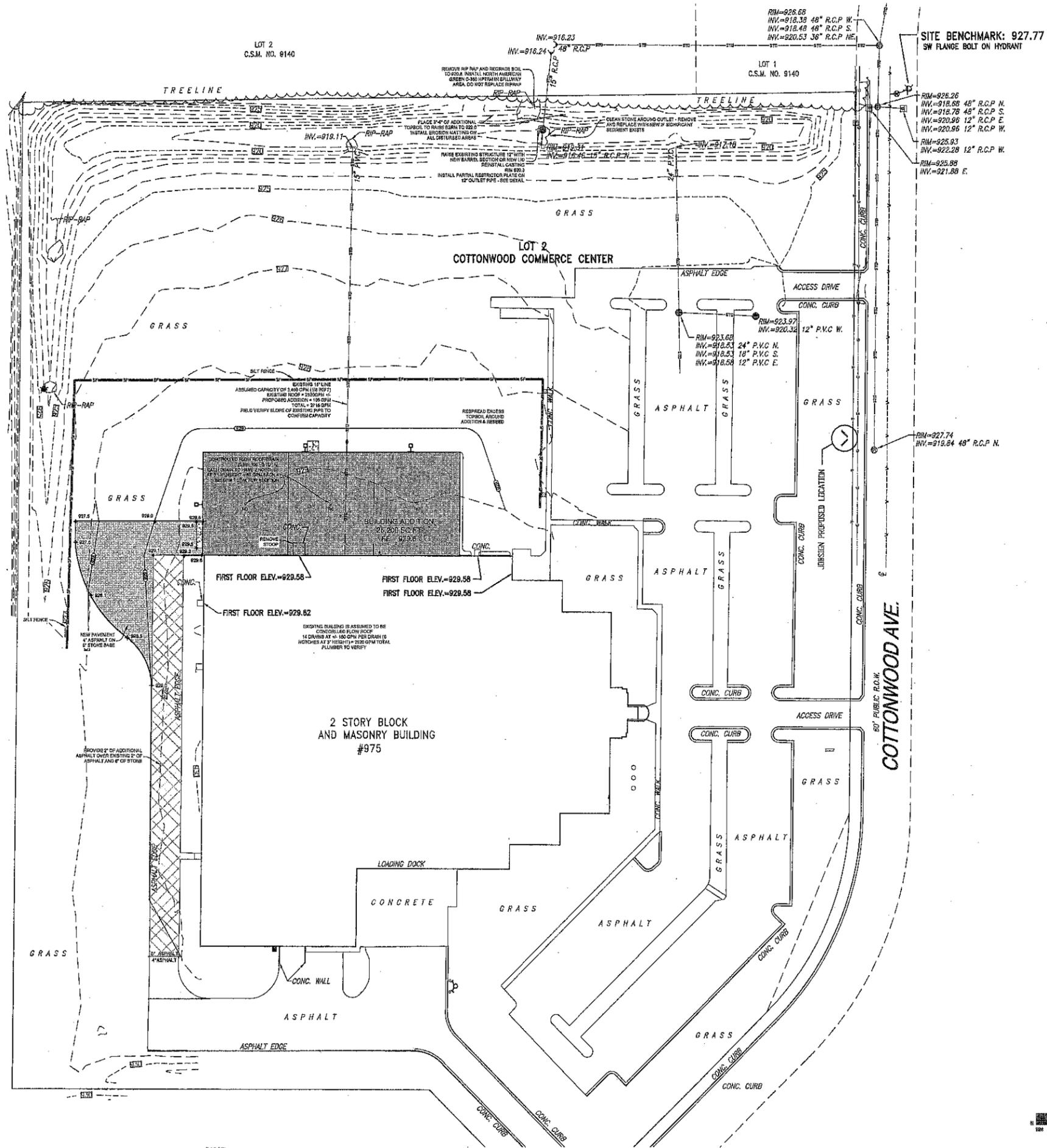
I Certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments of any kind. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

Date: April 9, 2015

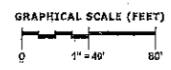
Donald C. Chapat  
Professional Land Surveyor  
Registration Number S-1316

CHAPUT LAND SURVEYS, LLC  
224 W. FLORIDA STREET  
MILWAUKEE, WI 53204  
414-224-8068  
www.chaputlandsurveys.com





OUTLOT 1  
C.S.M. NO. 6813



**GRADING & EROSION CONTROL PLAN**



MSI GENERAL CORPORATION  
P.O. BOX 7  
OCONOMOWOC, WI 53066  
PHONE: 262-567-5661  
FAX: 262-567-7590

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**PROJECT ADDRESS:**  
PROJECT NAME: Dornier Manufacturing Corporation  
STREET ADDRESS: 975 Cottonwood Ave.  
CITY/STATE / ZIP: Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 06.13.15  
Drawn By: Tony Zull  
Sheet Title: GRADING & EROSION CONTROL PLAN  
Sheet Number: C-102  
Project Number: P-11337  
4387

PLANNING DESIGN & DELIVER  
Pinnacle Engineering Group  
CONSULTING ENGINEERS ARCHITECTS

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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PROJECT ADDRESS:

PROJECT NAME  
Dorney Manufacturing Corporation  
STREET ADDRESS  
975 Cottonwood Ave.  
CITY/STATE/ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 06.13.15 Drawn By: Tony Zulli

Sheet Title: DETAILS & SPECIFICATIONS

Sheet Number: C-501

Project Number: F-11337

4387

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 309.30, 309.34, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL DOCKET HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDICATE TO THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION KNOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-245-4911 TO VERIFY THE UTILITY OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.2" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ADJACENT RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

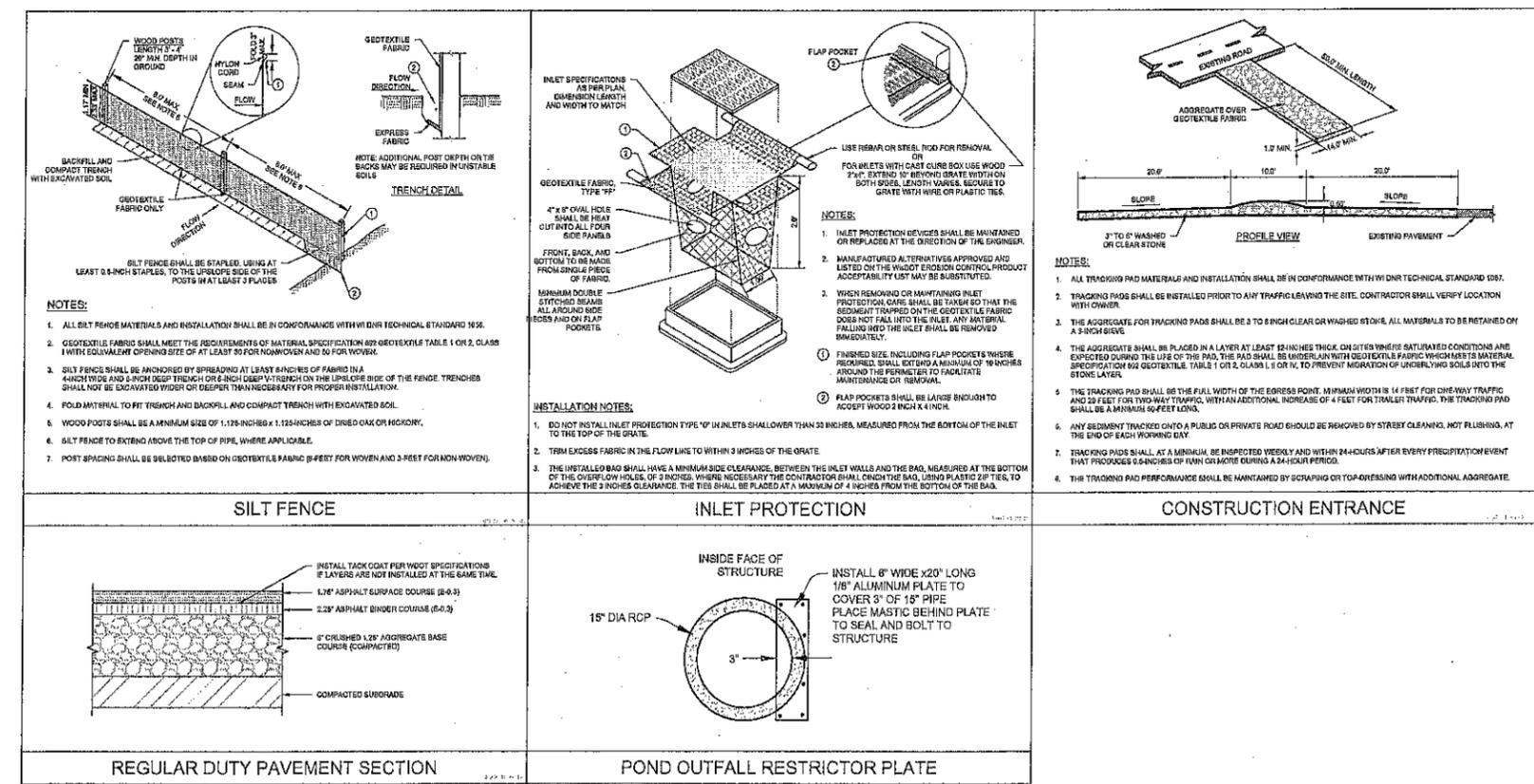
1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH EPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR Haul OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERSEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIAL, FREE OF ALL ORGANIC, FROZEN OR OTHER DETERIORATED MATERIAL AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF FROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERLAIN, AND COMPACTING THE EXPOSED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIAL SHALL BE FREE OF ANY DETERIORATED, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-2922) AND PLASTICITY INDEX (ASTM D-2922) OF 25 AND 10 RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP THREE (3) INCHES OF COMPACTED FILL SHALL HAVE A MAXIMUM THREE (3) INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6) INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO BE PLACED ON TOP OF EXISTING STRUCTURE OR CONSTRUCTION, IT MUST BE CLASSIFIED AS A CLEAN G.O. OR B.O. OR M.P. UNLESS SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SPARSE SUBGRADE ARE GRUBS SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD AND WITH THE EXCEPTION TO THE TOP 12 INCHES OF FILL SURFACE WHICH SHALL A MINIMUM DRY DENSITY OF 98 PERCENT OF THE MAXIMUM DRY DENSITY. A 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOILS SHALL NOT VARY BY MORE THAN 4 TO 4 PERCENT AND GRANULAR SOILS 43 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPES OF MATERIALS AND COMPACTOR EQUIPMENT BEING USED. THE COMPACTOR EQUIPMENT SHOULD COMBINE OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTOR. BALLASTS OR SIMILAR TOUCHED VEHICLES ARE TYPICALLY NOT SUITABLE FOR CONSTRUCTION MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISC HARROWING OR FLUZZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-2922) MAXIMUM DRY DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE FROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE 1/4" FOR LANDSCAPE AREAS AND 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DETERIORATED MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY CYCLES OR PUMPS TO ALLEVIATE WATER POOLING. ANY DRAINAGE SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DRAINAGE TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. CONTRACTOR IS ADVISED THAT ALL FILL AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE FOREVER DAMAGED, AND ALL ADJACENT PROPERTIES SHALL BE RESTORED TO ORIGINAL CONDITION.

SPECIFICATIONS FOR PRIVATE UTILITIES

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REVISION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORRED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING BLEEVE.
3. EXPOSED SANITARY SEWER AND INTERNALLY COATED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN INPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT BRUT OFF WATER OR FLUG SANITARY SEWER IN MUNICIPAL AREAS WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS #4-12. FOR PIPE 60" OR LESS IN DIAMETER, PVC ASTM D-3034, 5000 LB. MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM D-76, CLASS II OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PIPES AND SHALL BE CLASS "C" FOR CONCRETE MANHOLES. INLETS AND DITCH BASINS SHALL BE PRECAST REINFORCED CONCRETE, ASTM C-109. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAWS SHALL BE AS SHOWN OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-2732. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MADE WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 9" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRAULIC SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C-151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP. CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 9" COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE MONROD STEEL, RESILIENT SEATED GATE VALVES CONFORMING WITH AWWA C-600 WITH A THESE PRESS CAST IRON VALVE BOX. INSTALL THURST BLOC'S AT ALL ENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 6 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO. 8 ENAMEL STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVE BOX TERMINAL BOX AT EACH END.
10. HYDROTESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

1. AGGREGATE USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE STANDARD REQUIREMENTS SECTIONS 201.2 AND 202.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BARS SHALL BE 1/4" INCH DIAMETER UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOF-ROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN HEAVY TRAFFIC LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURBS AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE ESTABLISHED MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 402 AND 400 TYPE 6-0.2 IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. CONCRETE FOR CURBS, DRIVEWAYS, WALKS AND NON-TROWEL SLABS SHALL CONFORM TO SECTION 410 OF THE STANDARD SPECIFICATIONS. GRADE A, ASTM C-84, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. JOINTING SHALL BE PER SECTION 413.1 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 413.5.13 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IS CONFORMANCE WITH SECTION 413.5.13 IS REQUIRED.



PINACLE ENGINEERING GROUP  
ENGINEERING PROFESSIONAL RESOURCES  
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DETAILS & SPECIFICATIONS

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

NEW PAVEMENT IN TRUCKING  
AREA TO BE 4" ASPHALT  
ON 6" STONE.

PROVIDE 2" OF ADDITIONAL  
ASPHALT OVER EXISTING  
2" OF ASPHALT AND 6" OF  
STONE

30'-0"

FIRE ACCESS ROAD

SLAB

378'-0"

B2  
(15')

200'

DEMO 10'X10'  
CONC. SLAB

B4  
(30')

BUILDING  
ADDITION  
25,200 SQ. F.

303'-0"

EXISTING  
BUILDING  
126,650 S.F.

S14  
S2.3

S15  
S2.3

ROOF  
SCREEN

B7  
(15')

LINE



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PROJECT ADDRESS:

PROJECT NAME  
Dorner Manufacturing Corporation  
INTERIOR EXPANSION  
975 Cottonwood Ave.  
OCONOMOWOC, WI 53066  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN  
ACCORDANCE WITH THE LATEST EDITION OF THE  
MSI GENERAL MASTER SPECIFICATION

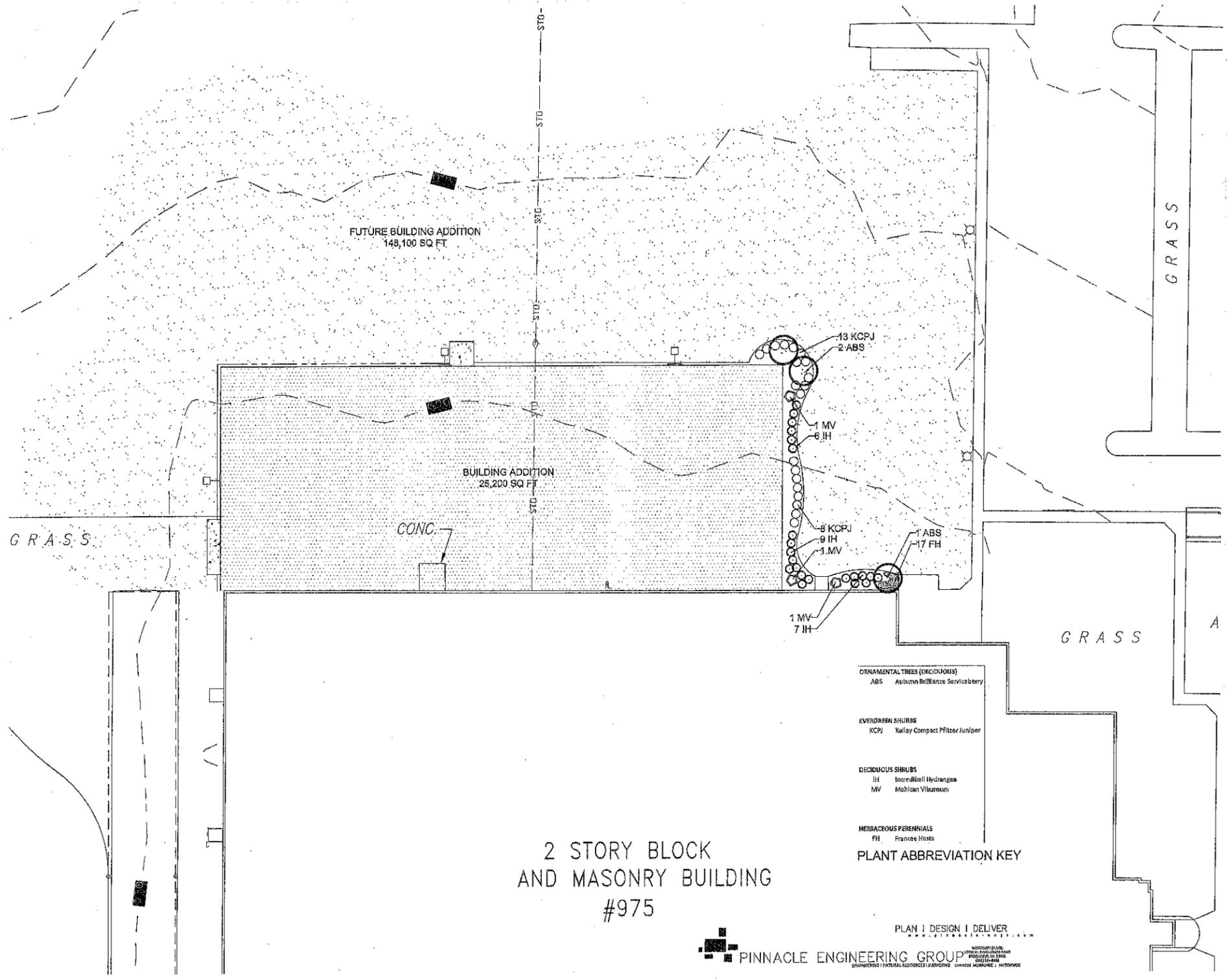
Date: 05.13.15 Drawn By: Tony Zulli

Sheet Title: SITE PHOTOMETRIC  
PLAN  
Sheet Number:

C-101  
Project Number: P-11337

4387

SITE PHOTOMETRIC PLAN NO SCALE



2 STORY BLOCK  
AND MASONRY BUILDING  
#975

- ORNAMENTAL TREES (DECIDUOUS)  
ABS Autumn Bl(Wance Serviceberry)
- EVERGREEN SHRUBS  
KCPJ Kallay Compact Pfliter Juniper
- DECIDUOUS SHRUBS  
IH Incredible! Hydrangea  
MV Mohican Viburnum
- HERBACEOUS PERENNIALS  
FH Frances Hosta
- PLANT ABBREVIATION KEY

PLAN | DESIGN | DELIVER

**PINNACLE ENGINEERING GROUP**  
ENGINEERING | LANDSCAPE ARCHITECTURE | INTERIORS | GRAPHIC COMMUNICATIONS | NETWORKING

LANDSCAPE PLANTING PLAN



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53086  
262.367.3661  
FAX. 282.367.2784

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

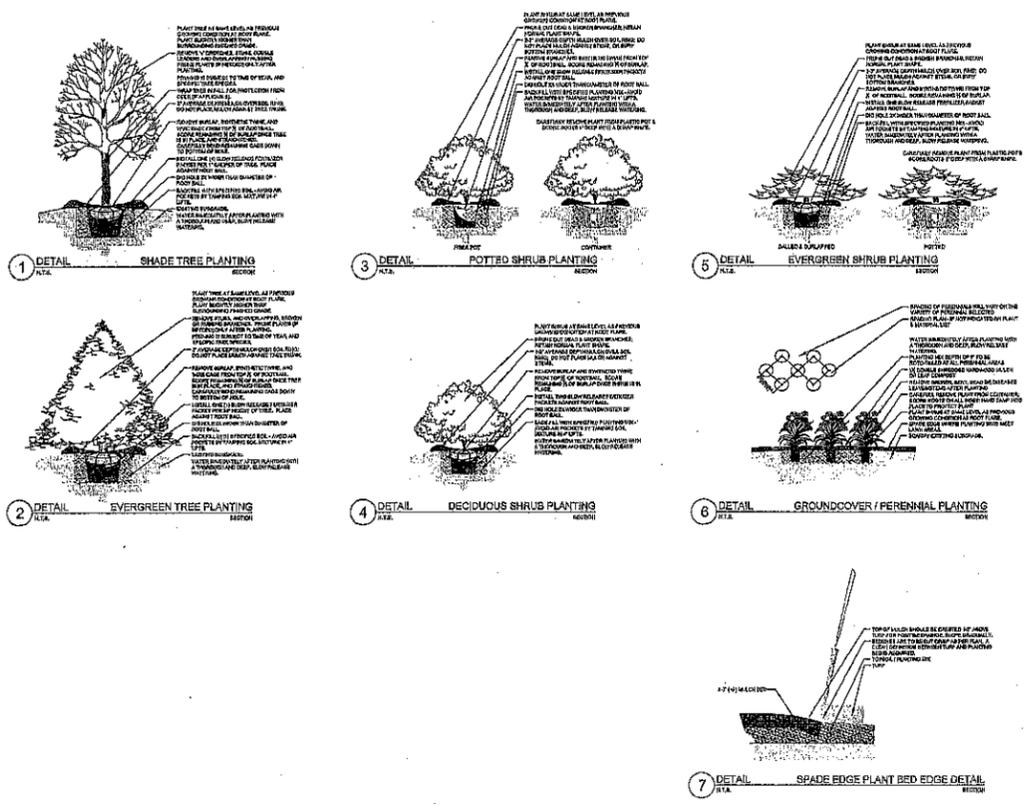
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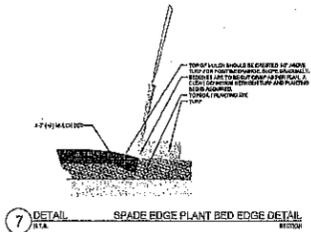
PROJECT NAME  
Dorner Manufacturing Corporation  
STREET ADDRESS  
976 Cottonwood Drive  
CITY/STATE/ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 05.18.16 Drawn By: PEG  
Sheet Title: LANDSCAPE PLAN  
Sheet Number: L-100  
Project Number: 4387 P11337



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8611) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z80.1 ANSI (latest version). Landscape Architect reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 60% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Re-fill the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 6"-10". Contaminated and balled & burlapped plant material should be back-filled with amended soil.
  - Per 100 SF of bed area (Soil Amendment composition):
    - 3/4 CY Peat Moss or Mushroom Compost
    - 1/4 CY Blended/Pulverized Topsoil
    - 1/4 CY Composted Manure
  - In rock-filled beds only, also include in above mixture:
    - 2 lbs Starter Fertilizer



PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT CONT.	SPECIFICATION / NOTES
<b>Proposed Landscape Materials</b>						
ORNA	3	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVER	21	Juniperus chinensis 'Yakii'	Kalray Compact Pfitzer Juniper	24" w	Cont.	Full rounded well branched shrub
DEC	22	Hydrangea arborescens 'Abetwo'	Incredible Hydrangea	45"	Cont.	Full, well rooted plant, evenly shaped
DEC	3	Viburnum lufowii 'Mokkan'	Mokkan Viburnum	40"	B&B	Full, well rounded plant with moist rootball and healthy appearance
PERN	17	Hosta fortunei 'France'	France Hosta	91"	Cont.	Full, well rooted plant, evenly shaped
LAWN	6550	Lawn Establishment Area / Grading Area		5"		Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-312-6807)
	58900	Erosion Matting for sloped seeded areas	see plan for area delineation	SF		EroTex D875 Erosion Control Blanket (or approved equal)
<b>Landscape Materials</b>						
	11	Shredded Hardwood Mulch (3" depth)	1,200 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
	7	Soil Amendments (2" depth)	1,200 SF		CY	
	90	Pulverized Topsoil (Lawn Area)	38,500 SF		CY	
	7	Pulverized Topsoil (2" over bed areas)	1,200 SF		CY	
Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and captions depicted therein shall govern.						
<b>Seed Composition:</b>						
		Cedar Creek Premium Blue Tag (Ph: 888-312-6807)				Seed at rate of 80 per 1000 SF
		10% Mid Atlantic Kentucky Bluegrass	30% Atlantic Kentucky Bluegrass			
		20% North Kentucky Bluegrass	30% Dragon Kentucky Bluegrass			
		20% Boreal Red Fescue	10% Palmer III Fine Perennial Ryegrass			
		20% Pennant Fine Perennial Ryegrass				

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
  - No bare spots larger than one (1) square foot
  - No more than 10% of the total area with bare areas larger than one (1) square foot
  - A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

PLAN | DESIGN | DELIVER  
 PINNACLE ENGINEERING GROUP  
 ENGINEERING | ARCHITECTURE | INTERIORS | LANDSCAPE ARCHITECTURE

LANDSCAPE DETAILS & NOTES



MSI GENERAL CORPORATION  
 P.O. BOX 7  
 OCONOMOWOC, WI 53066  
 262.367.3561  
 FAX: 262.367.2764

SINGLE SOURCE RESPONSIBILITY

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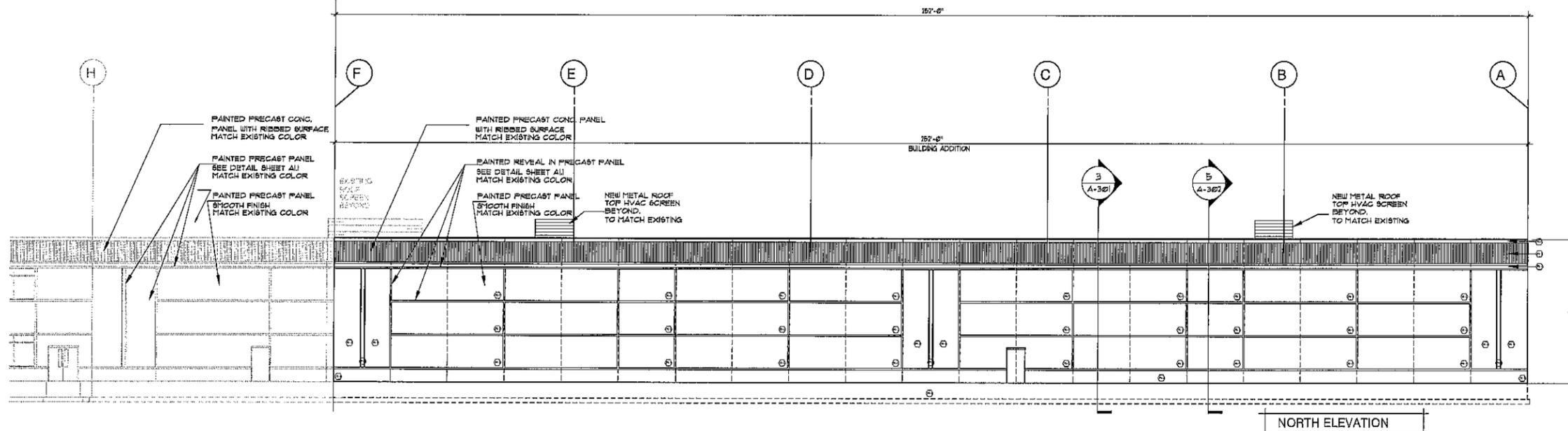
**PROJECT ADDRESS:**  
 PROJECT NAME  
 Dornier Manufacturing Corporation  
 STREET ADDRESS  
 975 Cottonwood Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 05.13.15  
 Drawn By: PEG  
 Sheet Title: LANDSCAPE PLAN  
 Sheet Number: L-101  
 Project Number: 4387  
 P11387

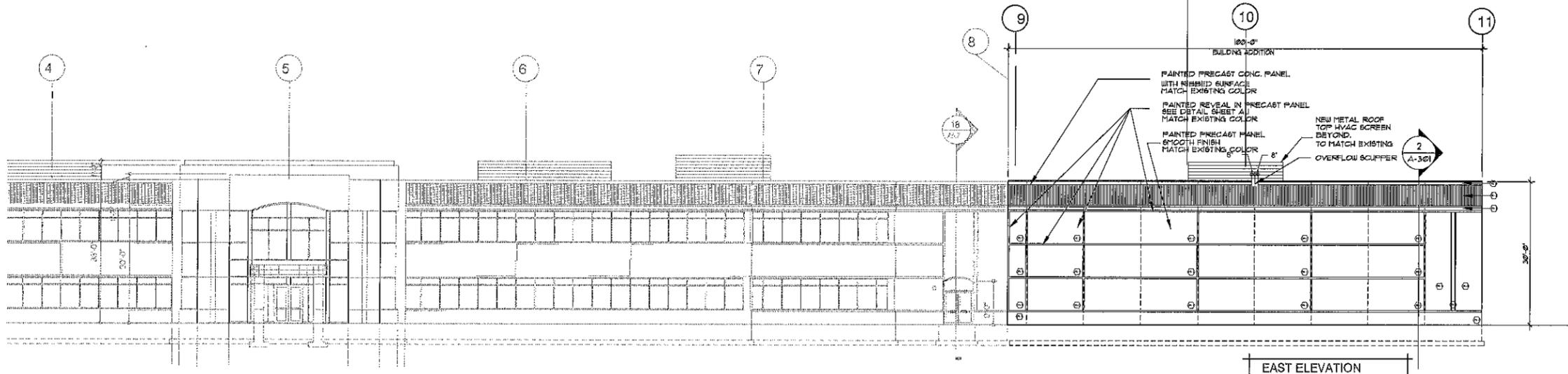


EXISTING BUILDING | BUILDING ADDITION



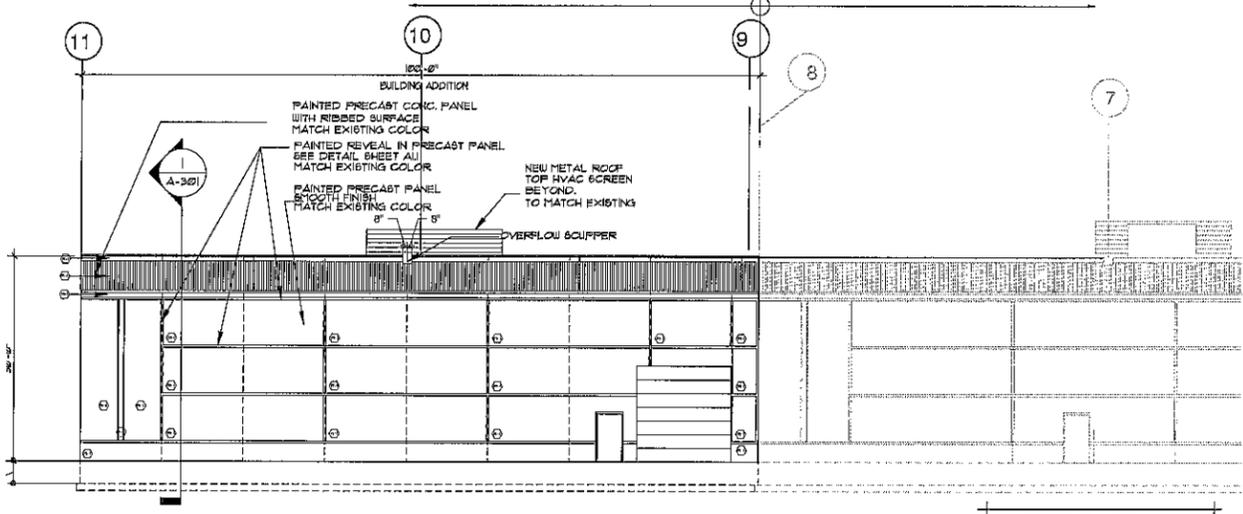
NORTH ELEVATION

EXISTING BUILDING | BUILDING ADDITION



EAST ELEVATION

BUILDING ADDITION | EXISTING BUILDING



WEST ELEVATION

**EXTERIOR PAINT COLOR S  
- TO MATCH EXISTING BUILDING COLORS**

PT-1	FRATT & LAMBERT ( MIDDLE OF WALL LIGHTEST COLOR )	WINTERS GATE # 2238
PT-2	FRATT & LAMBERT ( LOWER EDGE OF WALL AT GRADE )	VIOLET ECHO # 2322
PT-3	FRATT AND LAMBERT DARKER COLOR AT TOP OF WALL , OUTER EDGES AND AT NORTH CENTER WALL PANEL	HEDRICH # 2301
PT-4	FRATT AND LAMBERT DARK VERTICAL BAND AT CORNERS OF WALL PANELS COLOR TO BE FIELD VERIFIED	CLASSIC GRAY # 2201



MSI GENERAL CORPORATION  
P.O. BOX 7  
COONINGWOOD, WI 53066  
PHONE: 262-367-3661  
FAX: 262-367-7390

WWW.MSIGENERAL.COM  
SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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**PROJECT ADDRESS:**  
ARCADY 18732  
Dorner Manufacturing Corporation  
13 TRALEY #25, 4500  
879 Gordonwood Ave.  
City of State ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSIGENERAL MASTER SPECIFICATION.

Date: 05.13.10 Drawn By: Tony Zull

Sheet Title: PARTIAL ELEVATIONS

Sheet Number: A-202

Project Number: 4387

PARTIAL ELEVATIONS 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

**APPLICATION FOR  
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <i>Relocate Front Fence</i>					
Proposed Use				No. of Employees	
Project Location <i>630 E. INDUSTRIAL Dr.</i>					
Project Name <i>Kinney Properties Fencing</i>					
Owner <i>Kinney Properties</i>			Phone <i>262-893-4930</i>		
Address <i>7051 Leanne Ct</i>		City <i>Hartland</i>		State <i>WI</i>	Zip <i>53029</i>
Engineer/Architect <i>None</i>			Phone		FAX
Address		City		State	Zip
Contact Person <i>Russ Kinney</i>		Phone <i>262-893-4930</i>		FAX	E-mail <i>russkinney@me.com</i>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
  - Scale and north arrow
  - All structures (include building elevations and height)
  - Drainage and grades (include design calculations for drainage)
  - Storm Water Management Plan
  - Utilities and easements (sewer, water, storm etc.)
  - Calculation of lot coverage
  - Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
  - Exterior lighting details
  - Exterior HVAC equipment location
  - Dumpster location (screening required)
  - Street right-of-way
  - Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

RECEIVED

APR 24 2015

Village of Hartland  
KINNEY PROPERTIES, INC.  
7051 LEANNE CT.  
HARTLAND, WI 53029

Scott Hussinger  
Building Inspector  
210 Cottonwood Ave.  
Hartland, WI 53029

April 20, 2015

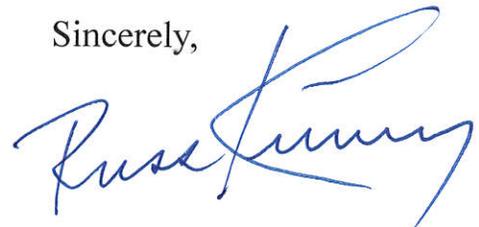
Scott:

I would like to begin the process to get permission to relocate the fencing on our property at 630 E. Industrial Dr. from its present location to a location that would be 40' from the front of the property and 55' from the road.

The present 7.5 foot high fencing would be relocated to new posts as shown on the drawing. The fence material is chain link with Gray privacy slats. The present gates would be reused for the two openings. I've attached pictures that show the present fencing and the line for the proposed new fence location with red cones for the gate posts.

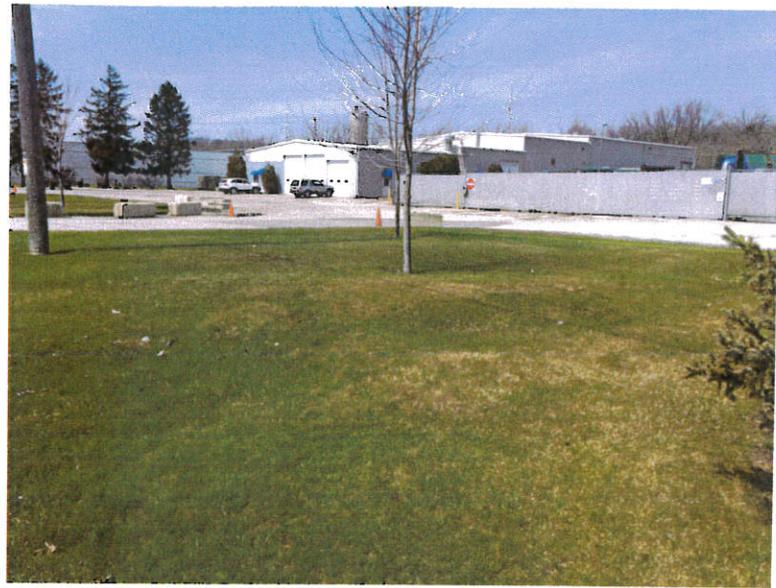
After fence installation small shrubbery, varying from 4 to 6 feet high with seasonal colorings (Bridalwreath, Dwarf Lilac, Red Dogwood, Barberry, and Burning Bush) would be planted in the 6 foot area noted in red on the plan.

Sincerely,



RUSS KINNEY

Kinney Properties, Inc.



APR 24 2015

Village of Hartland

KINNEY PROPERTIES, INC.  
7051 LEANNE CT.  
HARTLAND, WI 53029

ME

April 20, 2015

4-27-15

Scott Hussinger  
Building Inspector  
210 Cottonwood Ave.  
Hartland, WI 53029

Scott: - Need to allow for surface drainage under fence.

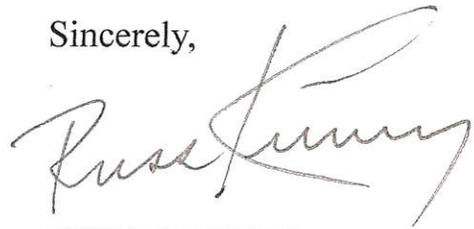
- Appears to be a zoning issue  
- Appears that sewer & water utilities that we access are outside of fence

I would like to begin the process to get permission to relocate the fencing on our property at 630 E. Industrial Dr. from its present location to a location that would be 40' from the front of the property and 55' from the road.

The present 7.5 foot high fencing would be relocated to new posts as shown on the drawing. The fence material is chain link with Gray privacy slats. The present gates would be reused for the two openings. I've attached pictures that show the present fencing and the line for the proposed new fence location with red cones for the gate posts.

After fence installation small shrubbery, varying from 4 to 6 feet high with seasonal colorings (Bridalwreath, Dwarf Lilac, Red Dogwood, Barberry, and Burning Bush) would be planted in the 6 foot area noted in red on the plan.

Sincerely,



RUSS KINNEY

Kinney Properties, Inc.

INDUSTRIAL DRIVE

EXISTING SANITARY SEWER

S86°45'00"W

170.00'

S86°45'00"W

150.00'

LOT 1

LOT 2

GRASS AREA

CATCH BASIN

40'

34' Gate

36' Gate

N00°11'24"W

418.62'(DEEDED AS 419.13')

GRAVEL

9 spaces

ASPHALT PAVEMENT

24.00'

GATE

CONC.

70'X36'

70'X46'

70'X100'

UNIT A

UNIT B

UNIT C

UNIT D

FLOOR ELEV. = 932.08

48.62'

7 spaces

24.00'

GATE

ASPHALT PAVEMENT

12 spaces

12 spaces

PAVEMENT

20.00'

GATE

GRAVEL

418.47' (DEEDED AS 418.81')

S03°15'00"E

LOT 1

LOT 2

RETENTION POND (DESIGN BY HILMER ENGR.)

150.00' N86°39'51"E (DEEDED AS N86°39'51"E)

147.65' (DEEDED AS 147.64) N86°39'51"E (DEEDED AS N86°39'51"E)

46.00'

5.00'

80' ROW

KINNEY PROPERTIES INC  
7051 LEANNE CT  
HARTLAND WI 53029

MISALICO LLC  
4716 S TAYLOR DR  
SHEBOYGAN WI 53081-1108

VIRGINIA A SCHREIB AMENDED &  
RESTATED TRUST  
S87W29868 LEPPIN CT  
MUKWONAGO WI 53149-8620

HARTLAND PROPERTIES LLC  
C/O RICHARD G REINDERS SR  
N5915 N WILLOW GLEN RD  
SULLIVAN WI 53178-9727

BADGERLAND INVESTORS LLC  
PO BOX 259066  
MADISON WI 53725-9066

ILLINOIS CEMENT CO  
PO BOX 442  
LA SALLE IL 61301

GARDENBOV LLC  
13205 W VAN NORMAN AVE  
NEW BERLIN WI 53151

KINNEY PROPERTIES INC  
7051 LEANNE CT  
HARTLAND WI 53029

ROBERT STUPAR  
TERRY STUPAR  
1487 HIGHWAY K  
HARTFORD WI 53027-9773

PREMIER HARTLAND LLC  
19105 W CAPITOL DR  
BROOKFIELD WI 53045-2708

ADV LLC  
1366 WATERS EDGE DR  
OCONOMOWOC WI 53066-4191



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

**APPLICATION FOR  
 PLAN COMMISSION**

**\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description			
Installation of Compressed Natural Gas Fueling Station equipment to supply fuel to customer's vehicle fleet. No new structures and no renovations to existing building.			
Proposed Use		No. of Employees	
Project Location 559 Progress Drive, Hartland, WI 53029			
Project Name Advanced Disposal CNG Fuel Facility			
Owner Advanced Disposal		Phone (904) 900-7608	
Address 559 Progress Drive,		City Hartland	State WI Zip 53029
Engineer/Architect Timothy E. Nelligan		Phone (949) 340-7702	FAX (949) 315-3844
Address 1644 N El Camino		City San Clemente	State CA Zip 92672
Contact Person Jeff Lucero	Phone (909) 793-3700	FAX (909) 793-8056	E-mail jlucero@trustarenergy.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

**The deadline for filing is a minimum of fifteen (15) working days before the meeting.**

**All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.**

**Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:**

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- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
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**Village of Hartland  
Professional Services Reimbursement Form**

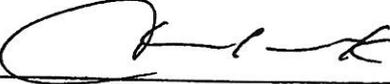
The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Responsible Party Name, Mailing Address, Signature and Date:

- A. Jeff Lucero  3/31/2015  
 Printed Name Signature Date
- B. 10225 Philadelphia Court Rancho Cucamonga CA 91730  
 Street City State Zip
- C. Phone (909) 670-1390 Fax: (909) 793-8056 E-Mail jlucero@trustarenergy.com

Property Owner Name, Mailing Address, Signature & Date:

- A. Chad Mark  4/1/2015  
 Printed Name Signature Date
- B. 90 Fort Wade Road Ponte Vedra FL 32081  
 Street City State Zip
- C. Phone (904) 900-7608 Fax: (904) 309-6683 E-Mail chad.mark@advanceddisposal.com

\_\_\_\_\_  
 Village Official Accepting Form & Date

**INTERNAL USE ONLY**

Amount Due: \$ \_\_\_\_\_ Check #: \_\_\_\_\_ Date Paid: \_\_\_/\_\_\_/\_\_\_ Rec'd By: \_\_\_\_\_

Plan Commission Project Number: \_\_\_\_\_



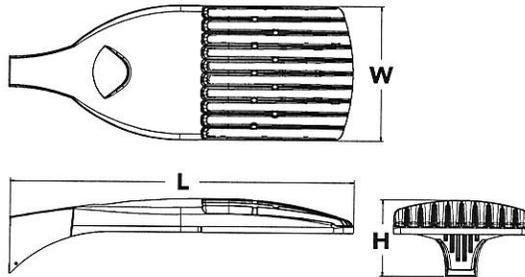
# D-Series Size 1 LED Area Luminaire



d#series

## Specifications

<b>EPA:</b>	1.2 ft <sup>2</sup> (0.11 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height:</b>	7-1/2" (19.0 cm)
<b>Weight (max):</b>	27 lbs (12.2 kg)



Catalog  
Number

Notes

Type

Fill the Tab key in mouse over the page to see all interactive elements

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

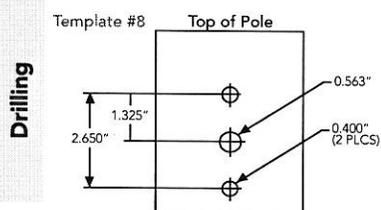
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD**

### DSX1 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish (required)				
DSX1 LED	<b>Forward optics</b>	530 530 mA	30K 3000 K (80 CRI min.)	T1S Type I short	MVOLT <sup>3</sup>	<b>Shipped included</b>	<b>Shipped installed</b>	<b>Shipped installed</b>	DDBXD Dark bronze				
		700 700 mA	40K 4000 K (70 CRI min.)	T2S Type II short	120 <sup>3</sup>					SPA Square pole mounting	PER NEMA twist-lock receptacle only (no controls) <sup>7</sup>	HS House-side shield <sup>14</sup>	DBLXD Black
		1000 1000 mA (1 A)	50K 5000 K (70 CRI)	T2M Type II medium	208 <sup>3</sup> 240 <sup>3</sup>					RPA Round pole mounting	DMG 0-10V dimming driver (no controls) <sup>8</sup>	WTB Utility terminal block <sup>15</sup>	DNAXD Natural aluminum
	40C 40 LEDs (two engines)	AMBPC Amber phosphor converted <sup>7</sup>	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	T3S Type III short	277 <sup>3</sup>	WBA Wall bracket	DCR Dimmable and controllable via ROAM® (no controls) <sup>9</sup>	SF Single fuse (120, 277, 347V) <sup>16</sup>	DWHXD White			
					T3M Type III medium	347 <sup>4</sup> 480 <sup>4</sup>					SPUMBA Square pole universal mounting adaptor <sup>5</sup>	DF Double fuse (208, 240, 480V) <sup>16</sup>	DBBTXD Textured dark bronze
					T4M Type IV medium						RPUMBA Round pole universal mounting adaptor <sup>5</sup>	PIR Motion sensor, 8-15' mounting height <sup>12</sup>	DBLXD Textured black
	60C 60 LEDs (two engines)	AMBPC Amber phosphor converted <sup>7</sup>	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	TFTM Forward throw medium		KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>6</sup>	DS Dual switching <sup>10,11</sup>	L90 Left rotated optics <sup>17</sup>	DWHGXD Textured white			
					T5VS Type V very short						PIRH Motion sensor, 15-30' mounting height <sup>12</sup>	DNATXD Textured natural aluminum	
					T5S Type V short						BL30 Bi-level switched dimming, 30% <sup>11,13</sup>	R90 Right rotated optics <sup>17</sup>	
	Rotated optics <sup>1</sup>	AMBPC Amber phosphor converted <sup>7</sup>	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	TSM Type V medium		KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>6</sup>	BL50 Bi-level switched dimming, 50% <sup>11,13</sup>	L90 Left rotated optics <sup>17</sup>	DWHGXD Textured white			
					T5W Type V wide								



**Accessories**  
Ordered and shipped separately.

DL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>18</sup>
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>18</sup>
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>18</sup>
SC U	Shorting cap <sup>18</sup>
DSX1HS 30C U	House-side shield for 30 LED unit
DSX1HS 40C U	House-side shield for 40 LED unit
DSX1HS 60C U	House-side shield for 60 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>6</sup>

DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM19AS</b>	Single unit	<b>DM29AS</b>	2 at 90° *
<b>DM28AS</b>	2 at 180°	<b>DM39AS</b>	3 at 90° *
<b>DM49AS</b>	4 at 90° *	<b>DM32AS</b>	3 at 120° **

**Example: SSA 20 4C DM19AS DDBXD**

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.  
\*\*For round pole mounting (RPA) only.

### Tenon Mounting Slipfitter \*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

### NOTES

- Rotated optics only available with 60C.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (30C 530, or 60C 530 DS). Not available with DCR, BL30 or BL50.
- Available as a separate combination accessory: PUMBA (finish) U.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- DMG option for 347v or 480v requires 1000mA
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. N/A with BL30, BL50, DS, PIR or PIRH.
- Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR, or PIRH.
- Requires an additional switched circuit.
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS or DCR.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Also available as a separate accessory; see Accessories information.
- WTB not available with DS.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 60 LEDs (60C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Control.



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/-10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 80 minimum CRI)					40K (4000 K, 70 minimum CRI)					50K (5000 K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				30C (30 LEDs)	700 mA	68 W	T1S	5,290	1	0	1	78	6,524	2	0	2	96	7,053
			T2S	5,540	1	0	1	81	6,833	2	0	2	100	7,387	2	0	2	109
			T2M	5,360	1	0	2	79	6,611	2	0	2	97	7,147	2	0	2	105
			T3S	5,479	1	0	1	81	6,757	1	0	2	99	7,305	2	0	2	107
			T3M	5,452	1	0	2	80	6,724	2	0	2	99	7,269	2	0	2	107
			T4M	5,461	1	0	2	80	6,736	2	0	2	99	7,282	2	0	2	107
			TFTM	5,378	1	0	2	79	6,633	1	0	2	98	7,171	1	0	2	105
			TSVS	5,708	2	0	0	84	7,040	3	0	0	104	7,611	3	0	1	112
			TSS	5,639	2	0	0	83	6,955	2	0	0	102	7,519	3	0	0	111
			TSM	5,710	3	0	1	84	7,042	3	0	1	104	7,613	3	0	2	112
			TSW	5,551	3	0	1	82	6,847	3	0	2	101	7,401	3	0	2	109
	1000 mA	105 W	T1S	7,229	2	0	2	69	9,168	2	0	2	87	9,874	2	0	2	94
			T2S	7,572	2	0	2	72	9,603	2	0	2	91	10,342	2	0	2	98
			T2M	7,325	2	0	2	70	9,291	2	0	2	88	10,005	2	0	3	95
			T3S	7,488	2	0	2	71	9,496	2	0	2	90	10,227	2	0	2	97
			T3M	7,451	2	0	2	71	9,450	2	0	2	90	10,177	2	0	2	97
			T4M	7,464	2	0	2	71	9,467	2	0	2	90	10,195	2	0	2	97
			TFTM	7,351	1	0	2	70	9,323	2	0	2	89	10,040	2	0	3	96
			TSVS	7,801	3	0	1	74	9,894	3	0	1	94	10,655	3	0	1	101
			TSS	7,803	3	0	2	74	9,774	3	0	1	93	10,526	3	0	1	100
			TSM	7,707	3	0	0	73	9,897	3	0	2	94	10,658	4	0	2	102
			TSW	7,586	3	0	2	72	9,621	4	0	2	92	10,363	4	0	2	99
	700 mA	89 W	T1S	6,876	2	0	2	77	8,639	2	0	2	97	9,345	2	0	2	105
			T2S	7,202	2	0	2	81	9,049	2	0	2	102	9,788	2	0	2	110
			T2M	6,968	2	0	2	78	8,755	2	0	2	98	9,469	2	0	3	106
			T3S	7,122	2	0	2	80	8,948	2	0	2	101	9,679	2	0	2	109
			T3M	7,088	2	0	2	80	8,905	2	0	2	100	9,632	2	0	2	108
			T4M	7,100	2	0	2	80	8,920	2	0	2	100	9,649	2	0	2	108
			TFTM	6,992	1	0	2	79	8,785	2	0	2	99	9,502	2	0	2	107
			TSVS	7,421	3	0	0	83	9,323	3	0	1	105	10,085	3	0	1	113
			TSS	7,331	2	0	0	82	9,210	3	0	1	103	9,962	3	0	1	112
			TSM	7,423	3	0	2	83	9,326	3	0	2	105	10,087	4	0	2	113
			TSW	7,216	3	0	2	81	9,066	4	0	2	102	9,807	4	0	2	110
	1000 mA	138 W	T1S	9,521	2	0	2	69	11,970	2	0	2	87	12,871	3	3	0	93
			T2S	9,972	2	0	2	72	12,558	3	0	3	91	13,481	3	0	3	98
			T2M	9,648	2	0	3	70	12,149	3	0	3	88	13,043	3	0	3	95
			T3S	9,862	2	0	2	71	12,418	2	0	2	90	13,331	2	0	2	97
			T3M	9,814	2	0	2	71	12,358	3	0	3	90	13,267	3	0	3	96
			T4M	9,831	2	0	2	71	12,379	2	0	3	90	13,290	2	0	3	96
			TFTM	9,681	2	0	2	70	12,191	2	0	3	88	13,087	2	0	3	95
			TSVS	10,275	3	0	1	74	12,937	3	0	1	94	13,890	4	0	1	101
			TSS	10,150	3	0	1	74	12,782	3	0	1	93	13,721	3	0	1	99
			TSM	10,278	4	0	2	74	12,942	4	0	2	94	13,894	4	0	2	101
			TSW	9,991	4	0	2	72	12,582	4	0	2	91	13,507	4	0	2	98
	700 mA	131 W	T1S	10,226	2	0	2	78	12,871	3	0	3	98	13,929	3	0	3	106
			T2S	10,711	2	0	2	82	13,481	3	0	3	103	14,589	3	0	3	111
			T2M	10,363	2	0	3	79	13,043	3	0	3	100	14,115	3	0	3	108
			T3S	10,592	2	0	2	81	13,331	2	0	2	102	14,427	3	0	3	110
			T3M	10,541	2	0	2	80	13,267	3	0	3	101	14,357	3	0	3	110
			T4M	10,559	2	0	2	81	13,290	2	0	3	101	14,382	3	0	3	110
			TFTM	10,398	2	0	3	79	13,087	2	0	3	100	14,163	2	0	3	108
			TSVS	11,036	3	0	1	84	13,890	4	0	4	106	15,032	4	0	1	115
			TSS	10,902	3	0	1	83	13,721	3	0	1	105	14,849	4	0	1	113
			TSM	11,039	4	0	2	84	13,894	4	0	2	106	15,036	4	0	2	115
			TSW	10,732	4	0	2	82	13,507	4	0	2	103	14,617	4	0	2	112
	1000 mA	209 W	T1S	14,017	3	0	3	67	17,632	3	0	3	84	19,007	3	0	3	91
			T2S	14,681	3	0	3	70	18,467	3	0	3	88	19,908	3	0	3	95
			T2M	14,204	3	0	3	68	17,867	3	0	3	85	19,260	3	0	3	92
			T3S	14,518	3	0	3	69	18,262	3	0	3	87	19,687	3	0	3	94
			T3M	14,448	3	0	3	69	18,173	3	0	4	87	19,591	3	0	4	94
			T4M	14,473	3	0	3	69	18,205	3	0	3	87	19,625	3	0	4	94
			TFTM	14,253	2	0	3	68	17,928	3	0	4	86	19,326	3	0	4	92
			TSVS	15,127	4	0	1	72	19,028	4	0	1	91	20,512	4	0	1	98
			TSS	14,943	4	0	1	71	18,797	4	0	1	90	20,263	4	0	1	97
			TSM	15,131	4	0	2	72	19,033	4	0	2	91	20,517	5	0	3	98
			TSW	14,710	4	0	2	70	18,503	5	0	3	89	19,946	5	0	3	95

**Note:** Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.99

### Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	--	--
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

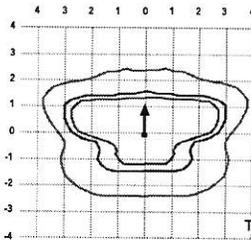
Operating hours	0	25,000	50,000	100,000
Lumen Maintenance factor	DSX1 LED 60C 1000			
	1.0	0.95	0.93	0.88
	DSX1 LED 60C 700			
	1.0	0.99	0.98	0.96

## Photometric Diagrams

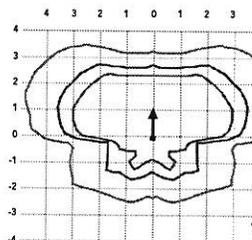
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').

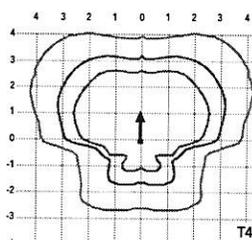
#### LEGEND



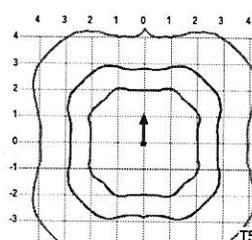
Test No. LTL23211 tested in accordance with IESNA LM-79-08.



Test No. LTL23141B tested in accordance with IESNA LM-79-08.



Test No. LTL23222 tested in accordance with IESNA LM-79-08.



Test No. LTL23271 tested in accordance with IESNA LM-79-08.

## FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft<sup>2</sup>) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (80 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

#### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

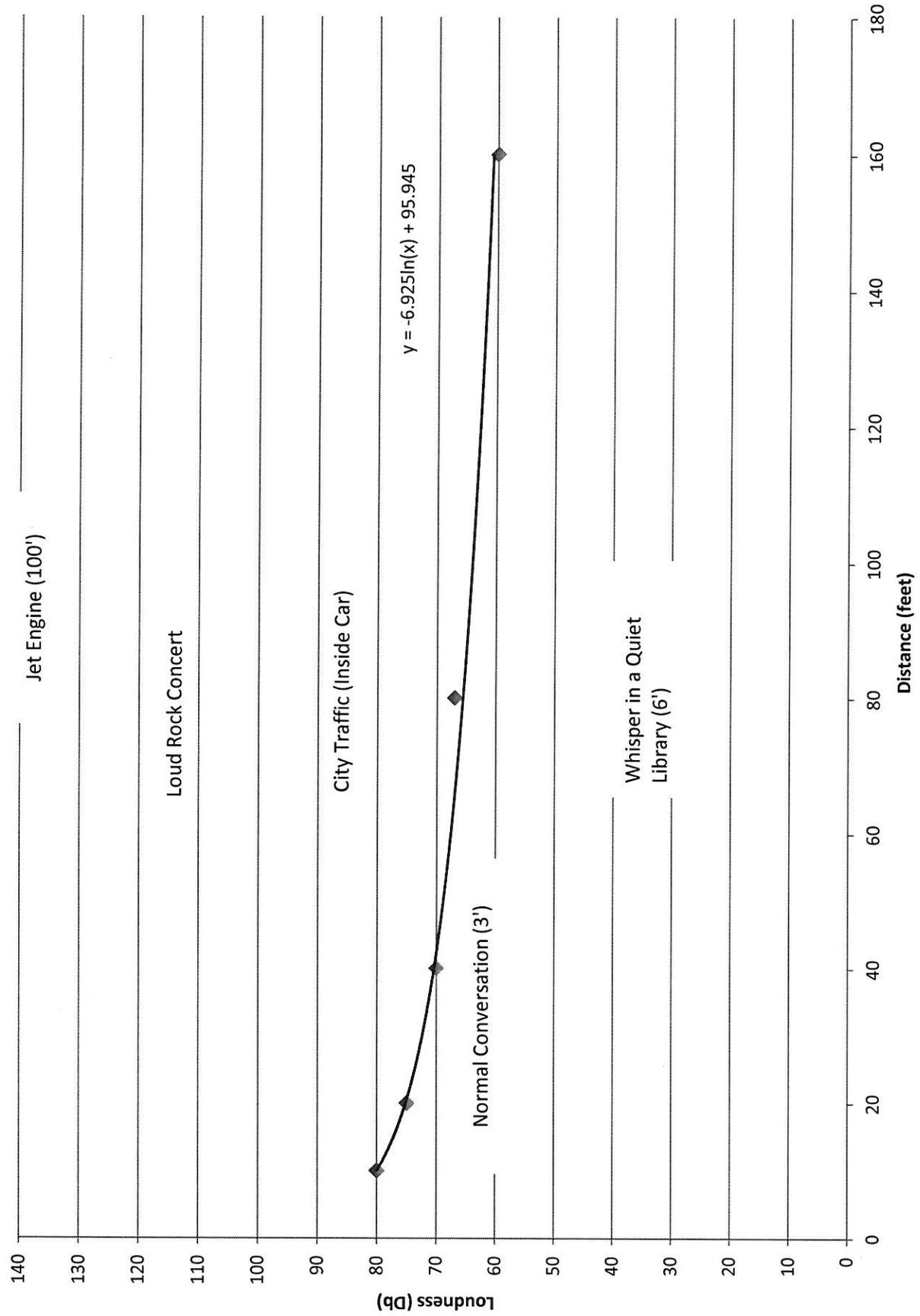
#### WARRANTY

Five-year limited warranty. Full warranty terms located at: [www.acuitybrands.com/CustomersResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomersResources/Terms_and_conditions.aspx)

**Note:** Specifications subject to change without notice.



# ANGI 300 Natural Gas Compressor, Hartland, WI



SUPERIOR OF WISCONSIN INC  
PO BOX 168  
HARTLAND WI 53029

LINDSAY REAL ESTATE HOLDINGS LLC  
2222 N 111TH ST  
OMAHA NE 68164

MYRA PROPERTIES LLC  
C/O NEIL KOPINSKI  
1795 LINCOLN PARK CIR  
SARASOTA FL 34236

SCI INVESTMENT HOLDINGS LLC  
540 PROGRESS DR  
HARTLAND WI 53029

VILLAGE OF HARTLAND  
210 COTTONWOOD AVE  
HARTLAND WI 53029

BUSKE FAMILY LIMITED PARTNERSHIP  
PO BOX 116  
HARTLAND WI 53029

LAKE COUNTRY RACQUET & ATHLETIC  
CLUB  
560 INDUSTRIAL DR  
PO BOX 76  
HARTLAND WI 53029

ADV LLC  
1366 WATERS EDGE DR  
OCONOMOWOC WI 53066

S&M RABAY LLC  
550 PROGRESS DR  
HARTLAND WI 53029

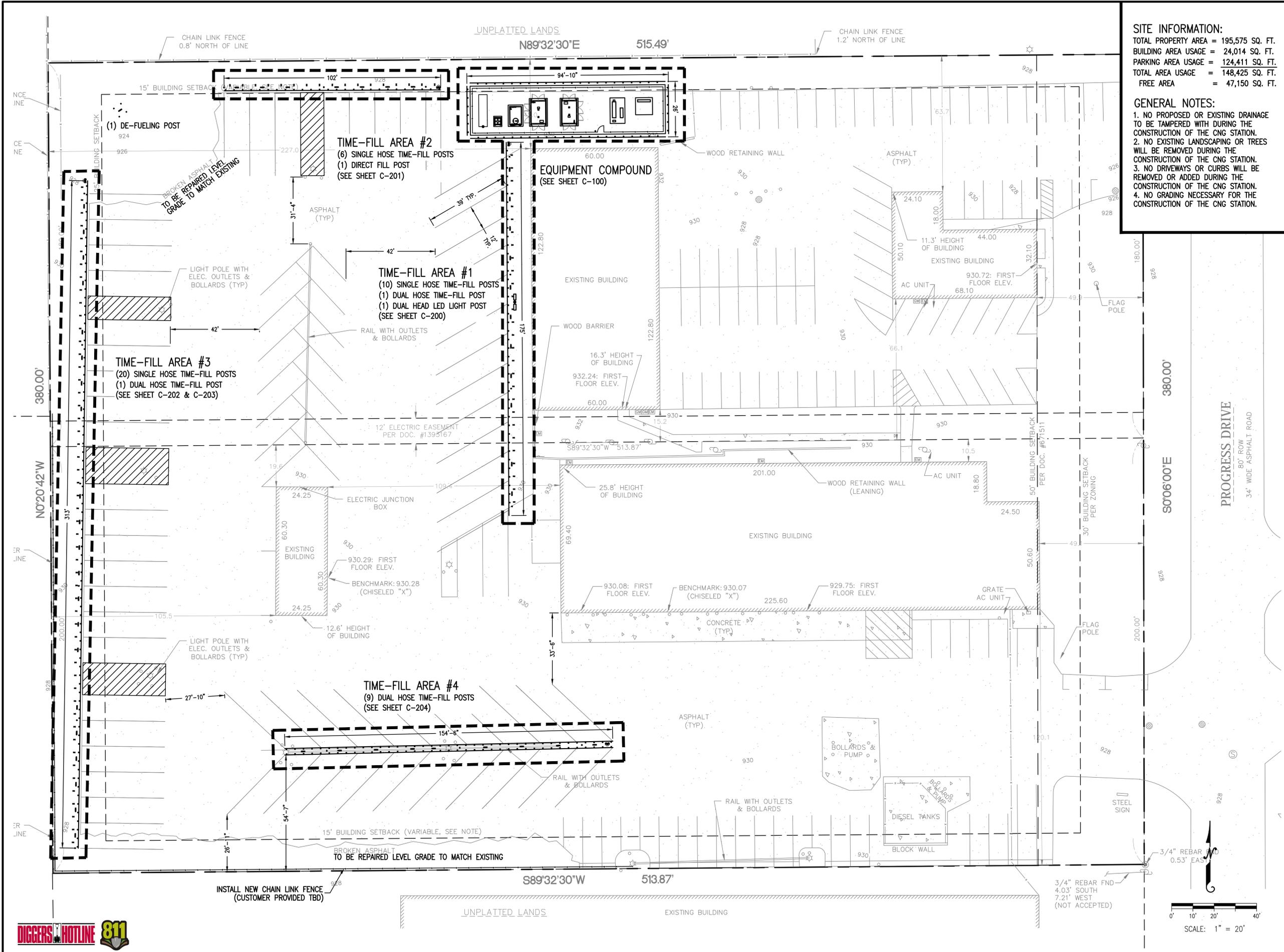
EXPERT DISPOSAL SERVICES  
559 PROGRESS DR  
HARTLAND WI 53029

JAMES ORDWAY  
KRISTIN ORDWAY  
N45W29221 FORSETH DR  
HARTLAND WI 53029

MWE LLC  
520 INDUSTRIAL DR  
HARTLAND WI 53029

MIDWEST SHRC LLC  
N56W35574 LISBON RD  
OCONOMOWOC WI 53066





**SITE INFORMATION:**  
 TOTAL PROPERTY AREA = 195,575 SQ. FT.  
 BUILDING AREA USAGE = 24,014 SQ. FT.  
 PARKING AREA USAGE = 124,411 SQ. FT.  
 TOTAL AREA USAGE = 148,425 SQ. FT.  
 FREE AREA = 47,150 SQ. FT.

**GENERAL NOTES:**  
 1. NO PROPOSED OR EXISTING DRAINAGE TO BE TAMPERED WITH DURING THE CONSTRUCTION OF THE CNG STATION.  
 2. NO EXISTING LANDSCAPING OR TREES WILL BE REMOVED DURING THE CONSTRUCTION OF THE CNG STATION.  
 3. NO DRIVEWAYS OR CURBS WILL BE REMOVED OR ADDED DURING THE CONSTRUCTION OF THE CNG STATION.  
 4. NO GRADING NECESSARY FOR THE CONSTRUCTION OF THE CNG STATION.

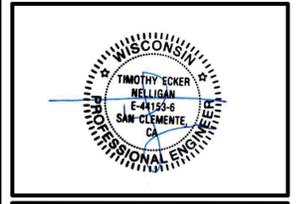
**OWNER:**  
 CHAD MARK  
 547 PROGRESS DR  
 HARTLAND, WI 53029  
 904-900-7608

**GENERAL CONTRACTOR:**  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC # 942661)  
 10225 PHILADELPHIA CT  
 RANCHO CUCAMONGA, CA 91730  
 (909) 793-3700



**ADVANCED DISPOSAL**

547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



REVISIONS	No.	DATE	BY	REMARK

**GENERAL - SITE PLAN**

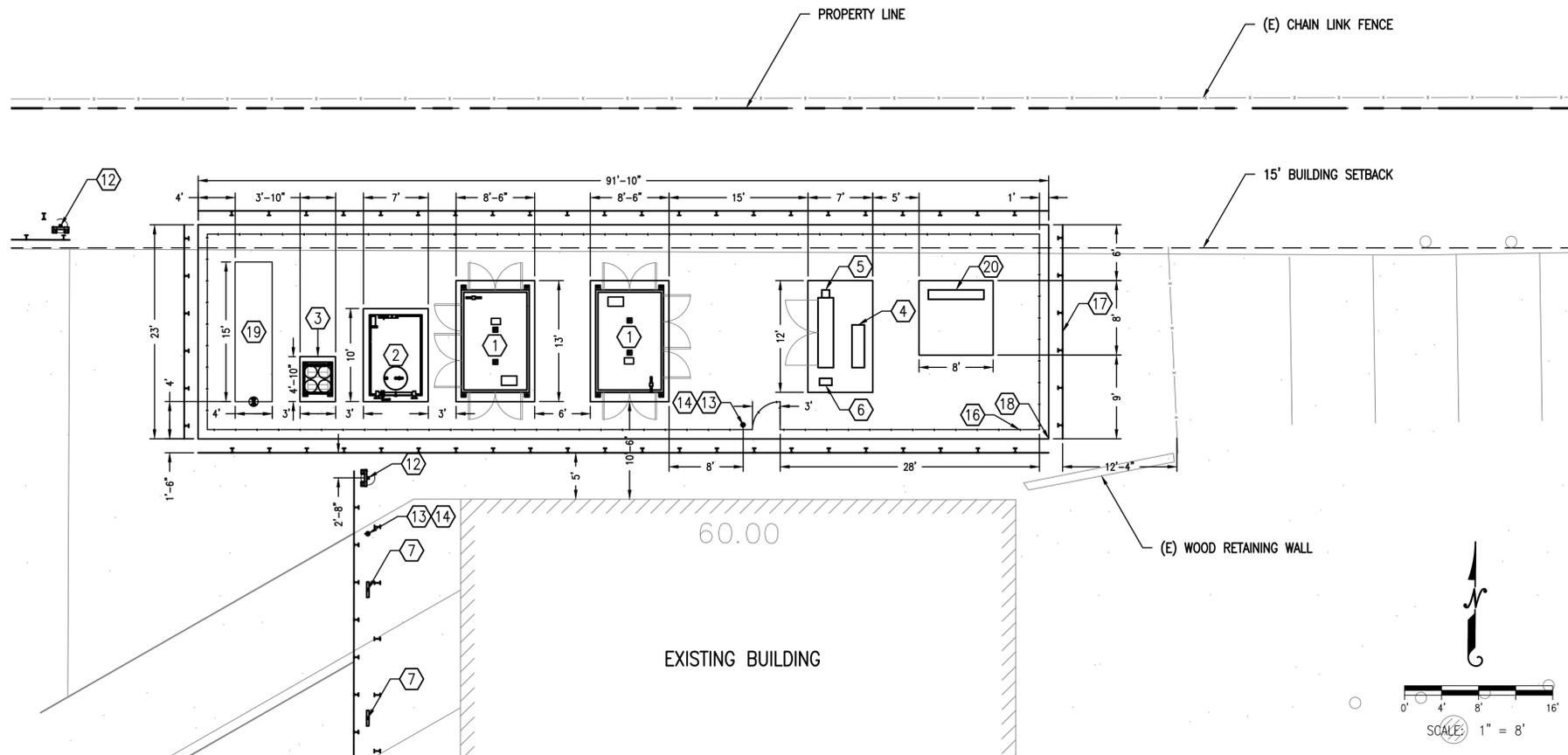
**DRAWN:** AMV  
**CHECKED:** MDB  
**DATE:** 04/17/15  
**SCALE:** AS SHOWN  
**JOB NO:** 15018

**G-200**



DATE PRINTED: 04/17/15

EQUIPMENT AREA – PLAN VIEW



EQUIPMENT ITEM LIST

- ① ANGI 300 COMPRESSORS
- ② PSB NG 15-4-DDP DRYER
- ③ 4 PACK BUFFER STORAGE
- ④ MANUAL TRANSFER SWITCH
- ⑤ MOTOR STARTER PANEL
- ⑥ COMMUNICATIONS PANEL
- ⑦ SINGLE HOSE TIME-FILL POST
- ⑫ FILTER POST ASSEMBLY
- ⑬ EMERGENCY SHUT-DOWN SWITCH
- ⑭ INSTALL FIRE EXTINGUISHER PER NFPA 52 7.4.2.9
- ⑮ 6' CHAIN LINK FENCE
- ⑰ GUARD RAIL
- ⑱ 4" HOUSEKEEPING PAD
- ⑲ UTILITY GAS METER SET ASSEMBLY
- ⑳ UTILITY TRANSFORMER

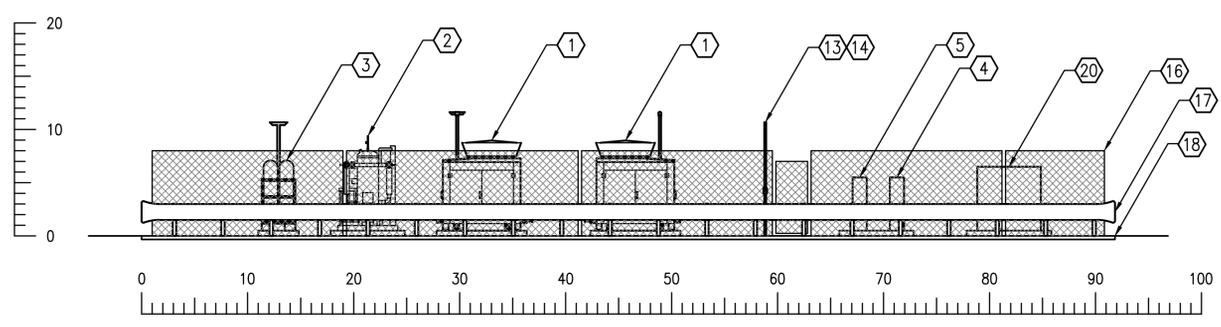
OWNER:  
 CHAD MARK  
 547 PROGRESS DR.  
 HARTLAND, WI 53029  
 904-900-7608

GENERAL CONTRACTOR:  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC # 942661)  
 10225 PHILADELPHIA CT.  
 RANCHO CUCAMONGA, CA 91730  
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



EQUIPMENT AREA – NORTH FACING ELEVATION



1644 N EL CAMINO REAL  
 SAN CLEMENTE, CALIFORNIA 92672  
 L.A. LICENSE NO. 39529

REVISIONS	BY	REMARK
No.	DATE	

CIVIL – EQUIPMENT AREA

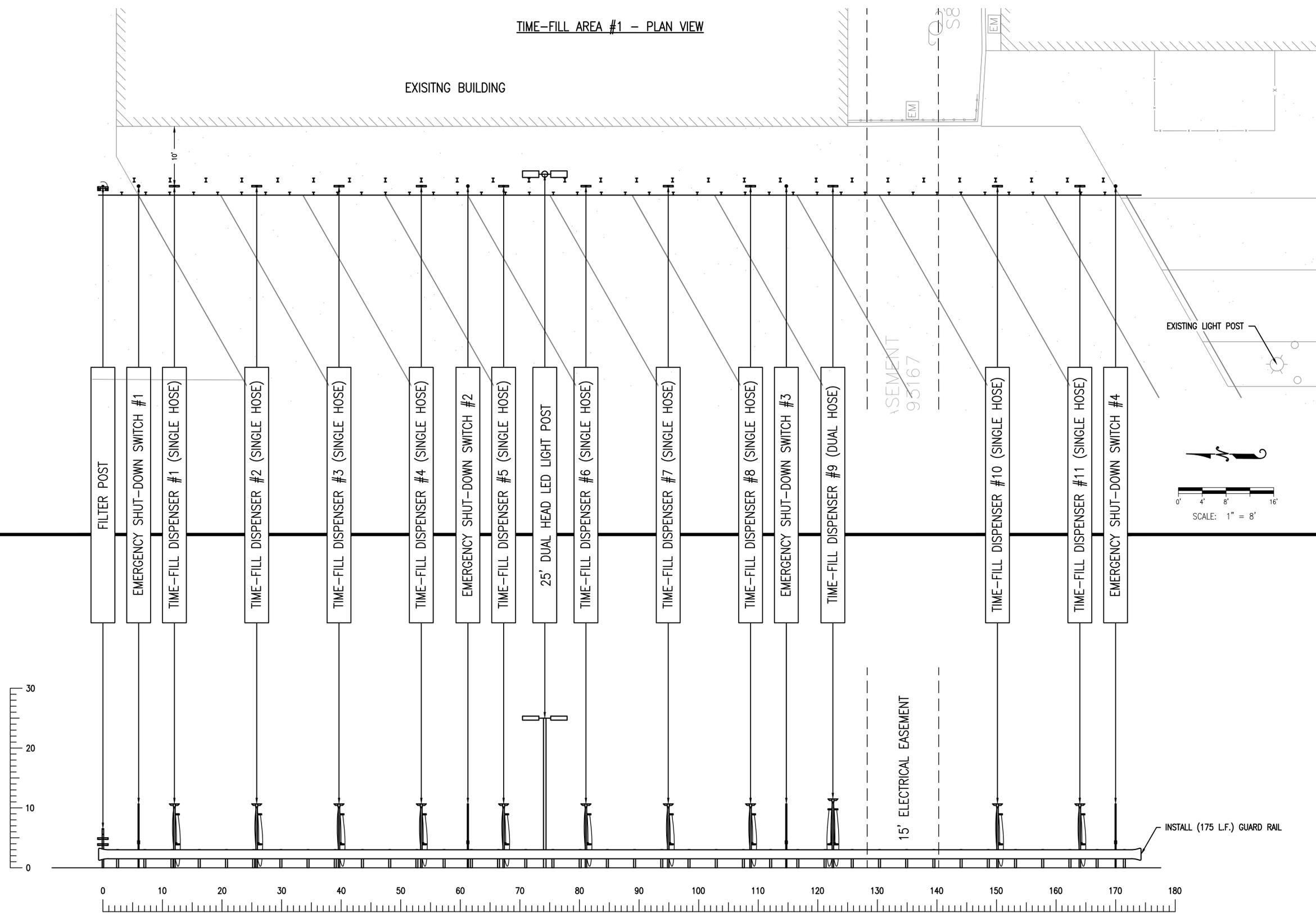
DRAWN: AMV  
 CHECKED: MDB  
 DATE: 04/17/15  
 SCALE: AS SHOWN  
 JOB NO: 15018

C-100



DATE PRINTED: 04/17/15

TIME-FILL AREA #1 - PLAN VIEW

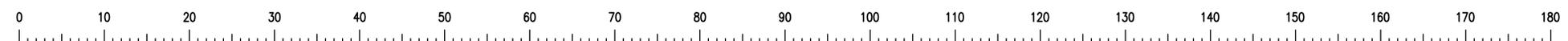
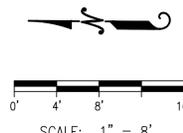


EXISTING BUILDING

CEMENT 93167

15' ELECTRICAL EASEMENT

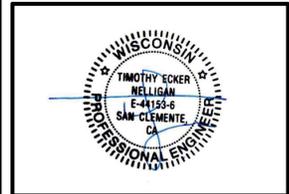
EXISTING LIGHT POST



OWNER:  
 CHAD MARK  
 547 PROGRESS DR  
 HARTLAND, WI 53029  
 904-900-7608  
 GENERAL CONTRACTOR:  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC # 942661)  
 10225 PHILADELPHIA CT  
 RANCHO CUCAMONGA, CA 91730  
 (909) 793-3700



**ADVANCED DISPOSAL**  
 547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

DRAWN: AMV  
 CHECKED: MDB  
 DATE: 04/17/15  
 SCALE: AS SHOWN  
 JOB NO: 15018

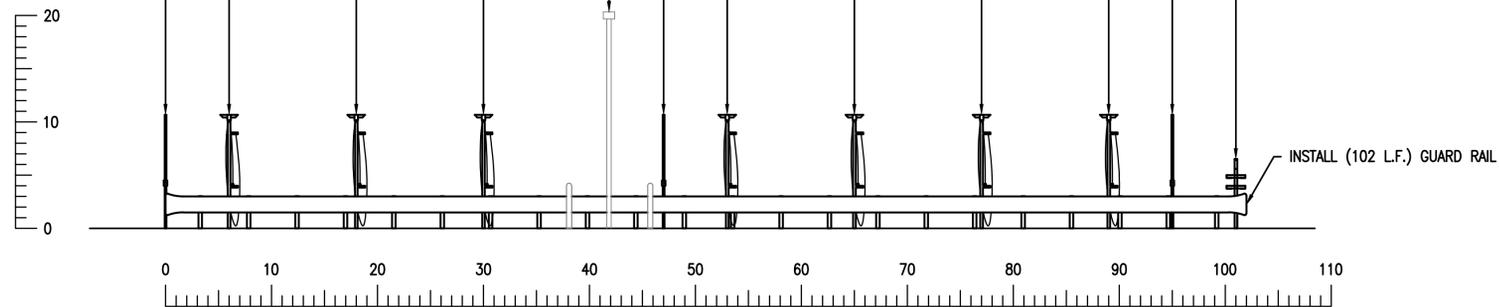
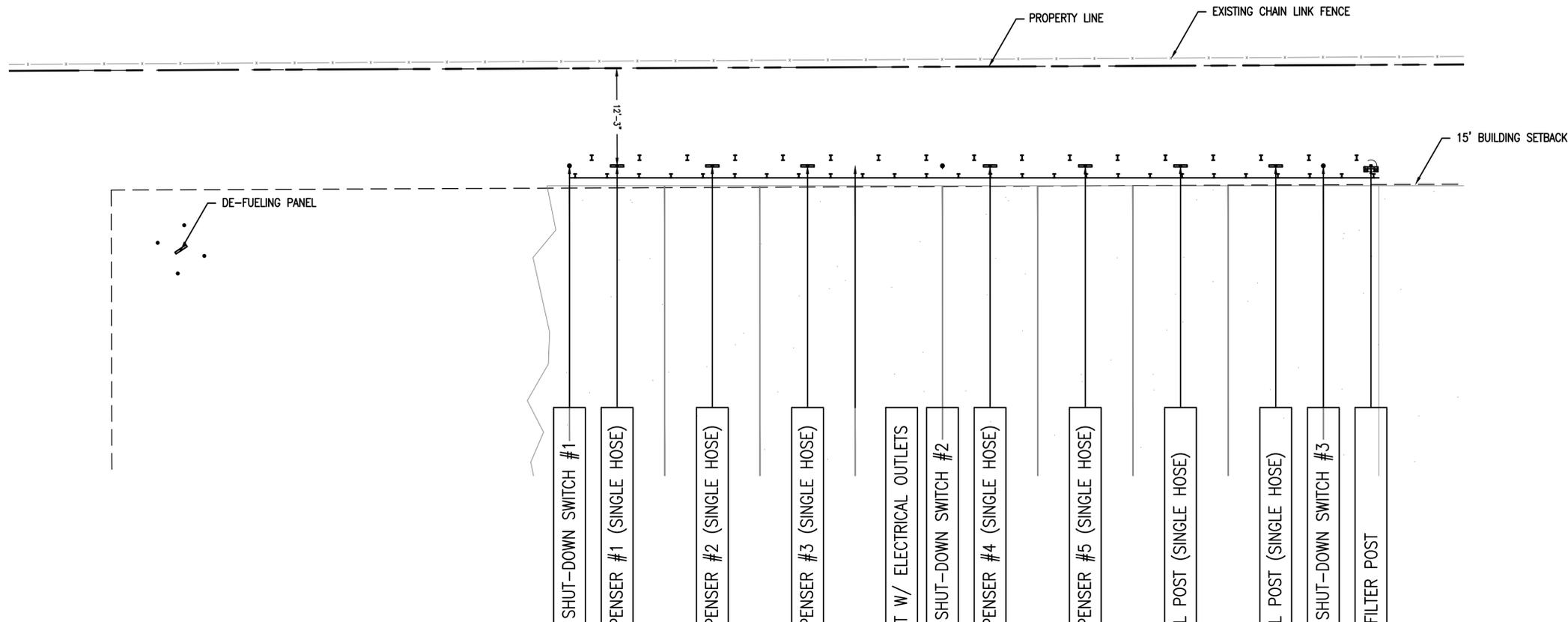
C-200



TIME-FILL AREA #1 - EAST FACING ELEVATION

DATE PRINTED: 04/17/15

TIME-FILL AREA #2 - PLAN VIEW



TIME-FILL AREA #2 - NORTH FACING ELEVATION

OWNER:  
 CHAD MARK  
 547 PROGRESS DR.  
 HARTLAND, WI 53029  
 904-900-7608

GENERAL CONTRACTOR:  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC. # 942661)  
 10225 PHILADELPHIA CT.  
 RANCHO CUCAMONGA, CA. 91730  
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



Katahdin Environmental  
 1644 N EL CAMINO REAL  
 SAN CLEMENTE, CALIFORNIA 92672  
 LA. LICENSE NO. 39529

REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

DRAWN: AMV  
 CHECKED: MDB  
 DATE: 04/17/15  
 SCALE: AS SHOWN  
 JOB NO: 15018

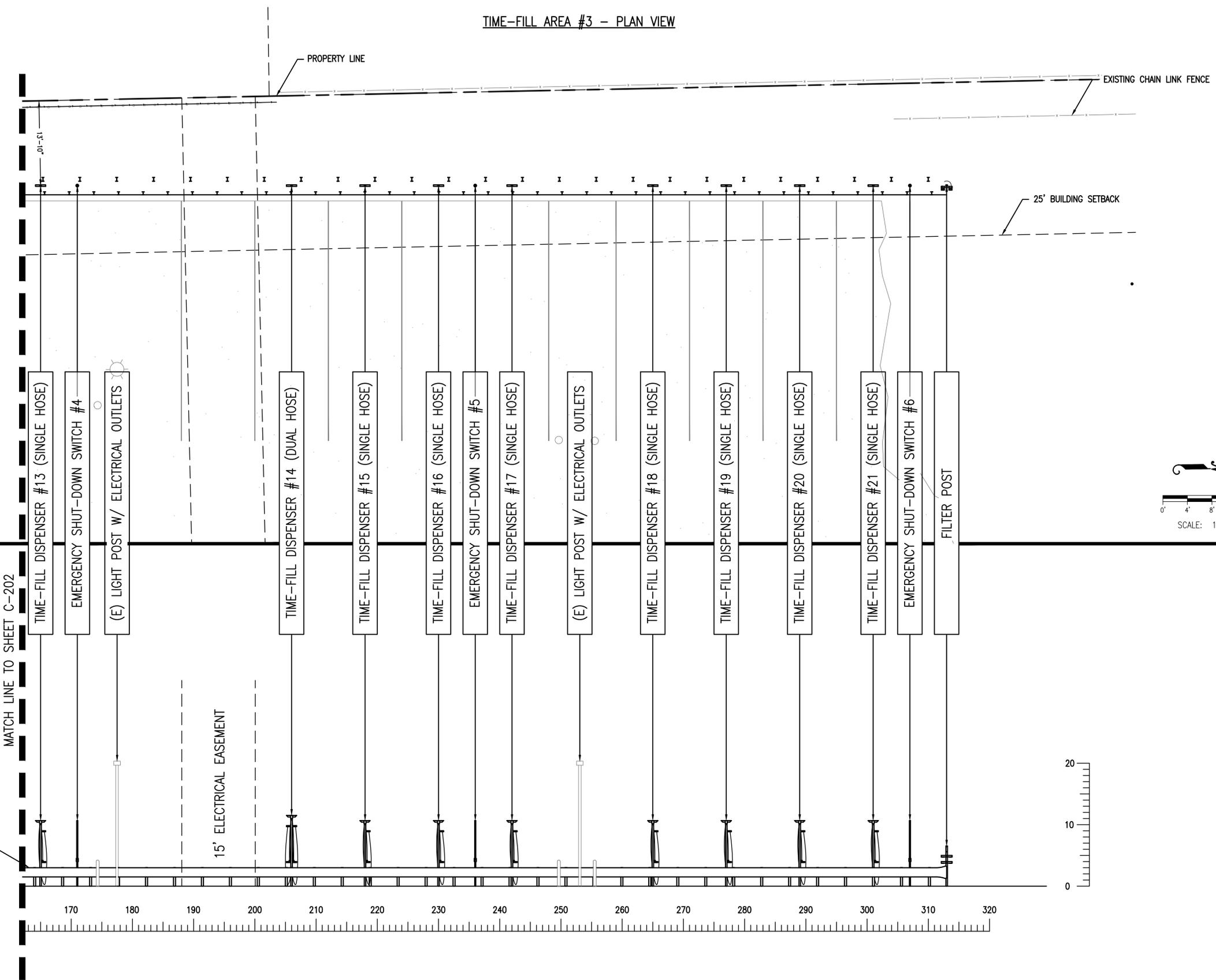
C-201

DATE PRINTED: 04/17/15





TIME-FILL AREA #3 - PLAN VIEW



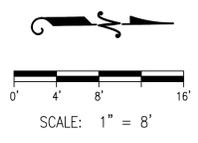
OWNER:  
 CHAD MARK  
 547 PROGRESS DR.  
 HARTLAND, WI 53029  
 904-900-7608

GENERAL CONTRACTOR:  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC. # 942661)  
 10225 PHILADELPHIA CT.  
 RANCHO CUCAMONGA, CA. 91730  
 (909) 793-3700



**ADVANCED DISPOSAL**

547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



MATCH LINE TO SHEET C-202

15' ELECTRICAL EASEMENT

INSTALL (313 L.F.) GUARD RAIL

170 180 190 200 210 220 230 240 250 260 270 280 290 300 310 320

20  
10  
0

TIME-FILL AREA #3 - WEST FACING ELEVATION



1644 N EL CAMINO REAL  
 SAN CLEMENTE, CALIFORNIA 92672  
 LA. LICENSE NO. 39529

REVISIONS	No.	DATE	BY	REMARK

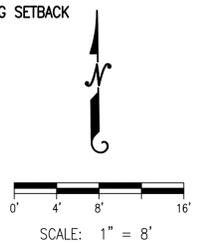
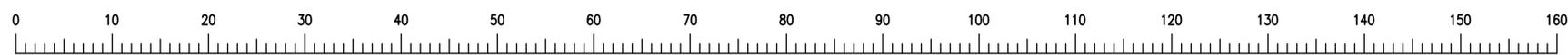
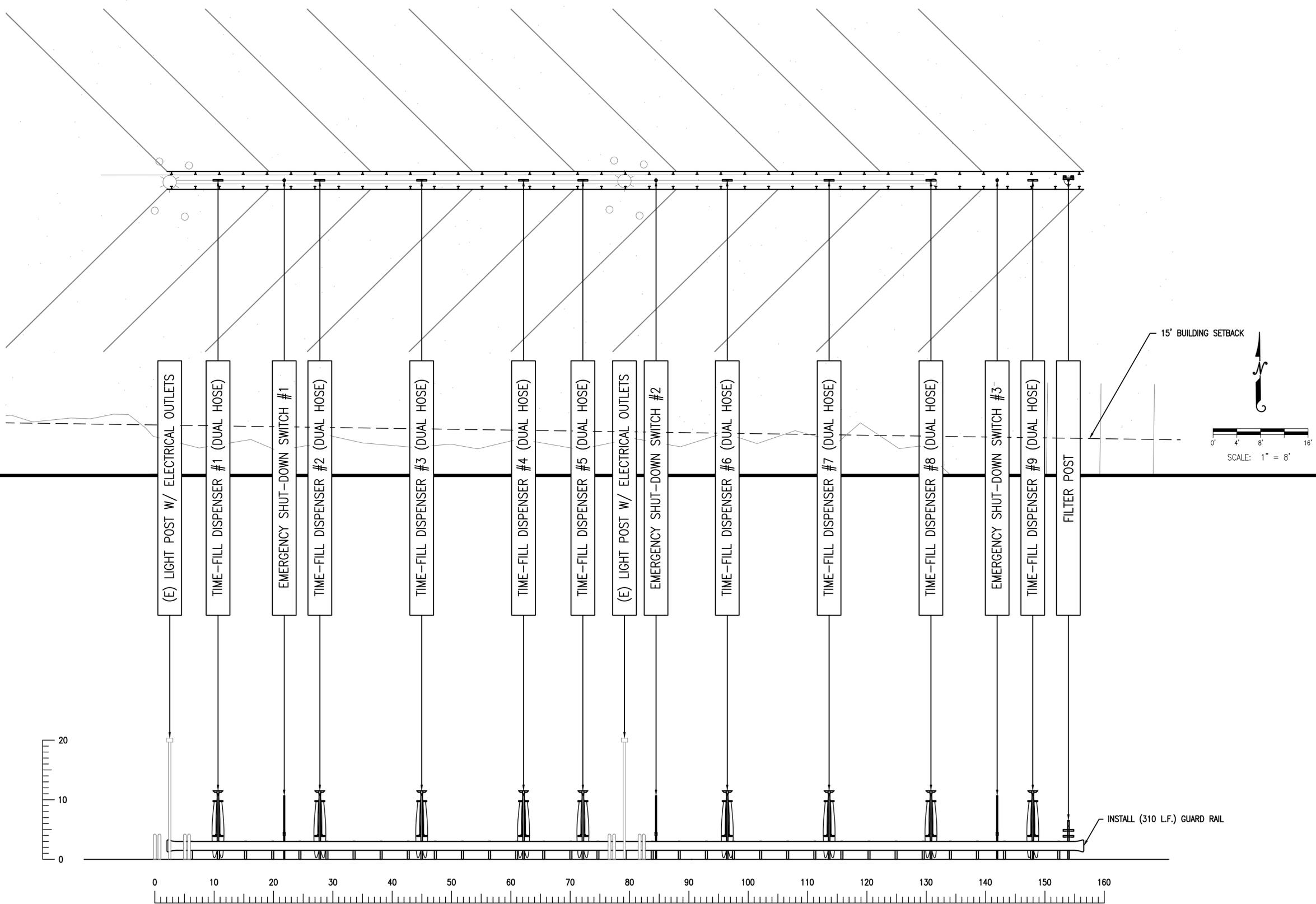
CIVIL - DISPENSER AREA

DRAWN: AMV  
 CHECKED: MDB  
 DATE: 04/17/15  
 SCALE: AS SHOWN  
 JOB NO: 15018

C-203

DATE PRINTED: 04/17/15

TIME-FILL AREA #4 - PLAN VIEW



TIME-FILL AREA #4 - NORTH FACING ELEVATION

OWNER:  
 CHAD MARK  
 547 PROGRESS DR.  
 HARTLAND, WI 53029  
 904-900-7608  
 GENERAL CONTRACTOR:  
 TRUSTAR ENERGY  
 JEFF LUCERO (CA LIC. # 942661)  
 10225 PHILADELPHIA CT.  
 RANCHO CUCAMONGA, CA. 91730  
 (909) 793-3700



**ADVANCED DISPOSAL**

547 PROGRESS DR  
 HARTLAND, WI 53029  
 CNG FUEL FACILITY



1644 N EL CAMINO REAL  
 SAN CLEMENTE, CALIFORNIA 92672  
 LA. LICENSE NO. 39529

REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

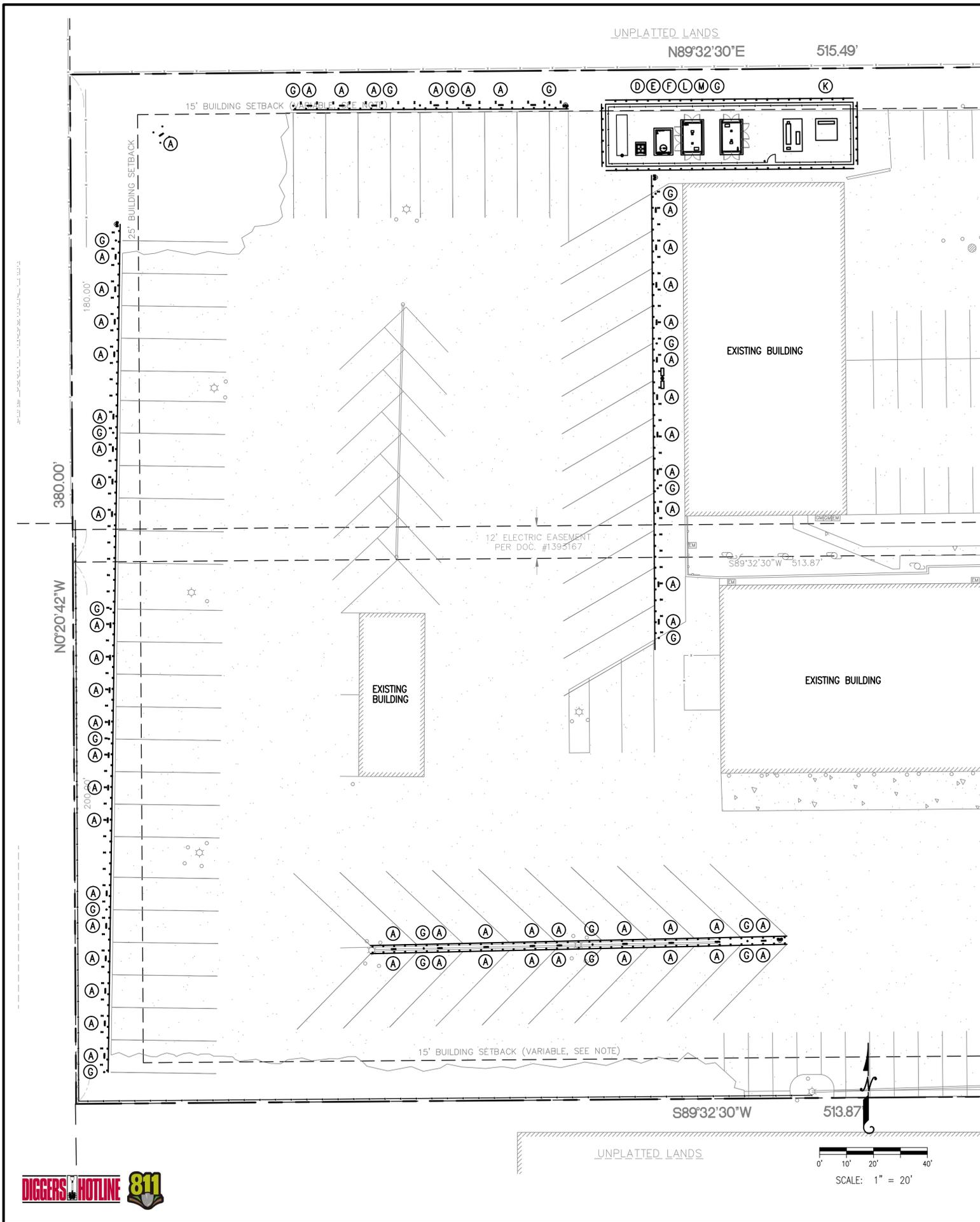
DRAWN: AMV  
 CHECKED: MDB  
 DATE: 04/17/15  
 SCALE: AS SHOWN  
 JOB NO: 15018

C-204



DATE PRINTED: 04/17/15





KEY	SYMBOL	QUANTITY	DESCRIPTION
(A)		57	SIGN NEEDED: STOP MOTOR NO SMOKING FLAMMABLE GAS MATERIAL: 20" x 12" x 0.040" THK SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS, RED LETTERS, FASTENED WITH SCREWS OR STRAPS. 2" HIGH RED LETTERS WITH WHITE BACKGROUND LOCATION: IN FRONT OF HOSE DISPENSERS
(D)		2	SIGN NEEDED: WARNING NO SMOKING FLAMMABLE GAS MATERIAL: 20" x 12" x 0.040" THK SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS, RED LETTERS, FASTENED WITH SCREWS OR STRAPS. 2" HIGH RED LETTERS WITH WHITE BACKGROUND LOCATION: AROUND CNG COMPOUND
(E)		2	SIGN NEEDED: WARNING COMPRESSOR MAY START..., ETC, MATERIAL: PROVIDED BY EQUIPMENT MANUFACTURER. LOCATION: MOUNTED ON COMPRESSOR.
(F)		1	SIGN NEEDED: GAS SHUT OFF VALVE MATERIAL: METAL TAG WITH RED BACKGROUND AND 1" WHITE LETTERING. LOCATION: TIED TO BODY OF DRYER INLET GAS SHUT OFF VALVE.
(G)		21	SIGN NEEDED: EMERGENCY SHUTDOWN & FIRE EXTINGUISHER MATERIAL: 20" x 12" SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS. WHITE LETTERS ON RED BACKGROUND. LOCATION: ABOVE ESD SWITCHES
(K)		1	SIGN NEEDED: DANGER HIGH VOLTAGE MATERIAL: PROVIDED BY EQUIPMENT MANUFACTURER. LOCATION: NEAR CONTROL PANEL (NOT SHOWN)
(L)	SEE DETAIL THIS SHEET	1	SIGN NEEDED: GAS DETECTION SYSTEM OPERATION MATERIAL: 16" x 20" SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS. ALL CHARACTERS RED EXCEPT PHONE/ADDRESS. 1" HIGH BLACK LETTERS FOR PHONE ADDRESS ON WHITE BACKGROUND. LOCATION: IN FRONT OF CNG COMPOUND.
(M)		2	SIGN NEEDED: NFPA HAZARDOUS MATERIAL MATERIAL: AS DESCRIBED IN NFPA 170 LOCATION: ON CNG STORAGE CONTAINERS

**IN CASE OF FIRE,  
SPILL OR RELEASE**

1. USE EMERGENCY SHUT OFF!  
2. REPORT THE ACCIDENT!  
FIRE DEPT. PHONE NO. 911  
FACILITY ADDRESS

547 PROGRESS DR  
HARTLAND, WI 53029

(L) GAS DETECTION SYSTEM OPERATION SIGN DETAIL

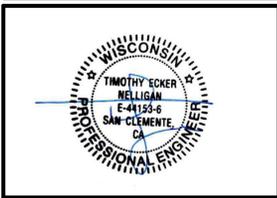
OWNER:  
CHAD MARK  
547 PROGRESS DR  
HARTLAND, WI 53029  
904-900-7608

GENERAL CONTRACTOR:  
TRUSTAR ENERGY  
JEFF LUCERO (CA LIC # 942661)  
10225 PHILADELPHIA CT.  
RANCHO CUCAMONGA, CA 91730  
(909) 793-3700



**ADVANCED DISPOSAL**

547 PROGRESS DR  
HARTLAND, WI 53029  
CNG FUEL FACILITY



REVISIONS	No.	DATE	BY	REMARK

FIRE - WARNING SIGN  
LOCATIONS

DRAWN: AMV  
CHECKED: MDB  
DATE: 04/17/15  
SCALE: AS SHOWN  
JOB NO: 15018

F-100



VILLAGE OF HARTLAND  
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit  
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00  
Six to Fourteen Parcels - \$300.00  
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary  
Plat Requiring Review \$50.00 (Minimum)  
Reapplication for Previously Reviewed Plat \$10.00

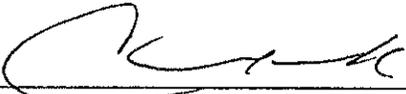
**FINAL PLAT REVIEW**

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat  
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 5/14/15	Fee Paid: \$300.00
Date Filed: 5/14/15	Receipt No.:

1. Name: Advanced Disposal Services Solid Waste Midwest, LLC  
Address of Owner/Agent: 559 Progress Drive, Hartland, WI 53029  
  
Phone Number of Owner/Agent: (904) 900-7608

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").  
3. State present use of property and intended use.  
Property is currently two parcels. Request approval to combining the following two parcels: HAV0730958006 & HAV0730958005

  
Signature of Petitioner

90 Fort Wade Rd. Suite 200 Port Vidra FL 32081  
Address

904 900 7608  
Phone



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

## ATLAS SURVEY

2826 SAINT ANDREWS COURT  
WAUKESHA, WI 53188  
(262) 901-5256  
WWW.ATLASSURVEYWI.COM

**SURVEYOR:**

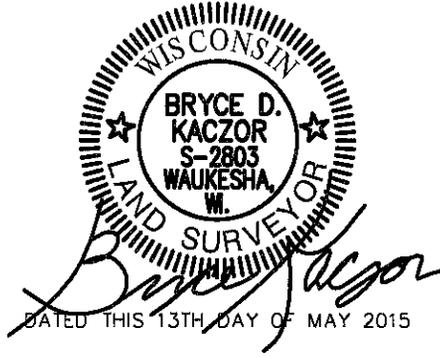
BRYCE KACZOR, RLS S-2803

**PROPERTY:**

559 & 547 PROGRESS DRIVE  
HARTLAND, WI 53029

**SURVEY FOR:**

ADVANCED DISPOSAL  
90 FORT WADE ROAD, SUITE 200  
PONTE VEDRA, FLORIDA 32081  
904-737-7900



### LEGEND

- ⊠ - CONC. MON. W/ BRASS CAP FND.
- ⊙ - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 1" DIA. IRON PIPE SET, 18" LONG, WT. = 1.13 LBS./LIN. FT.

UNPLATTED LANDS

N89°32'30"E

515.49'

42.0

227.0

EXISTING BUILDING

LOT 7 & SOUTH 1/2 OF LOT 8, BLOCK 1  
LAKE COUNTY INDUSTRIAL PARK

380.00'

12' ELECTRIC EASEMENT PER DOC. #1393167

S89°32'30"W 513.87'

109.4

25.7

**LOT 1**

195,575 SQ.FT.  
(4.49 ACRES)

EXISTING BUILDING

EXISTING BUILDING

105.5

119.7

200.00'

N0°20'42"W

LOTS 5 & 6, BLOCK 1  
LAKE COUNTY INDUSTRIAL PARK

S89°32'30"W

513.87'

UNPLATTED LANDS

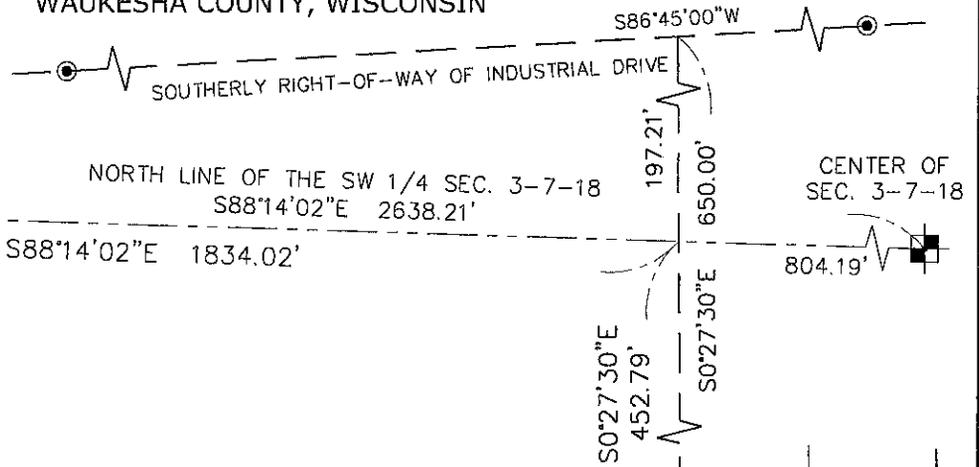
EXISTING BUILDING



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

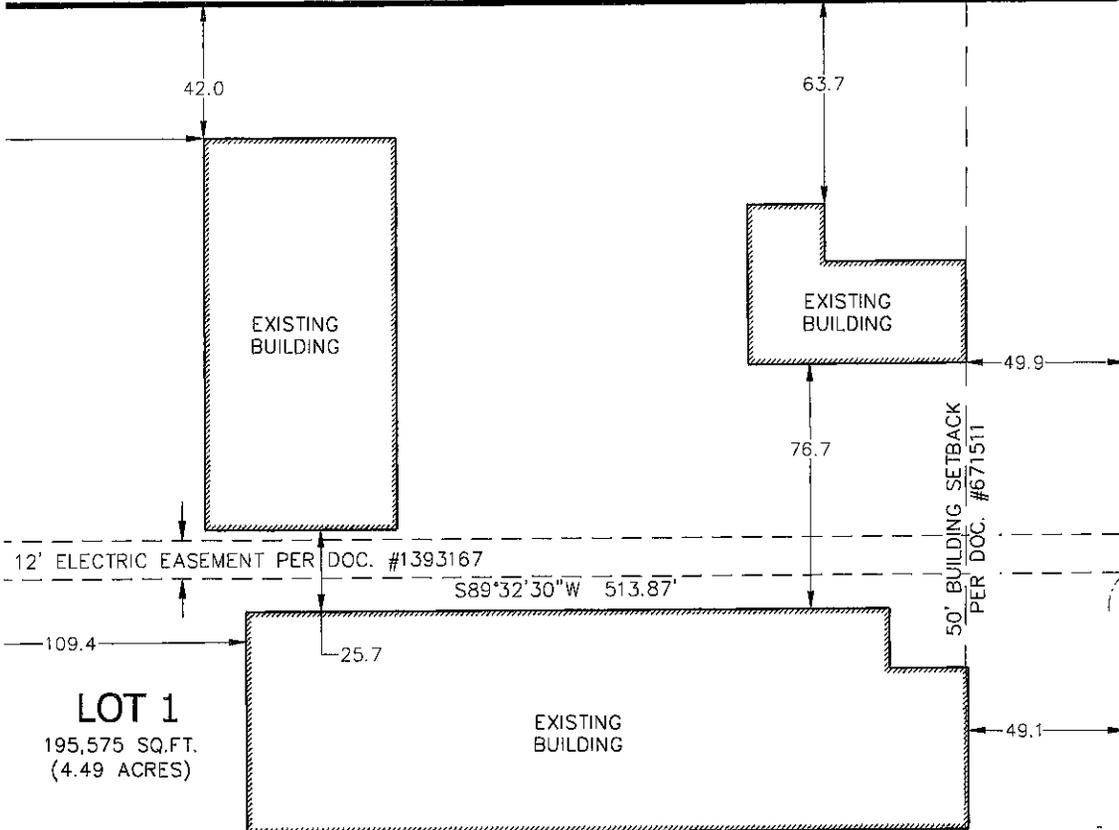
W 1/4 CORNER  
SEC. 3-7-18



UNPLATTED LANDS

N89°32'30\"/>

515.49'



380.00'  
S0°06'00\"/>

PROGRESS DRIVE

80' ROW

CENTERLINE



*Bryce D. Kaczor*  
DATED THIS 13TH DAY OF MAY 2015

S89°32'30\"/>

513.87'

UNPLATTED LANDS

EXISTING BUILDING



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

## NOTES:

1. EASEMENT LOCATIONS BASED ON INFORMATION FURNISHED BY LAND TITLE INSURANCE COMPANY, INC., COMMITMENT FOR TITLE INSURANCE PER FILE NO. F-316805 & F-316790, DATED FEBRUARY 2, 2015.

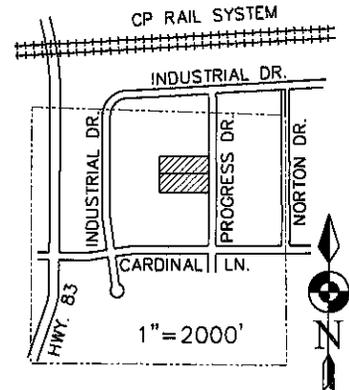
UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY BY AN INSTRUMENT DATED SEPTEMBER 5, 1961 AND RECORDED ON SEPTEMBER 26, 1961, IN VOLUME 895 OF DEEDS, PAGE 370, AS DOCUMENT NO. 552732. (NOT SHOWN-VAUGE)

2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.

3. BEARINGS ARE REFERENCED TO NAD27, WISCONSIN STATE PLANE, SOUTH ZONE, GRID NORTH ON THE NORTH LINE OF THE SW 1/4 OF SECTION 3-7-18 AS S88°14'02"E.

## LOCATION MAP

SW. 1/4 SEC. 3-T07N-R18E



## SURVEYOR'S CERTIFICATE:

I, Bryce D. Kaczor, Registered Land Surveyor hereby certify,

That I have surveyed, divided and mapped all that being a part of the NE. 1/4 of the SW. 1/4 of Section 3, T.7N., R.18E., Village of Hartland, Waukesha County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 3; thence S.88°14'02"E., along the North line of the SW 1/4 of said section, 1834.02 feet to a point 197.21 feet S.0°27'30"E. of the intersection of the westerly right-of-way of Progress Drive and the southerly right-of-way of Industrial Drive; thence S.0°27'30"E., along said westerly right-of-way of Progress Drive 452.79 feet to the point of beginning of hereinafter described lands; thence S.0°06'00"E., along said westerly right-of-way, 380.00 feet; thence S.89°32'30"W., 513.87 feet; thence N.0°20'42"W., 380.00 feet; thence N.89°32'30"E., 515.49 feet to the point of beginning. Said lands containing 195,575 square feet (4.49 acres).

That I have made such survey, land division and Certified Survey Map by the direction of ADVANCED DISPOSAL, owner of said lands.

That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Hartland in surveying, dividing and mapping the same.



Dated this 13th day of May, 2015.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND,  
WAUKESHA COUNTY, WISCONSIN

## CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

ADVANCED DISPOSAL a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map.

ADVANCED DISPOSAL does further certify that this Certified Survey Map is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Village of Hartland

IN WITNESS WHEREOF, said ADVANCED DISPOSAL, has caused these presents to be signed by DAVID WALL, its General Manager, at \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed on this \_\_\_\_\_ day of \_\_\_\_\_.

In Presence of:

\_\_\_\_\_  
DAVID WALL, General Manager

STATE OF WISCONSIN)

\_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, the above named DAVID WALL, General Manager, of the above named corporation, to me known to be such General Manager of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, Wisconsin

My Commission Expires \_\_\_\_\_



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

## CONSENT OF CORPORATE MORTGAGEE:

\_\_\_\_\_, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this Certified Survey Map, and does hereby consent to the above certificate of ADVANCED DISPOSAL, Owner.

IN WITNESS WHEREOF, said \_\_\_\_\_ has caused these presents to be signed by \_\_\_\_\_, its \_\_\_\_\_, and countersigned by \_\_\_\_\_, its \_\_\_\_\_ at \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.

In presence of:

\_\_\_\_\_  
\_\_\_\_\_

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_, the above named \_\_\_\_\_, \_\_\_\_\_, and \_\_\_\_\_ of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ and \_\_\_\_\_ of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, Wisconsin

My Commission Expires \_\_\_\_\_



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND,  
WAUKESHA COUNTY, WISCONSIN

## VILLAGE BOARD APPROVAL CERTIFICATE:

Resolved that the Certified Survey Map, in the Village of Hartland, ADVANCED DISPOSAL, owner, is hereby approved by the Village Board.

All conditions have been met as of the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Date: \_\_\_\_\_ Signed \_\_\_\_\_  
David Lamerand, Village President

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Common Council/Village Board/Town Board of the Village of Hartland.

Date: \_\_\_\_\_ Signed \_\_\_\_\_  
Darlene Igl, Village Clerk

## PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the Village Hartland, ADVANCED DISPOSAL, owner, is hereby approved by the Plan Commission.

Approved as of the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Date: \_\_\_\_\_ Signed \_\_\_\_\_  
David Lamerand, Chairperson

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Plan Commission of the Village of Hartland.

Date: \_\_\_\_\_ Signed \_\_\_\_\_  
Darlene Igl, Village Clerk



# EXHIBIT A

## LEGAL DESCRIPTION:

Being a part of the NE. 1/4 of the SW. 1/4 of Section 3, T.7N., R.18E., Village of Hartland, Waukesha County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 3; thence S.88°14'02"E., along the North line of the SW 1/4 of said section, 1834.02 feet to a point 197.21 feet S.0°27'30"E. of the intersection of the westerly right-of-way of Progress Drive and the southerly right-of-way of Industrial Drive; thence S.0°27'30"E., along said westerly right-of-way of Progress Drive 452.79 feet to the point of beginning of hereinafter described lands; thence S.0°06'00"E., along said westerly right-of-way, 380.00 feet; thence S.89°32'30"W., 513.87 feet; thence N.0°20'42"W., 380.00 feet; thence N.89°32'30"E., 515.49 feet to the point of beginning. Said lands containing 195,575 square feet (4.49 acres).