

VILLAGE BOARD AGENDA
TUESDAY, MAY 26, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE

Roll Call

Pledge of Allegiance – Trustee Meyers

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Consideration of a motion to approve Village Board minutes of May 11, 2015.
2. Consideration of a motion to approve the vouchers for payment.
3. Consideration of actions related to Licenses and Permits
 - a. Consideration of a motion to approve Operator (Bartender) Licenses with terms ending June 30, 2016
 - b. Consideration of a motion to approve a Street Use Permit and Temporary Class B Beer/Wine Permit for the Chamber of Commerce Street Dance
4. Presentation of the 2014 Financial Statements and Audit results by Michelle Walter, Manager and Wendi M. Unger, CPA, Partner, Baker Tilly.
5. Consideration of Del-Hart Commission appointments as presented by Village President Lamerand.

Items referred from the May 18, 2015 Plan Commission meeting

6. Items related to the proposed Merton Avenue Memory Care CBRF (32 units) at 430, 438 and 444 Merton Ave.
 - a. **PUBLIC HEARING** regarding an amendment to the Village Of Hartland Comprehensive Development Plan: 2035 to designate the land use of 430, 438 and 444 Merton Ave. as Multi-Family Residential Senior Housing.
 - b. **PUBLIC HEARING** regarding rezoning the properties involved in the development from RD-2 Two-Family Residential District and B-1 Business District to RM-1 Multiple Family Residential District.
 - c. Consideration on third reading of Bill for an Ordinance No. 03/23/2015-01 "An Ordinance Adopting an Amendment to the Village of Hartland Comprehensive Development Plan: 2035" to designate the properties at 430, 438 and 444 Merton Ave. to Multi-Family Residential Development - Senior Housing.

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- d. Consideration on third reading of Bill for an Ordinance No. 03/23/2015-02 "An Ordinance to Amend the Official Zoning Map" to rezone the properties at 430, 438 and 444 Merton Ave. to RM-1, Multiple Family Residential District.
 - e. Consideration of a motion to approve site and building plans for the Merton Avenue Memory Care CBRF.
 - f. Consideration of a Motion to approve a Conditional Use Permit for the operation of a community living arrangement with a capacity for 16 or more in the RM-1 Multiple Family Residential District (memory care facility, 32 units)
7. Consideration of a motion to approve site and building plans for construction of an addition for Dorner Manufacturing, 975 Cottonwood Ave.
 8. Consideration of a motion to approve an application for a fence relocation for Kinney Properties, 630 E. Industrial Drive.
 9. Consideration of actions related to a proposed Compressed Natural Gas (CNG) Fuel Facility and CSM for Advanced Disposal Services, 547/559 Progress Drive.
 - a. Consideration of motion to approve a Certified Survey Map to combine the properties located at 547/559 Progress Drive.
 - b. Consideration of a motion to approve site and construction plans for a CNG Fuel Facility for Advanced Disposal Services, 547/559 Progress Drive.

Others items for consideration

10. Consideration of a motion to approve the Election Equipment Contract Governmental Agreement with Waukesha County
11. Consideration of a motion to approve a reduction to standby letter of credit for Sanctuary of Hartland, LLC.
12. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
13. Adjourn.

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

**VILLAGE BOARD MINUTES
MONDAY, MAY 11, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Roll Call

Pledge of Allegiance – Trustee Compton

Present: Trustees Stevens, Meyers, Compton, Landwehr, Swenson, President Lamerand

Excused: Trustee Wallschlager

Others: Administrator Cox, Finance Director Bailey, Fire Chief Dean, Clerk Igl, Police Chief Rosch, DPW Director Einweck, Rec Director Yogerst, Reporter Steve Martinez, Mary Barwick.

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.) None.

1. Motion (Meyers/Stevens) to approve Village Board minutes of April 27, 2015. Carried (7-0).
2. Motion (Landwehr/Swenson) to approve the vouchers for payment in the amount of \$286,113.78. Carried (7-0).
3. Consideration of actions related to Licenses and Permits
 - a. Motion (Landwehr/Swenson) to approve Operator (Bartender) Licenses with terms ending June 30, 2016. Carried (7-0).
 - b. Motion (Stevens/Meyers) to approve an Application for a Street Permit for a Large Scale Event for the Hometown Celebration Parade on Sunday, June 28. Carried (7-0).
4. Consideration of Board and Commission appointments as presented by Village President Lamerand.

2015 Board of Review Members - annual term

Ex Officio

Village President David Lamerand

Village Clerk Darlene Igl

Finance Director Ryan Bailey

Annual Appointment

Village Trustee –Mike Meyers (reappoint)

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Citizen Member – Karen Compton (reappoint)

Motion (Stevens/Swenson) to approve the appointments to the Board of Review as presented. Carried (7-0).

Jt. Architectural Board/Plan Commission - 3 year term

Reappoint David de Courcy Bower - term expires April 30, 2018

Motion (Swenson/Landwehr) to approve the appointment to the Jt. Architectural Board/Plan Commission as presented. Carried (7-0).

Board of Zoning Appeals - 3 year term

Reappoint David Bischmann - term expires April 30, 2018

Reappoint Jeff Schwager - term expires April 30, 2018

Motion (Compton/Landwehr) to approve the appointments to the Board of Zoning Appeals as presented. Carried (7-0).

Park and Recreation Board - 3 year term

Reappoint Michael Cottrell – term expires April 30, 2018

Motion (Swenson/Meyers) to approve the appointments to the Park and Recreation Board as presented. Carried (7-0).

Police and Fire Commission - 5 year term

Reappoint Jon Wojciechowski – term expires April 30, 2020

Motion (Landwehr/Swenson) to approve the appointments to the Police and Fire Commission as presented. Carried (7-0).

President Lamerand stated that there are two vacancies on the Zoning Board of Appeals and on the Park and Recreation Board. Anyone interested was asked to contact the Village and submit a Volunteer Profile form for consideration.

5. Consideration of a motion to approve the plan of operation and the use of the Pawling Avenue Municipal Parking Lots for a weekly Farmer's Market.

Mary Barwick stated that the Farmer's Market will be on Sundays from 10 a.m. to 1 p.m. beginning June 14 and running through October 25. Currently there are six vendors that have committed for 2015 and she stated that she is working to secure additional vendors. The market is held in the municipal parking lot at the corner of Cottonwood and Pawling.

Motion (Stevens/Swenson) to approve the plan of operation and the use of the Pawling Avenue Municipal Parking Lots for a weekly Farmer's Market. Carried (7-0).

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6. Consideration of a motion to approve a Kickball League Sponsorship agreement with Endter's Sports Bar and Grill for 2015.

Recreation Director Yogerst stated that this will be the third year of the adult kickball league. Again this year, Endter's is willing to pay \$100 per team for up to 8 teams and in partnership will be selling concessions. She stated that there are seven teams signed up for this year.

Motion (Landwehr/Meyers) to approve a Kickball League Sponsorship agreement with Endter's Sports Bar and Grill for 2015. Carried (7-0).

7. Consideration of a motion to approve award of a contract for the 2015 Paving and Utilities Program to Stark Asphalt of Brookfield in the amount of \$573,228.80.

DPW Director Einweck stated that three bids were received with the lowest bid from Stark Asphalt which was 5.4% under the engineer's estimate. The project will include the repaving of Maple Ave. from the railroad tracks to E. Capitol Drive and includes works at the railroad crossings on both Maple and Cottonwood Avenues related to the Quiet Zone. It also includes miscellaneous pathway/driveway repairs and some utility work throughout the Village.

Details regarding the work that will be done related to the Quiet Zone were outlined by DPW Director Einweck.

Motion (Meyers/Stevens) to approve award of a contract for the 2015 Paving and Utilities Program to Stark Asphalt of Brookfield in the amount of \$573,228.80. Carried (7-0).

8. Consideration of a motion to adopt Resolution 05/11/2015-01 "A Resolution Combining Wards for the June 23 Primary Election (if required) and July 21 Special Election"

Motion (Landwehr/Stevens) to adopt Resolution 05/11/2015-01 "A Resolution Combining Wards for the June 23 Primary Election (if required) and July 21 Special Election". Carried (7-0).

9. **Announcements:** The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

President Lamerand announced the following:

- a. Municipal Clerk's Week was celebrated May 3 through May 9.
- b. Police Week is celebrated May 10 through May 16.
- c. Public Works Week will be celebrated May 17 through May 23.
- d. EMS Week will be celebrated May 17 through May 23.

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Trustee Meyers raised concerns about vehicles that leak fuel on roadways and what steps can be taken to recoup related costs of these spills. President Lamerand stated that staff will review this situation and determine appropriate actions.

10. Motion (Compton/Stevens) to adjourn at 7:20 p.m. Carried (7-0). Adjourned at 7:20 p.m.

Respectfully submitted,

Darlene Igl
Village Clerk

TO: Village President & Board of Trustees

FROM: Sarah Oldenburg, Fiscal Clerk

DATE: May 22, 2015

RE: Voucher List

Attached is the voucher list for the May 26, 2015 Village Board meeting.

May A/P Checks: \$91,595.25

Total amount to be approved: \$91,595.25

VILLAGE OF HARTLAND
VOUCHER LIST/MAY 26, 2015

Account Descr	Search Name	Comments	Amount
EXPENSE Descr			
R 101-46760 RECREATION - OTHER	ATWELL, KENT	KICKBALL	\$95.15
G 101-21515 SALES TAXES PAYABLE	ATWELL, KENT	KICKBALL	\$4.85
G 403-31841 MURPHY FARMS	DE LA MORA	LEGAL FEES	\$367.20
G 101-31620 FINE ARTS CENTER DONATIONS	HARTLAND COMMUNITY BAND	CONCERT 06/04/15	\$450.00
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	LOVE/N832966-1	\$176.60
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	LOVE/N832964-6	\$164.00
G 101-23000 SPECIAL DEPOSITS	PINK HEALS LAKE COUNTRY	DEPOSIT/EVENT CANCELLED	\$400.00
G 403-31861 FOUR WINDS WEST	RUEKERT & MIELKE	MAR-APR DEVELOPMNT REVIEW	\$1,480.20
G 403-31786 SANCTUARY OF HARTLAND	RUEKERT & MIELKE	MAR-APR EROSION CTRL INSP	\$327.43
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	MAR-APR WATER MAIN REVIEW	\$375.00
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	MAR-APR CONSTR REVIEW	\$1,732.05
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	MAR-APR DEVELOPMNT REVIEW	\$1,809.18
G 101-21593 LONG TERM HEALTH CARE	TRANSAMERICA PREMIER LIFE INS	MAY PREMIUMS/ROSCH	\$149.92
G 403-31841 MURPHY FARMS	VON BRIESEN & ROPER	APR LEGAL FEES	\$2,942.50
EXPENSE Descr			\$10,474.08
EXPENSE Descr			
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	ANDERSON, MATT	REISSUE/ACLS CLASS	\$125.00
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	CATERING SPECIALTIES INC	ANNUAL DINNER	\$656.79
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	COMPETITOR AWARDS & ENGRAVING	ENGRAVED PLAQUES	\$50.61
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	FOX BROS PIGGLY WIGGLY	WATER	\$17.94
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	MIDWEST MEDICAL SUPPLY CO LLC	EMS SUPPLIES	\$82.08
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	MIDWEST MEDICAL SUPPLY CO LLC	EMS SUPPLIES	\$80.05
EXPENSE Descr			\$1,012.47
EXPENSE Descr			
E 101-54910-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	CHIPS/PELLETS	\$58.68
EXPENSE Descr			\$58.68
EXPENSE Descr			
E 401-70385-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	APR-MAR QUIJET ZONE DESIGN	\$9,285.68
EXPENSE Descr			\$9,285.68
EXPENSE Descr			
E 804-56700-715 STREETSCAPE PROGRAM	AVALON GRAPHICS LLC	ICE AGE TRAIL SIGN	\$68.32
E 804-56700-719 EVENTS	BMO (CREDIT CARD-BID)	DESSERTS FOR SOCIAL	\$28.38

Account Descr	Search Name	Comments	Amount
E 804-56700-746 TELEPHONE	BMO (CREDIT CARD-BID)	AT&T	\$118.58
E 804-56700-758 MEETINGS	BMO (CREDIT CARD-BID)	COFFEE/DONUTS	\$15.35
E 804-56700-719 EVENTS	BMO (CREDIT CARD-BID)	FOOD FOR SOCIAL	\$61.99
E 804-56700-719 EVENTS	BMO (CREDIT CARD-BID)	FOOD/DRINK FOR SOCIAL	\$334.27
E 804-56700-719 EVENTS	BMO (CREDIT CARD-BID)	CATERING FOR SOCIAL	\$200.00
E 804-56700-719 EVENTS	GARDNER, CINDY	REIMBURSE EVENT SUPPLIES	\$50.32
E 804-56700-719 EVENTS	LAKE COUNTRY FAMILY FUN	MEDIA SPONSORSHIP	\$250.00
EXPENSE Descr ECONOMIC DEVELOPMENT			\$1,127.21
EXPENSE Descr ELECTIONS			
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	JOURNAL COMMUNITY PUBL	ADS/PUBL NOTICE	\$38.14
EXPENSE Descr ELECTIONS			\$38.14
EXPENSE Descr FINANCIAL ADMINISTRATION			
E 101-51500-500 PROPERTY ASSESSMENT	ACCURATE APPRAISAL LLC	MAY ASSESSMNT SERVICES	\$18,380.00
E 101-51500-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	MAY HRA FEES	\$161.72
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	MAY MILEAGE	\$46.00
EXPENSE Descr FINANCIAL ADMINISTRATION			\$18,587.72
EXPENSE Descr FIRE PROTECTION			
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	AWOGS	STICKERS	\$247.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BATTERY PRODUCTS INC	AA BATTERIES	\$50.40
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BENDLIN FIRE EQUIPMENT CO, INC	LETTERING PATCH	\$59.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BENDLIN FIRE EQUIPMENT CO, INC	SAFETY CONES	\$165.00
E 101-52200-290 OUTSIDE SERVICES/CONTRACTS	BENDLIN FIRE EQUIPMENT CO, INC	CREDIT/OVERCHRGD CYLINDERS	-\$80.00
E 101-52200-290 OUTSIDE SERVICES/CONTRACTS	BENDLIN FIRE EQUIPMENT CO, INC	HYDROTEST AIR TANKS	\$170.00
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BIEBELS TRUE VALUE	CHAINS AW CHAIN/KEY	\$25.96
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	CATERING SPECIALTIES INC	ANNUAL DINNER	\$656.79
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	COMPETITOR AWARDS & ENGRAVING	ENGRAVED PLAQUES	\$50.62
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	FLEMINGS FIRE 1, INC.	BOOTS	\$149.95
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$213.60
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	LARK UNIFORM INC	COLLAR BRASS	\$109.50
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	PARTS HUT HARTLAND	FLOOR DRI	\$62.94
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	SHIMEL, NICK	REIMBURSE WATER FOR FIRE	\$11.96
E 101-52200-360 VEHICLE MAINT/EXPENSE	STREICHER S	LIGHTS	\$240.00
E 101-52200-255 BLDGS/GROUNDS	SUPERIOR CHEMICAL CORP	WEED KILLER	\$198.23
E 101-52200-290 OUTSIDE SERVICES/CONTRACTS	WAUKESHA CTY TREASURER (515)	APR RADIO SERVICE	\$142.75
EXPENSE Descr FIRE PROTECTION			\$2,473.70
EXPENSE Descr GENERAL ADMINISTRATION			
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$87.99

Account Descr	Search Name	Comments	Amount
E 101-51400-210 LEGAL SERVICES	DE LA MORA	LEGAL FEES	\$1,990.09
E 101-51400-210 LEGAL SERVICES	GODFREY & KAHN, S.C.	APR LEGAL FEES	\$270.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	JOURNAL COMMUNITY PUBL	ADS/PUBL NOTICE	\$88.70
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	SCHWAAB INC	BID DATE/TIME STAMP	\$60.50
E 101-51400-210 LEGAL SERVICES	VON BRIESEN & ROPER	APR LEGAL FEES	\$165.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	APR RECORD CKS/SOLICITOR	\$56.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	APR RECORD CKS/BARTENDER	\$21.00
EXPENSE Descr GENERAL ADMINISTRATION			\$2,739.28
EXPENSE Descr INSPECTION			
E 101-52400-290 OUTSIDE SERVICES/CONTRACTS	WISCONSIN BUILDING INSPECTIONS	APRIL PERMITS	\$6,940.69
EXPENSE Descr INSPECTION			\$6,940.69
EXPENSE Descr LAW ENFORCEMENT			
E 802-52100-300 OPERATING SUPPLIES/EXPENSES	ADVANTAGE POLICE SUPPLY	SMOKE/GRENADES/FLASH-BANG	\$2,423.20
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	FLEMINGS FIRE 1, INC.	RECHARGE FIRE EXTINGUISHER	\$51.20
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 2/LOF	\$54.15
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	SQ 6/LOF, FLUSH	\$198.48
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	KLEAN LINE LLC	FLOOR SCRUB TILES	\$100.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	LAPTOP BATTERIES	\$206.50
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	RED THE UNIFORM TAILOR	JACKET/JOSWICK	\$53.86
EXPENSE Descr LAW ENFORCEMENT			\$3,087.39
EXPENSE Descr LIBRARY			
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (C031146 3)	BOOKS	\$188.85
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$575.06
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L539676 2)	BOOKS	\$436.81
E 101-55110-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	FLOWERS	\$33.00
E 101-55110-325 PERIODICALS	EBSCO	SUBSCRIPTION RENEWAL	\$14.30
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	EXECU PRINT	STAMP	\$45.77
E 101-55110-310 BOOKS & MATERIALS	GALE GROUP	LARGE PRINT	\$27.05
E 101-55110-310 BOOKS & MATERIALS	GALE GROUP	LARGE PRINT	\$59.02
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$136.13
E 101-55110-310 BOOKS & MATERIALS	LAUGHLIN, TOM	DVD	\$29.95
E 101-55110-345 STAFF EDUCATION/TRAINING	PUPAK-LUND, MARIA	REIMBURSE MEMBERSHIP FEE	\$105.00
E 101-55110-220 UTILITY SERVICES	WE ENERGIES	APR-MAY GAS	\$364.07
EXPENSE Descr LIBRARY			\$2,015.01
EXPENSE Descr MAPLE AVE (E CAPITOL TO RR)			
E 401-70380-290 OUTSIDE SERVICES/CONTRACTS	JOURNAL COMMUNITY PUBL	ADS/BIDS	\$175.45
EXPENSE Descr MAPLE AVE (E CAPITOL TO RR)			\$175.45

Account Descr	Search Name	Comments	Amount
EXPENSE Descr MUNICIPAL BUILDING			
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	ALSCO	FLOOR MAT SERVICE	\$93.89
E 101-51600-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	FLOWERS	\$49.50
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	KLINKS KARPETS	CARPET ELECTION ROOM	\$711.00
E 101-51600-220 UTILITY SERVICES	WE ENERGIES	APR-MAY ELECTRIC	\$1,576.18
EXPENSE Descr MUNICIPAL BUILDING			
EXPENSE Descr PARKS			
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	GRAFFITI RMVR/TOWELS/LETTERS	\$13.16
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	TOILET BOLT KIT/SHIMS	\$18.45
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	FLEET US LLC	FIELD PAINTER CHRGR/BATTERY	\$214.95
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	INTEGRATED RESTORATIONS LLC	WEED SPRAYING/COTTONWOOD WAYSIDE	\$996.80
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	KAESTNER AUTO ELECTRIC CO	FLAGE/ROPE	\$141.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PIONEER SUPPLY LLC	JANITORIAL SUPPLIES	\$151.86
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PORT-A-JOHN	TOILET RNTL/PENBROOK	\$150.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	TRINITY ECO SOLUTIONS	GERANIOL	\$183.30
EXPENSE Descr PARKS			
EXPENSE Descr PUBLIC WORKS			
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	PAINT MARKER YELLOW	\$180.26
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	AIR FILTER HOUSING	\$92.25
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BELT	\$272.94
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FUEL FILTER/PWR SVC DIE	\$88.25
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	ALARM/FILTERS/SILICONE/TUBING	\$238.85
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	AIR FILTER	\$37.81
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BALL JOINT PRESS	\$179.00
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BALL JOINTS/REPR LINK/SHOCK	\$289.73
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FILTERS/HARDWARE	\$113.84
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	PULLEYS	\$23.19
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	RETURN/REPR KIT, HOUSING-BOLTS	-\$130.04
E 101-53000-360 VEHICLE MAINT/EXPENSE	BIEBELS TRUE VALUE	\$38.88	\$38.88
E 101-53000-360 VEHICLE MAINT/EXPENSE	BRUCE MUNICIPAL EQUIPMENT INC	SWEOPER ARM BRACKET/PARTS	\$302.56
E 101-53000-360 VEHICLE MAINT/EXPENSE	BRUCE MUNICIPAL EQUIPMENT INC	SOLENOID VALVE	\$201.05
E 101-53000-420 STORM SEWER	COUNTY MATERIALS CORP	ROUND RISERS	\$88.00
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$1,000.51
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$429.11
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	J. RUPPENTHAL MASONRY LLC	REPR BLOCK WALL	\$500.00
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	JOURNAL COMMUNITY PUBL	NOXIOUS WEED NOTICE	\$32.54
E 101-53000-180 OTHER BENEFITS	JUNGBLUTH, LEO	REIMBURSE CLOTHING ALLOWANCE	\$57.79
E 101-53000-360 VEHICLE MAINT/EXPENSE	POMP S TIRE SERVICE INC	TRAILER TIRES	\$114.52

Account Descr	Search Name	Comments	Amount
E 101-53000-360 VEHICLE MAINT/EXPENSE	POMP S TIRE SERVICE INC	TRAILER TIRES	\$84.60
E 101-53000-360 VEHICLE MAINT/EXPENSE	PRICE ENGINEERING	HYDRAULIC FITTINGS	\$24.79
E 101-53000-360 VEHICLE MAINT/EXPENSE	PROVEN POWER INC	PARTS CATALOG	\$40.25
E 101-53000-360 VEHICLE MAINT/EXPENSE	PROVEN POWER INC	STEERING VALVE/ORING KITS	\$374.34
E 101-53000-300 OPERATING SUPPLIES/EXPENSES	SHERPERS	RETURN/WADERS	-\$10.51
E 101-53000-300 OPERATING SUPPLIES/EXPENSES	SHERPERS	WADERS/SUSPENDERS	\$72.08
E 101-53000-410 STREETS GEN MAINT	SHERWIN WILLIAMS CO	PAINT/BEADS	\$3,996.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 04/29/15	\$231.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 04/22/15	\$102.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 05/13/15	\$129.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS 05/06/15	\$333.00
E 101-53000-300 OPERATING SUPPLIES/EXPENSES	WT DEPT OF JUSTICE (CHKS)	APR RECORD CKS/DPW	\$28.00
E 101-53000-410 STREETS GEN MAINT	WOLF CONSTRUCTION CO INC	COLD PATCH	\$102.77
E 101-53000-410 STREETS GEN MAINT	WOLF PAVING CO INC	ASPHALT MILLINGS	\$373.13
E 101-53000-420 STORM SEWER	WOLF PAVING CO INC	ASPHALT	\$183.37
E 101-53000-410 STREETS GEN MAINT	WOLF PAVING CO INC	SHOULDER MATERIAL	\$1,129.42
EXPENSE Descr PUBLIC WORKS			\$11,344.28
EXPENSE Descr RECREATION PROGRAMS/EVENTS			
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	OLSEN, MARJORIE	REISSUE/YOGA FOR KIDS	\$216.00
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	ROESELER FISH FARM	FISH FOR CLINIC	\$500.80
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	YOGERST, KELLI	REISSUE CK/CARDS	\$31.36
EXPENSE Descr RECREATION PROGRAMS/EVENTS			\$748.16
EXPENSE Descr REPAVE PATHWAYS - NOTTINGHAM			
E 401-76090-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	MAR-APR WATER MAIN REVIEW	\$513.00
EXPENSE Descr REPAVE PATHWAYS - NOTTINGHAM			\$513.00
EXPENSE Descr RETAINING WALL REPLACEMENT			
E 401-79170-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	MAR-APR RETAIN WALL REPL	\$868.00
E 401-79170-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	FEB-MAR RETAIN WALL REPL	\$1,069.80
EXPENSE Descr RETAINING WALL REPLACEMENT			\$1,937.80
EXPENSE Descr SEWER SERVICE			
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	MAY HRA FEES	\$24.88
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	HALQUIST STONE CO INC	CHIPS	\$86.53
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	NEENAH FOUNDRY CO	SEWER COVER	\$103.00
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	MAR-APR SEWER REPRS	\$900.00
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	FEB-MAR MISC SEWER REPRS	\$1,054.00
EXPENSE Descr SEWER SERVICE			\$2,168.41
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			

Account Descr	Search Name	Comments	Amount
E 401-74075-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	FEB-MAR CATCH BASIN REPRS	\$1,364.00
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			\$1,364.00
EXPENSE Descr STORM WATER MGMT PLAN			
E 401-74097-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	FEB-MAR STORM WATER PERMIT STUDY	\$128.45
EXPENSE Descr STORM WATER MGMT PLAN			\$128.45
EXPENSE Descr TIF FUND EXPENSES			
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	VON BRIESEN & ROPER	APR LEGAL FEES	\$2,277.00
EXPENSE Descr TIF FUND EXPENSES			\$2,277.00
EXPENSE Descr WATER UTILITY			
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	BIEBELS TRUE VALUE	SCRAPER/WALL STRIPPER	\$7.61
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	BIEBELS TRUE VALUE	PAINT	\$20.66
E 620-53700-923 OUTSIDE SERVICES	DIVERSIFIED BENEFIT SERVICES	MAY HRA FEES	\$62.20
E 620-53700-651 MAINTENANCE OF MAINS	HALQUIST STONE CO INC	CHIPS	\$86.53
E 620-53700-678 HYDRANTS	HD SUPPLY WATERWORKS, LTD	HYDRANT METER	\$1,250.00
E 620-53700-652 MAINTENANCE OF SERVICES	HD SUPPLY WATERWORKS, LTD	CURBSTOPS/VALVES/UNIONS	\$593.75
E 620-53700-631 WATER TREATMENT - CHEMICALS	MARTELLE WATER TREATMENT	AQUA MAG BULK	\$2,398.62
E 620-53700-923 OUTSIDE SERVICES	MIDWEST METER INC	ANNUAL MAINTENANCE AGMNT	\$940.00
E 620-53700-651 MAINTENANCE OF MAINS	RUEKERT & MIELKE	FEB-MAR MISC WATER REPRS	\$1,364.00
E 620-53700-678 HYDRANTS	RUEKERT & MIELKE	MAR-APR HYDRANT REPL	\$640.00
E 620-53700-678 HYDRANTS	RUEKERT & MIELKE	FEB-MAR HYDRANT REPL	\$1,116.00
E 620-53700-923 OUTSIDE SERVICES	WI STATE LABORATORY OF HYGIENE	APR-MAY LAB SERVICES	\$40.00
E 620-53700-651 MAINTENANCE OF MAINS	WOLF PAVING CO INC	ASPHALT	\$279.19
EXPENSE Descr WATER UTILITY			\$8,798.56
			\$91,595.25

**VILLAGE OF HARTLAND
LICENSES AND PERMITS
MAY 26, 2015**

Bartender (Operator's) License – expires June 30, 2016

The Police Chief recommends approval. The Village Clerk recommends approval. Applicant has successfully completed the Responsible Beverage Servers Course.

Miranda Solveson
Isabella Cowdin
Taylor Austin

ITEMS RELATED TO THE ANNUAL STREET DANCE

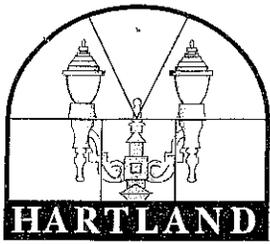
Street Use Permit

Applicant: Hartland Chamber of Commerce
Date: Saturday, July 18, 2015
Time of closure: 3:00 pm - 1:00 am (July 19)
Road Closure: Church St. and E. Capitol Drive and Goodwin Avenue at 3 pm
E. Capitol Drive at North Avenue beginning at 5 pm
Tear down begins at approximately 11:15 pm with opening of all roads by 1:00 am

See attached letter from the Chamber of Commerce regarding the event. The Police Chief recommends approval and will staff appropriately. The Fire Chief recommends approval. The Village Clerk recommends approval. The Certificate of Insurance for this event has been received.

Temporary Class B Beer/Wine Permit

The Hartland Chamber of Commerce will sell beer and wine on Saturday, July 18, 2015 with stand located near the 151-155 E. Capitol Drive address. Time of Sale: 5 pm - 11 pm.

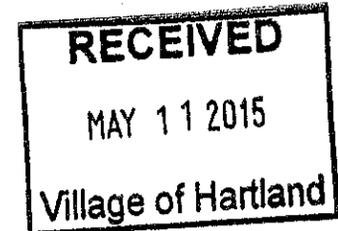


116 W. Capitol Drive
Hartland, WI 53029
(262)367-7059
FAX:(262)367-2980
chamberdirector@hartland-wi.org
www.hartland-wi.org

CHAMBER OF COMMERCE

May 5, 2015

Michael Einweck/Director of Public Works
Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029



Dear Mike:

Per Village requirements, the Hartland Chamber of Commerce respectfully submits the following information in regards to the annual Street Dance to be held July 18, 2015.

1. A drawing with required specifications is attached.
2. Operations Plan:
 - a. The Hartland Police Department takes care of all traffic related issues. A member of the police department attends our committee meetings and is well-informed as it relates to their staffing needs and associated responsibilities.
 - b. Set-up/tear-down for the event is done with a volunteer staff of chamber directors, ambassadors and members. We are requesting that set-up begin at 3:00 pm when street barricades are set on E. Capitol Drive at Church Stree,, Goodwin Avenue and North Avenue. Tear-down begins approximately 11:15 pm and is completed by 1:00 am. Chamber volunteers will pick up large portions of trash, including bottles, during the tear down. Chamber members return the following morning for an additional walk-through of the surrounding blocks to pick-up litter that was not visible during the evening hours. As in the past, we hope the Village will agree to use the street sweeper on the Monday morning following the dance.
 - c. The Hartland Police Department provides security and staffs officers accordingly.
 - d. The Hartland Police Department determines access for emergency vehicles and uses officers as necessary. Volunteer chamber staff works with the police to help where appropriate.
 - e. Locations of portable restrooms are on attached map.
 - f. Electrical runs are on attached map. Electrical runs are either run overhead via PVC tubes or in non-pedestrian areas to alleviate tripping hazards.
 - g. A tent stage is planned for the band (see location of band on attached map).
 - h. The band provides the audio equipment used at all their public performances.
3. Certificate of Insurance is attached.
4. Attendees can park in any lot with public access or use surrounding streets.

5. The bar is located near the sidewalk in front of the Capitol Professional Building at 155 E. Capitol Drive. There is restricted access so bartenders can monitor the area near the beverage truck. Tables are set on the sidewalks at 139 E. Capitol Drive but the sidewalk remains open except for having to walk around the bar.
6. The Hartland Police Department is aware of the need for potential access to a fire hydrant or Village Utility.

The chamber can be reached at 367-7059 with any further questions and we would welcome participation from a Village representative at future Street Dance committee meetings to help keep you informed.

Regards,



Lynn T. Minturn, Executive Director
Hartland Chamber of Commerce

cc: Donna Dorau, Street Dance Committee Chairman and Hartland Chamber President

HARTLAND SENIOR LIVING LLC
 THIRTY-TWO UNIT COMMUNITY BASED
 RESIDENTIAL FACILITY

PROJECT LOCATION:

SE CORNER OF MERTON AVENUE & SUNNY SLOPE DRIVE
 VILLAGE OF HARTLAND, WI

DEVELOPER:

JPS LIMITED, LLC
 126 E. PROSPECT AVENUE
 HARTFORD, WI 53027
 414-881-2112



VICINITY MAP
 SCALE: NOT TO SCALE



SHEET INDEX	
<u>COVER</u>	
C-1	PROJECT COVER SHEET
<u>ARCHITECTURAL</u>	
A-1	CONGREGATE FLOOR DETAIL EGRESS CORRIDORES & SMOKE COMPARTMENTS
A-2	GENERAL FLOOR PLAN
A-3	UNIT FLOOR PLANS
A-4	WALL FRAMING PLAN A
A-5	WALL FRAMING PLAN B
A-6	WALL FRAMING PLAN C
A-7	WALL FRAMING PLAN D
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A-9	ROOF PLAN
A-10	BUILDING SECTIONS 1 & 2
A-11	BUILDING SECTION 3
A-12	DOOR, WINDOW, FINISH SCHEDULES, AND MANEUVERING CLEARANCE AT SWING DOORS
A-13	ACCESSIBILITY NOTES & DETAILS
A-14	DUMPSTER ENCLOSURE DRAWINGS
A-15	FIRE RATING SPECIFICATIONS
<u>STRUCTURAL</u>	
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
S-3	STRUCTURAL DETAILS
S-4	SHEAR WALL & STRUCTURAL NOTES

REVIEW DRAWINGS
 NOT FOR CONSTRUCTION

JOB NUMBER
 JPS-2100-215
 DATE
 5 / 8 / 2015

NEW HORIZON
 VENTURES, L.L.C.
 ARCHITECTS & ENGINEERS
 P.O. BOX 592, GRANTON, WI 53024
 WWW.NEWHORIZONVENTURES.COM
 262-877-4730 or 262-575-2397

NOTE:

COMMONS AREA FURNACE LOCATION & NUMBER TO BE VERIFIED BY HVAC CONTRACTOR. CONTRACTOR TO NOTIFY ARCHITECT OF LOCATION AND CHASE REQUIREMENTS. ALL CEILING PENETRATIONS REQUIRE ONE-HOUR FIRESTOP SYSTEM.

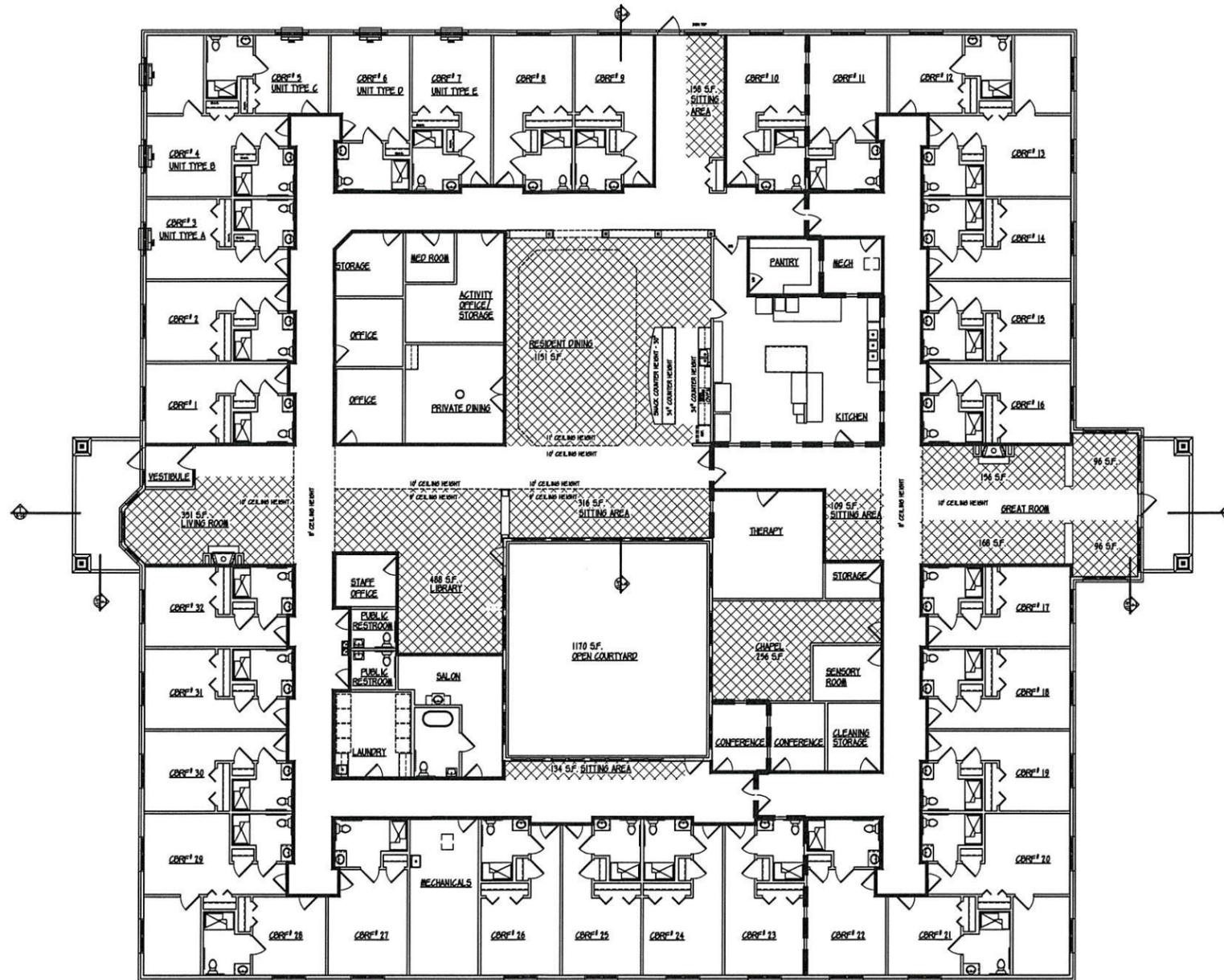
NOTE:

D.H.S. 83.55 (6)(b).

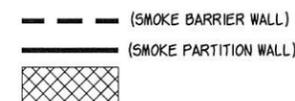
THE TEMPERATURE OF ALL DOMESTIC WATER HEATERS CONNECTED TO SINKS, SHOWERS, AND TUBS USED BY RESIDENTS SHALL BE SET AT A TEMPERATURE OF AT LEAST 140° F.
THE TEMPERATURES OF WATER AT FIXTURES IN SHOWERS AND TUBS USED BY RESIDENTS SHALL BE AUTOMATICALLY REGULATED BY VALVES AND MAY NOT EXCEED 115° F. EXCEPT FOR CBRP'S EXCLUSIVELY SERVING RESIDENTS RECOVERING FROM ALCOHOL OR DRUG DEPENDENCY OR CLIENTS OF A GOVERNMENTAL CORRECTIONS AGENCY.

NOTE:

OCCUPANCY - GROUP, I-2 INSTITUTIONAL
TYPE OF CONSTRUCTION - VA
WOOD FRAME PROTECTED STRUCTURAL FRAME, BEARING WALLS AND ROOF CONSTRUCTION 1 HR. FIRE-RESISTANCE RATING.
CEILING PENETRATIONS TO MEET "UL" REQUIREMENTS FOR 1 HOUR FIRE RATED MEMBRANE PENETRATION.
PROVIDE AUTOMATIC SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH NFPA 13.
PROVIDE COMPLETE N.F.P.A. 13 AUTOMATIC SYSTEM WITH RESIDENTIAL SPRINKLER HEADS IN ALL BEDROOMS, & ALL OTHER HABITABLE ROOMS & CORRIDORS. D.H.S. 83.48(8) 3 & 4.
PROVIDE INTERCONNECTED SMOKE DETECTION SYSTEM WITH BUILDING ALARM. D.H.S. 83.48(1)
PROVIDE HEAT DETECTION IN KITCHEN, EACH ENCLOSED COMPARTMENT OF ATTIC, FURNACE ROOM, AND LAUNDRY ROOM. D.H.S. 83.48(6)



SMOKE COMPARTMENTS
EGRESS CORRIDORS
CONGREGATE AREA



CONGREGATE SQUARE FOOTAGE REQUIREMENTS:
90 SQ. FT. PER RESIDENT (90 x 36 = 3240 SQ. FT.)
TOTAL CONGREGATE SQUARE FOOTAGE = 3318
(ALL WITH REQUIRED LIGHT & VENTILATION)

REQUIRED LIGHT & VENTILATION: IN CONGREGATE AREAS	
LIVING ROOM	SQUARE FOOTAGE = 391 SQ. FT. REQUIRED LIGHT (8%) = 28.08 PROVIDED LIGHT = 32.6 REQUIRED VENTILATION (4%) = 14.04 PROVIDED VENTILATION = 15.89
GREAT ROOM and SITTING AREA	SQUARE FOOTAGE = 625 SQ. FT. REQUIRED LIGHT (8%) = 50 PROVIDED LIGHT = 100.32 REQUIRED VENTILATION (4%) = 25 PROVIDED VENTILATION = 33.03
SITTING ROOM - NORTH END	SQUARE FOOTAGE = 158 SQ. FT. REQUIRED LIGHT (8%) = 12.64 PROVIDED LIGHT = 16.60 REQUIRED VENTILATION (4%) = 6.32 PROVIDED VENTILATION = 8.55
SITTING ROOM - SOUTH END	SQUARE FOOTAGE = 134 SQ. FT. REQUIRED LIGHT (8%) = 10.72 PROVIDED LIGHT = 66.4 REQUIRED VENTILATION (4%) = 5.36 PROVIDED VENTILATION = 34.23
CHAPEL	SQUARE FOOTAGE = 256 SQ. FT. REQUIRED LIGHT (8%) = 20.48 PROVIDED LIGHT = 33.20 REQUIRED VENTILATION (4%) = 10.24 PROVIDED VENTILATION = 17.16
LIBRARY	SQUARE FOOTAGE = 488 SQ. FT. REQUIRED LIGHT (8%) = 39.04 PROVIDED LIGHT = 33.20 REQUIRED VENTILATION (4%) = 19.52 PROVIDED VENTILATION = 17.16 ALLOWED CONGREGATE AREA S.F. = 429
DINING & SITTING AREA	SQUARE FOOTAGE = 1467 SQ. FT. REQUIRED LIGHT (8%) = 117.36 PROVIDED LIGHT = 116.8 REQUIRED VENTILATION (4%) = 58.68 PROVIDED VENTILATION = 54.60 ALLOWED CONGREGATE AREA S.F. = 1365



CONGREGATE FLOOR DETAIL, EGRESS CORRIDORS & SMOKE COMPARTMENTS

SCALE: 3/32" = 1'-0"

GROSS SQUARE FOOTAGE = 22,699
GROSS SQUARE FOOTAGE PLUS COVERED CANOPIES = 22,732

PROJECT
HARTLAND 32 UNIT CBRP

NEW HORIZON
VENTURES, L.L.C.
ARCHITECTS/PLANNERS

P.O. BOX 292, GRAFTON, WI. 53024
http://www.nhv-arch.com/
262-377-4730 or 262-975-2397

JFB-7100-215

DATE

5/8/2015

REVISIONS

SHEET

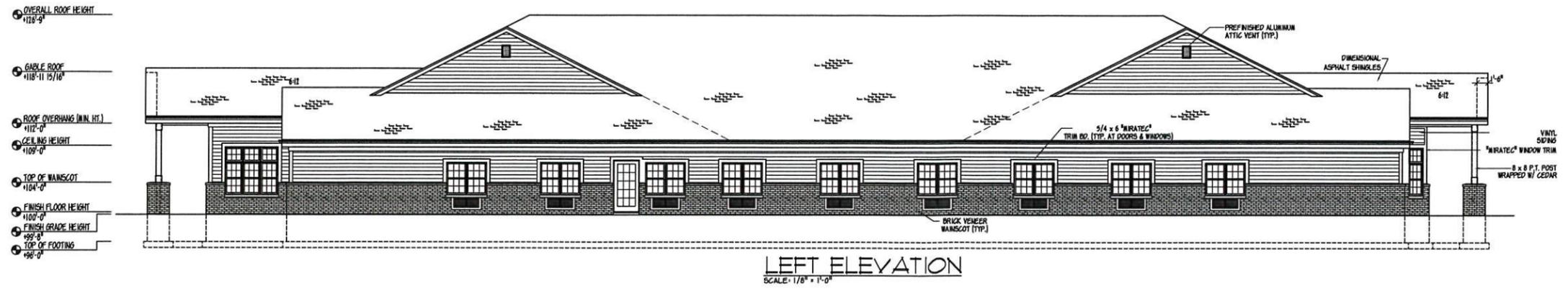
A-1

CHECKED BY:

CLB

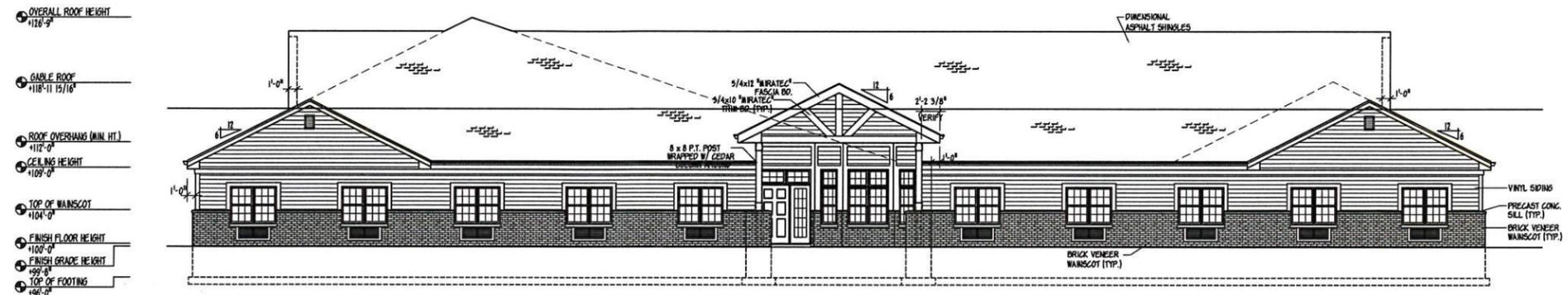
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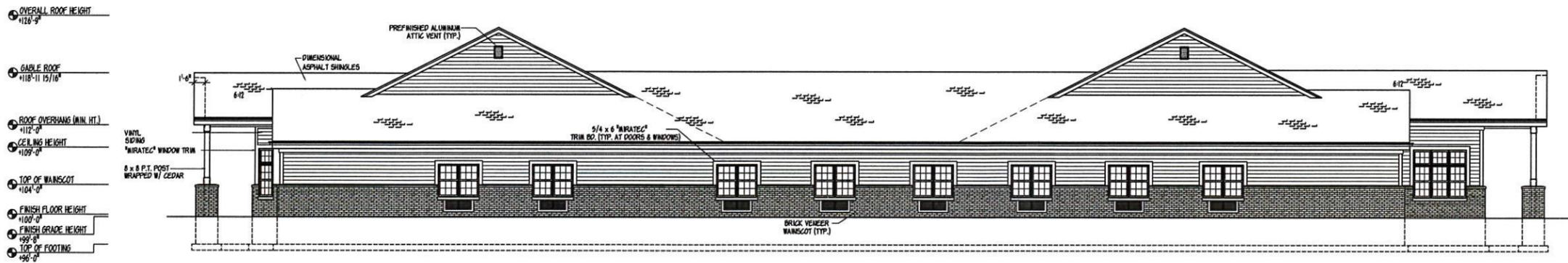
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



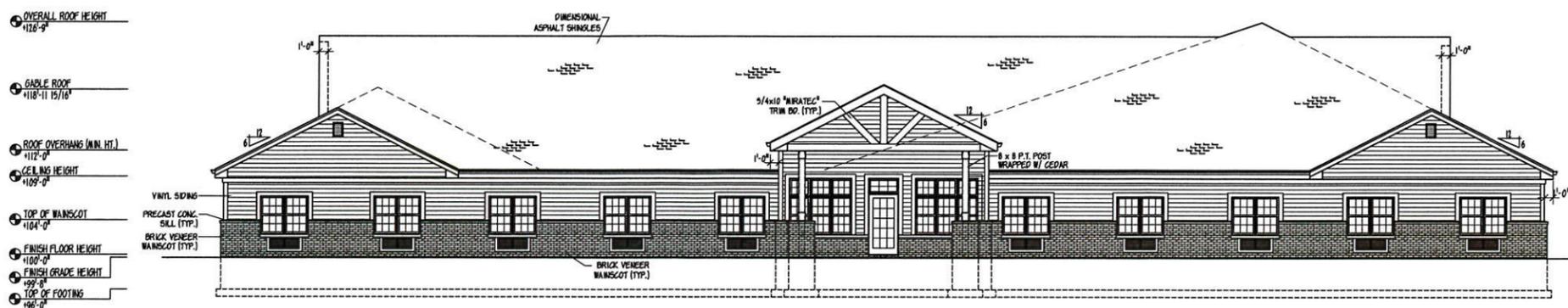
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

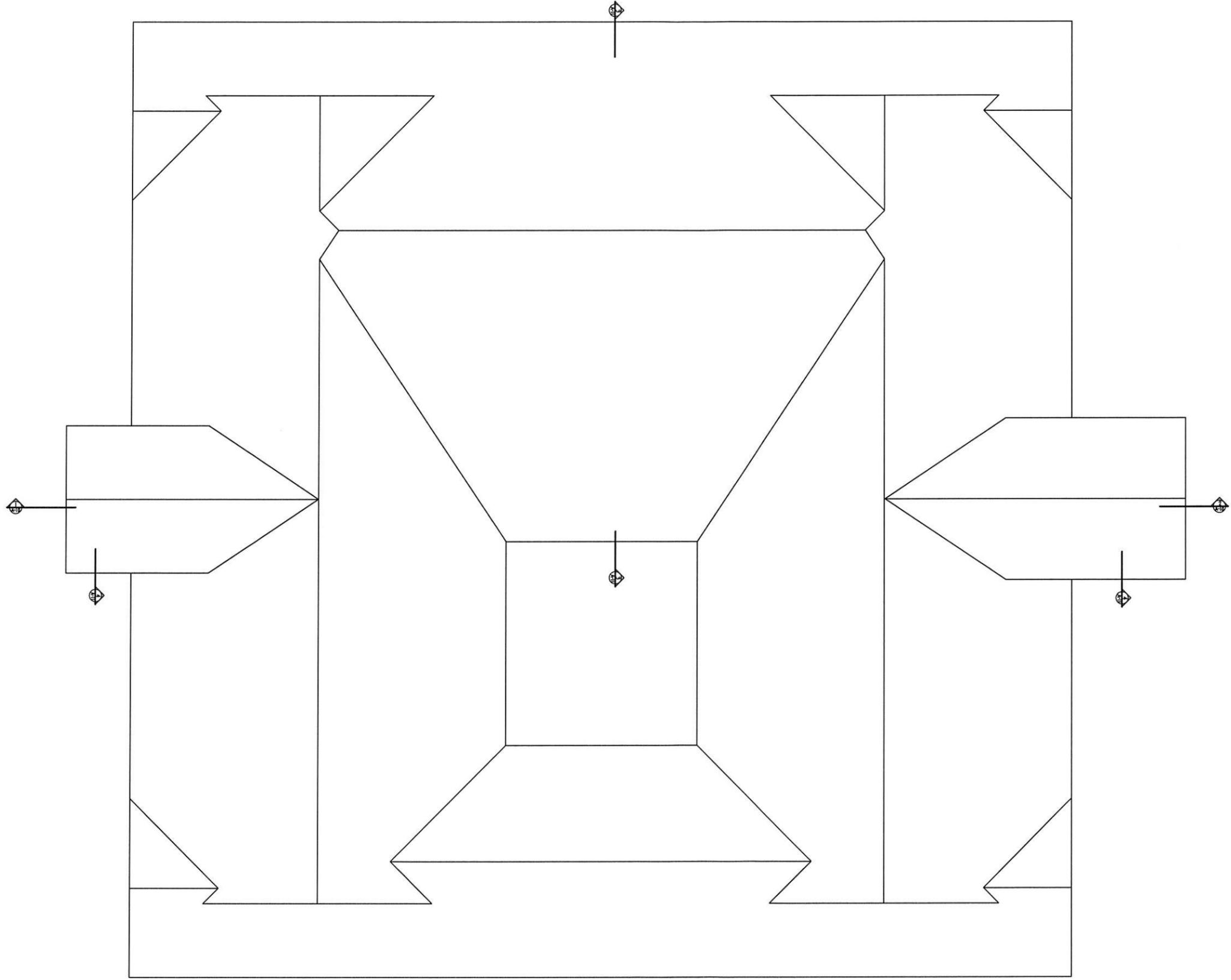
PROJECT
 HARTLAND 32 UNIT CBRF

NEW HORIZON VENTURES, L.L.C.
 ARCHITECTS/PLANNERS

P.O. BOX 292, GRAFTON, WI 53024
<http://www.nhv-arch.com>
 262-377-4730 or 262-375-2597

JOB NUMBER JFS-2100-215	DATE 5/8/2015	REVISIONS:	
SHEET A-8	CHECKED BY: DAB	DRAWN BY: DAB	

NEW HORIZON VENTURES LLC
© 2015



ROOF PLAN

SCALE: 1/8" = 1'-0"

SNOW LOADS:
 BALANCED = 21.0 P.S.F.
 UNBALANCED = HP/GABLE
 WINDWARD = 8.1 P.S.F.
 LEEWARD = 42.4 P.S.F.

DESIGN LOADS:
 TC LIVE = 30 PSF
 TC DEAD = 10 PSF
 BC DEAD = 10 PSF

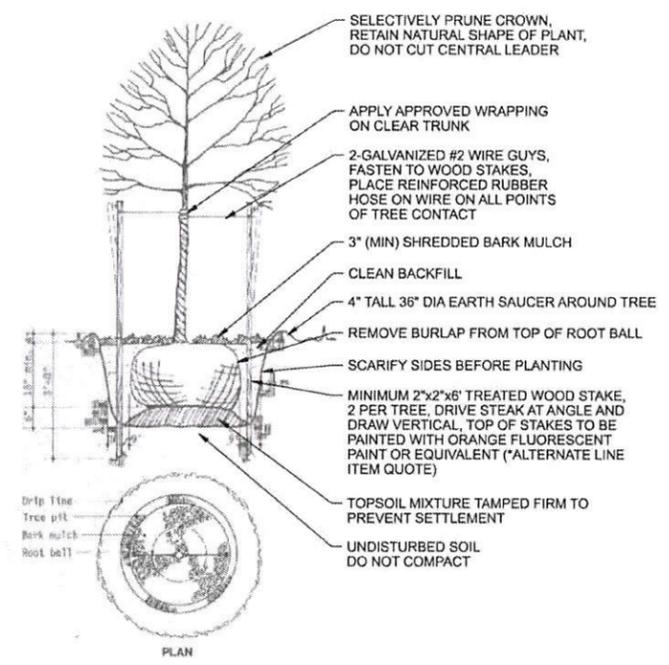
PROVIDE FOR SNOW DRIFT LOADS AND
 EQUIPMENT LOADS AS NOTED ON PLAN
 ICE & WATER SHIELD @ ALL VALLEYS & GUTTERS
 ALL VALLEYS TO RECEIVE PREFINISHED METAL VALLEY MATERIAL



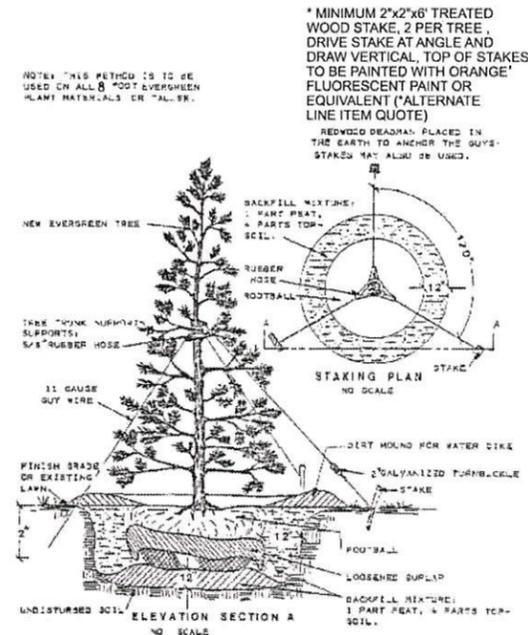
SNOW LOAD

PROJECT HARTLAND 32 CERF	
NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS	
P.O. BOX 292, CRAFTON, WI. 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER JS-2100-215	DATE 5-8-2015
REVISIONS:	
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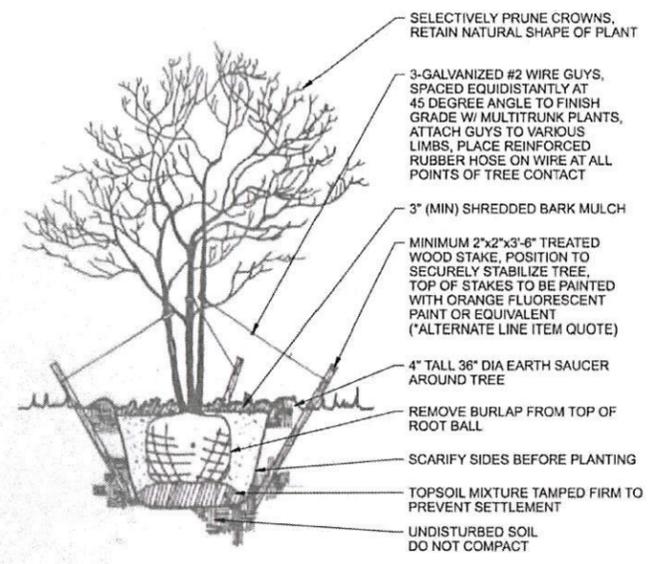
H:\C:\BOS\66153012-01\CONSTRUCTIVE PLANS\HART AND CBRF-22X34.DWG



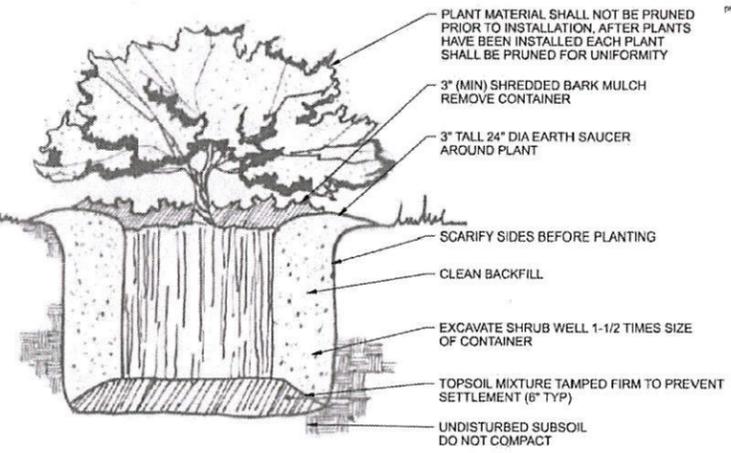
SMALL TREE PLANTING DETAIL
NTS



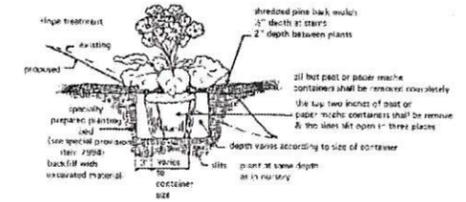
EVERGREEN TREE PLANTING DETAIL
NTS



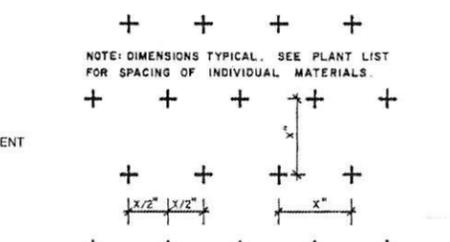
MULTI-TRUNK TREE PLANTING
NTS



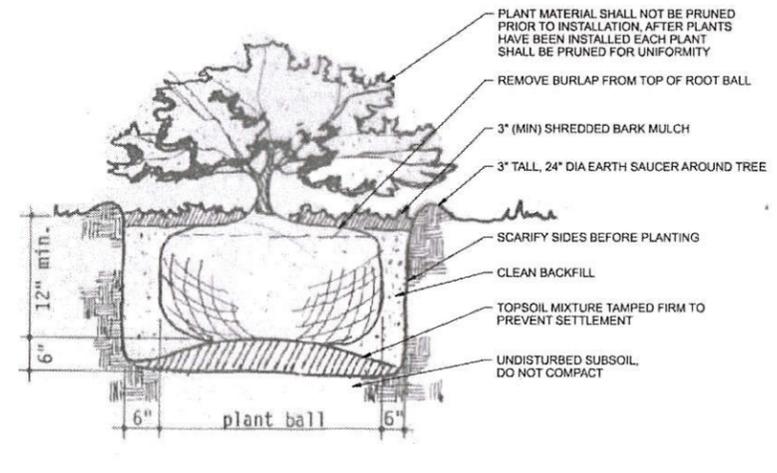
CONTAINER SHRUB DETAIL
NTS



PERENNIAL PLANTING DETAIL
NTS



GROUNDCOVER PLANTING DETAIL
NTS



B&B SHRUB PLANTING DETAIL
NTS

PLANTING AND LANDSCAPE NOTES:

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATIONS AND RELATED CONTRACTUAL OPERATIONS WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO PLANTS, GRADES, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL, AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G. VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE THE 1 GRADE OR BETTER ACCORDANCE WITH GRADES AND STANDARDS OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT RESERVES ALL RIGHTS TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH "EESSEY GROW" 1-YEAR (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT, OR AGREED UPON GRANULAR FERTILIZER AS DISCUSSED WITH LANDSCAPE ARCHITECT.

APPLICATION RATES SHALL BE AS FOLLOWS:

TREES:
1'-12" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE
GREATER THAN 3": 1 PACKET PER 1' CAL. (I.E. 4"-4 PACKETS)

SHRUBS:
1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS IS REQUIRED.)

CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS DURING THE DURATION OF THE INSTALLATION.

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR REFERABLE THEREOF AND/OR AS SPECIFIED. IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE MECHANICALLY SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDDED WITH A MECHANICAL SPREADER AT THE RATE OF 5#/1000SF. AFTER SEEDING, ALL AREAS SHALL BE RAKED AND ROLLED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED, AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHOD OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. INSTALL EROSION CONTROL FABRIC ON EMBANKMENTS THAT EXCEED 1:3 SLOPE.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN PACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATIONS. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HAND RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

GUARANTEE PERIOD FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED AND SOD)	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS AND ROSES	90 DAYS FROM INTRODUCTION

* IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIOD, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MIN. 3" DIA).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000 SF WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

TYPICAL SEED FUTURE:

KENTUCKY BLUEGRASS	50%
RED FESCUE	30%
PERENNIAL RYE GRASS	20%

PROPOSED TREES TO BE OPTIONALLY STAKED AS PER PLANTING DETAILS. (PLEASE SPECIFY LINE ITEM IN PROPOSAL FOR STAKING)

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKEN, WITH A COPY TO THE LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE NOT COVERED BY TURF SHALL BE RESEEDDED BY THE CONTRACTOR. ANY SODDED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE RESEEDDED BY THE LANDSCAPE CONTRACTOR. ALL REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATIONS TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDDED TO A WIDTH OF 5'-0".

HERBICIDE (TRIFLORAL OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.



**GARLAND ALLIANCE
LANDSCAPE ARCHITECTS**

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PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN

BY:
JPS LIMITED LLC,
126 E. PROSPECT AVE.
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/2015	PER VILLAGE REVIEW

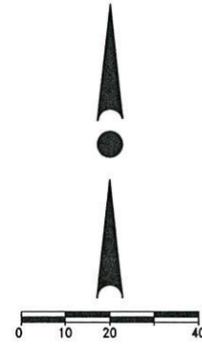
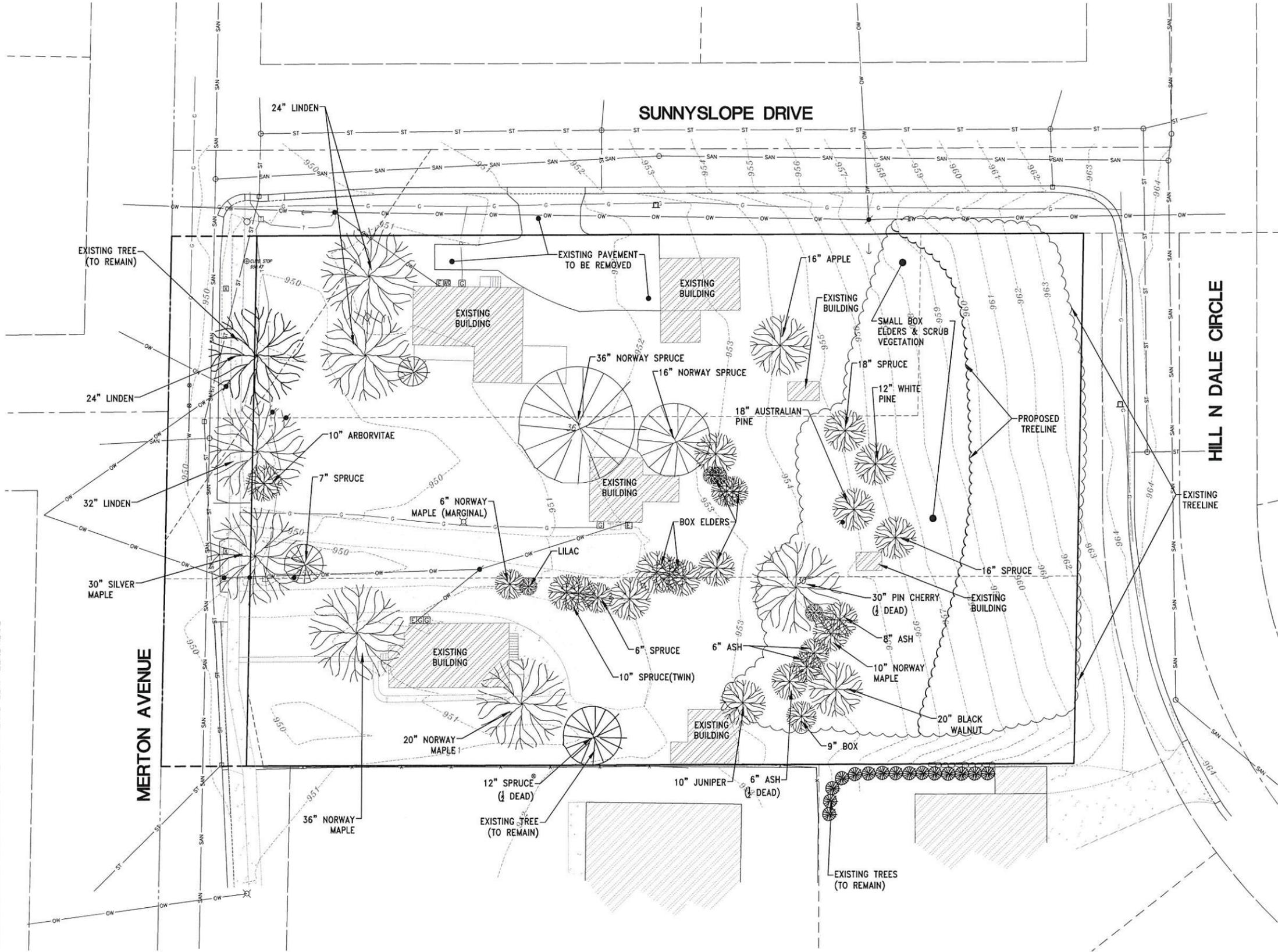
DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
**PROPOSED
LANDSCAPE PLAN**

SHEET

L1.1



LEGEND:

- - - - - 955 - - - - - EXISTING CONTOUR
- - - - - SAN - - - - - EXISTING SANITARY SEWER
- - - - - - EXISTING SANITARY MANHOLE
- W - - - - - EXISTING WATER MAIN
- - - - - - EXISTING HYDRANT
- ST - - - - - EXISTING STORM SEWER
- - - - - - EXISTING STORM MANHOLE
- - - - - - EXISTING STORM INLET
- - - - - - EXISTING TRANSFORMER
- - - - - - EXISTING ELECTRIC PEDESTAL
- - - - - - EXISTING TELEPHONE PEDESTAL
- - - - - - EXISTING CATV PEDESTAL
- - - - - - EXISTING POWER POLE



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PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC,
126 E. PROSPECT AVE.
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/2015	PER VILLAGE REVIEW

DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
TREE SURVEY

SHEET

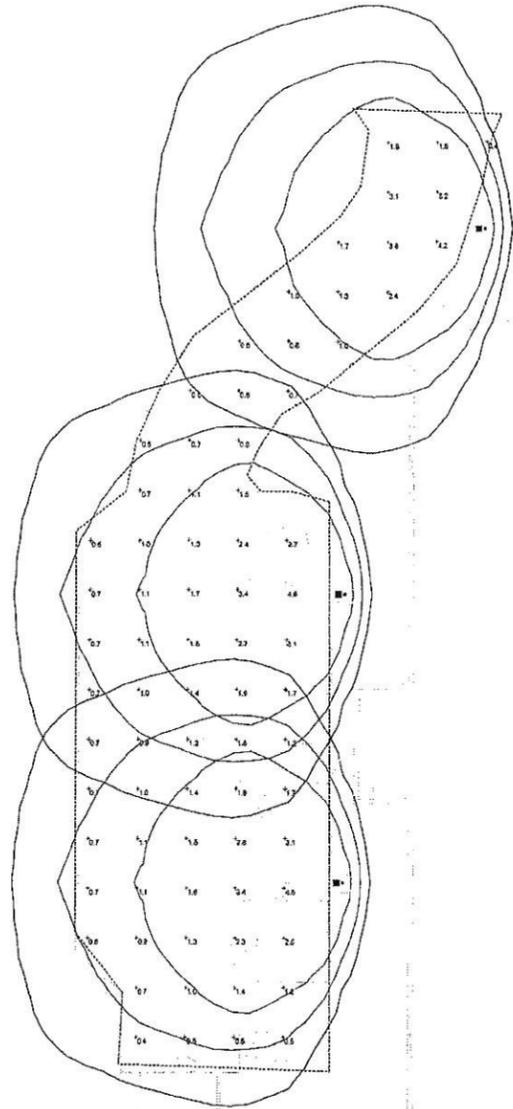
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H:\2015\15002-01\CONSTRUCTION PLANS\TREE SURVEY-HARTLAND CERF-22X34.DWG

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
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MERTON AVENUE



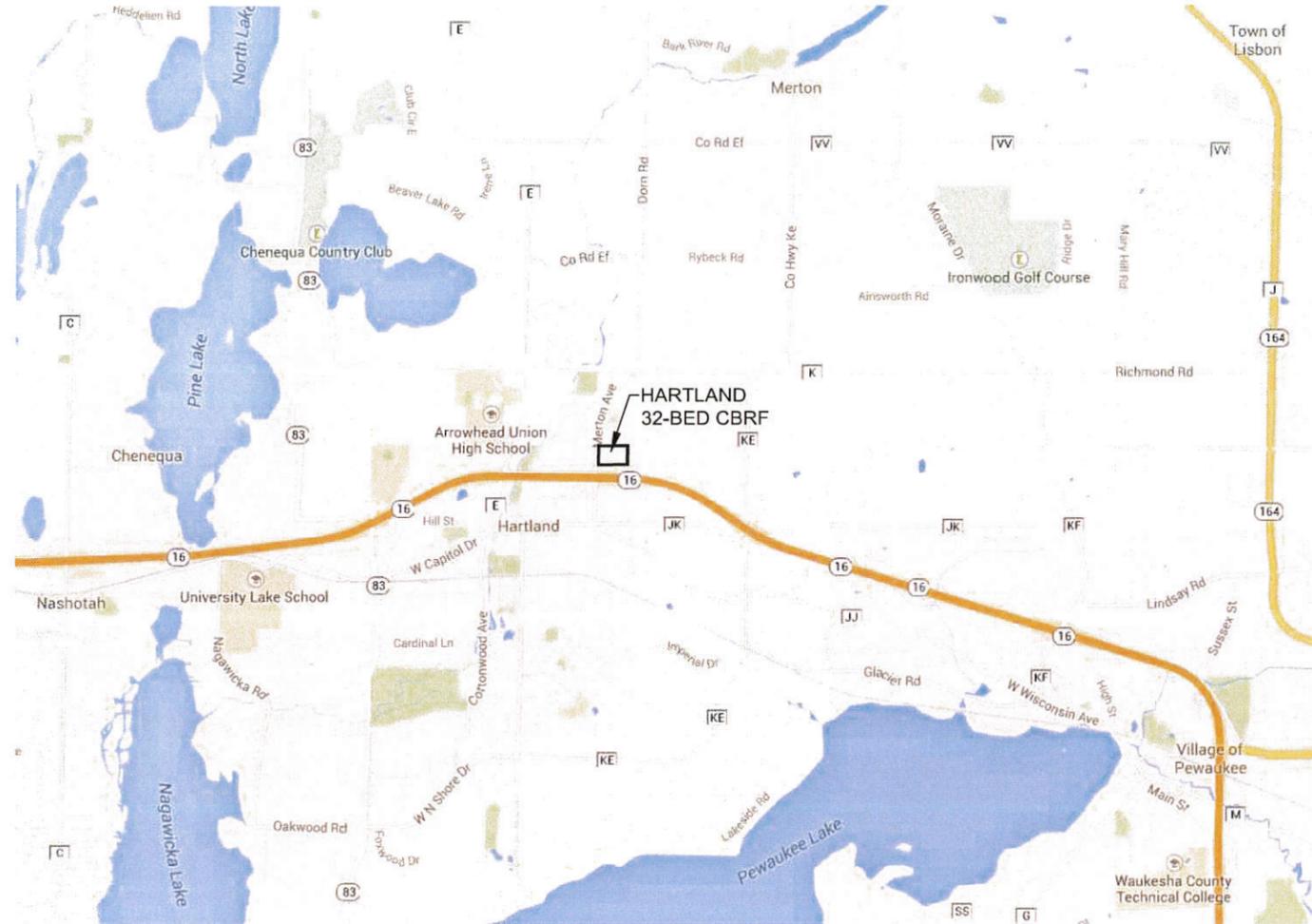
GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF HARTLAND DEVELOPMENT STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF PEWAUKEE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

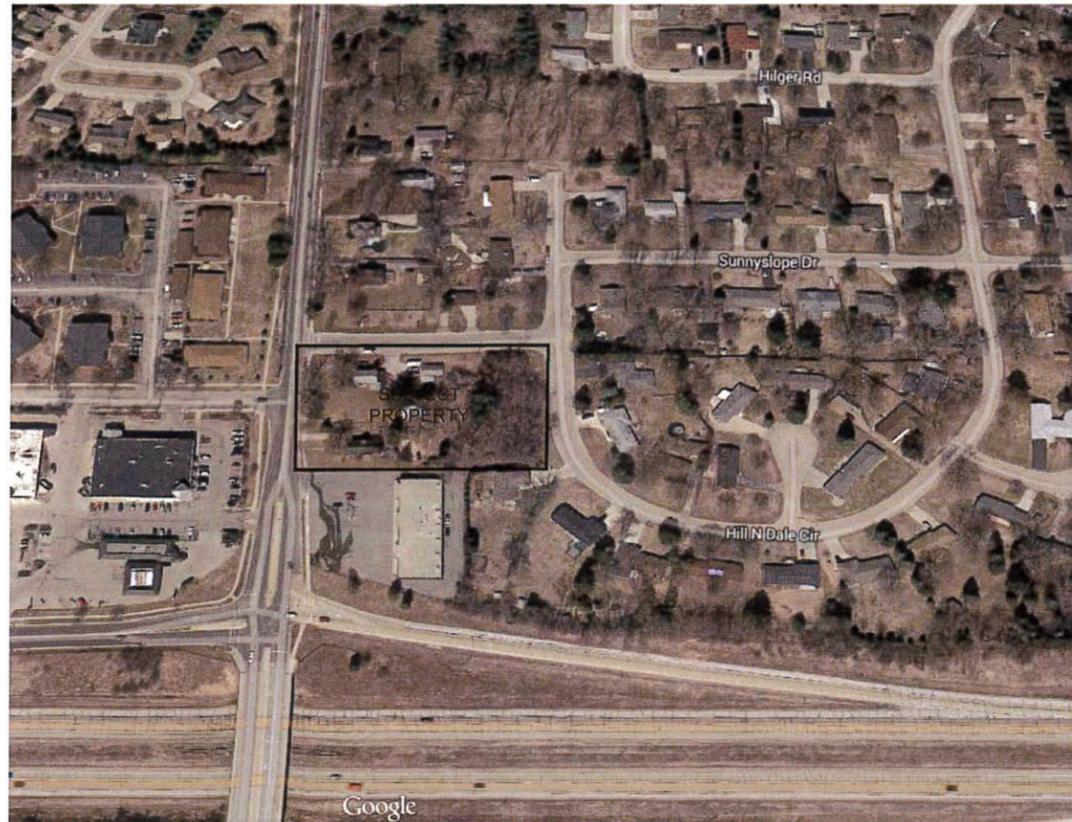
HARTLAND 32-BED CBRF

SITE DEVELOPMENT PLANS

VILLAGE OF HARTLAND, WISCONSIN



SITE VICINITY MAP
NOT TO SCALE



AERIAL SITE PHOTO
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE & DEMOLITION PLAN
C1.1	- PROPOSED SITE PLAN
C1.2	- MASTER GRADING & DRAINAGE PLAN
C1.3	- EROSION CONTROL PLAN
C1.4	- SITE UTILITY PLAN
C1.5	- STORMTECH UNDERGROUND STORAGE DETAILS
C1.6	- CONSTRUCTION NOTES & DETAILS
L1.0	- LANDSCAPE PLAN
L1.1	- LANDSCAPE NOTES & DETAILS
T1.0	- TREE SURVEY



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CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

WISCONSIN
JOSHUA D. PUDELKO
E-39420
WAUWATOSA, WI
PROFESSIONAL ENGINEER

TRIO
DESIGN • LAND SURVEYING
CIVIL ENGINEERING

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PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC
126 E. PROSPECT AVENUE
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

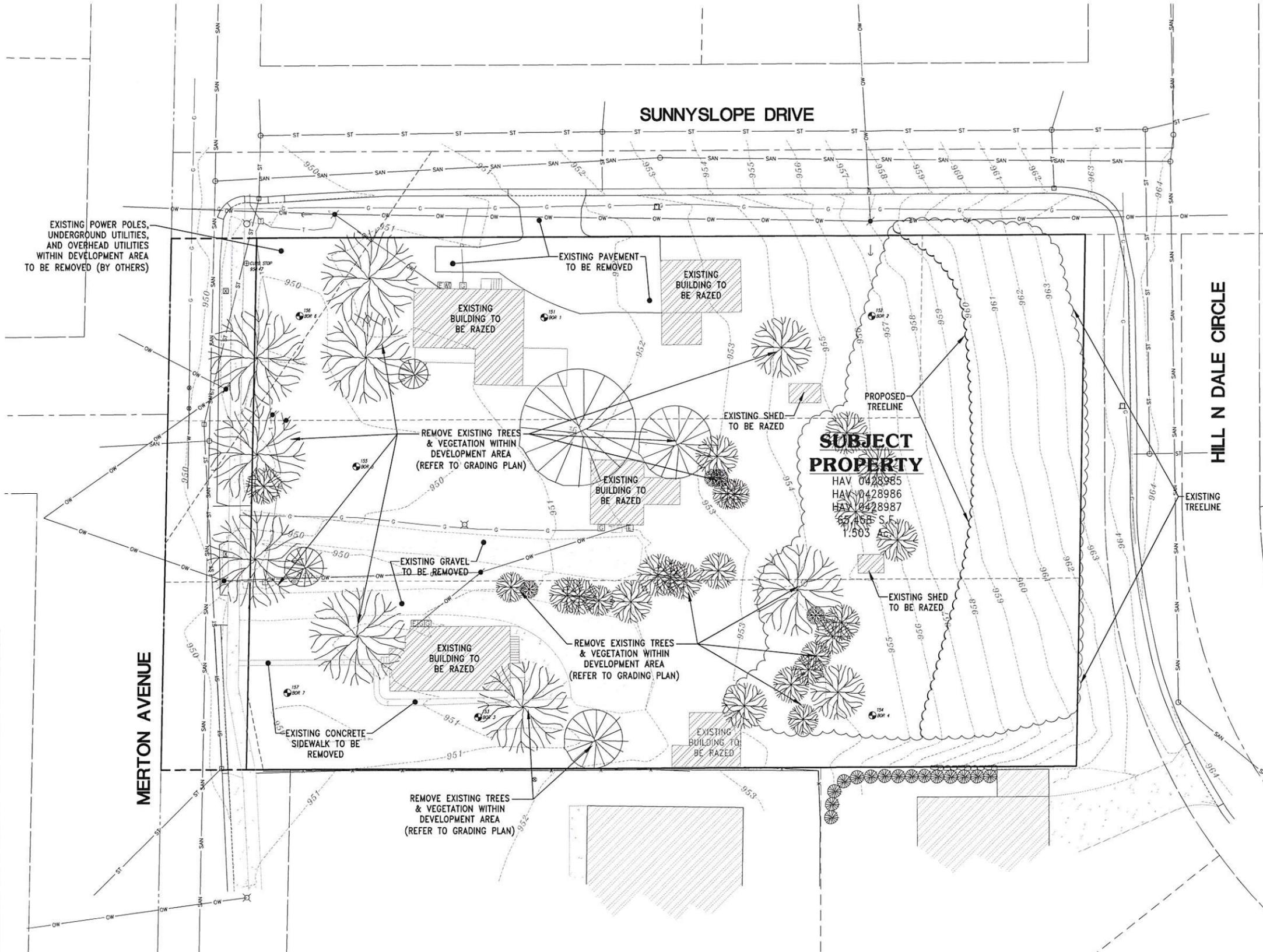
DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
COVER SHEET

SHEET

T1



LEGEND:

- - - - - 95.3 - - - - - EXISTING CONTOUR
- SAN - - - - - EXISTING SANITARY SEWER
- O - - - - - EXISTING SANITARY MANHOLE
- W - - - - - EXISTING WATER MAIN
- ⊕ - - - - - EXISTING HYDRANT
- ST - - - - - EXISTING STORM SEWER
- - - - - - EXISTING STORM MANHOLE
- - - - - - EXISTING STORM INLET
- ⊞ - - - - - EXISTING TRANSFORMER
- ⊞ - - - - - EXISTING ELECTRIC PEDESTAL
- ⊞ - - - - - EXISTING TELEPHONE PEDESTAL
- ⊞ - - - - - EXISTING CATV PEDESTAL
- ⊞ - - - - - EXISTING POWER POLE



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PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC
126 E. PROSPECT AVENUE
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
EXISTING SITE
& DEMOLITION
PLAN

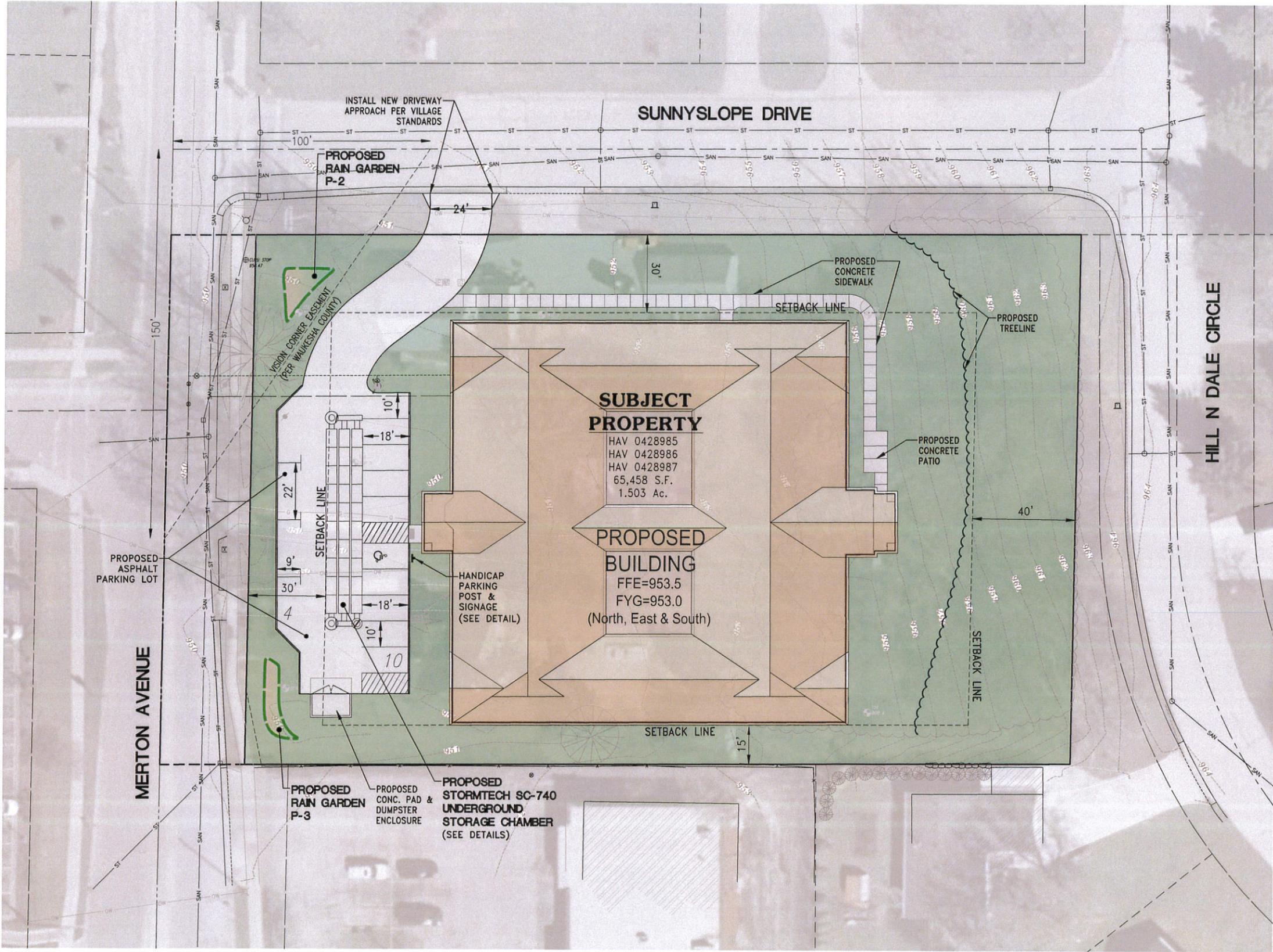
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LEGEND:

--- 95.3 ---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
○	EXISTING STORM INLET
□	EXISTING TRANSFORMER
□	EXISTING ELECTRIC PEDESTAL
□	EXISTING TELEPHONE PEDESTAL
□	EXISTING CATV PEDESTAL
●	EXISTING POWER POLE
○	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
○	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

SITE DATA

TOTAL LOT AREA:	65,458 S.F. (1.50 Acres)
PROPOSED BUILDING FOOTPRINT:	24,255 S.F. (0.56 Acres) 37.05% of Lot
PROPOSED PARKING & DRIVE:	7,897 S.F. (0.18 Acres) 12.06% of Lot
PROPOSED SIDEWALK & PATIOS:	1,307 S.F. (0.03 Acres) 2.00% of Lot
TOTAL IMPERVIOUS AREA:	33,459 S.F. (0.77 Acres) 51.11% of Lot
TOTAL OPEN SPACE:	31,999 S.F. (0.73 Acres) 48.89% of Lot
TOTAL PARKING SPACES:	14 SPACES

1 HANDICAP PARKING SPACE IS PROVIDED



PROJECT:
HARTLAND 32-BED CBRF
 VILLAGE OF HARTLAND, WISCONSIN
 BY: JPS LIMITED LLC
 126 E. PROSPECT AVENUE
 HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

DATE:
 APRIL 27, 2015

JOB NUMBER:
 15002

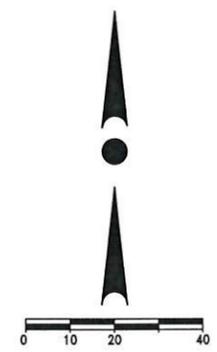
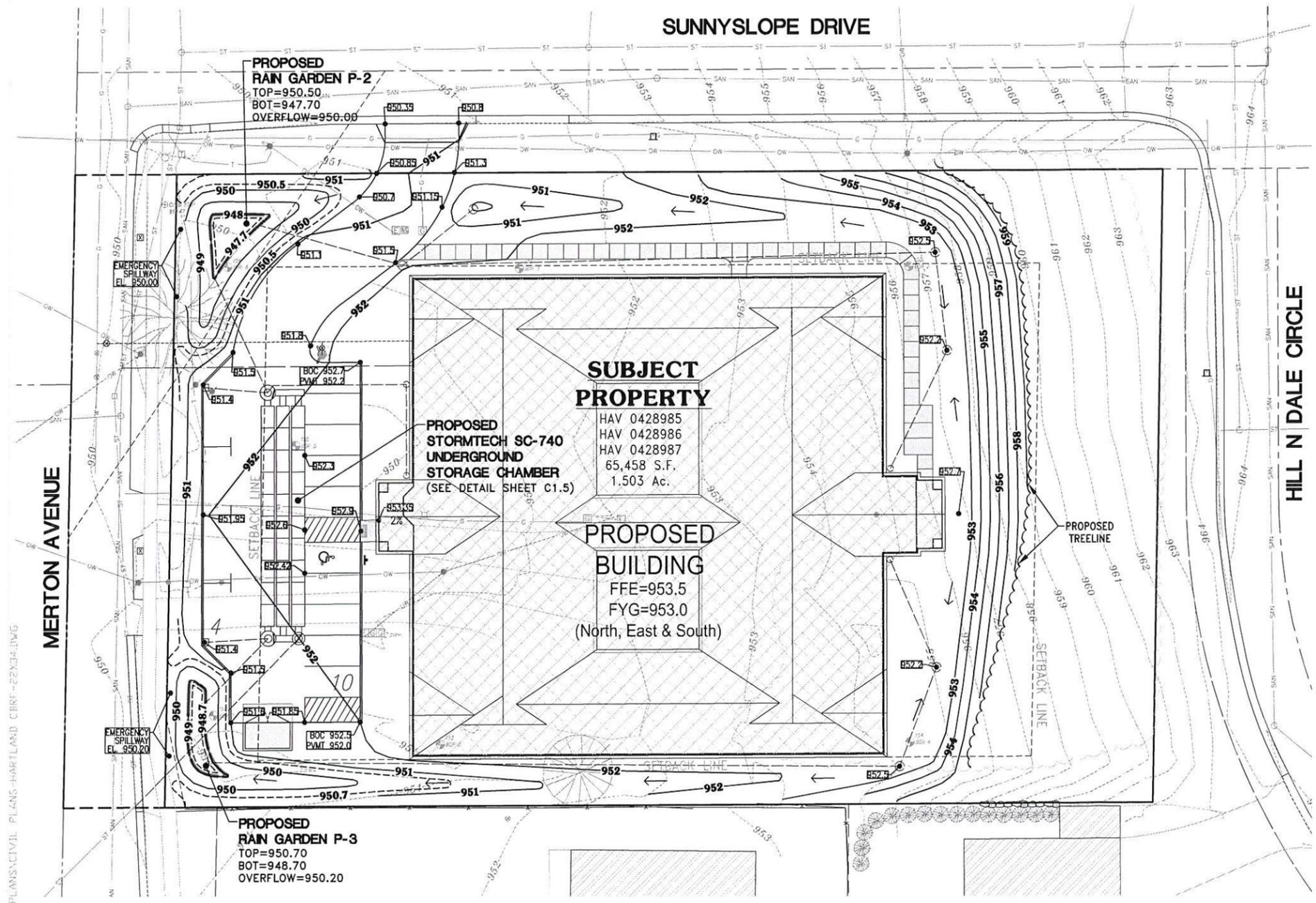
DESCRIPTION:
 PROPOSED
 SITE PLAN

SHEET
 C1.1

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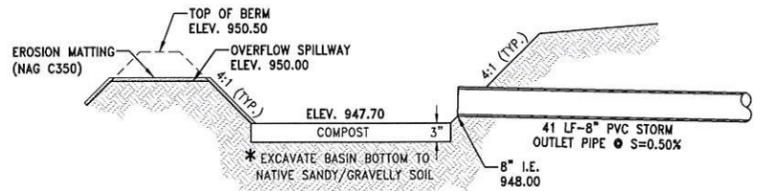
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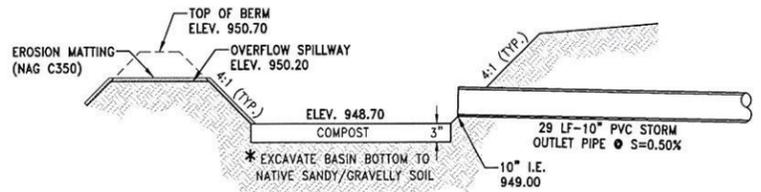
LEGEND:

- 95.3 --- EXISTING CONTOUR
- 953 — PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- 953.00 ● PROPOSED SPOT ELEVATION
- FFE=953.50 - PROPOSED FIRST FLOOR ELEV.
- FYG=953.00 - PROPOSED FINISH YARD GRADE



RAIN GARDEN P-2 DETAIL
NO SCALE

* EXCAVATE BOTTOM OF ENGINEERED SOIL LAYER TO NATIVE SAND/GRAVEL SOILS PER GEOTECHNICAL REPORT. OVEREXCAVATION MAY BE BACKFILLED WITH OTHER ONSITE SAND OR GRAVEL MATCHING NATIVE UNDERLYING SOILS (AS DIRECTED BY GEOTECHNICAL ENGINEER).



RAIN GARDEN P-3 DETAIL
NO SCALE

* EXCAVATE BOTTOM OF ENGINEERED SOIL LAYER TO NATIVE SAND/GRAVEL SOILS PER GEOTECHNICAL REPORT. OVEREXCAVATION MAY BE BACKFILLED WITH OTHER ONSITE SAND OR GRAVEL MATCHING NATIVE UNDERLYING SOILS (AS DIRECTED BY GEOTECHNICAL ENGINEER).

1. TRACKED EQUIPMENT AND LOW WEIGHT VEHICLES SHALL BE USED TO CONSTRUCT RAIN GARDEN.
2. RAIN GARDEN SHALL BE CONSTRUCTED IN A MANNER THAT MINIMIZES SOIL COMPACTION.
3. THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS S100 - COMPOST.
4. REFER TO THE PROPOSED LANDSCAPING PLAN FOR RAIN GARDEN PLANTINGS.
5. ALL RAIN GARDEN SLOPES 4:1 OR GREATER SHALL BE MATTING WITH CLASS 1, TYPE A EROSION MATTING.
6. SOIL TESTS SHOULD BE COMPLETED PRIOR TO RAIN GARDEN CONSTRUCTION TO VERIFY THE DEPTH TO APPROPRIATE SOILS; A QUALIFIED SOILS PROFESSIONAL SHOULD BE ON-SITE TO VERIFY THAT APPROPRIATE DEPTHS ARE REACHED TO HELP ENSURE THE RAIN GARDEN FUNCTIONS PROPERLY.



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PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC
126 E. PROSPECT AVENUE
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
MASTER
GRADING &
DRAINAGE PLAN

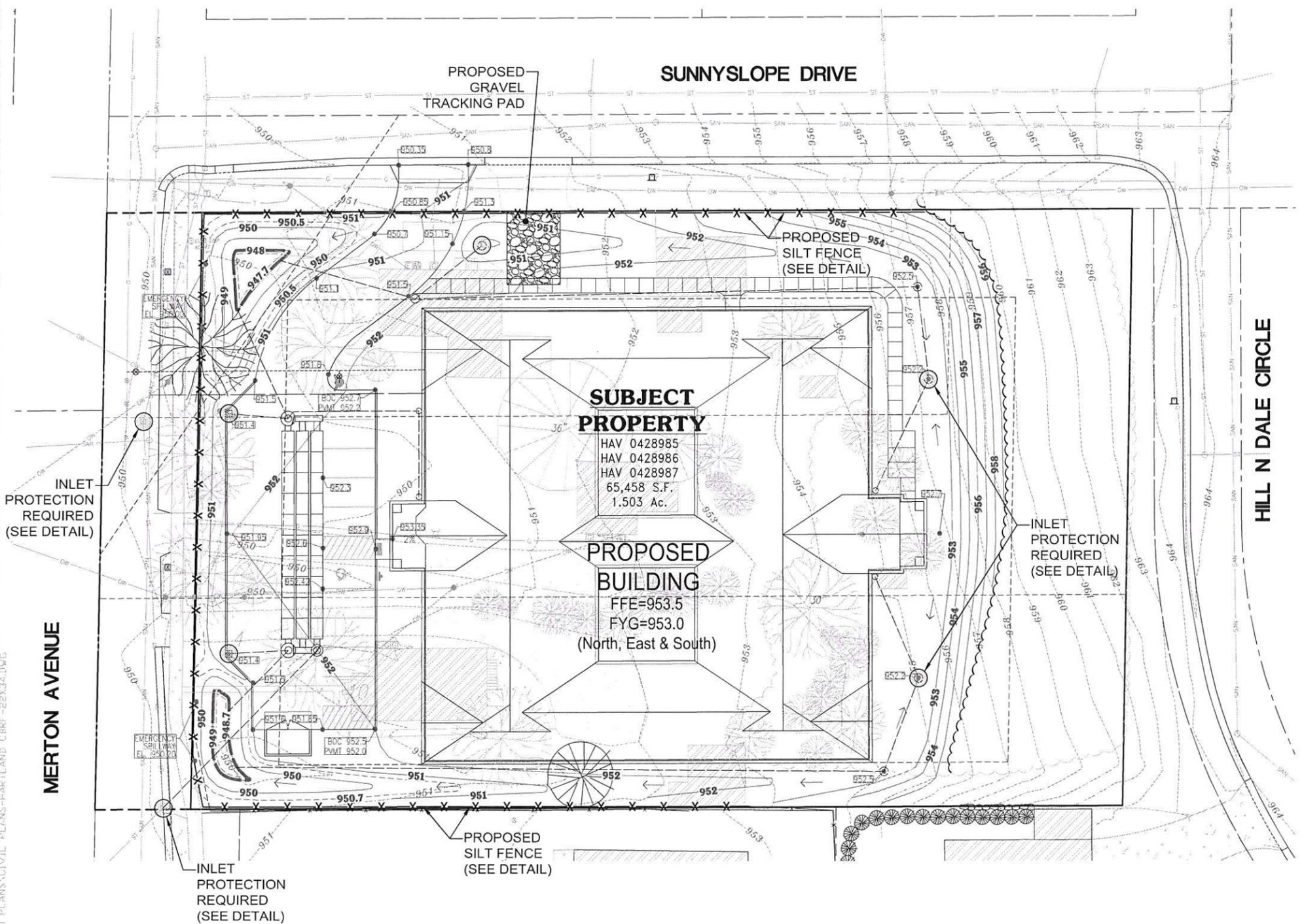
SHEET

C1.2

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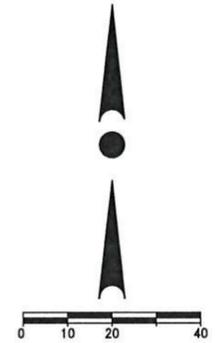
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LEGEND:

- - - 953 - EXISTING CONTOUR
- 953 — PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- 953.00 ○ PROPOSED SPOT ELEVATION
- X — X — PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- ▨ PROPOSED TRACKING PAD

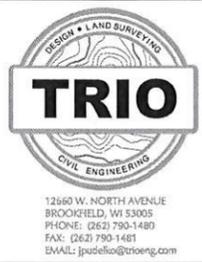


- EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 - EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
 - IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 - EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEEDDED AS OF THAT DATE.
 - TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 - ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
 - ALL SEDIMENT TRAPS, SWALES AND DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO USE.
 - TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 - INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS
 - ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE HR GEOTEXTILE FABRIC PER WisDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
 - EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
 - ALL AREAS TO BE SEEDDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WisDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

- CONSTRUCTION SEQUENCING PLAN**
- INSTALL SILT FENCE AND TRACKING PAD.
 - CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH SILT FENCE INSTALLATION.
 - STRIP TOPSOIL, STOCKPILE AND SURROUND WITH SILT FENCE. SEED TOPSOIL STOCKPILE IF ANTICIPATED IT WILL REMAIN UNDISTURBED FOR GREATER THAN 7 DAYS.
 - BEGIN BUILDING CONSTRUCTION AFTER SECURING ALL REQUIRED CITY, COUNTY AND STATE PERMITS.
 - BUILDING CONSTRUCTION MAY OCCUR CONCURRENT WITH SITE GRADING AND MAY START ANY TIME AFTER STEP 3.
 - BEGIN SEDIMENT TRAPS EXCAVATION CONCURRENT WITH BUILDING FOOTING & FOUNDATION.
 - INSTALL GRAVEL/STONE FROM ENTRANCE AND GRADE AND STABILIZE OVER ENTRY DRIVE AND PROPOSED PARKING LOT FOR STAGING AND VEHICLE ACCESS AREA.
 - GRADE AND STABILIZE TEMPORARY SEDIMENT TRAPS (TO BE COMPLETED CONCURRENT WITH BUILDING CONSTRUCTION), SWALES AND ANY DIVERSION BERMS CONCURRENT WITH MASS SITE GRADING.
 - ROUGH GRADE SITE. NOTE THAT SOME GRADING MAY OCCUR CONCURRENT WITH STEP 4 FOR BUILDING PREPARATION OF BUILDING PAD SITE.
 - INSTALL SANITARY SEWER & WATER MAIN - CONTACT VILLAGE PRIOR TO CONNECTING TO EXISTING WATER MAIN. UTILITY INSTALLATION MAY OCCUR ANY TIME AFTER ROUGH GRADING UTILITY AREAS.
 - INSTALL STORM SEWER CULVERTS, OUTLET PIPE AND DOWNSPOUT COLLECTORS (NON-SEQUENTIAL ITEMS).
 - FINISH GRADE SITE.
 - INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
 - RESURFACE TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AREAS.
 - INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY.

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC
126 E. PROSPECT AVENUE
HARTFORD, WI 53027

REVISION HISTORY

DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

DATE:
APRIL 27, 2015

JOB NUMBER:
15002

DESCRIPTION:
EROSION CONTROL PLAN

SHEET

C1.3

COMPLIANT DOCUMENTATION:

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWC)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDRN STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF HARTLAND DEVELOPMENT STANDARDS, LATEST EDITION.

CONTRACTOR RESPONSIBILITY:

-EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

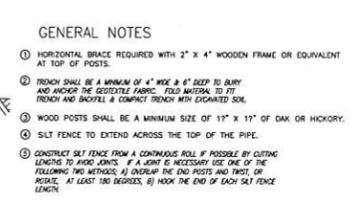
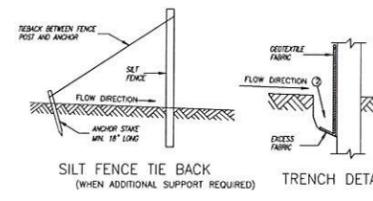
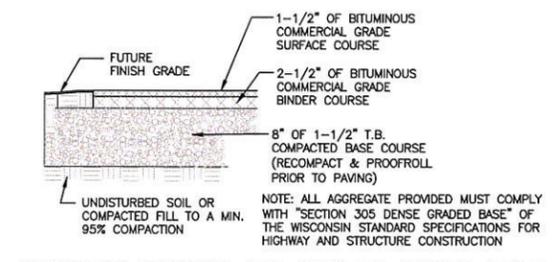
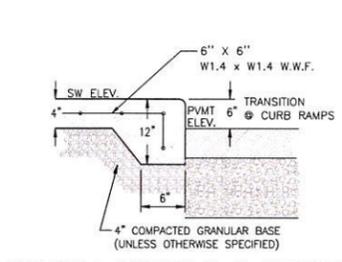
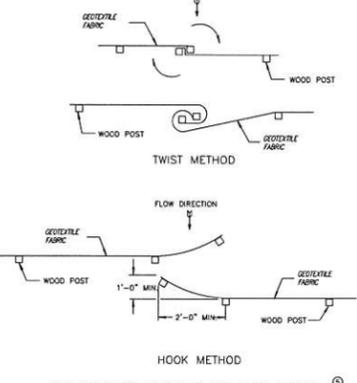
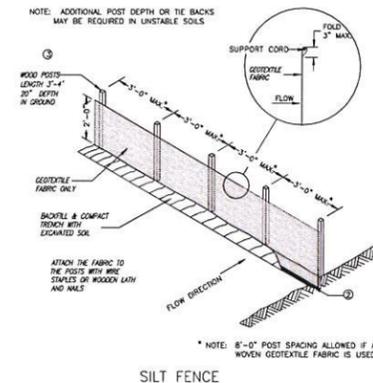
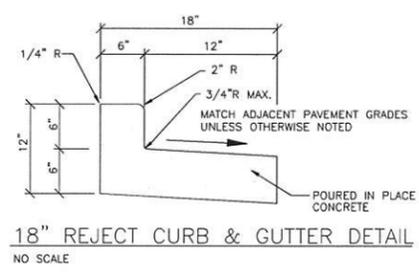
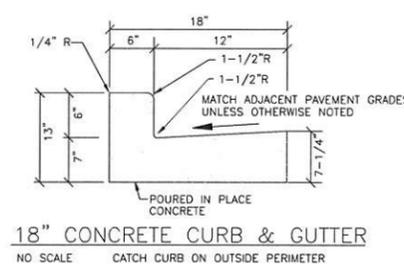
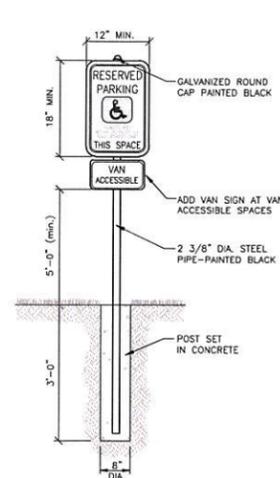
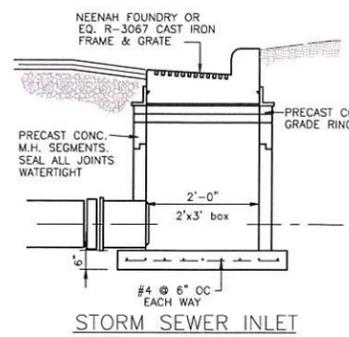
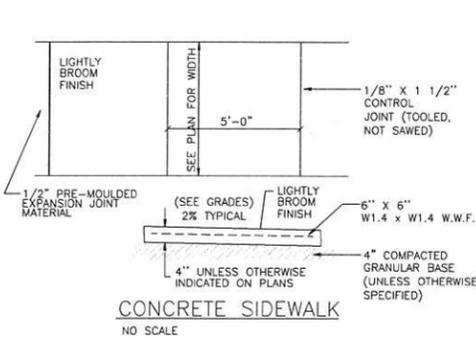
-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ON SITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER CITY, COUNTY AND WDRN REQUIREMENTS PER TECHNICAL STANDARD 1061.

TRAFFIC CONTROL:

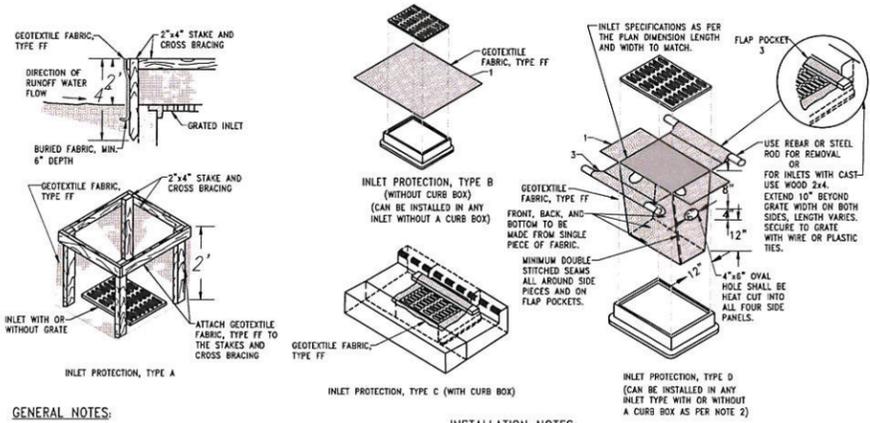
-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

CONSTRUCTION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
2. ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
4. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, CITY OF PEWAUKEE SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
8. INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDRN TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
9. UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
10. ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
11. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
12. REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.



SILT FENCE INSTALLATION DETAIL
NO SCALE

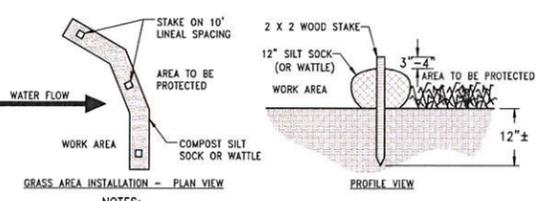
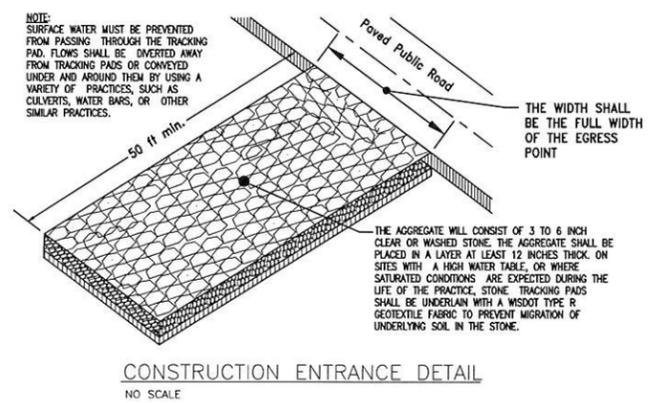


GENERAL NOTES:
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INSTALLATION NOTES:
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

RIP RAP NOTE:
MEDIUM RIP RAP SHALL BE UNDERLAIN WITH TYPE HR GEOTEXTILE FABRIC PER WISCONSIN DOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.



- NOTES:**
1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.

SILT SOCK INSTALLATION DETAIL
NO SCALE

WISCONSIN PROFESSIONAL ENGINEER
JOSHUA D. PUDELKO
E-39420
WAJWATOSA, WI

DESIGN • LAND SURVEYING
TRIO
CIVIL ENGINEERING

12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuddello@trioeng.com

PROJECT:
HARTLAND 32-BED CBRF
VILLAGE OF HARTLAND, WISCONSIN
BY: JPS LIMITED LLC
126 E. PROSPECT AVENUE
HARTFORD, WI 53027

REVISION HISTORY

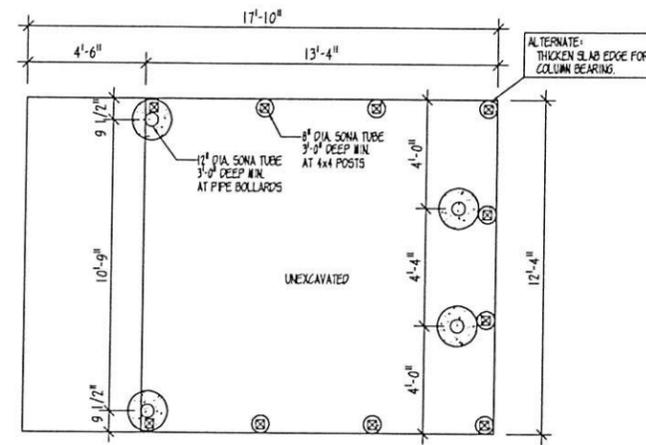
DATE	DESCRIPTION
04/27/15	PER VILLAGE REVIEW
04/03/15	PER COUNTY COMMENT

DATE:
APRIL 27, 2015

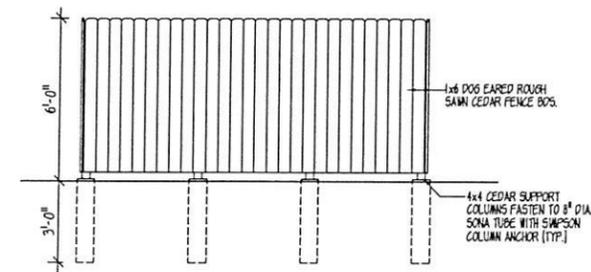
JOB NUMBER:
15002

DESCRIPTION:
CONSTRUCTION NOTES & DETAILS

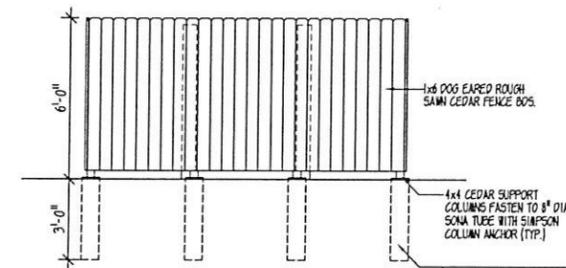
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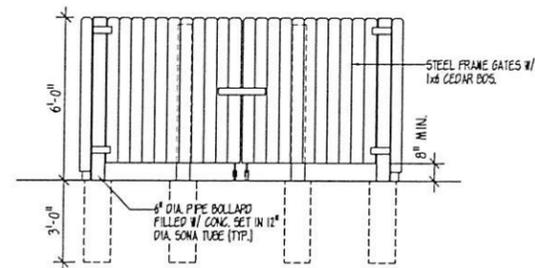
FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



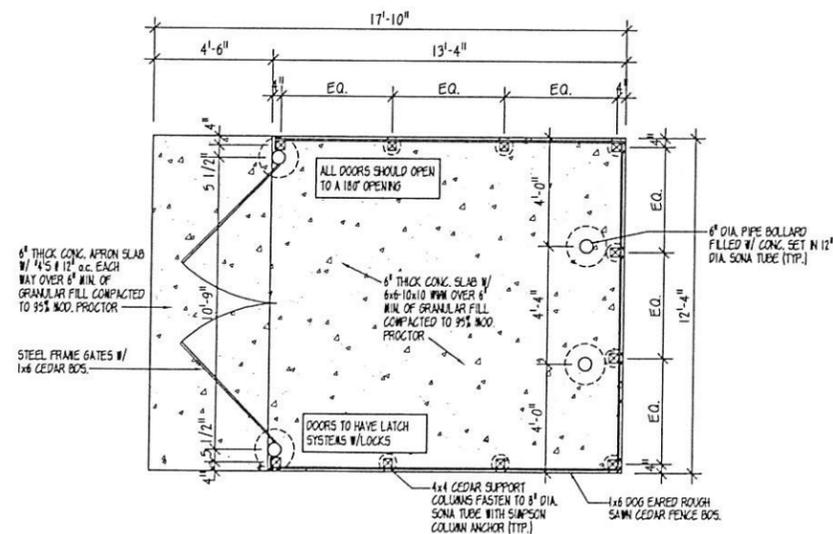
SIDE ELEVATION (TYP.)
SCALE: 3/8" = 1'-0"



REAR ELEVATION
SCALE: 3/8" = 1'-0"



FRONT ELEVATION
SCALE: 3/8" = 1'-0"



FLOOR PLAN
SCALE: 3/8" = 1'-0"

DUMPSTER ENCLOSURE DRAWINGS

PROJECT HARTLAND 32 UNIT CDRP	
	
NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI 53024 http://www.nh-arch.com/ 262.577.4730 or 262.575.2597	
JOB NUMBER JF-8-7700-215	REVISIONS
DATE 5-6-2015	
SHEET A-14	CHECKED BY: C.A.K.
	DRAWN BY: L.S.K.
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April 27, 2015



Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

Attn: Michael Einweck, P.E.
Ryan T. Amtmann, P.E.

Re: Hartland 32-Bed CBRF
Development Plan Comments dated April 14, 2015

Dear Michael and Ryan:

Enclosed please find updated comment responses for the Hartland 32-Bed CBRF for your review and approval. Our responses to your April 14, 2015 comments are provided in bold below.

Comments:

Storm Water Management Plan

1. Need to submit a storm water management plan.
A Storm Water Management Plan has been included for Village review and approval.
2. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.
A storm water maintenance plan and agreement has been included within the Storm Water Management Plan for Village review.

Construction Plan Review

1. A tree survey will be required as there are mature trees being removed.
A tree survey has been included for Village review.
2. Some elevations refer to 800's and some refer to 900's, please update.
Elevations have been updated to refer to the 900 datum throughout the plans.
3. Include details for curb/gutter; paving.
Details have been provided for the curb and gutter and pavement sections.
4. Provide a landscape plan accounting for tree replacements.
A proposed landscape plan has been included for review and approval.
5. Show overflow routes out of rain gardens, reinforce turf along overflows.
Overflow spillways have been labeled on the rain gardens and detailed cross sections have been provided which indicate turf reinforcement.

6. Detail connections to water main and sewer main for services. Slurry backfill within right of way.
Detailed utility connection notes have been added for the water main and sewer services. Slurry backfill has been indicated for any utilities within the right-of-way.
7. Review existing utilities for conflicts with new storm sewer connections to inlets.
Notes have been added to the utility plan which require the contractor to coordinate with the appropriate utility companies for any conflicts encountered during construction.
8. Use RCP for storm sewer within right of way.
RCP storm sewer has been indicated on the utility plan for storm sewer within the right-of-way.
9. Overflow structures – utilize a “raised” inlet grate to prevent clogging.
Overflow structures are no longer included in the rain garden designs.
10. Provide a lighting plan and photometrics.
A lighting plan and photometric calculations will be provided to the Village under separate cover.
11. Prior correspondence with Jay identified some building mechanicals are planned to be located at the southeast corner of the building. This is near residential property. A preferred location would be for the building mechanicals to be located at the northeast corner of the building, with landscape screening.
This comment is noted and will be coordinated and further discussed with the Village.
12. There are notes on the plan “ROW Post” within the new parking lot, what are these?
Labels have been removed from the survey points on the plans. The point description in question was labeled incorrectly.
13. Show dimensions for parallel parking stalls.
Dimensions have been added to the parallel parking stalls.
14. Include a handicap sign and post.
A handicap sign and post has been added to the site plans and a detail has been provided.
15. The Village will review the existing sidewalk within the Merton Ave right of way to see if there are any repairs to the existing sidewalk that should be completed with the project.
This is noted. The developer will coordinate with the Village as necessary.

Summary

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer – submit 2 final copies with all relevant information from previous submittals included.
2 signed and stamped copies of the Construction Plans and Storm Water Management Plan have been provided for review and approval.
2. Village storm water permit and erosion control permit.
3. Village tree protection permit.
4. Village curb cut/right-of-way permit.
5. Building permit
6. Plan of operations.

All necessary permits and other applicable materials will be submitted to the Village at the appropriate time during the review/approval process and/or prior to construction.

The applicant will be required to obtain any other permits determined to be necessary.

Please feel free to contact me with any questions, comments or to further discuss the updated plans.

Sincerely,



Josh Pudelko, M.S., P.E.

President

Trio Engineering

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VILLAGE OF HARTLAND
ORDINANCE NO. _____

**AN ORDINANCE ADOPTING AN AMENDMENT TO
THE VILLAGE OF HARTLAND COMPREHENSIVE DEVELOPMENT PLAN: 2035**

WHEREAS, the Village of Hartland, through its Plan Commission and Board of Trustees, developed and approved *The Village of Hartland Comprehensive Development Plan: 2035*, Waukesha County, Wisconsin; and

WHEREAS, a request has been received to amend the Recommended Land Use Plan (Map 9-6) of said Plan to change the designation for properties located on Merton Avenue south of Sunny Slope Drive, including Parcels HAV 0428985, HAV 0428986 and HAV 0428987 Multi-Family Residential – Senior Development as shown in the attached Exhibit A; and

WHEREAS, the Village Plan Commission held public meetings on April 20 and May 18, 2015 and adopted the amendment to the Recommended Land Use Plan on May 18, 2015, and has submitted a certified copy of the resolution to the Board of Trustees of the Village of Hartland; and

WHEREAS, the Board of Trustees of the Village of Hartland held a public hearing regarding the proposed designation amendment on April 27 and May 26, 2015 and concurs with the Village Plan Commission recommendation to so designate the aforementioned properties.

NOW, THEREFORE, BE IT ORDAINED, that the Board of Trustees of the Village of Hartland hereby adopts the amendment to the Land Use Plan contained in *The Village of Hartland Comprehensive Development Plan: 2035* to designate the properties located on Merton Avenue south of Sunny Slope Drive, including Parcels HAV 0428985, HAV 0428986 and HAV 0428987 Multi-Family Residential – Senior Development.

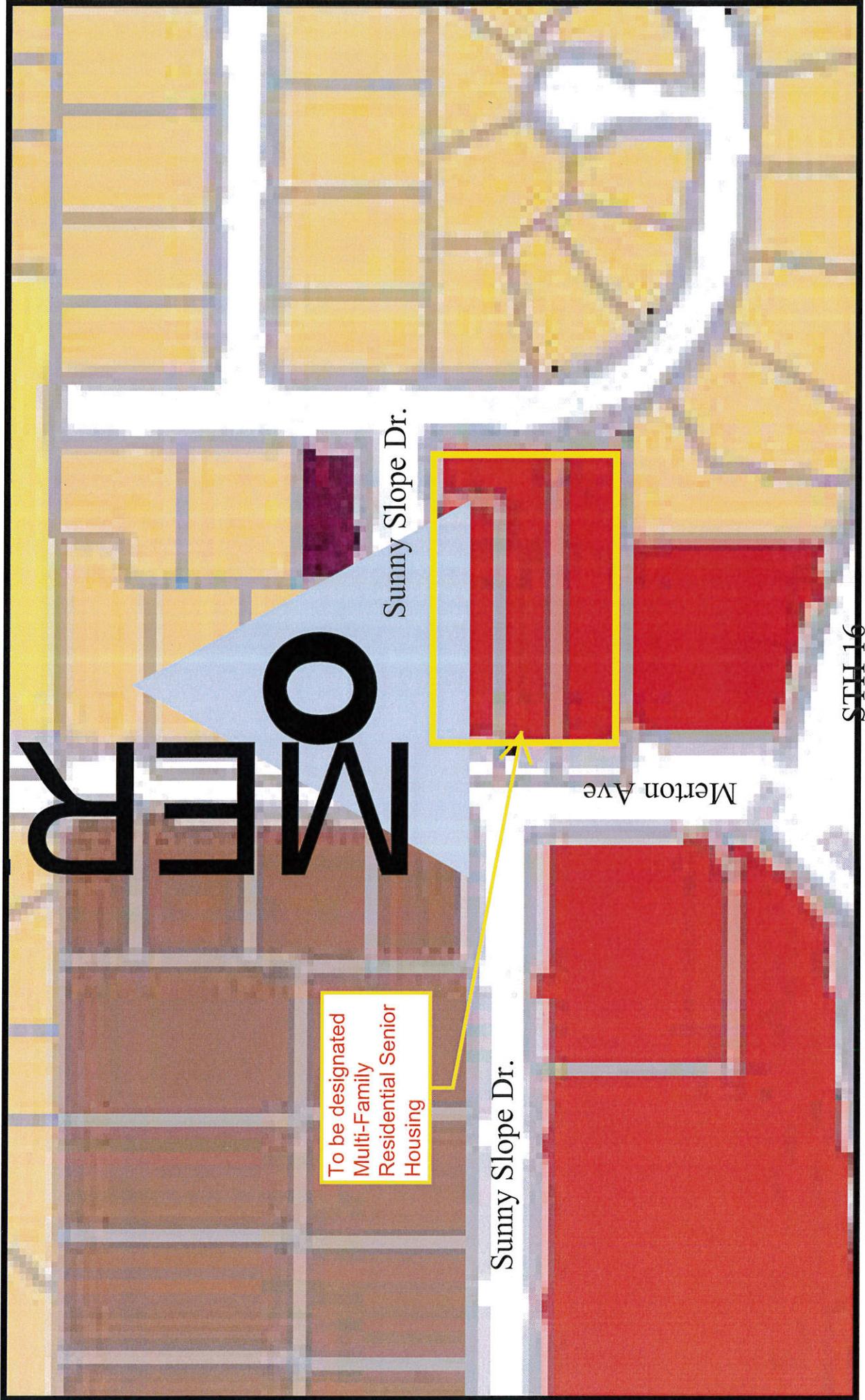
Passed and adopted this 26th day of May 2015, by the Board of Trustees of the Village of Hartland.

David C. Lamerand, Village President

ATTEST:

Darlene Igl, MMC, WCPC, Village Clerk

EXHIBIT A



STH 16

Sunny Slope Dr.

Merton Ave

STH 16

To be designated
Multi-Family
Residential Senior
Housing

Sunny Slope Dr.

VILLAGE OF HARTLAND

ORDINANCE NO. _____

DRAFT - May 22, 2015

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE VILLAGE OF HARTLAND

WHEREAS, The Village of Hartland has received a request to consider the rezoning of properties located on Merton Avenue south of Sunny Slope Drive, including Parcels HAV 0428985, HAV 0428986 and HAV 0428987, from the RD-2 Two-Family Residential and B-1 Neighborhood Business Districts to RM-1 Multiple Family Residential District to allow construction of Memory Care Facility; and

WHEREAS, The Village of Hartland Plan Commission has considered the request and has recommended approval of the request and finds that it is necessary and desirable to amend the zoning of this property as noted above; and

WHEREAS, The Village Board of Trustees conducted a Public Hearing regarding this proposed change on April 27 and May 26, 2015.

NOW THEREFORE, THE VILLAGE BOARD OF THE VILLAGE OF HARTLAND DOES ORDAIN AS FOLLOWS:

Section 1: The Village of Hartland Zoning Map is hereby amended to change the following properties located on Merton Avenue south of Sunny Slope Drive, including Parcels HAV 0428985, HAV 0428986 and HAV 0428987, from the RD-2 Two-Family Residential and B-1 Neighborhood Business Districts to RM-1 Multiple Family Residential District as shown on the attached Exhibit A and described in Exhibit B subject to the provisions of the Zoning Ordinance for the Village of Hartland.

Section 2: If any section, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of such ordinance.

Section 3: This Ordinance shall take effect and be in full force after adoption and proper publication.

Adopted this _____ day of _____, 2015.

VILLAGE OF HARTLAND

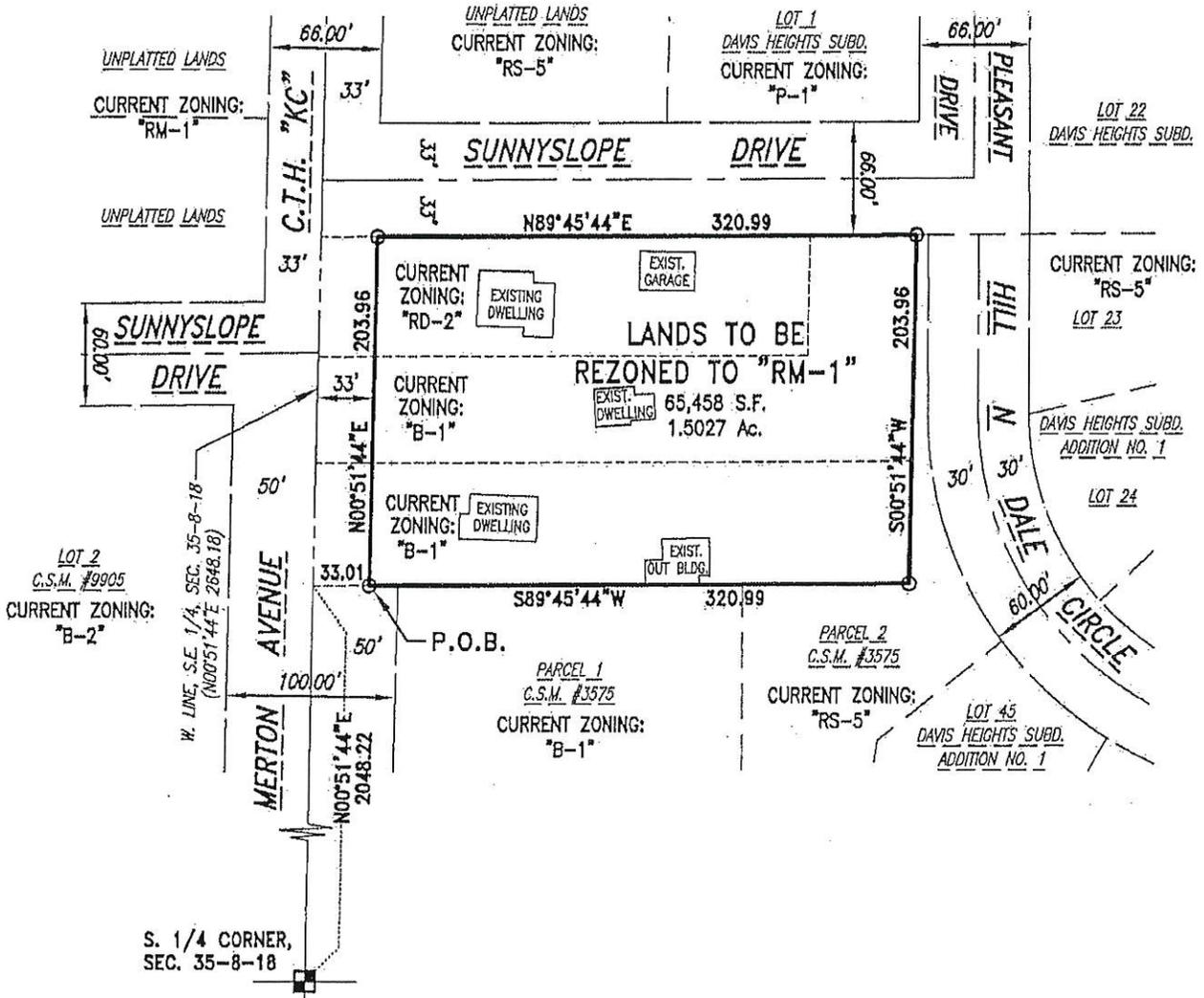
By: _____
David C. Lamerand, Village President

ATTEST:

Darlene Igl, MMC, WCPC, Village Clerk

REZONING EXHIBIT "A"

ALL THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



12660 W. North Avenue
 Building "D"
 Brookfield, WI 53005
 Phone: (262) 790-1480
 Fax: (262) 790-1481



SCALE: 1" = 100'



H:\CS00\886\15002-01\Exhibits\885DEX_REZONING.dwg

THIS EXHIBIT WAS PREPARED BY GRADY L. GOSSER, P.L.S. (S-2972)

DATE: 2-9-15

REZONING EXHIBIT "B"

LANDS TO BE REZONED TO "RM-1"

LEGAL DESCRIPTION:

All that part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

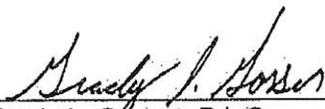
Commencing at the South 1/4 Corner of said Section 35; Thence North 00°51'44" East and along the West line of the said Southeast 1/4 Section and the Centerline of "Merton Avenue" (C.T.H. "KC"), 2048.22 feet to a point; Thence North 89°45'44" East, 33.01 feet to a point on the East Right-of-Way line of said "Merton Avenue" (C.T.H. "KC") and the place of beginning of lands hereinafter described;

Thence North 00°51'44" East and along the said East Right-of-Way line, 203.96 feet to a point; Thence North 89°45'44" East and along the South Right-of-Way line of "Sunnyslope Drive", 320.99 feet to a point; Thence South 00°51'44" West, 203.96 feet to a point; Thence South 89°45'44" West and along the North line of Certified Survey Map No. 3575, 320.99 feet to the point of beginning of this description.

Said parcel contains 65,458 Square Feet (or 1.5027 Acres) of land, more or less.

Date: 2/9/15




Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

CONDITIONAL USE PERMIT
[JPS Memory Care Facility]
Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to JPS Limited, LLC (hereinafter "Grantee") d/b/a Hartland Senior Living, LLC for the operation of a Memory Care Living Facility at the properties located at 430, 438 and 444 Merton Avenue.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of a Memory Care Facility in the RM-1 Zoning District at 430, 438 and 444 Merton Avenue, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0428985, HAV 0428986, HAV 0428987]
OWNER: JPS Limited, LLC
d/b/a Hartland Senior Living, LLC
126 E Prospect Avenue
Hartford, WI 53027

WHEREAS, the Property is located in the RM-1 Multi-Family Residential District; and

WHEREAS, Section 46-374 (1) of the Village of Hartland Code of Ordinances provides that community living arrangements with a capacity for 16 or more persons in the RM-1 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibits A and B and incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20 and May 18, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number
HAV 0428985
HAV 0428986
HAV 0428987

1. the memory care facility may be constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the housing of persons experiencing memory deficiencies, dementia or similarly diagnosed medical situations;
2. the operator of the memory care facility shall operate the facility in accordance with State, federal or other applicable licensing requirements, shall provide adequate 24 hour care and supervision and shall ensure the safety of facility residents including prevention of unanticipated departures from the facility;
3. the operator of the memory care facility will construct and maintain the building and site in accordance with the plans as submitted and as finally approved including stormwater retention, buffers, landscaping and fencing;
4. the operator of the memory care facility shall operate the traffic flow and parking needs of the facility as approved and completely within the limits of the parcel's parking lot;
5. deliveries to the facility shall occur from vehicles in the facility parking lot or on Sunny Slope Drive and shall be coordinated and performed in such manner as to minimize delivery vehicle traffic in the adjoining neighborhood.
6. Servicing of the refuse and recycling containers at the facility shall be performed in such manner to minimize noise and disruption in the neighborhood and shall occur within the hours of 6:30am and 5:30pm.
7. property owner and facility operator shall manage, maintain and operator the business, building and site in accordance with all applicable rules and regulations of the Village of Hartland and other regulatory bodies as those bodies may have jurisdiction;
8. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
9. OTHER CONDITIONS AS PLACED BY PC AND VB;

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate a memory care facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of JPS Limited, LLC.
2. The business activities permitted hereunder are limited to the operation of a memory care facility housing up to 32 residents diagnosed with memory deficiencies, dementia or other similarly diagnosed medical situations.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.

4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the memory care facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on May 26, 2017.

This conditional use permit is hereby issued this 26th day of May, 2015 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



Pd \$300⁰⁰ 4/24/15
Rcpt 161564

RECEIVED

APR 24 2015

ADMINISTRATION
210 COTTONWOOD AVENUE
HARTLAND, WI 53029
PHONE (262) 367-2714
FAX (262) 367-2430

Village of Hartland

APPLICATION FOR
PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description				25,000 sf. addition to Dorner Manufacturing																	
Proposed Use			Production area expansion		No. of Employees		N/A														
Project Location								975 Cottonwood Ave, Hartland													
Project Name								Dorner Manufacturing													
Owner				Dorner Mfg. Brian Baumgart				Phone				262-369-1102									
Address				975 Cottonwood Ave				City		Hartland		State		WI		Zip		53089			
Engineer/Architect				MSI General				Phone		414-333-6800		FAX									
Address				P.O. Box 7				City		Oconomowoc		State		WI		Zip		53066			
Contact Person				ERIC NEUMANN		Phone		414-333-6800		FAX		262-367-7390		E-mail				eric@msi-general.com			

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------



AREA OF BUILDING ADDITION

PAINT COLORS TO MATCH EXISTING

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address P.O. Box 20 - 975 Cottonwood Ave				
Lot	Block	Subdivision	Key No. HAV	
Owner Domer Mnf.		EMAIL brian.baumgart@domer.com	Phone Domer 369-1102	
Address 975		City Hartland	State WI	Zip 53029
Contractor MSI General		Phone 414-333-6800	FAX 6800	
Address P.O. Box 7		City Oconomowoc	State WI	Zip 53066
			EMAIL eric@msigeneral.com	

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs: - N/A

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 05/18/15 Date of Meeting: 05/18/15 Item No. 1

PLAT OF SURVEY

CLIENT
Pinnacle Engineering Group

SITE ADDRESS
975 Cottonwood Avenue, Village of Hartland, Waushara County, Wisconsin.

LEGAL DESCRIPTION

Lot 2 of Cottonwood Commerce Center, being part of the Northeast 1/4 of Section 10, Town 7 North, Range 18 East in the Village of Hartland, County of Waushara, State of Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of the Northeast 1/4 of Section 10, Town 7 North, Range 18 East bears North 00°12'23" East. (NAD-27)

STARTING BENCHMARK

Concrete monument with brass cap at East 1/4 corner of Section 10, Town 7 North, Range 18 East. Elevation = 972.95 (NGVD29)

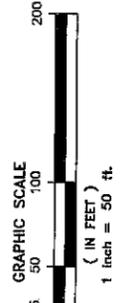
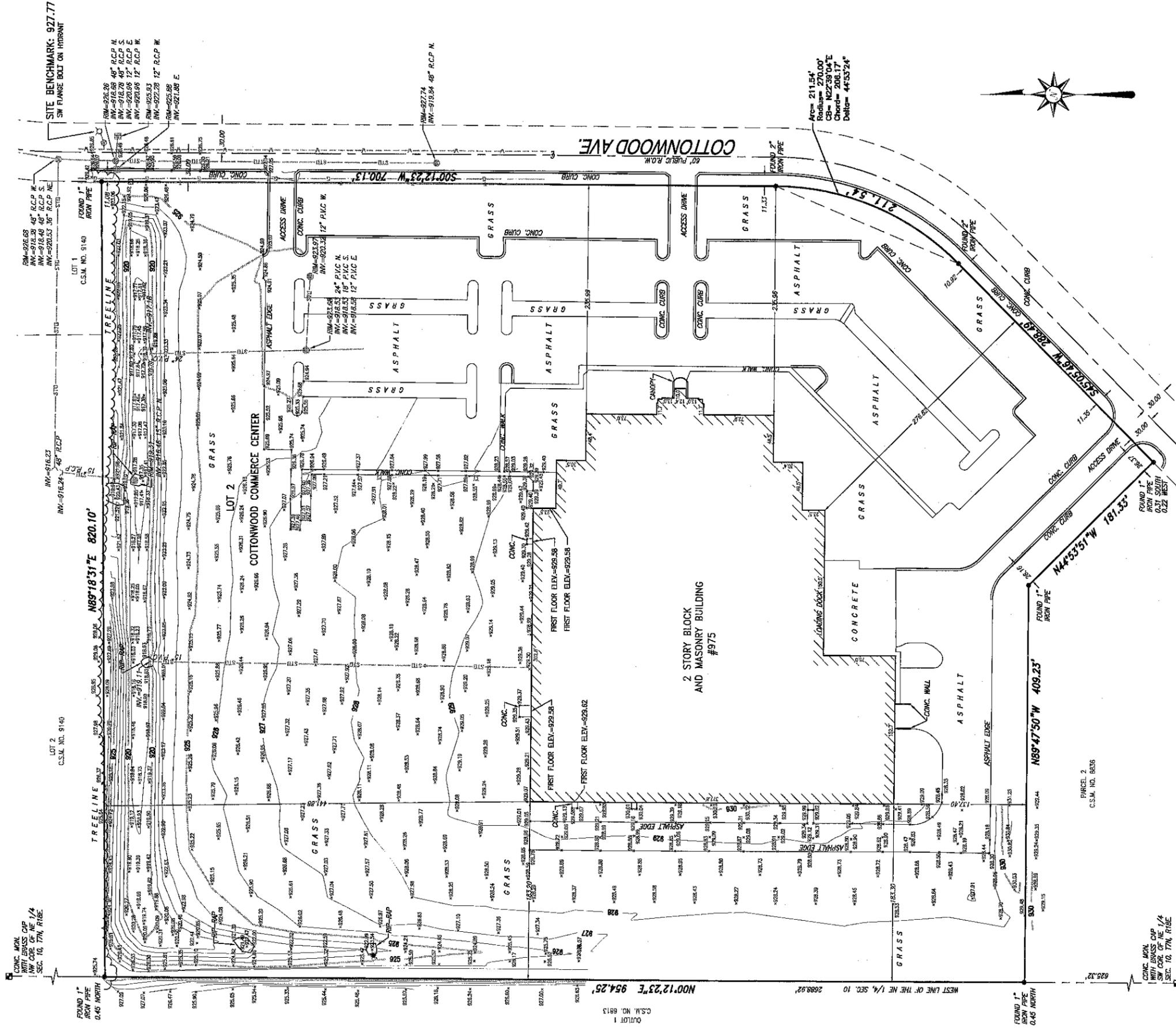
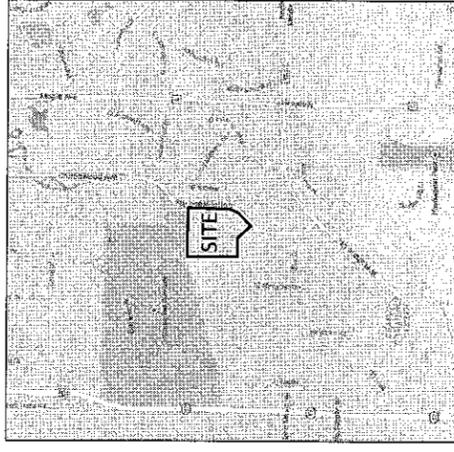
Vertical datum is based on National Geodetic Vertical Datum of 1929.

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES FOUND CHISELED CROSS
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ M.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SERVICE CURB STOP
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SHOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER

- ☐ TELEPHONE PEDESTAL
- ☐ CABLE PEDESTAL
- ☐ CONTROL BOX
- ☐ FIBER OPTIC SIGN
- ☐ TRAFFIC LIGHT
- ☐ COMMUNICATION MANHOLE
- ☐ ROLLAWAY
- ☐ SOIL BORING/MONITORING WELL
- ☐ WATER SURFACE
- ☐ WETLANDS FLAG
- ☐ MARSH
- ☐ PARKING METER
- ☐ SIGN
- ☐ MAILBOX
- ☐ HANDICAP CROSSING SIGNAL
- ☐ HANDICAP SPACE
- ☐ CONIFEROUS TREE
- ☐ DECIDUOUS TREE
- ☐ SANITARY SEWER
- ☐ STORM SEWER
- ☐ WATERLINE
- ☐ WATER METER
- ☐ MARKED GAS MAIN
- ☐ MARKED ELECTRIC
- ☐ OVERHEAD WIRES
- ☐ MARKED CABLE TV LINE
- ☐ MARKED FIBER OPTIC
- ☐ FENCE

VICINITY MAP



REVISION TABLE

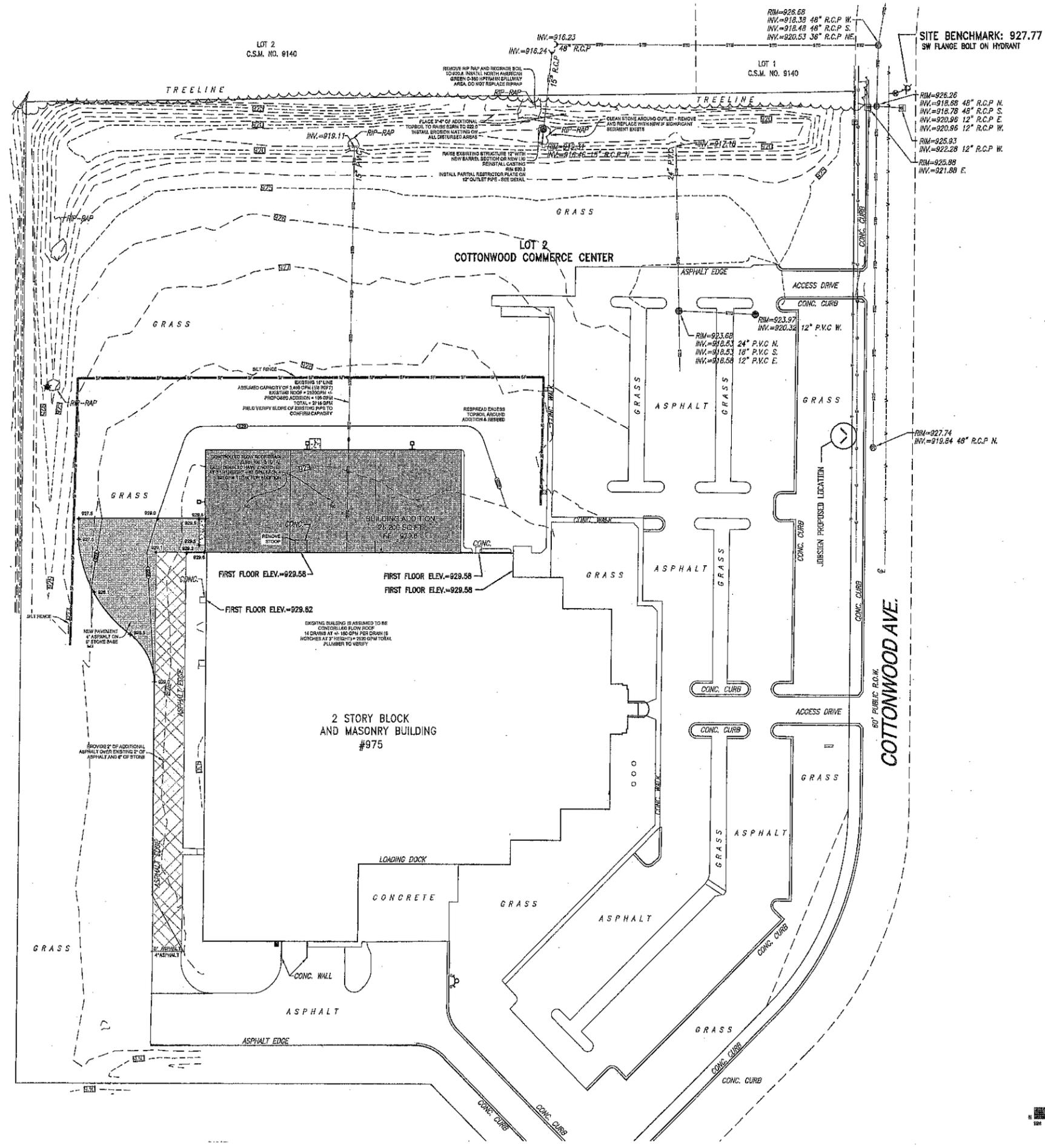
Revision No. 1	
Revision No. 2	
Revision No. 3	

I Certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments of any kind. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

Date: April 9, 2015

Donald C. Chapat
Professional Land Surveyor
Registration Number S-1316

CHAPUT LAND SURVEYS, LLC
224 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com




PINNACLE ENGINEERING GROUP
 CONSULTING ENGINEERS
 1000 W. WISCONSIN AVENUE
 SUITE 200
 WISCONSIN, WI 53090

PLAN | DESIGN | DELIVER
 CONSULTING ENGINEERS

GRADING & EROSION CONTROL PLAN



MSI GENERAL CORPORATION
 P.O. BOX 7
 OCONOMOWOC, WI 53066
 PHONE: 262-567-5661
 FAX: 262-567-7590

WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

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PROJECT ADDRESS:
 PROJECT NAME
 Dorner Manufacturing Corporation
 STREET ADDRESS
 975 Cottonwood Ave.
 CITY/STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 06.13.15
 Drawn By: Tony Zull
 Sheet Title: GRADING & EROSION CONTROL PLAN
 Sheet Number: **C-102**
 Project Number: P-11337
4387

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



MSI GENERAL CORPORATION
P.O. BOX 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661
FAX: 262-367-7390

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PROJECT ADDRESS:
PROJECT NAME
Dorney Manufacturing Corporation
STREET ADDRESS
975 Cottonwood Ave.
CITY/STATE/ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 05.13.15
Sheet Title: DETAILS & SPECIFICATIONS
Sheet Number: C-501
Project Number: 4387
Drawn By: Tony Zulli
F-11337

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 309.39-39.63, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL DO ALL HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL INDICATE TO THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION KNOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-245-4911 TO VERIFY THE UTILITY OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.2" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- ANY ADJACENT PROPERTIES OR ADJACENT RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
- TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
- THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

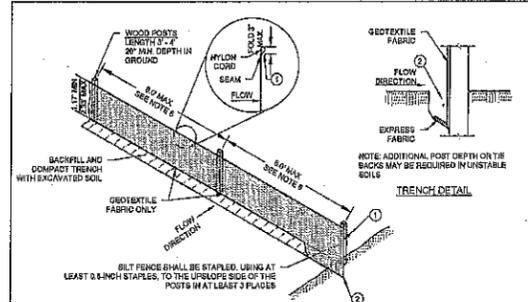
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH EPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR Haul OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
- SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
- THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERSEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
- IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIAL, FREE OF ALL ORGANIC, FROZEN OR OTHER DETERIORATED MATERIAL AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF FROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERLAIN, AND COMPACTING THE EXPOSED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIAL SHALL BE FREE OF ANY DETERIORATED ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-2922) AND PLASTICITY INDEX (ASTM D-2922) OF 25 AND 10 RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP THREE (3) INCHES OF COMPACTED FILL SHALL HAVE A MAXIMUM THREE (3) INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6) INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO BE PLACED ON TOP OF EXISTING SUBGRADE OR GRANULAR FILL, IT MUST BE CLASSIFIED AS A CLEAN G.O. OR B.G. OR M.P. UNLESS SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SPARSE SUBGRADE AND GRANULAR SOILS SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-1557) FOR THE TYPE OF MATERIAL TO BE PLACED. FOR GRANULAR SOILS, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SPARSE SUBGRADE AND GRANULAR SOILS SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY OF OPTIMUM WETNESS WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTOR EQUIPMENT BEING USED. THE COMPACTOR EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTOR. BALLISTICS OR SIMILAR TESTED METHODS ARE TYPICALLY NOT SUITABLE FOR CONSTRUCTION MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DRYING HARDENING OR FLUORIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE FROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- SUBGRADE TOLERANCES ARE 1/4" FOR LANDSCAPE AREAS AND 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
- TOPSOIL SHALL BE FREE OF DETERIORATED MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY CYCLES OR PUMPS TO ALLEVIATE WATER PONDING. ANY DRAINAGE SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DRAINAGE TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
- CONTRACTOR IS ADVISED THAT ALL HULL AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE FOREVER DAMAGED, AND ALL ADJACENT PROPERTIES SHALL BE RESTORED TO ORIGINAL CONDITION.

SPECIFICATIONS FOR PRIVATE UTILITIES

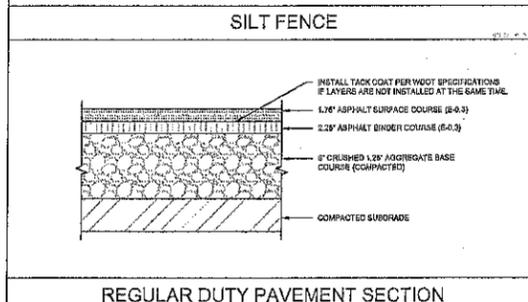
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REVISION.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORRED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING BLEEVE.
- EXPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN INPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
- CONTRACTOR SHALL NOT BRUT OFF WATER OR FLUID SANITARY SEWER IN MUNICIPAL AREAS WITHOUT PRIOR APPROVAL.
- MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS R-12. FOR PIPE 60" OR LESS IN DIAMETER, PVC ASTM D-3034, 5000 LB. MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM D-76, CLASS II OR HONER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PIPES AND SHALL BE CLASS "C" FOR CONCRETE MANHOLES. INLETS AND DITCH BASINS SHALL BE PRECAST REINFORCED CONCRETE, ASTM C-408. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAWS SHALL BE AS SHOWN OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-2732. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MADE WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 3" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
- MATERIALS FOR WATER SERVICES AND PRIVATE HYDRAULIC SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C-151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP. CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 8" COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE MONROE STEEL, RESILIENT SEATED GATE VALVES CONFORMING WITH AWWA C-600 WITH A THESE PRESS CAST IRON VALVE BOX. INSTALL THURST BLOCKS AT ALL ENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 6 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
- TRACER WIRE (NO. 8 ENAMEL STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVE BOX TERMINAL BOX AT EACH END.
- MANHOLE TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
- UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

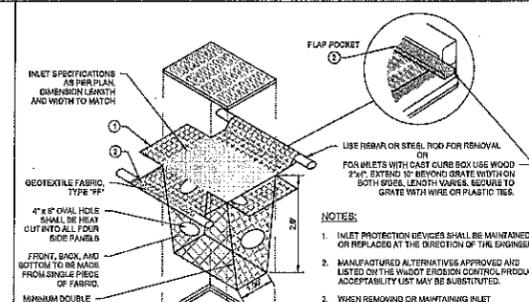
- AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE SPECIFICATION REQUIREMENTS SECTIONS 201.2 AND 202.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BARS SHALL BE 1/4" INCH DIAMETER UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
- SUBGRADE SHALL BE PROOF-ROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
- EXISTING PAVEMENT SHALL BE SAWCUT IN HEAVY TRAFFIC LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURBS AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
- ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE ESTABLISHED MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 402 AND 400 TYPE 6-0.2 IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
- CONCRETE FOR CURBS, DRIVEWAYS, WALKS AND NON-TROWEL SLABS SHALL CONFORM TO SECTION 410 OF THE STANDARD SPECIFICATIONS. GRADE A, ASTM C-84, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,600 PSI. JOINTING SHALL BE PER SECTION 413.1 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.18 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IS CONFORMANCE WITH SECTION 415.3.18 IS REQUIRED.



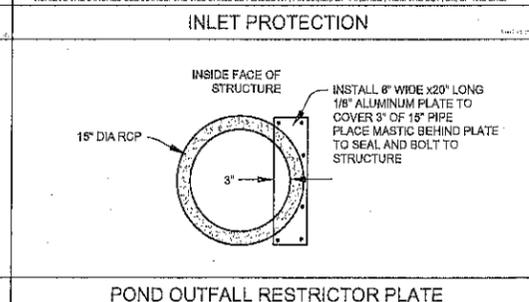
- NOTES:**
- ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WIDEN TECHNICAL STANDARD 1036.
 - GEO-TEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 607 GEO-TEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 90 FOR NONWOVEN AND 50 FOR WOVEN.
 - SILT FENCES SHALL BE MONITORED BY SPREADING AT LEAST 4 INCHES OF FABRIC IN A 4 INCH WIDE AND 4 INCH DEEP TRENCH ONE INCH DEEP TRENCH ON THE UPSIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 - FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125 INCHES x 1.125 INCHES OF DRIED OAK OR HICKORY.
 - SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
 - POST SPACING SHALL BE 96 BOLTED BASED ON GEO-TEXTILE FABRIC (#FEET FOR WOVEN AND 3 FEET FOR NON-WOVEN).



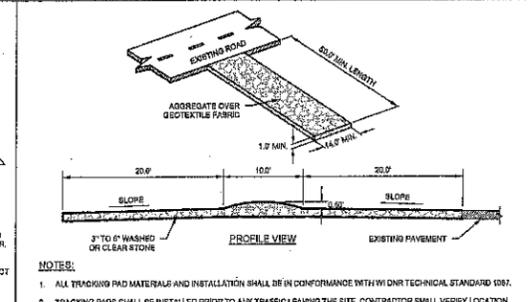
REGULAR DUTY PAVEMENT SECTION



- NOTES:**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE ENGINEER.
 - MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 - WHEN REMOVED OR MAINTAINING INLET PROTECTION DEVICES SHALL BE TAKEN CARE THAT THE SEDIMENT TRAPPED ON THE GEO-TEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKET'S WHERE PROVIDED, SHALL EXCEED A MINIMUM OF 18 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FLAP POCKET'S SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 INCH X 4 INCH.
- INSTALLATION NOTES:**
- DO NOT INSTALL INLET PROTECTION TYPE "A" IN INLETS SHALLower THAN 20 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 - TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 2 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CHAIN THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 2 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.



POND OUTFALL RESTRICTOR PLATE



- NOTES:**
- ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WIDEN TECHNICAL STANDARD 1037.
 - TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
 - THE AGGREGATE FOR TRACKING PADS SHALL BE 3/4" TO 1 1/2" WASHED OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3-INCH SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEO-TEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 607 GEO-TEXTILE TABLE 1 OR 2, CLASS I OR II, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC. WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 3 FEET LONG.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 - TRACKING PADS SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE

PINNACLE ENGINEERING GROUP
ENGINEERING PROFESSIONAL RESOURCES
WWW.PINNACLEENGINEERING.COM

DETAILS & SPECIFICATIONS

NEW PAVEMENT IN TRUCKING
AREA TO BE 4" ASPHALT
ON 6" STONE.

PROVIDE 2" OF ADDITIONAL
ASPHALT OVER EXISTING
2" OF ASPHALT AND 6" OF
STONE

30'-0"

FIRE ACCESS ROAD

SLAB

378'-0"

B2
(15')

200'

DEMO 10'X10'
CONC. SLAB

B4
(30')

BUILDING
ADDITION
25,200 SQ. F.

B5
(15')

303'-0"

EXISTING
BUILDING
126,650 S.F.

S14
S2.3

S15
S2.3

ROOF
SCREEN

B7
(15')

ON OF
R LINE

SITE PHOTOMETRIC PLAN NO SCALE



MSI GENERAL CORPORATION
P.O. BOX 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661
FAX: 262-367-7390

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PROJECT ADDRESS:

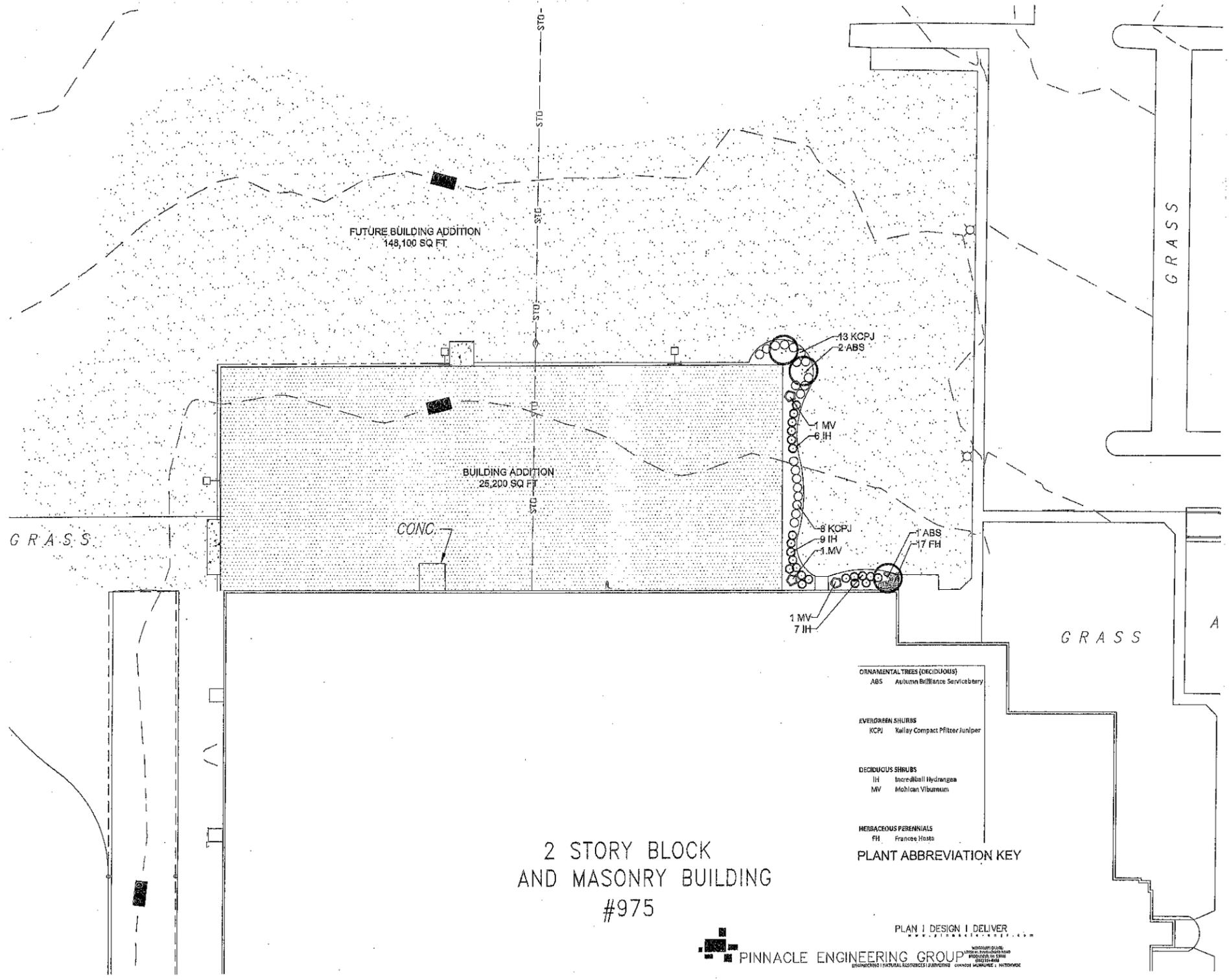
PROJECT NAME
Dorner Manufacturing Corporation
INTERIOR EXPANSION
975 Cottonwood Ave.
OCONOMOWOC, WI 53066
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN
ACCORDANCE WITH THE LATEST EDITION OF THE
MSI GENERAL MASTER SPECIFICATION

Date: 05.13.15 Drawn By: Tony Zull

Sheet Title: SITE PHOTOMETRIC PLAN
Sheet Number: C-101

Project Number: 4387 P-11337



2 STORY BLOCK
AND MASONRY BUILDING
#975

- ORNAMENTAL TREES (DECIDUOUS)
ABS Autumn Bl(Wance Serviceberry)
- EVERGREEN SHRUBS
KCPJ Kallay Compact Pfliter Juniper
- DECIDUOUS SHRUBS
IH Incredible Hydrangea
MV Mohican Viburnum
- HERBACEOUS PERENNIALS
FH Frances Hosta
- PLANT ABBREVIATION KEY

PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP
ENGINEERING | LANDSCAPE ARCHITECTURE | INTERIORS | GRAPHIC COMMUNICATIONS | NETWORKING

LANDSCAPE PLANTING PLAN



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53086
262.367.3661
FAX. 282.367.2784

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REVISIONS:

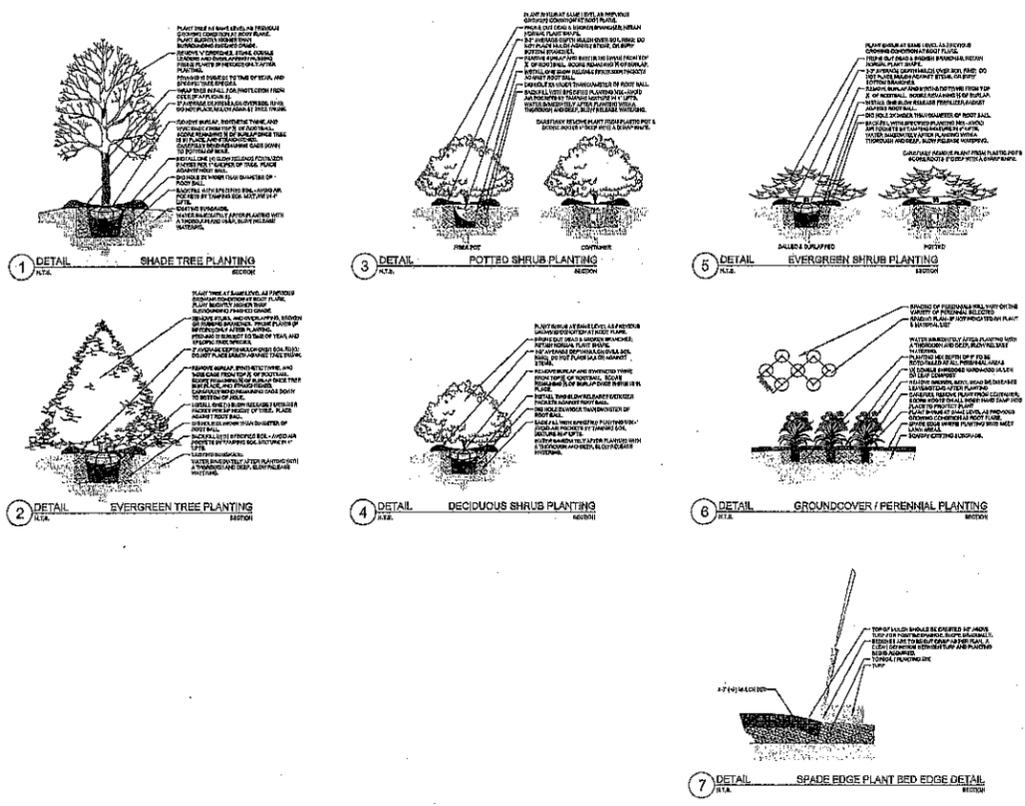
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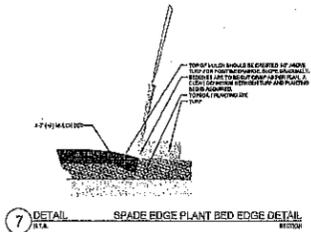
PROJECT NAME
Dorner Manufacturing Corporation
STREET ADDRESS
976 Cottonwood Drive
CITY/STATE/ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 05.18.16 Drawn By: PEG
Sheet Title: LANDSCAPE PLAN
Sheet Number: L-100
Project Number: 4387 P11337



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8611) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z80.1 ANSI (latest version). Landscape Architect reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 60% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Re-fill the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 6"-10". Contaminated and balled & burlapped plant material should be back-filled with amended soil.
 - Per 100 SF of bed area (Soil Amendment composition):
 - 3/4 CY Peat Moss or Mushroom Compost
 - 1/4 CY Blended/Pulverized Topsoil
 - 1/4 CY Composted Manure
 - In rock-filled beds only, also include in above mixture:
 - 2 lbs Starter Fertilizer



PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAULIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
ORNA	3	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVER	21	Juniperus chinensis 'Yakley'	Kalray Compact Pfitzer Juniper	24" w	Cont.	Full rounded well branched shrub
DECIDUOUS SHRUBS						
HY	22	Hydrangea arborescens 'Abetwe'	Incrediball Hydrangea	45"	Cont.	Full, well rooted plant, evenly shaped
VI	3	Viburnum lufowii 'Mokkan'	Mokkan Viburnum	40"	B&B	Full, well rounded plant with moist rootball and healthy appearance
PERENNIALS						
FH	17	Hosta fortunei 'France'	France Hosta	31"	Cont.	Full, well rooted plant, evenly shaped
LAWN						
	6550	Lawn Establishment Area / Grading Area		5"		Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-312-6807)
	58900	Erosion Matting for sloped seeded areas	see plan for area delineation	SF		EroTex D875 Erosion Control Blanket (or approved equal)
Landscape Materials						
	11	Shredded Hardwood Mulch (3" depth)	1,200 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
	7	Soil Amendments (2" depth)	1,200 SF		CY	
	90	Pulverized Topsoil (Lawn Area)	38,500 SF		CY	
	7	Pulverized Topsoil (2" over bed areas)	1,200 SF		CY	
Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and quantities depicted therein shall govern.						
Seed Composition:						
Cedar Creek Premium Blue Tag (Ph: 888-312-6807)				Seed at rate of 30 lbs per 1000 SF		
10% Mid Atlantic Kentucky Bluegrass				30% Atlantic Kentucky Bluegrass		
20% North Kentucky Bluegrass				30% Dragon Kentucky Bluegrass		
20% Boreal Red Fescue				10% Palmer III Fine Perennial Ryegrass		
20% Pennant Fine Perennial Ryegrass						

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in Item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

PLAN | DESIGN | DELIVER
 PINNACLE ENGINEERING GROUP
 ENGINEERING | ARCHITECTURE | INTERIORS | LANDSCAPE ARCHITECTURE

LANDSCAPE DETAILS & NOTES



MSI GENERAL CORPORATION
 P.O. BOX 7
 OCONOMOWOC, WI 53066
 262.367.3561
 FAX: 262.367.2764

SINGLE SOURCE RESPONSIBILITY

REVISIONS:
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PROJECT ADDRESS:
 PROJECT NAME
 Dornier Manufacturing Corporation
 STREET ADDRESS
 975 Cottonwood Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 05.13.15
 Drawn By: PEG
 Sheet Title: LANDSCAPE PLAN
 Sheet Number: L-101
 Project Number: 4387
 P11387



MANAGERS

MSI GENERAL CORPORATION
P.O. BOX 7
COCOMONGOC, WI 53066
PHONE: 262-367-3661
FAX: 262-367-7396

WWW.MSIGENERAL.COM

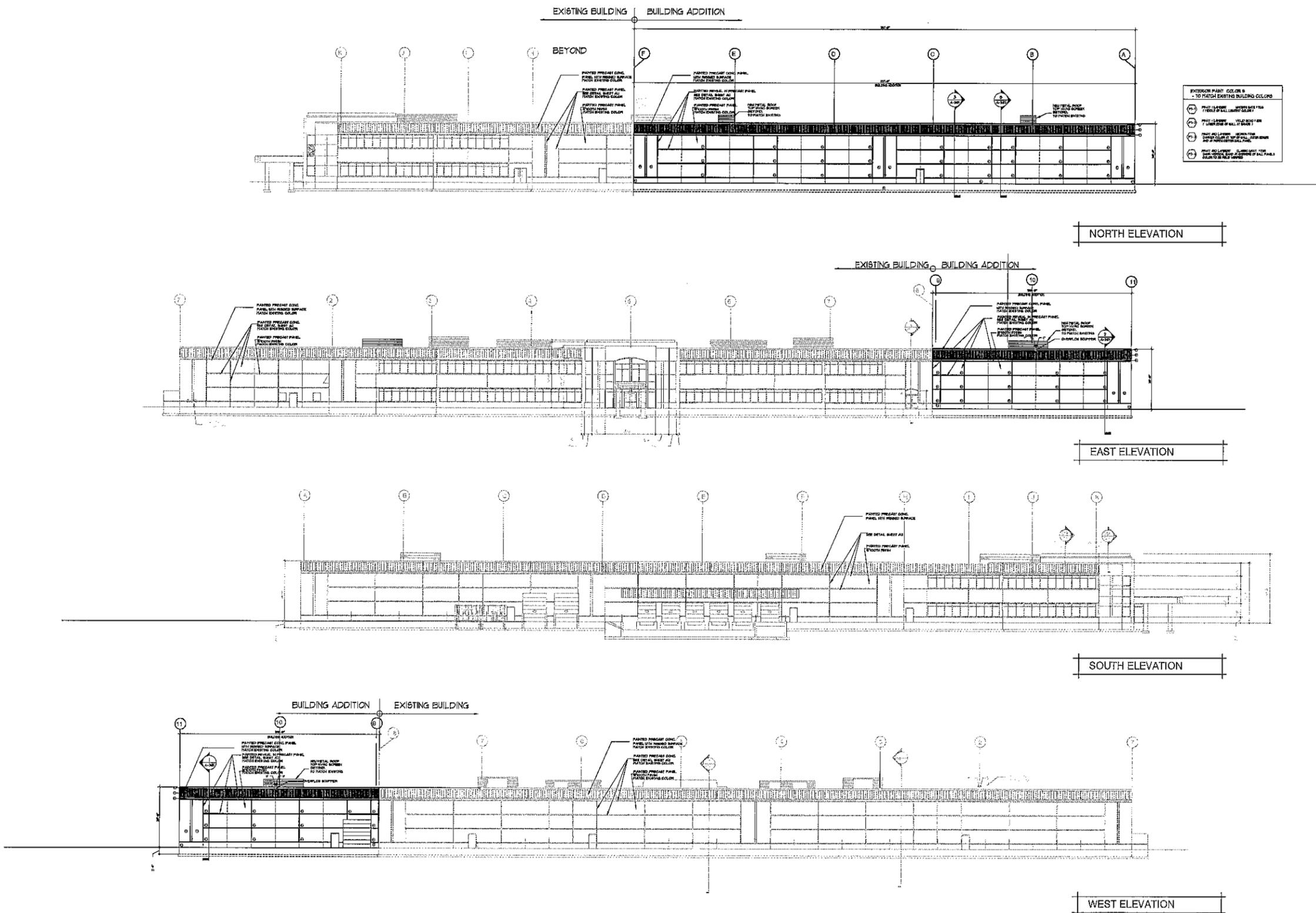
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ENGINEERS

CONTRACTORS

ARCHITECTS

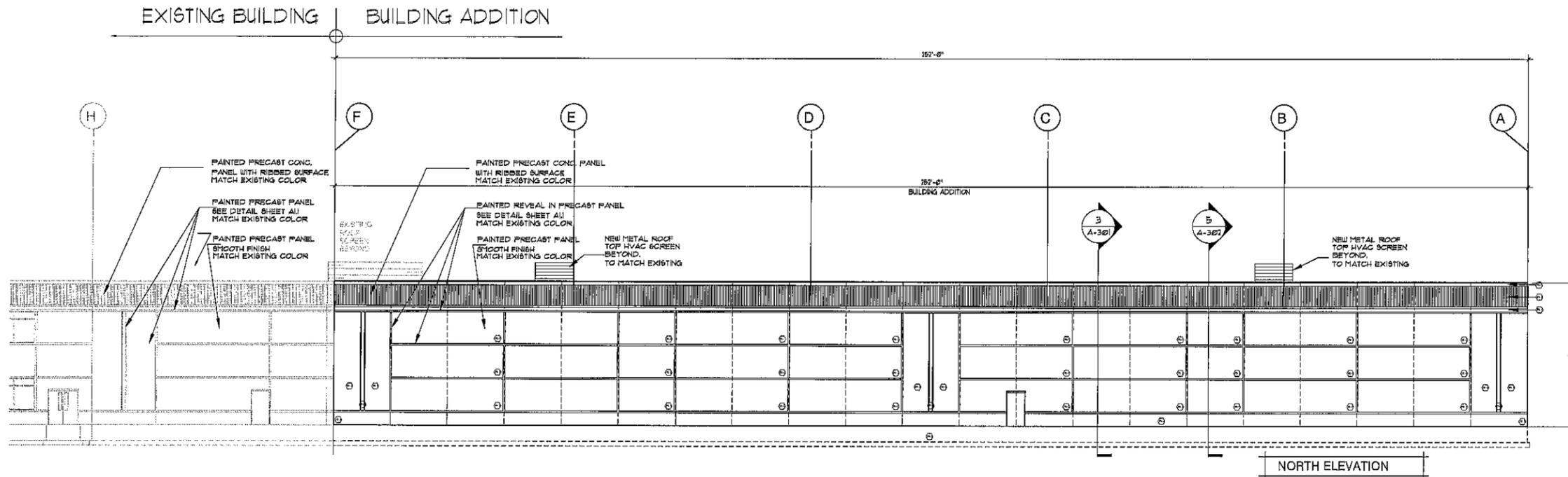


PROJECT ADDRESS:
PROJECT NAME:
Donner Manufacturing Corporation
STREET ADDRESS:
675 Cottonwood Ave.
TOWN/STATE/ZIP:
Hartland, WI 53029

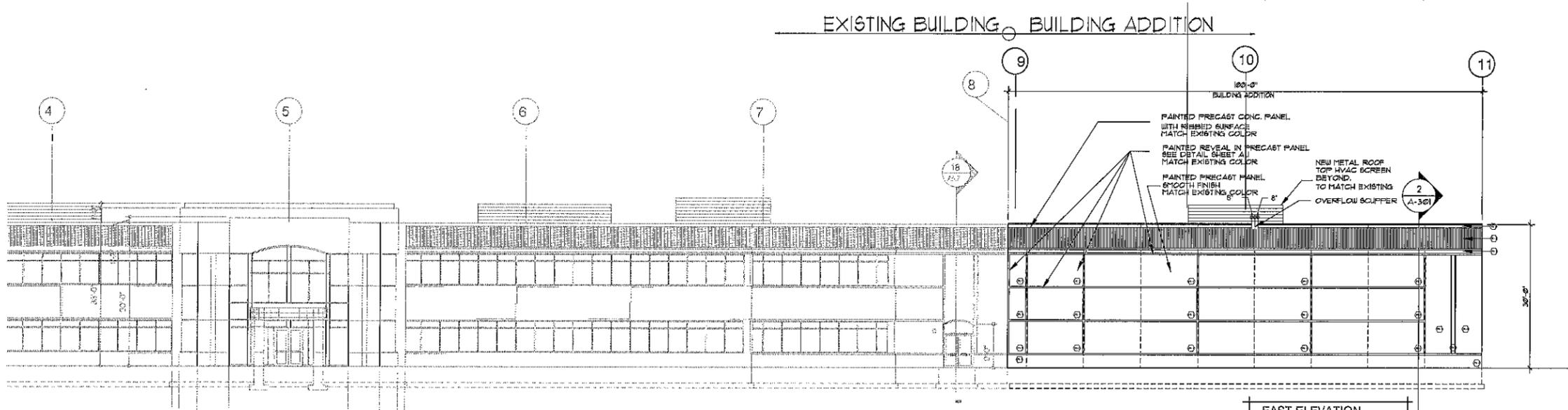
ALL WORK TO BE COMPLETED AS SHOWN AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MECHANICAL HANDBOOK SPECIFICATION.

Date: 08-13-16 Drawn By: Tony Zulli
Sheet Title: EXTERIOR ELEVATIONS
Sheet Number: A-201
Project Number: P-11539
4387

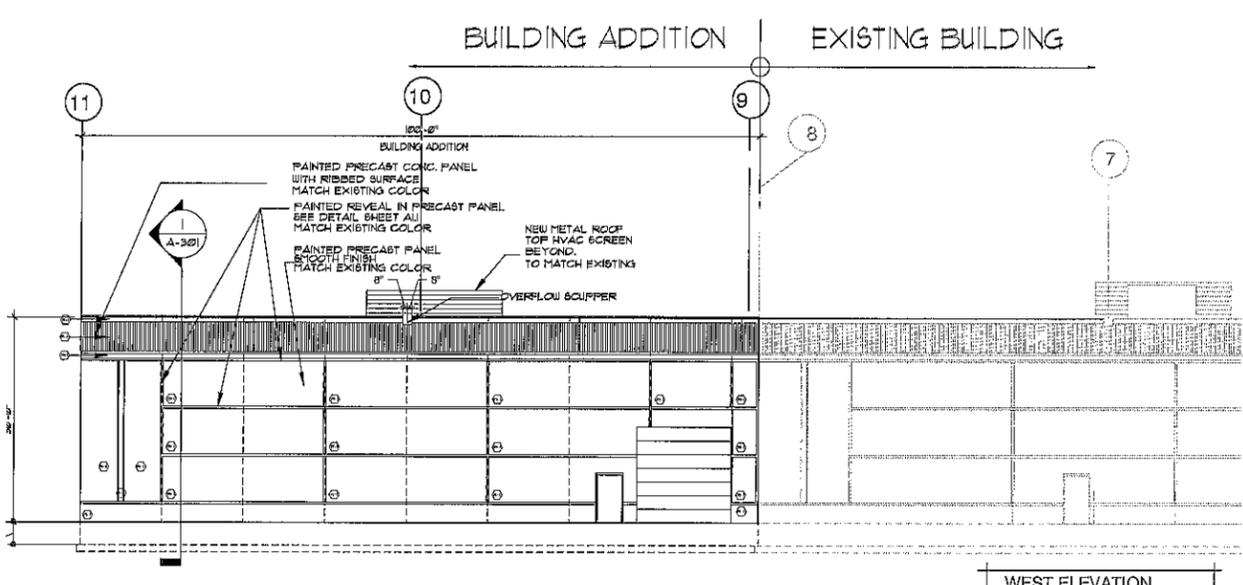
ELEVATIONS 1/16" = 1'-0"



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

**EXTERIOR PAINT COLOR S
- TO MATCH EXISTING BUILDING COLORS**

PT-1	FRATT & LAMBERT (MIDDLE OF WALL LIGHTEST COLOR)	WINTERS GATE # 2238
PT-2	FRATT & LAMBERT (LOWER EDGE OF WALL AT GRADE)	VIOLET ECHO # 2322
PT-3	FRATT AND LAMBERT DARKER COLOR AT TOP OF WALL , OUTER EDGES AND AT NORTH CENTER WALL PANEL	HEDRICH # 2301
PT-4	FRATT AND LAMBERT DARK VERTICAL BAND AT CORNERS OF WALL PANELS COLOR TO BE FIELD VERIFIED	CLASSIC GRAY # 2201



MSI GENERAL CORPORATION
P.O. BOX 7
COONINGWOOD, WI 53066
PHONE: 262-367-3661
FAX: 262-367-7390

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PROJECT ADDRESS:
ARCADY 13132
Dorner Manufacturing Corporation
13132 ARCADY RD.
979 Gortonwood Ave.
CITY STATE ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSIGENERAL MASTER SPECIFICATION.

Date: 05.13.10 Drawn By: Tony Zull
Sheet Title: PARTIAL ELEVATIONS
Sheet Number: A-202
Project Number: P-11337
4387

PARTIAL ELEVATIONS 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

APPLICATION FOR
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <i>Relocate Front Fence</i>					
Proposed Use				No. of Employees	
Project Location <i>630 E. INDUSTRIAL Dr.</i>					
Project Name <i>Kinney Properties Fencing</i>					
Owner <i>Kinney Properties</i>			Phone <i>262-893-4930</i>		
Address <i>7051 Leanne Ct</i>		City <i>Hartland</i>		State <i>WI</i>	Zip <i>53029</i>
Engineer/Architect <i>None</i>			Phone		FAX
Address		City		State	Zip
Contact Person <i>Russ Kinney</i>		Phone <i>262-893-4930</i>		FAX	E-mail <i>russkinney@me.com</i>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - Scale and north arrow
 - All structures (include building elevations and height)
 - Drainage and grades (include design calculations for drainage)
 - Storm Water Management Plan
 - Utilities and easements (sewer, water, storm etc.)
 - Calculation of lot coverage
 - Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
 - Exterior lighting details
 - Exterior HVAC equipment location
 - Dumpster location (screening required)
 - Street right-of-way
 - Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
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RECEIVED

APR 24 2015

Village of Hartland
KINNEY PROPERTIES, INC.
7051 LEANNE CT.
HARTLAND, WI 53029

Scott Hussinger
Building Inspector
210 Cottonwood Ave.
Hartland, WI 53029

April 20, 2015

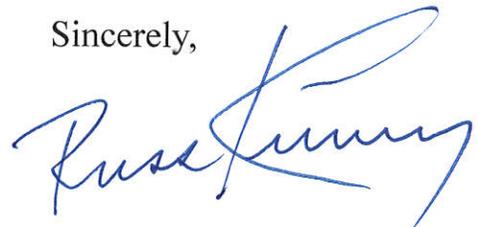
Scott:

I would like to begin the process to get permission to relocate the fencing on our property at 630 E. Industrial Dr. from its present location to a location that would be 40' from the front of the property and 55' from the road.

The present 7.5 foot high fencing would be relocated to new posts as shown on the drawing. The fence material is chain link with Gray privacy slats. The present gates would be reused for the two openings. I've attached pictures that show the present fencing and the line for the proposed new fence location with red cones for the gate posts.

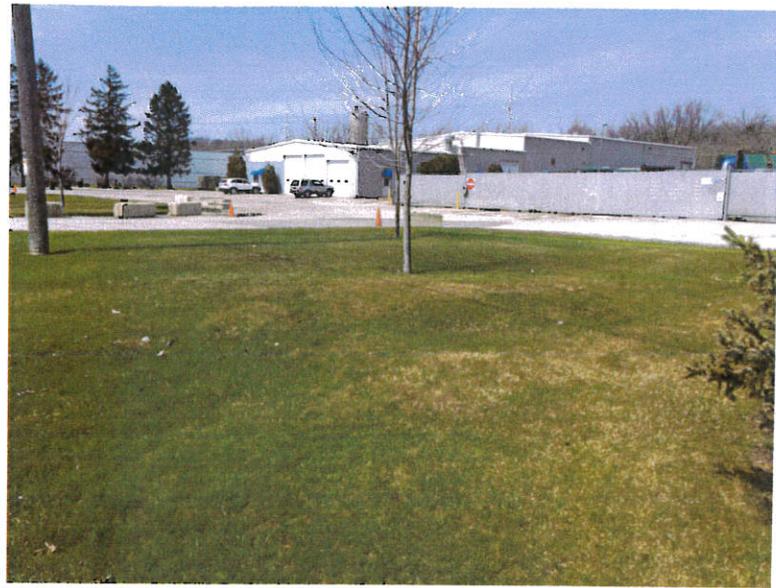
After fence installation small shrubbery, varying from 4 to 6 feet high with seasonal colorings (Bridalwreath, Dwarf Lilac, Red Dogwood, Barberry, and Burning Bush) would be planted in the 6 foot area noted in red on the plan.

Sincerely,



RUSS KINNEY

Kinney Properties, Inc.



APR 24 2015

Village of Hartland

KINNEY PROPERTIES, INC.
7051 LEANNE CT.
HARTLAND, WI 53029

ME

April 20, 2015

4-27-15

Scott Hussinger
Building Inspector
210 Cottonwood Ave.
Hartland, WI 53029

Scott: - Need to allow for surface drainage under fence.

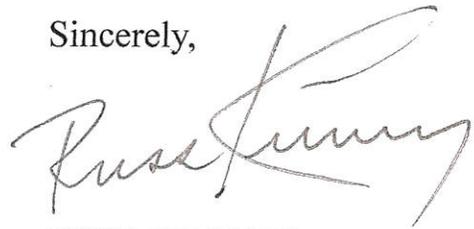
- Appears to be a zoning issue
- Appears that sewer & water utilities that we access are outside of fence

I would like to begin the process to get permission to relocate the fencing on our property at 630 E. Industrial Dr. from its present location to a location that would be 40' from the front of the property and 55' from the road.

The present 7.5 foot high fencing would be relocated to new posts as shown on the drawing. The fence material is chain link with Gray privacy slats. The present gates would be reused for the two openings. I've attached pictures that show the present fencing and the line for the proposed new fence location with red cones for the gate posts.

After fence installation small shrubbery, varying from 4 to 6 feet high with seasonal colorings (Bridalwreath, Dwarf Lilac, Red Dogwood, Barberry, and Burning Bush) would be planted in the 6 foot area noted in red on the plan.

Sincerely,



RUSS KINNEY

Kinney Properties, Inc.

INDUSTRIAL DRIVE

EXISTING SANITARY SEWER

S86°45'00"W

170.00'

S86°45'00"W

150.00'

LOT 1

LOT 2

GRASS AREA

CATCH BASIN

40'

34' Gate

36' Gate

N00°11'24"W

418.62'(DEEDED AS 419.13')

GRAVEL

9 spaces

ASPHALT PAVEMENT

24.00'

GATE

CONC.

70'X36'

70'X46'

70'X100'

UNIT A

UNIT B

UNIT C

UNIT D

FLOOR ELEV. = 932.08

48.62'

7 spaces

24.00'

GATE

ASPHALT PAVEMENT

12 spaces

12 spaces

PAVEMENT

20.00'

GATE

GRAVEL

418.47' (DEEDED AS 418.81')

S03°15'00"E

LOT 1

LOT 2

RETENTION POND (DESIGN BY HILMER ENGR.)

150.00' N86°39'51"E (DEEDED AS N86°39'51"E)

147.65' (DEEDED AS 147.64) N86°39'51"E (DEEDED AS N86°39'51"E)

46.00'

5.00'

80' ROW



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**APPLICATION FOR
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description			
Installation of Compressed Natural Gas Fueling Station equipment to supply fuel to customer's vehicle fleet. No new structures and no renovations to existing building.			
Proposed Use			No. of Employees
Project Location 559 Progress Drive, Hartland, WI 53029			
Project Name Advanced Disposal CNG Fuel Facility			
Owner Advanced Disposal		Phone (904) 900-7608	
Address 559 Progress Drive,		City Hartland	State WI Zip 53029
Engineer/Architect Timothy E. Nelligan		Phone (949) 340-7702	FAX (949) 315-3844
Address 1644 N El Camino		City San Clemente	State CA Zip 92672
Contact Person Jeff Lucero	Phone (909) 793-3700	FAX (909) 793-8056	E-mail jlucero@trustarenergy.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
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- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
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**Village of Hartland
Professional Services Reimbursement Form**

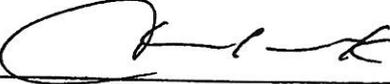
The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Responsible Party Name, Mailing Address, Signature and Date:

- A. Jeff Lucero  3/31/2015
 Printed Name Signature Date
- B. 10225 Philadelphia Court Rancho Cucamonga CA 91730
 Street City State Zip
- C. Phone (909) 670-1390 Fax: (909) 793-8056 E-Mail jlucero@trustarenergy.com

Property Owner Name, Mailing Address, Signature & Date:

- A. Chad Mark  4/1/2015
 Printed Name Signature Date
- B. 90 Fort Wade Road Ponte Vedra FL 32081
 Street City State Zip
- C. Phone (904) 900-7608 Fax: (904) 309-6683 E-Mail chad.mark@advanceddisposal.com

 Village Official Accepting Form & Date

INTERNAL USE ONLY

Amount Due: \$ _____ Check #: _____ Date Paid: ___/___/___ Rec'd By: _____

Plan Commission Project Number: _____



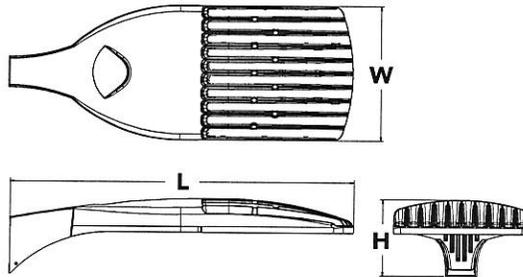
D-Series Size 1 LED Area Luminaire



d#series

Specifications

EPA:	1.2 ft ² (0.11 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



Catalog Number
Notes
Type

Fill the Tab key in mouse over the page to see all interactive elements

Introduction

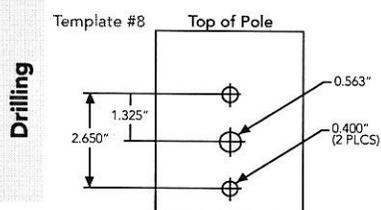
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish (required)				
DSX1 LED	Forward optics	530 530 mA	30K 3000 K (80 CRI min.)	T1S Type I short	MVOLT ³	Shipped included	Shipped installed	Shipped installed	DDBXD Dark bronze				
		700 700 mA	40K 4000 K (70 CRI min.)	T2S Type II short	120 ³					SPA Square pole mounting	PER NEMA twist-lock receptacle only (no controls) ⁷	HS House-side shield ¹⁴	DBLXD Black
		1000 1000 mA (1 A)	50K 5000 K (70 CRI)	T2M Type II medium	208 ³					RPA Round pole mounting	DMG 0-10V dimming driver (no controls) ⁸	WTB Utility terminal block ¹⁵	DNAXD Natural aluminum
	40C 40 LEDs (two engines)	AMBPC Amber phosphor converted ⁷	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	T3S Type III short	240 ³	WBA Wall bracket	DCR Dimmable and controllable via ROAM® (no controls) ⁹	SF Single fuse (120, 277, 347V) ¹⁶	DWHXD White			
					T3M Type III medium	277 ³					SPUMBA Square pole universal mounting adaptor ⁷	DF Double fuse (208, 240, 480V) ¹⁶	DDBTXD Textured dark bronze
					T4M Type IV medium	347 ⁴							
	60C 60 LEDs (two engines)	AMBPC Amber phosphor converted ⁷	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	TFTM Forward throw medium	480 ⁴	KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁶	DS Dual switching ^{10,11}	L90 Left rotated optics ¹⁷	DNATXD Textured natural aluminum			
					T5VS Type V very short						PIR Motion sensor, 8-15' mounting height ¹²	DWHGXD Textured white	
					T5S Type V short								PIRH Motion sensor, 15-30' mounting height ¹²
	Rotated optics¹	AMBPC Amber phosphor converted ⁷	1000 1000 mA (1 A)	50K 5000 K (70 CRI)	TSM Type V medium		BL30 Bi-level switched dimming, 30% ^{11,13}	BL50 Bi-level switched dimming, 50% ^{11,13}					
					TSW Type V wide						BL30 Bi-level switched dimming, 30% ^{11,13}	BL50 Bi-level switched dimming, 50% ^{11,13}	
													BL30 Bi-level switched dimming, 30% ^{11,13}



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS Single unit	DM29AS 2 at 90° *
DM28AS 2 at 180°	DM39AS 3 at 90° *
DM49AS 4 at 90° *	DM32AS 3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-380	AST35-490

NOTES

- Rotated optics only available with 60C.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (30C 530, or 60C 530 DS). Not available with DCR, BL30 or BL50.
- Available as a separate combination accessory: PUMBA (finish) U.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- DMG option for 347v or 480v requires 1000mA
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. N/A with BL30, BL50, DS, PIR or PIRH.
- Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR, or PIRH.
- Requires an additional switched circuit.
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS or DCR.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Also available as a separate accessory; see Accessories information.
- WTB not available with DS.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 60 LEDs (60C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Control.

Drilling

Accessories

DL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁸
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁸
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁸
SC U	Shorting cap ¹⁸
DSX1HS 30C U	House-side shield for 30 LED unit
DSX1HS 40C U	House-side shield for 40 LED unit
DSX1HS 60C U	House-side shield for 60 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁶

For more control options, visit DL1 and ROAM online.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/-10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 80 minimum CRI)					40K (4000 K, 70 minimum CRI)					50K (5000 K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				30C (30 LEDs)	700 mA	68 W	T1S	5,290	1	0	1	78	6,524	2	0	2	96	7,053
			T2S	5,540	1	0	1	81	6,833	2	0	2	100	7,387	2	0	2	109
			T2M	5,360	1	0	2	79	6,611	2	0	2	97	7,147	2	0	2	105
			T3S	5,479	1	0	1	81	6,757	1	0	2	99	7,305	2	0	2	107
			T3M	5,452	1	0	2	80	6,724	2	0	2	99	7,269	2	0	2	107
			T4M	5,461	1	0	2	80	6,736	2	0	2	99	7,282	2	0	2	107
			TFTM	5,378	1	0	2	79	6,633	1	0	2	98	7,171	1	0	2	105
			TSVS	5,708	2	0	0	84	7,040	3	0	0	104	7,611	3	0	1	112
			TSS	5,639	2	0	0	83	6,955	2	0	0	102	7,519	3	0	0	111
			TSM	5,710	3	0	1	84	7,042	3	0	1	104	7,613	3	0	2	112
			TSW	5,551	3	0	1	82	6,847	3	0	2	101	7,401	3	0	2	109
	1000 mA	105 W	T1S	7,229	2	0	2	69	9,168	2	0	2	87	9,874	2	0	2	94
			T2S	7,572	2	0	2	72	9,603	2	0	2	91	10,342	2	0	2	98
			T2M	7,325	2	0	2	70	9,291	2	0	2	88	10,005	2	0	3	95
			T3S	7,488	2	0	2	71	9,496	2	0	2	90	10,227	2	0	2	97
			T3M	7,451	2	0	2	71	9,450	2	0	2	90	10,177	2	0	2	97
			T4M	7,464	2	0	2	71	9,467	2	0	2	90	10,195	2	0	2	97
			TFTM	7,351	1	0	2	70	9,323	2	0	2	89	10,040	2	0	3	96
			TSVS	7,801	3	0	1	74	9,894	3	0	1	94	10,655	3	0	1	101
			TSS	7,803	3	0	2	74	9,774	3	0	1	93	10,526	3	0	1	100
			TSM	7,707	3	0	0	73	9,897	3	0	2	94	10,658	4	0	2	102
			TSW	7,586	3	0	2	72	9,621	4	0	2	92	10,363	4	0	2	99
	700 mA	89 W	T1S	6,876	2	0	2	77	8,639	2	0	2	97	9,345	2	0	2	105
			T2S	7,202	2	0	2	81	9,049	2	0	2	102	9,788	2	0	2	110
			T2M	6,968	2	0	2	78	8,755	2	0	2	98	9,469	2	0	3	106
			T3S	7,122	2	0	2	80	8,948	2	0	2	101	9,679	2	0	2	109
			T3M	7,088	2	0	2	80	8,905	2	0	2	100	9,632	2	0	2	108
			T4M	7,100	2	0	2	80	8,920	2	0	2	100	9,649	2	0	2	108
			TFTM	6,992	1	0	2	79	8,785	2	0	2	99	9,502	2	0	2	107
			TSVS	7,421	3	0	0	83	9,323	3	0	1	105	10,085	3	0	1	113
			TSS	7,331	2	0	0	82	9,210	3	0	1	103	9,962	3	0	1	112
			TSM	7,423	3	0	2	83	9,326	3	0	2	105	10,087	4	0	2	113
			TSW	7,216	3	0	2	81	9,066	4	0	2	102	9,807	4	0	2	110
	1000 mA	138 W	T1S	9,521	2	0	2	69	11,970	2	0	2	87	12,871	3	3	0	93
			T2S	9,972	2	0	2	72	12,558	3	0	3	91	13,481	3	0	3	98
			T2M	9,648	2	0	3	70	12,149	3	0	3	88	13,043	3	0	3	95
			T3S	9,862	2	0	2	71	12,418	2	0	2	90	13,331	2	0	2	97
			T3M	9,814	2	0	2	71	12,358	3	0	3	90	13,267	3	0	3	96
			T4M	9,831	2	0	2	71	12,379	2	0	3	90	13,290	2	0	3	96
			TFTM	9,681	2	0	2	70	12,191	2	0	3	88	13,087	2	0	3	95
			TSVS	10,275	3	0	1	74	12,937	3	0	1	94	13,890	4	0	1	101
			TSS	10,150	3	0	1	74	12,782	3	0	1	93	13,721	3	0	1	99
			TSM	10,278	4	0	2	74	12,942	4	0	2	94	13,894	4	0	2	101
			TSW	9,991	4	0	2	72	12,582	4	0	2	91	13,507	4	0	2	98
	700 mA	131 W	T1S	10,226	2	0	2	78	12,871	3	0	3	98	13,929	3	0	3	106
			T2S	10,711	2	0	2	82	13,481	3	0	3	103	14,589	3	0	3	111
			T2M	10,363	2	0	3	79	13,043	3	0	3	100	14,115	3	0	3	108
			T3S	10,592	2	0	2	81	13,331	2	0	2	102	14,427	3	0	3	110
			T3M	10,541	2	0	2	80	13,267	3	0	3	101	14,357	3	0	3	110
			T4M	10,559	2	0	2	81	13,290	2	0	3	101	14,382	3	0	3	110
			TFTM	10,398	2	0	3	79	13,087	2	0	3	100	14,163	2	0	3	108
			TSVS	11,036	3	0	1	84	13,890	4	0	4	106	15,032	4	0	1	115
			TSS	10,902	3	0	1	83	13,721	3	0	1	105	14,849	4	0	1	113
			TSM	11,039	4	0	2	84	13,894	4	0	2	106	15,036	4	0	2	115
			TSW	10,732	4	0	2	82	13,507	4	0	2	103	14,617	4	0	2	112
	1000 mA	209 W	T1S	14,017	3	0	3	67	17,632	3	0	3	84	19,007	3	0	3	91
			T2S	14,681	3	0	3	70	18,467	3	0	3	88	19,908	3	0	3	95
			T2M	14,204	3	0	3	68	17,867	3	0	3	85	19,260	3	0	3	92
			T3S	14,518	3	0	3	69	18,262	3	0	3	87	19,687	3	0	3	94
			T3M	14,448	3	0	3	69	18,173	3	0	4	87	19,591	3	0	4	94
			T4M	14,473	3	0	3	69	18,205	3	0	3	87	19,625	3	0	4	94
			TFTM	14,253	2	0	3	68	17,928	3	0	4	86	19,326	3	0	4	92
			TSVS	15,127	4	0	1	72	19,028	4	0	1	91	20,512	4	0	1	98
			TSS	14,943	4	0	1	71	18,797	4	0	1	90	20,263	4	0	1	97
			TSM	15,131	4	0	2	72	19,033	4	0	2	91	20,517	5	0	3	98
			TSW	14,710	4	0	2	70	18,503	5	0	3	89	19,946	5	0	3	95

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	--	--
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

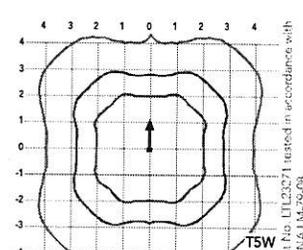
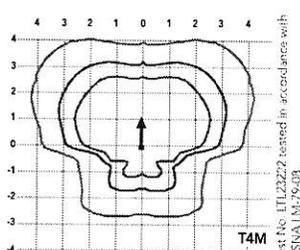
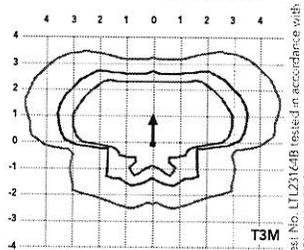
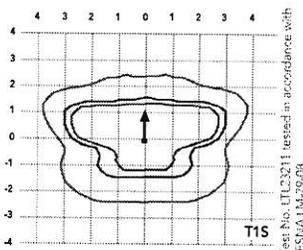
Operating hours	0	25,000	50,000	100,000
Lumen Maintenance factor	DSX1 LED 60C 1000			
	1.0	0.95	0.93	0.88
	DSX1 LED 60C 700			
	1.0	0.99	0.98	0.96

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').

LEGEND



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (80 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

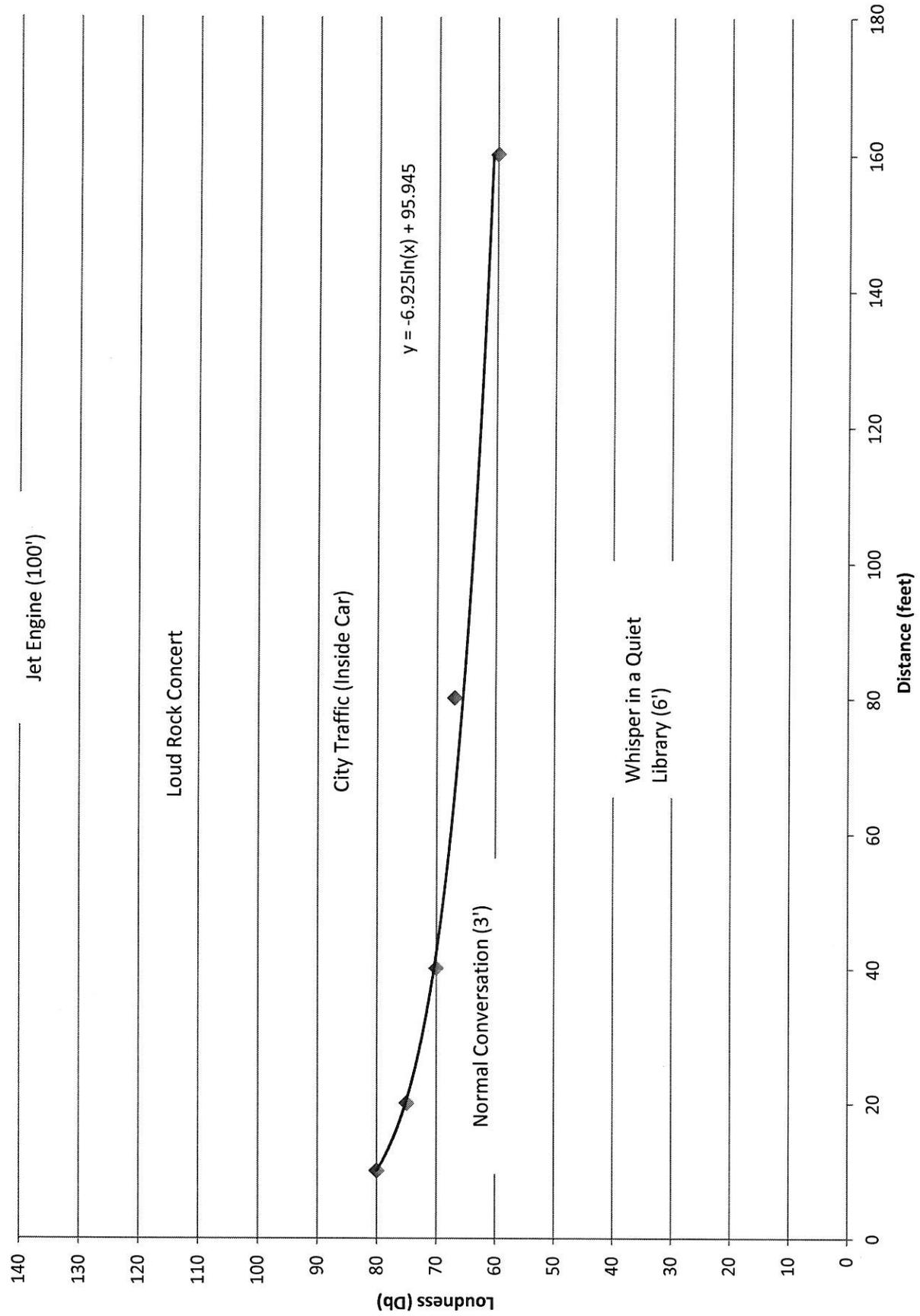
WARRANTY

Five-year limited warranty. Full warranty terms located at: www.acuitybrands.com/CustomersResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.



ANGI 300 Natural Gas Compressor, Hartland, WI





Advanced Disposal

April 21, 2015

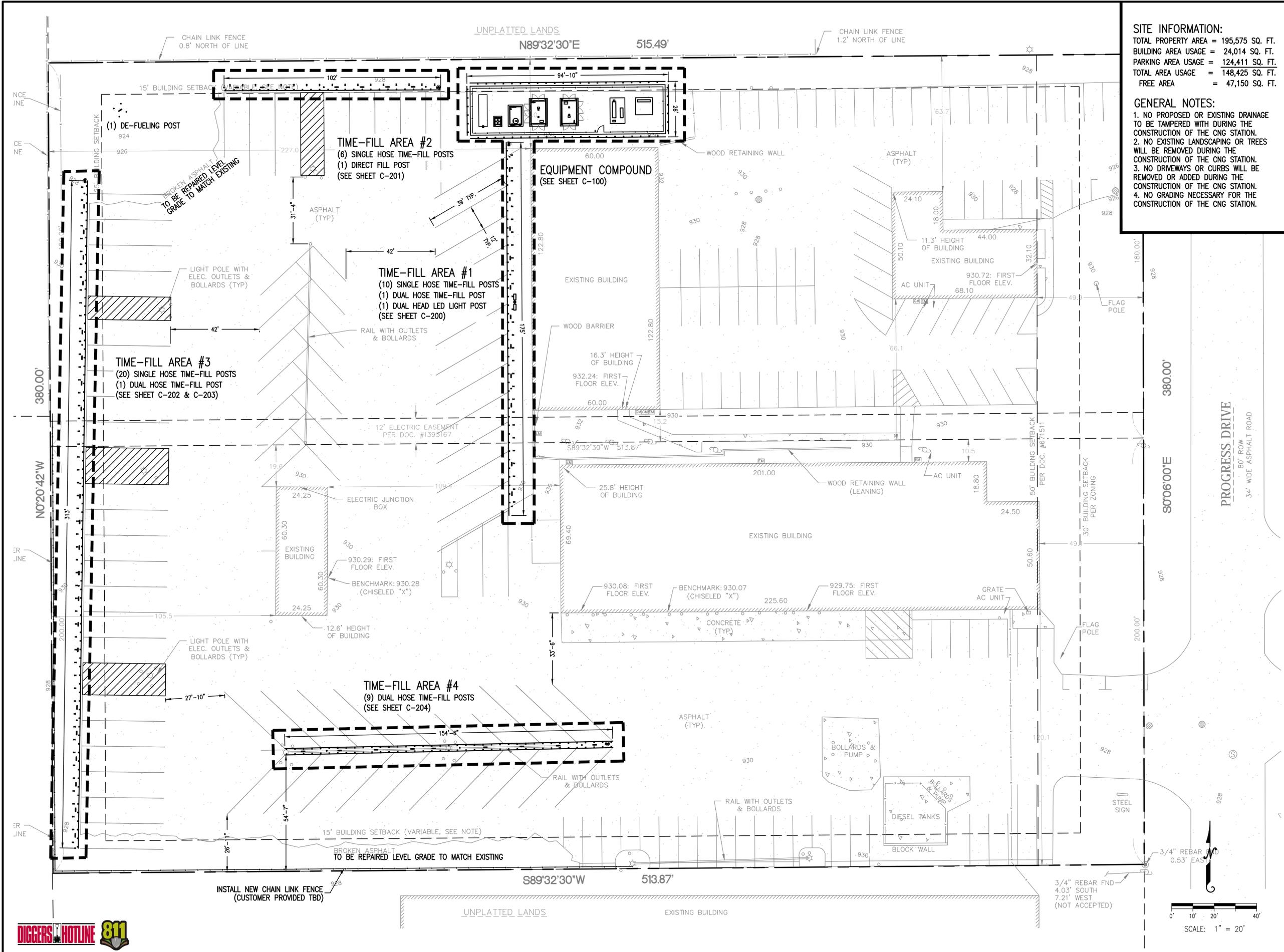
Re: CNG Plan of Operation – 559 Progress Drive, Hartland, WI

The Advanced Disposal facility operates collection operations for Waukesha County businesses and residents. The fleet comprises of gas and diesel fleet with 85% of the fleet diesel. It is our plan to replace the fleet with all new, cleaner burning Compressed Natural Gas trucks (CNG). The direct impact of this change would span on the parcels of land 547 and 559 Progress Drive. Advanced would unite these properties into one parcel if feasible and acceptable to avoid any easement issues/delays.

In outfitting the property with the CNG compressor and filling ports we would see a reduction of 4 actual parking spaces that can be re-located to address the existing lost space. To increase security, a six to eight foot fencing will be erected in the southwest corner and west side of the property. Current lighting will be utilized as will continue to be on the dusk to dawn timer. Installation of the time fill lines the affect drive and parking areas will be finished with like materials (blacktop or concrete). Two small areas of currently broken asphalt will be repaired. They are on the northwest and southwest corners of the parking lot. Advanced will continue with the active SWPPP that is in place.

There are steps in place to ensure all safety precautions are taken from 24 hour monitoring to auto shut offs . Guard rail is being installed to protect the equipment compound and all fill post. ADS currently utilizes two manned shifts for collections (1st shift) and maintenance (2nd shift) therefore trucks enter and exit the property approximately 22 hours each day. All collection fleet vehicles are typically back in the yard by 5pm each work day (Monday-Saturday). We plan to have the compressors on a timer to operate once all trucks are in their parking spots, starting at 5pm and ending at 3am which would allow the filling of all 72 vehicles. Being on a timer the compressors will not automatically run from 3:01am to 4:59pm. Noise level from the compressors is lower than a typical diesel truck running at idle, therefore no greater than the current noise level during every day. There are 72 CNG filling spots on the site map. It is anticipated that we would have an estimated 15 units by the end of 2015 and 10-15 more CNG trucks each year thereafter. Therefore the actual compressor run time in 2015 will be approximately 2 hours per day to fill the 15 trucks. Five years from now when all 72 trucks are all running on CNG run time will be approximately a total of 8 hours per day. ADS thanks you for your consideration in this project in the Village of Hartland.

559 Progress Drive, PO Box 168 • Hartland, WI 53029
tel (262) 367-6040 • fax (262) 367-5502 • www.AdvancedDisposal.com



SITE INFORMATION:
 TOTAL PROPERTY AREA = 195,575 SQ. FT.
 BUILDING AREA USAGE = 24,014 SQ. FT.
 PARKING AREA USAGE = 124,411 SQ. FT.
 TOTAL AREA USAGE = 148,425 SQ. FT.
 FREE AREA = 47,150 SQ. FT.

GENERAL NOTES:
 1. NO PROPOSED OR EXISTING DRAINAGE TO BE TAMPERED WITH DURING THE CONSTRUCTION OF THE CNG STATION.
 2. NO EXISTING LANDSCAPING OR TREES WILL BE REMOVED DURING THE CONSTRUCTION OF THE CNG STATION.
 3. NO DRIVEWAYS OR CURBS WILL BE REMOVED OR ADDED DURING THE CONSTRUCTION OF THE CNG STATION.
 4. NO GRADING NECESSARY FOR THE CONSTRUCTION OF THE CNG STATION.

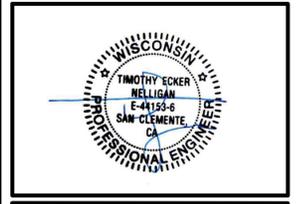
OWNER:
 CHAD MARK
 547 PROGRESS DR
 HARTLAND, WI 53029
 904-900-7608

GENERAL CONTRACTOR:
 TRUSTAR ENERGY
 JEFF LUCERO (CA LIC # 942661)
 10225 PHILADELPHIA CT
 RANCHO CUCAMONGA, CA 91730
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR
 HARTLAND, WI 53029
 CNG FUEL FACILITY



REVISIONS	No.	DATE	BY	REMARK

GENERAL - SITE PLAN

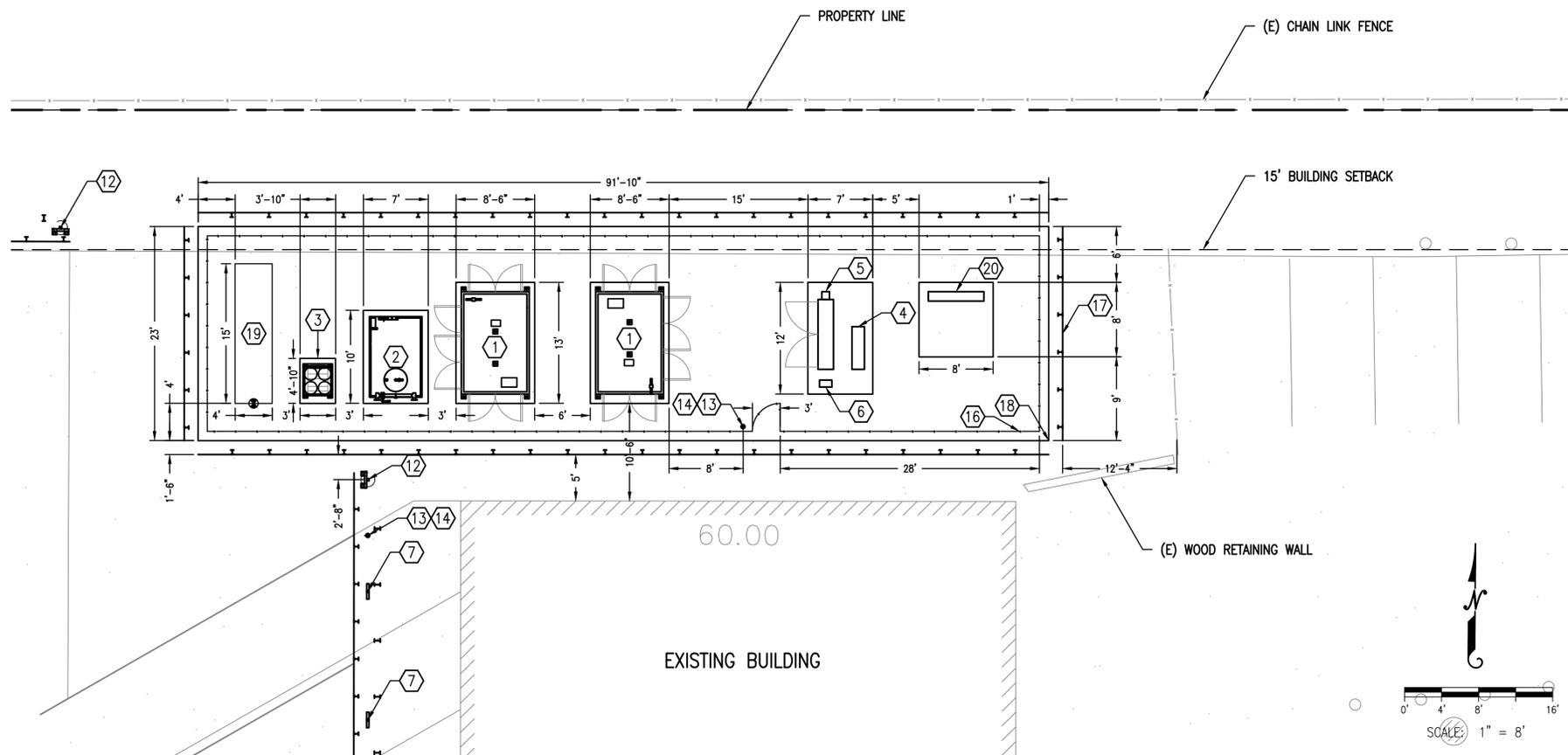
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SCALE: AS SHOWN
JOB NO: 15018

G-200



DATE PRINTED: 04/17/15

EQUIPMENT AREA - PLAN VIEW



EQUIPMENT ITEM LIST

- ① ANGI 300 COMPRESSORS
- ② PSB NG 15-4-DDP DRYER
- ③ 4 PACK BUFFER STORAGE
- ④ MANUAL TRANSFER SWITCH
- ⑤ MOTOR STARTER PANEL
- ⑥ COMMUNICATIONS PANEL
- ⑦ SINGLE HOSE TIME-FILL POST
- ⑫ FILTER POST ASSEMBLY
- ⑬ EMERGENCY SHUT-DOWN SWITCH
- ⑭ INSTALL FIRE EXTINGUISHER PER NFPA 52 7.4.2.9
- ⑯ 6' CHAIN LINK FENCE
- ⑰ GUARD RAIL
- ⑱ 4" HOUSEKEEPING PAD
- ⑲ UTILITY GAS METER SET ASSEMBLY
- ⑳ UTILITY TRANSFORMER

OWNER:
 CHAD MARK
 547 PROGRESS DR.
 HARTLAND, WI 53029
 904-900-7608

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 10225 PHILADELPHIA CT.
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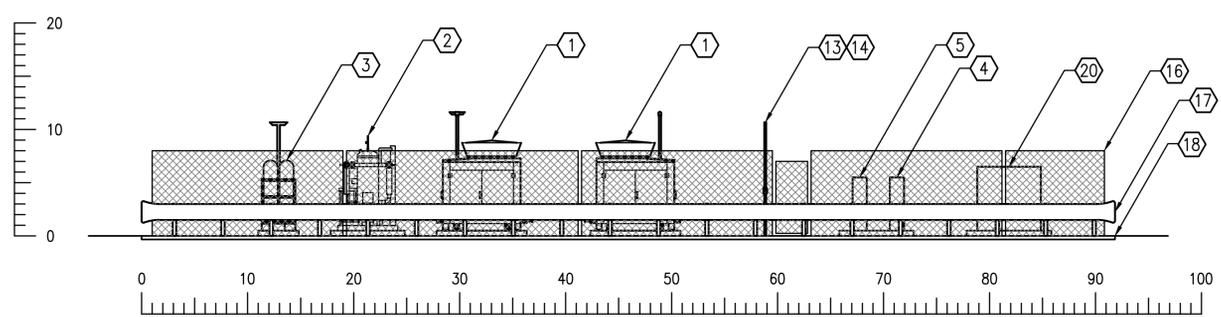


ADVANCED DISPOSAL

547 PROGRESS DR
 HARTLAND, WI 53029
 CNG FUEL FACILITY



1644 N EL CAMINO REAL
 SAN CLEMENTE, CALIFORNIA 92672
 L.A. LICENSE NO. 39529



EQUIPMENT AREA - NORTH FACING ELEVATION



REVISIONS	BY	REMARK
No.	DATE	

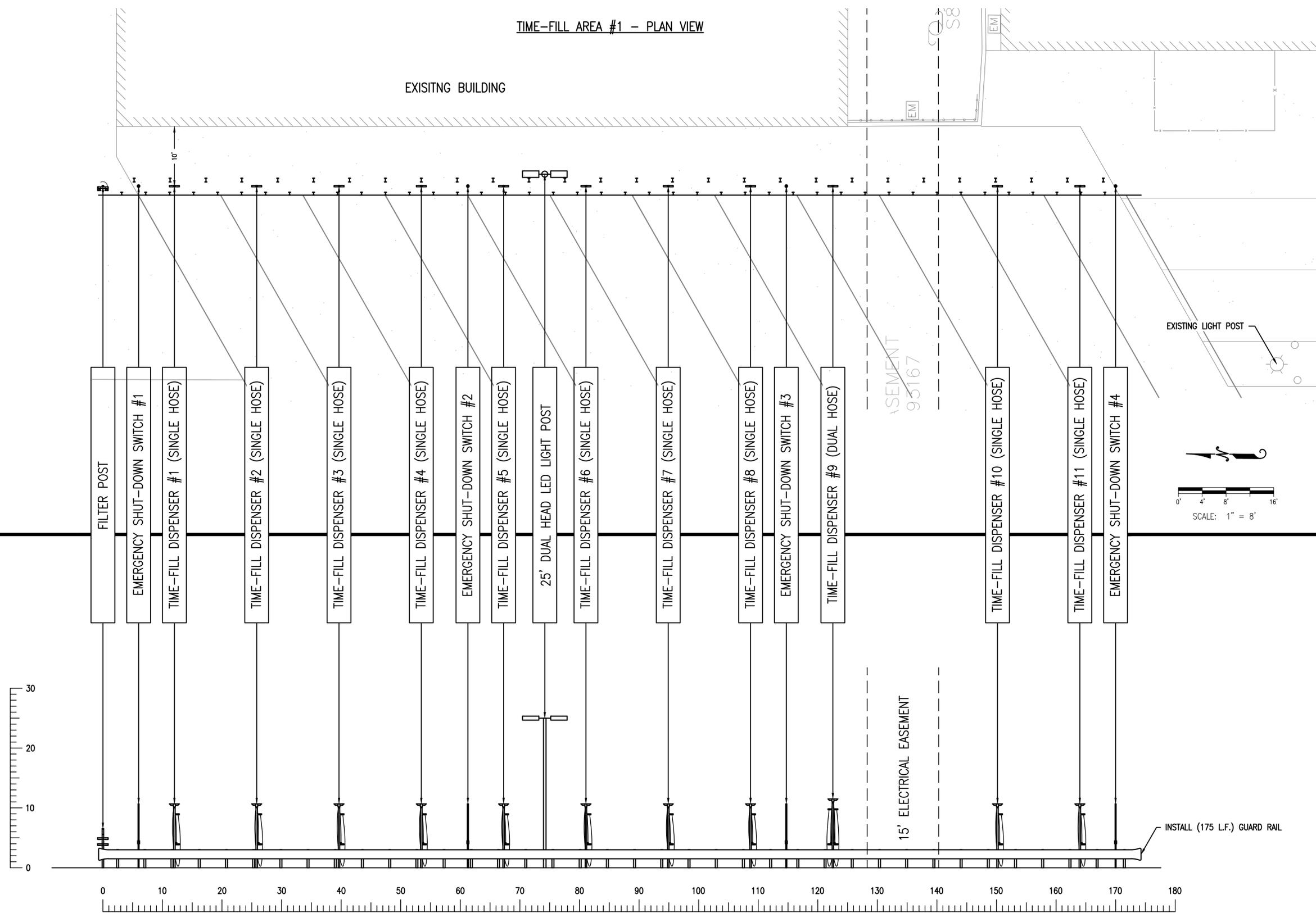
CIVIL - EQUIPMENT AREA

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 SCALE: AS SHOWN
 JOB NO: 15018

C-100

DATE PRINTED: 04/17/15

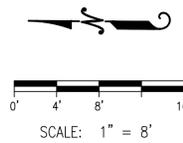
TIME-FILL AREA #1 - PLAN VIEW



EXISTING BUILDING

CEMENT 93167

EXISTING LIGHT POST



15' ELECTRICAL EASEMENT

INSTALL (175 L.F.) GUARD RAIL

TIME-FILL AREA #1 - EAST FACING ELEVATION

OWNER:
 CHAD MARK
 547 PROGRESS DR
 HARTLAND, WI 53029
 904-900-7608
 GENERAL CONTRACTOR:
 TRUSTAR ENERGY
 JEFF LUCERO (CA LIC # 942661)
 10225 PHILADELPHIA CT
 RANCHO CUCAMONGA, CA 91730
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR
 HARTLAND, WI 53029
 CNG FUEL FACILITY



1644 N EL CAMINO REAL
 SAN CLEMENTE, CALIFORNIA 92672
 LA. LICENSE NO. 39529

REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

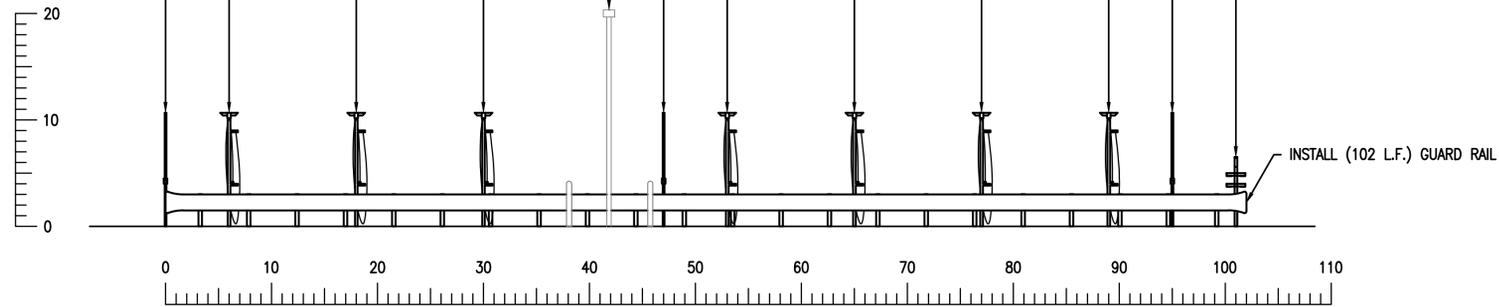
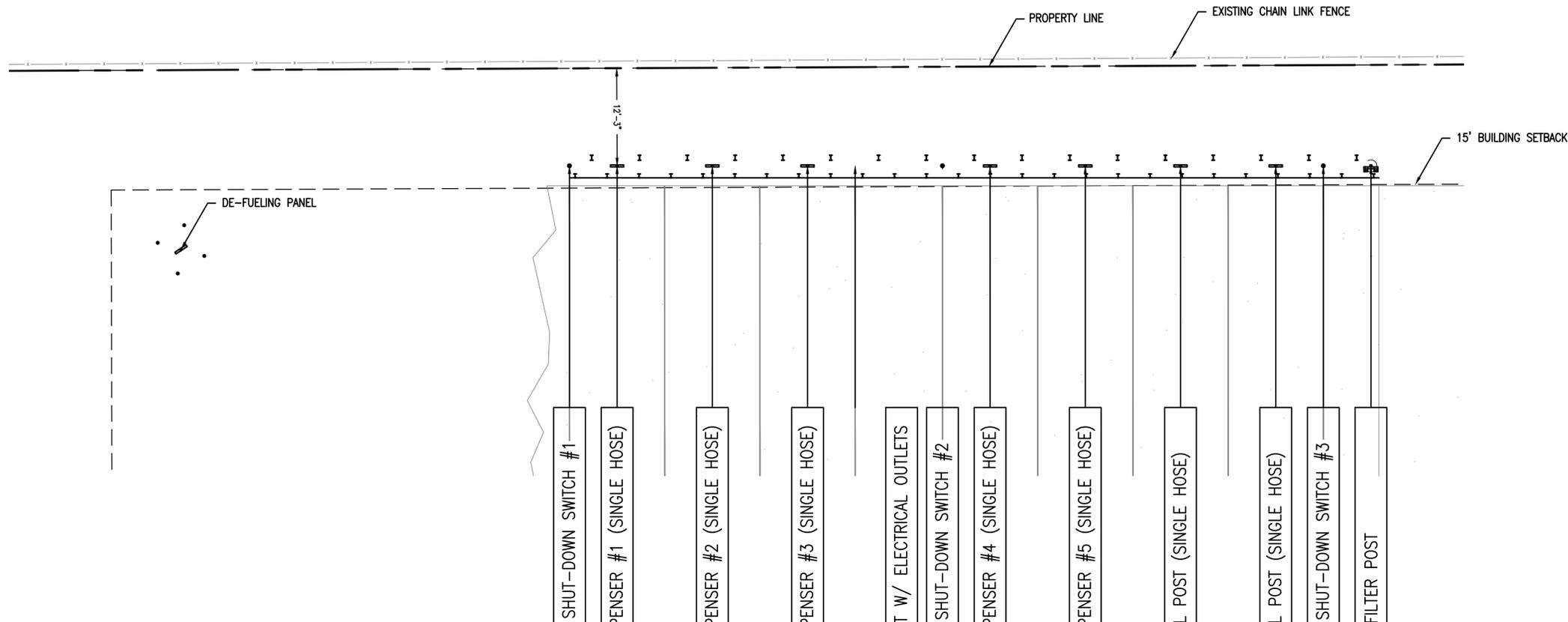
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 DATE: 04/17/15
 SCALE: AS SHOWN
 JOB NO: 15018

C-200



DATE PRINTED: 04/17/15

TIME-FILL AREA #2 - PLAN VIEW



TIME-FILL AREA #2 - NORTH FACING ELEVATION

OWNER:
 CHAD MARK
 547 PROGRESS DR.
 HARTLAND, WI 53029
 904-900-7608

GENERAL CONTRACTOR:
 TRUSTAR ENERGY
 JEFF LUCERO (CA LIC. # 942661)
 10225 PHILADELPHIA CT.
 RANCHO CUCAMONGA, CA. 91730
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR
 HARTLAND, WI 53029
 CNG FUEL FACILITY



1644 N EL CAMINO REAL
 SAN CLEMENTE, CALIFORNIA 92672
 LA. LICENSE NO. 39529

REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

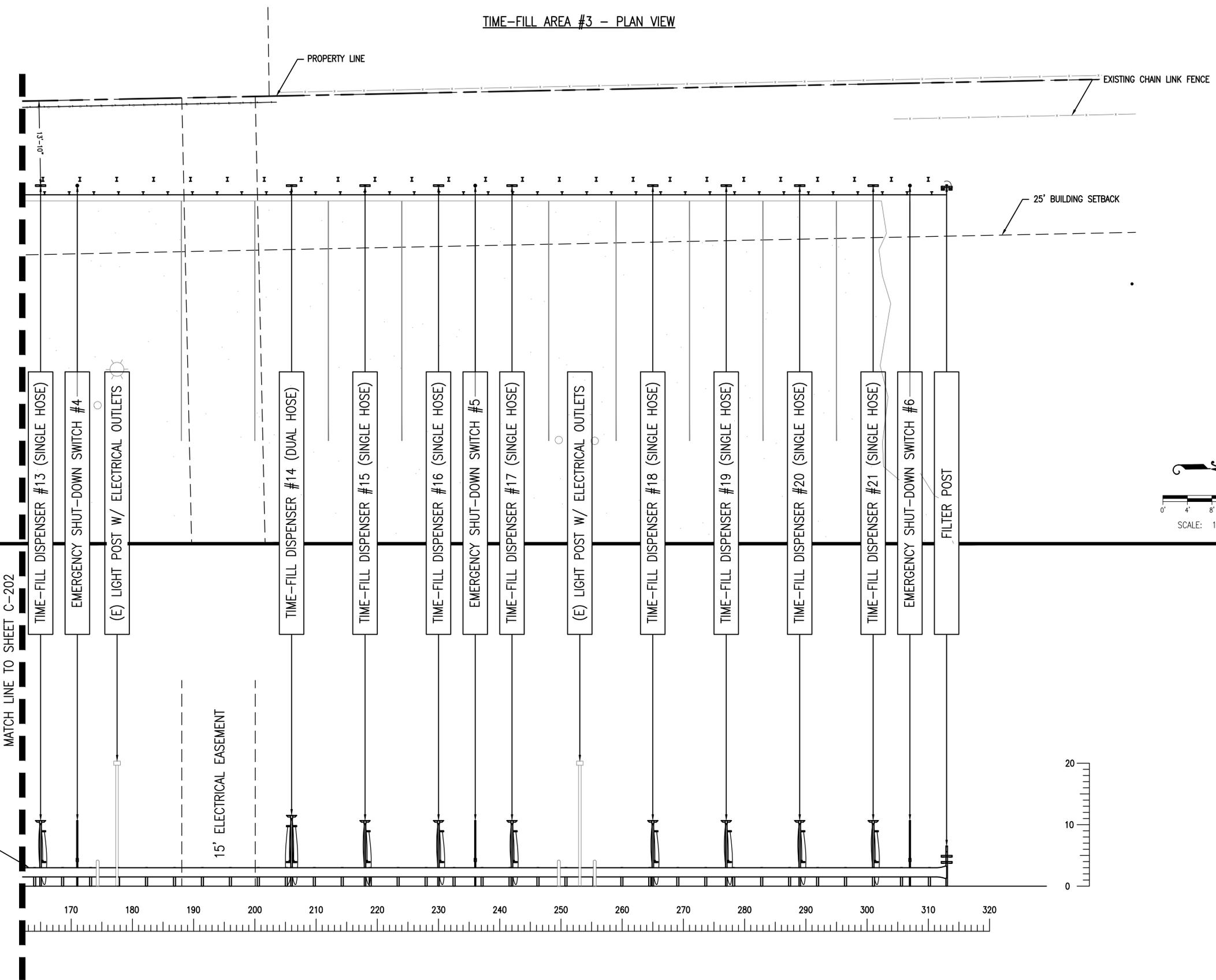
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C-201

DATE PRINTED: 04/17/15



TIME-FILL AREA #3 - PLAN VIEW



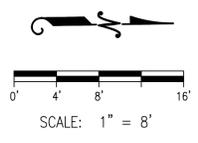
OWNER:
 CHAD MARK
 547 PROGRESS DR.
 HARTLAND, WI 53029
 904-900-7608

GENERAL CONTRACTOR:
 TRUSTAR ENERGY
 JEFF LUCERO (CA LIC. # 942661)
 10225 PHILADELPHIA CT.
 RANCHO CUCAMONGA, CA. 91730
 (909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR
 HARTLAND, WI 53029
 CNG FUEL FACILITY



MATCH LINE TO SHEET C-202

15' ELECTRICAL EASEMENT

INSTALL (313 L.F.) GUARD RAIL

170 180 190 200 210 220 230 240 250 260 270 280 290 300 310 320

0 10 20



TIME-FILL AREA #3 - WEST FACING ELEVATION



1644 N EL CAMINO REAL
 SAN CLEMENTE, CALIFORNIA 92672
 LA. LICENSE NO. 39529

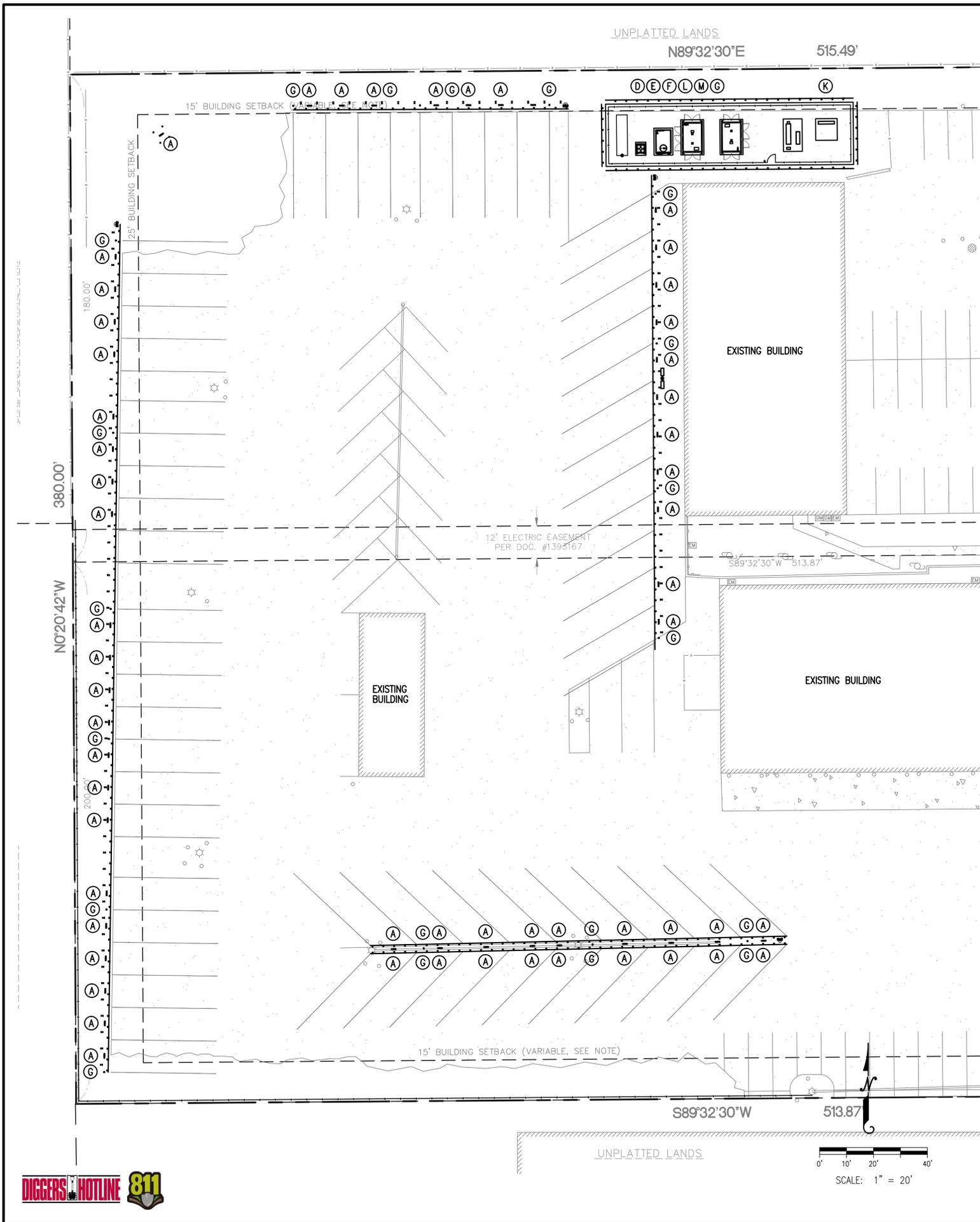
REVISIONS	No.	DATE	BY	REMARK

CIVIL - DISPENSER AREA

DRAWN: AMV
 CHECKED: MDB
 DATE: 04/17/15
 SCALE: AS SHOWN
 JOB NO: 15018

C-203

DATE PRINTED: 04/17/15



KEY	SYMBOL	QUANTITY	DESCRIPTION
(A)		57	SIGN NEEDED: STOP MOTOR NO SMOKING FLAMMABLE GAS MATERIAL: 20" x 12" x 0.040" THK SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS, RED LETTERS, FASTENED WITH SCREWS OR STRAPS. 2" HIGH RED LETTERS WITH WHITE BACKGROUND LOCATION: IN FRONT OF HOSE DISPENSERS
(D)		2	SIGN NEEDED: WARNING NO SMOKING FLAMMABLE GAS MATERIAL: 20" x 12" x 0.040" THK SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS, RED LETTERS, FASTENED WITH SCREWS OR STRAPS. 2" HIGH RED LETTERS WITH WHITE BACKGROUND LOCATION: AROUND CNG COMPOUND
(E)		2	SIGN NEEDED: WARNING COMPRESSOR MAY START..., ETC, MATERIAL: PROVIDED BY EQUIPMENT MANUFACTURER. LOCATION: MOUNTED ON COMPRESSOR.
(F)		1	SIGN NEEDED: GAS SHUT OFF VALVE MATERIAL: METAL TAG WITH RED BACKGROUND AND 1" WHITE LETTERING. LOCATION: TIED TO BODY OF DRYER INLET GAS SHUT OFF VALVE.
(G)		21	SIGN NEEDED: EMERGENCY SHUTDOWN & FIRE EXTINGUISHER MATERIAL: 20" x 12" SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS OR STRAPS. WHITE LETTERS ON RED BACKGROUND. LOCATION: ABOVE ESD SWITCHES
(K)		1	SIGN NEEDED: DANGER HIGH VOLTAGE MATERIAL: PROVIDED BY EQUIPMENT MANUFACTURER. LOCATION: NEAR CONTROL PANEL (NOT SHOWN)
(L)	SEE DETAIL THIS SHEET	1	SIGN NEEDED: GAS DETECTION SYSTEM OPERATION MATERIAL: 16" x 20" SHEET METAL, ROUNDED CORNERS, FASTENED WITH SCREWS. ALL CHARACTERS RED EXCEPT PHONE/ADDRESS. 1" HIGH BLACK LETTERS FOR PHONE ADDRESS ON WHITE BACKGROUND. LOCATION: IN FRONT OF CNG COMPOUND.
(M)		2	SIGN NEEDED: NFPA HAZARDOUS MATERIAL MATERIAL: AS DESCRIBED IN NFPA 170 LOCATION: ON CNG STORAGE CONTAINERS

**IN CASE OF FIRE,
SPILL OR RELEASE**

1. USE EMERGENCY SHUT OFF!
2. REPORT THE ACCIDENT!
FIRE DEPT. PHONE NO. 911
FACILITY ADDRESS

547 PROGRESS DR
HARTLAND, WI 53029

(L) GAS DETECTION SYSTEM OPERATION SIGN DETAIL

OWNER:
CHAD MARK
547 PROGRESS DR.
HARTLAND, WI 53029
904-900-7608

GENERAL CONTRACTOR:
TRUSTAR ENERGY
JEFF LUCERO (CA LIC # 942661)
10225 PHILADELPHIA CT.
RANCHO CUCAMONGA, CA. 91730
(909) 793-3700



ADVANCED DISPOSAL

547 PROGRESS DR
HARTLAND, WI 53029
CNG FUEL FACILITY



REVISIONS	No.	DATE	BY	REMARK

FIRE - WARNING SIGN LOCATIONS

DRAWN: AMV
CHECKED: MDB
DATE: 04/17/15
SCALE: AS SHOWN
JOB NO: 15018

F-100



DATE PRINTED: 04/17/15

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or
 PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

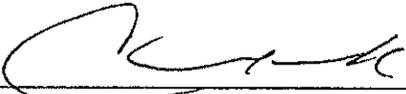
FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 5/14/15	Fee Paid: \$300.00
Date Filed: 5/14/15	Receipt No.:

- Name: Advanced Disposal Services Solid Waste Midwest, LLC
Address of Owner/Agent: 559 Progress Drive, Hartland, WI 53029

Phone Number of Owner/Agent: (904) 900-7608
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use.
Property is currently two parcels. Request approval to combining the following two parcels: HAV0730958006 & HAV0730958005


Signature of Petitioner

90 Fort Wade Rd. Suite 200 Port Vidra FL 32081
Address

904 900 7608
Phone



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

ATLAS SURVEY

2826 SAINT ANDREWS COURT
WAUKESHA, WI 53188
(262) 901-5256
WWW.ATLASSURVEYWI.COM

SURVEYOR:

BRYCE KACZOR, RLS S-2803

PROPERTY:

559 & 547 PROGRESS DRIVE
HARTLAND, WI 53029

SURVEY FOR:

ADVANCED DISPOSAL
90 FORT WADE ROAD, SUITE 200
PONTE VEDRA, FLORIDA 32081
904-737-7900



LEGEND

- ⊠ - CONC. MON. W/ BRASS CAP FND.
- ⊙ - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 1" DIA. IRON PIPE SET, 18" LONG, WT. = 1.13 LBS./LIN. FT.

UNPLATTED LANDS

N89°32'30"E

515.49'

42.0

227.0

EXISTING BUILDING

LOT 7 & SOUTH 1/2 OF LOT 8, BLOCK 1
LAKE COUNTY INDUSTRIAL PARK

380.00'

12' ELECTRIC EASEMENT PER DOC. #1393167

S89°32'30"W 513.87'

25.7

109.4

LOT 1

195,575 SQ.FT.
(4.49 ACRES)

EXISTING BUILDING

EXISTING BUILDING

105.5

200.00'

119.7

S89°32'30"W

513.87'

UNPLATTED LANDS

EXISTING BUILDING

LOTS 5 & 6, BLOCK 1
LAKE COUNTY INDUSTRIAL PARK

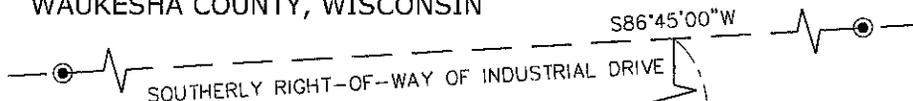
N0°20'42"W



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

W 1/4 CORNER
SEC. 3-7-18



NORTH LINE OF THE SW 1/4 SEC. 3-7-18
S88°14'02\"E 2638.21'

CENTER OF
SEC. 3-7-18

S88°14'02\"E 1834.02'

804.19'

S0°27'30\"E
452.79'

197.21'

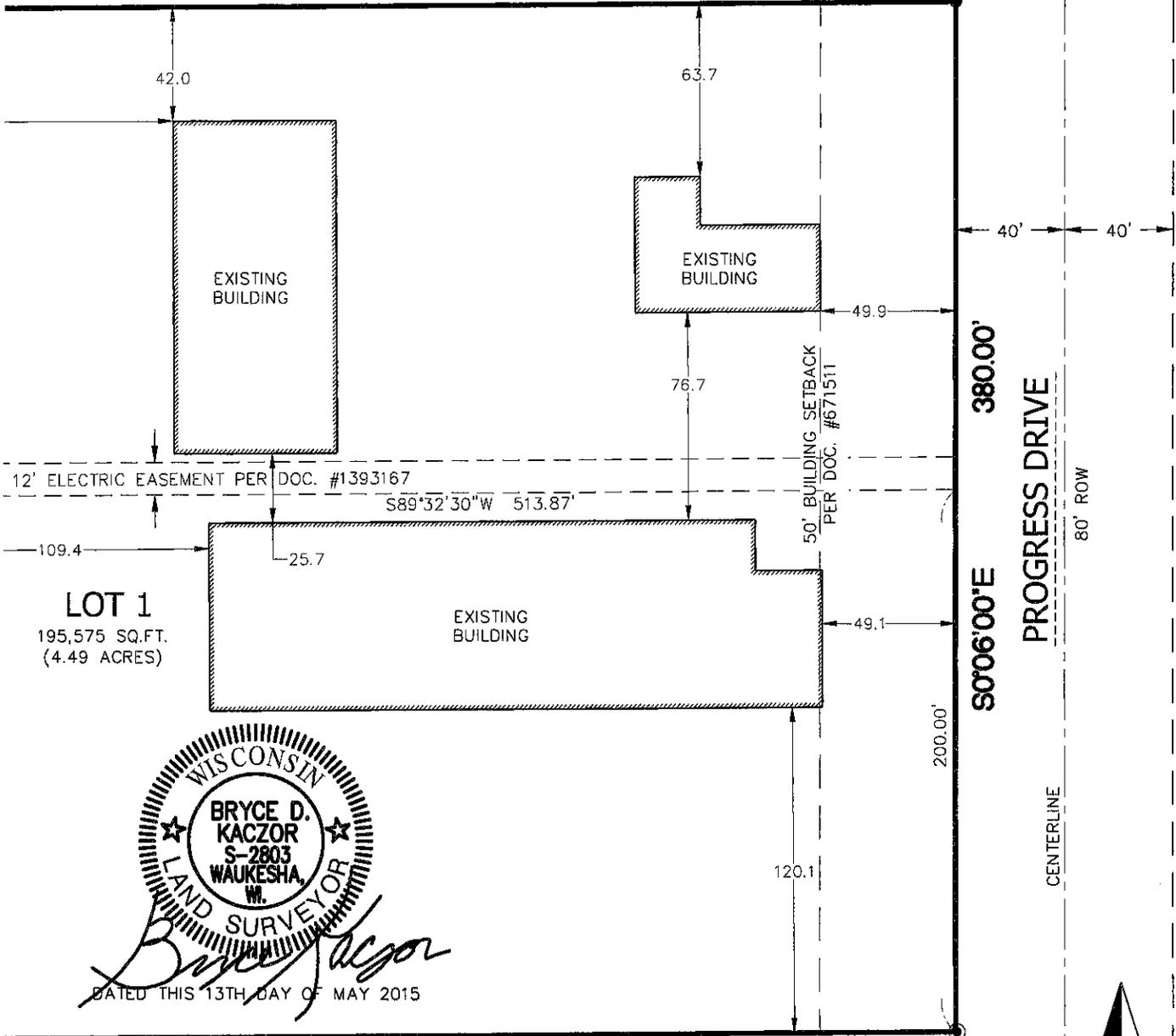
650.00'

S0°27'30\"E

UNPLATTED LANDS

N89°32'30\"E

515.49'



12' ELECTRIC EASEMENT PER DOC. #1393167

S89°32'30\"W 513.87'

109.4

25.7

LOT 1

195,575 SQ.FT.
(4.49 ACRES)

EXISTING BUILDING

50' BUILDING SETBACK
PER DOC. #671511

76.7

49.9

63.7

49.1

42.0

49.9

63.7

49.1

42.0

49.9

63.7

49.1

42.0

49.9

63.7

49.1

380.00'

S0°06'00\"E

PROGRESS DRIVE

80' ROW

CENTERLINE



DATED THIS 13TH DAY OF MAY 2015

S89°32'30\"W

513.87'

UNPLATTED LANDS

EXISTING BUILDING



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

NOTES:

1. EASEMENT LOCATIONS BASED ON INFORMATION FURNISHED BY LAND TITLE INSURANCE COMPANY, INC., COMMITMENT FOR TITLE INSURANCE PER FILE NO. F-316805 & F-316790, DATED FEBRUARY 2, 2015.

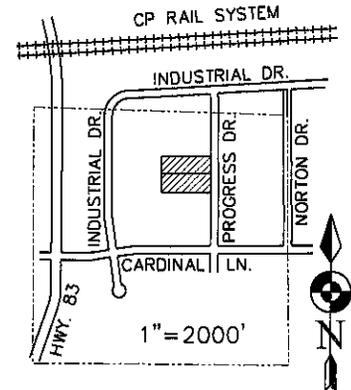
UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY BY AN INSTRUMENT DATED SEPTEMBER 5, 1961 AND RECORDED ON SEPTEMBER 26, 1961, IN VOLUME 895 OF DEEDS, PAGE 370, AS DOCUMENT NO. 552732. (NOT SHOWN-VAUGE)

2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.

3. BEARINGS ARE REFERENCED TO NAD27, WISCONSIN STATE PLANE, SOUTH ZONE, GRID NORTH ON THE NORTH LINE OF THE SW 1/4 OF SECTION 3-7-18 AS S88°14'02"E.

LOCATION MAP

SW. 1/4 SEC. 3-T07N-R18E



SURVEYOR'S CERTIFICATE:

I, Bryce D. Kaczor, Registered Land Surveyor hereby certify,

That I have surveyed, divided and mapped all that being a part of the NE. 1/4 of the SW. 1/4 of Section 3, T.7N., R.18E., Village of Hartland, Waukesha County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 3; thence S.88°14'02"E., along the North line of the SW 1/4 of said section, 1834.02 feet to a point 197.21 feet S.0°27'30"E. of the intersection of the westerly right-of-way of Progress Drive and the southerly right-of-way of Industrial Drive; thence S.0°27'30"E., along said westerly right-of-way of Progress Drive 452.79 feet to the point of beginning of hereinafter described lands; thence S.0°06'00"E., along said westerly right-of-way, 380.00 feet; thence S.89°32'30"W., 513.87 feet; thence N.0°20'42"W., 380.00 feet; thence N.89°32'30"E., 515.49 feet to the point of beginning. Said lands containing 195,575 square feet (4.49 acres).

That I have made such survey, land division and Certified Survey Map by the direction of ADVANCED DISPOSAL, owner of said lands.

That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Hartland in surveying, dividing and mapping the same.



Dated this 13th day of May, 2015.

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND,
WAUKESHA COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

ADVANCED DISPOSAL a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map.

ADVANCED DISPOSAL does further certify that this Certified Survey Map is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Village of Hartland

IN WITNESS WHEREOF, said ADVANCED DISPOSAL, has caused these presents to be signed by DAVID WALL, its General Manager, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____.

In Presence of:

DAVID WALL, General Manager

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named DAVID WALL, General Manager, of the above named corporation, to me known to be such General Manager of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

_____ County, Wisconsin

My Commission Expires _____



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND,
WAUKESHA COUNTY, WISCONSIN

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this Certified Survey Map, and does hereby consent to the above certificate of ADVANCED DISPOSAL, Owner.

IN WITNESS WHEREOF, said _____ has caused these presents to be signed by _____, its _____, and countersigned by _____, its _____ at _____, Wisconsin, and its corporate seal to be hereunto affixed this _____ day of _____, 20 _____.

In presence of:

STATE OF WISCONSIN)
_____ COUNTY) SS)

Personally came before me this _____ day of _____, 20 _____, the above named _____, _____, and _____ of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ and _____ of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

_____ County, Wisconsin

My Commission Expires _____



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NE. 1/4 OF THE SW. 1/4 OF SECTION 3, T.7N., R.18E., VILLAGE OF HARTLAND,
WAUKESHA COUNTY, WISCONSIN

VILLAGE BOARD APPROVAL CERTIFICATE:

Resolved that the Certified Survey Map, in the Village of Hartland, ADVANCED DISPOSAL, owner, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
David Lamerand, Village President

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Common Council/Village Board/Town Board of the Village of Hartland.

Date: _____ Signed _____
Darlene Igl, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the Village Hartland, ADVANCED DISPOSAL, owner, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
David Lamerand, Chairperson

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Plan Commission of the Village of Hartland.

Date: _____ Signed _____
Darlene Igl, Village Clerk



EXHIBIT A

LEGAL DESCRIPTION:

Being a part of the NE. 1/4 of the SW. 1/4 of Section 3, T.7N., R.18E., Village of Hartland, Waukesha County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 3; thence S.88°14'02"E., along the North line of the SW 1/4 of said section, 1834.02 feet to a point 197.21 feet S.0°27'30"E. of the intersection of the westerly right-of-way of Progress Drive and the southerly right-of-way of Industrial Drive; thence S.0°27'30"E., along said westerly right-of-way of Progress Drive 452.79 feet to the point of beginning of hereinafter described lands; thence S.0°06'00"E., along said westerly right-of-way, 380.00 feet; thence S.89°32'30"W., 513.87 feet; thence N.0°20'42"W., 380.00 feet; thence N.89°32'30"E., 515.49 feet to the point of beginning. Said lands containing 195,575 square feet (4.49 acres).

ELECTION EQUIPMENT CONTRACT GOVERNMENTAL AGREEMENT

Waukesha County Wisconsin, a Municipal Corporation, herein after referred to as "County", hereby enters into this Governmental Agreement with (Town/Village/City of _____), hereinafter referred to as "Municipality", pursuant to Wisconsin Statute Section 66.0301 for the purpose of compiling, tabulating and reporting election results.

- 1. Purchase of Equipment.** County will purchase from Vendor (ES&S), the following two (2) sets of equipment:

Set A to be owned by Municipality [and subject to the two-thirds/one-third cost split, as set forth in paragraph 3 below pending final determination)]. Municipality shall specify the number of each item of equipment that the County will purchase on the Municipality's behalf. The Rocker Paddle and Sip and Puff device are optional at the Municipality's discretion.

Set A:

- DS200 Tabulator. It includes a Scanner, Plastic Ballot Box with Steel Door and e-Bin, Battery Backup, Initial Paper Roll, Firmware and 4GB Jump (Flash) Drive. \$5,777.00 ea.
- DS200 Wireless Modem (AT&T, Sprint, or Verizon) \$300.00 ea. Note: Landline Modem is NOT a supported option.)
- ExpressVote ADA Ballot Marking Device. It includes the ExpressVote Unit, Backup Battery, Soft-sided Case, Detachable ADA Keyboard, Firmware, 4GB Jump (Flash) Drive, and Headphones. \$3,527.00 ea.
- Rocker Paddle (Voters with limited motor control can navigate election. Hands, feet, or forearms can be used to make selections and cast a vote.) \$170.50 ea.
- Sip n' Puff Device (ADA-compliant voting device includes adjustable headset, 2 mouthpieces with gloves, 6-foot tube with quick connects, sip/puff switch box, cables to connect to ADA Ballot Marking Device, and a carrying case for all supplies.) \$350.00 ea.

Note. Election System Firmware is the computer instructions and data that reside as read only software on the election devices. The firmware contained on these devices is the vendor provided control program for the election devices. As a result, firmware cannot be modified by the COUNTY or municipalities.

Set B to be purchased 100% by County and owned by County.

Set B:

- 'Server' Hardware and Operating System Software

- 'PC Workstation' Hardware and Operating System Software and Peripherals
- Election Management System Programming Software
- Third Party Software
- Network Infrastructure Hardware and Software
- A cellular phone line for each piece of Election Equipment, and all costs to maintain the phone line

2. ES&S Contract.

a. County shall ensure that the contract with ES&S includes the following terms:

1. Title to the equipment may be conveyed by the County to the Municipalities, and afterward the Municipalities shall be beneficiaries of any and all of ES&S's obligations in the contract for customer support and ongoing maintenance and service.
2. That all manufacturer warranties will transfer to the Municipalities.
3. That all end-user license agreements for software and firmware will permit the Municipalities to have full functionality of all purchased equipment without the purchase of additional software or firmware licenses.
4. That all applicable software and firmware updates and upgrades will be available to the Municipalities.
5. That the Municipalities are third-party beneficiaries of the contract, and may independently enforce their interests against ES&S.
6. That standard public records terms are incorporated, to ensure access to the public records.

b. County shall enforce the terms of the contract between ES&S and itself on behalf of the Municipalities at the County's expense, provided County believes such action is warranted by the terms of the Agreement. In the event of any award to the County for harm suffered by the Municipality, the County shall distribute the damages proportionately to the Municipalities according to the amounts of the Municipalities payments to the County under this Agreement; provided, however, the County may keep any award of attorney fees and costs. This provision does not preclude any municipality from bringing suit individually against ES&S for damages suffered by that municipality, and if the suit results in an award of damages to that municipality, that municipality may retain the entire award.

3. [Payment to County by Municipality. Municipality agrees to make payment to County of 33.33 percent of the cost of the equipment in 1 A above, per machine ordered and received

by Municipality. Municipality is ordering _____ [insert number] machines, and therefore the Municipality's payment obligation shall be _____ Dollars. The County shall invoice the Municipality for amounts due here under and shall provide such supporting documentation as the Municipality shall request. Payment shall be due within sixty (60) days of the invoice date, unless the Municipality opts for annual installments, in which case payment shall be made in three (3) equal annual installments, without interest or other financing fee. The first installment shall be due within sixty (60) days of the invoice date, and the second and the third shall be due no later than one and two years after the invoice date. Municipality shall indicate their election of installment payments, or they may elect to pay in full. Regardless of the payment option selected, early pre-payment is allowed without penalty and the installment obligations shall not incur interest until after the third installment is due.] (pending final determination)

4. **Cellular Carrier.** County will select a cellular carrier and administer a contract on behalf of all participating municipalities to enable the modem on each voting machine to communicate with the County at County's expense. County will also provide for enabling the modem for the communication process for each election.
5. **Title to Equipment.** The contract between the County and ES&S will provide that ownership and title to the equipment shall vest in the Municipality, including warranties of items listed in Section 1 A.
6. **Training.** The Municipality shall participate in all necessary training associated with the new equipment and software. The training will be scheduled at times mutually agreed upon by the parties and be conducted at a location within Waukesha County. The cost of all training shall be at the County's sole expense.
7. **Ongoing Support and Maintenance.** The Municipality shall be responsible for ongoing support, maintenance and licensing costs associated with the equipment and items listed in Paragraph I A. County has provided to Municipality two options for maintenance agreements, a gold package agreement or silver package agreement as per attached Exhibit "A", which cost is fixed for five (5) years after the initial one year warranty period expires. Thereafter, maintenance costs shall remain the responsibility of the Municipality.
8. **Programming.** The County shall be responsible for the cost of programming all election machines delivered to the Municipality pursuant to this Agreement at the County's sole expense.
9. **Duty to Cooperate.** Each party hereto shall commence, carry on, and complete its obligations under this Agreement with all deliberate speed and in a sound economic and efficient manner in accordance with this Agreement and all applicable laws.
10. **No Waiver.** In no event shall the making of any payment for the acceptance of any service required by this Agreement constitute or be construed as a waiver by either party of any breach of the covenants of this Agreement or a waiver of any default of the other party, and the making of any such payment or the acceptance of any such service by the conforming party while any such default or breach on the party shall exist, shall in no way impair or

prejudice the right of the conforming party with respect to recovery of damages or other remedy as a result of such breach or default.

11. **Severability.** The various provisions of this Agreement are declared to be severable and the findings of any Court that any particular clause or clauses is/ are unlawful or unenforceable shall not operate to invalidate the remainder of this Agreement, and the same shall continue in effect until modified by the parties.
12. **Notice.** All notices including billing statements and payments shall be sent to the Department of Administration for the County, and to the Municipal Clerk for the municipality, unless another individual is identified by a party in writing,
13. **Liability.** Each party shall be responsible for the consequences for its own acts, errors or omissions and that of its employees, boards, commissions, agencies, officers and representatives and shall be responsible for any losses, claims and liabilities which are attributable to such acts, errors, or omissions, including providing its own defense. In situations including joint liability, each party shall be responsible for the consequences of its own acts errors, or omissions and those of its employees, boards, commissions, agencies, officers and representatives. It is not the intent of the parties to impose liability beyond that imposed by state statutes. The obligations of the parties under this paragraph shall survive the expiration or termination of this Agreement.
14. **Compliance.** Each party warrants for itself that it has complied with all applicable statutes, rules, orders, ordinances requirement and regulations to execute this Agreement and that the person executing this Agreement on its behalf is authorized to do so.
15. **Entire Agreement and Amendments.** The entire Agreement of the parties is contained herein and this Agreement supercedes any and all oral agreements and negotiations between the parties relating to the subject matter hereof. Any amendment or modification to this Agreement shall not be enforceable unless in writing and executed by both parties.
16. **Pricing Sheet.** The Countywide Election System Pricing Sheet is attached hereto and incorporated herein by reference as Exhibit A. In the event of a conflict between the terms of the corpus of this contract and Exhibit A, the corpus of this contract shall control.

Waukesha County

By Norman Cummings, Dir. of Administration
Date: _____

Kathleen Novack, County Clerk
Date: _____

Municipality

By: _____
Title: _____
Date: _____

By: _____
Title: _____
Date: _____

EXHIBIT "A"

Countywide Election System Pricing Sheet

February 6, 2015

May 1, 2015 (revised)

Equipment (Minimum Required by Municipality)

- DS200 Tabulator will replace the Eagle and Insight devices you're currently using. It includes a Scanner, Plastic Ballot Box with Steel Door and e-Bin, Battery Backup, Initial Paper Roll, Firmware and 4GB Jump (Flash) Drive. \$5,777.00 ea.
- DS200 Wireless Modem (AT&T, Sprint, or Verizon) \$300.00 ea.
(Does not include ongoing data transmission fees which are the responsibility of the county.
Note: Landline Modem is NOT a supported option.)
- ExpressVote ADA Ballot Marking Device will replace the Edge and AutoMARK devices you are currently using. It includes the ExpressVote Unit, Backup Battery, Soft-sided Case, Detachable ADA Keyboard, Firmware, 4GB Jump (Flash) Drive, and Headphones. \$3,527.00 ea.
- Rocker Paddle (Voters with limited motor control can navigate election. Hands, feet, or forearms can be used to make selections and cast a vote.) \$170.50 ea.
- Sip n' Puff Device (ADA-compliant voting device includes adjustable headset, 2 mouthpieces with gloves, 6-foot tube with quick connects, sip/puff switch box, cables to connect to ADA Ballot Marking Device, and a carrying case for all supplies.) \$350.00 ea.

Implementation Services (Funded by the capital project)

- Project Management
- Hardware Design, Installation and Acceptance Testing
- Software Installation and Acceptance Testing
- System Servers Installation and Software Implementation
- DS200 Tabulator and ExpressVote Acceptance Testing
- Migration from Current Election System
- Technical Assistance
- Consulting
- Election Day On-Site Support
- Post Go-Live Support

License and Maintenance Support (Firmware)

- The annual price for the DS200 Precinct Scanner is \$75.00 ea.
- The annual price for the ExpressVote ADA Ballot Marking Device is \$50.00 ea.

Support/Maintenance Packages

- One year Warranty. The one year warranty includes the maintenance for the Hardware and Firmware for the voting machines. ES&S has quoted a firm fixed price for the next five years for ongoing maintenance and support per machine as stated below. After the one year warranty period expires, ES&S will work with each municipality to sign a maintenance and firmware agreement that holds this pricing for the term of the contract. Ongoing maintenance expenses are the responsibility of the **municipalities**. You can choose:

○ **Gold Package**

- DS200 Precinct Digital Tabulator (Annual Maint.) - \$175.00 ea.
- ExpressVote ADA Ballot Marking Device (Annual Maint.) - \$115.00 ea.

Includes: Yearly onsite preventative maintenance, 24 hour tech support line, onsite repairs by a tech, covers all parts with exception to batteries and damage to equipment. Core features for both the Gold coverage plan includes the use of certified replacement parts, technical help desk support, priority status for repair services, software and firmware upgrades, repairs made by trained and certified ES&S technicians.

○ **Silver Package**

- DS200 Precinct Digital Tabulator (Maintenance Once Every 24 Months) \$125.00 ea.
- ExpressVote ADA Ballot Marking Device (Maintenance Once Every 24 Months) \$75.00 ea.

Includes: Biennial onsite preventative maintenance, 24 hour tech support line, onsite repairs by a tech, covers all parts with exception to batteries and damage to equipment. The proposed ES&S Silver coverage plan will provide repair services for the DS200 and ExpressVote units as well as a routine preventative maintenance service event during the coverage period. The biennial routine preventative maintenance service event includes the cleaning and lubrication of each unit of equipment and all labor and parts (except consumables items such as printer cartridges, paper rolls, batteries, removable memory devices, or marking instruments).

Estimated Annual Costs

DS200 Annual Hardware Maintenance	Cost (per unit)	Expected Life (in years)	Annual Cost (est.)
Firmware License	\$75.00	1	\$75.00
Gold Maintenance Package*	\$175.00	1	\$175.00*
Back-up Battery	\$130.00	5	\$26.00
Coin Cell Battery	\$10.00	5	\$2.00
Estimated Annual Maintenance			\$278.00*

*Silver Maintenance Package would be \$50 less annually

ExpressVote Annual Hardware Maintenance	Cost (per unit)	Expected Life (in years)	Annual Cost (est.)
Firmware License	\$50.00	1	\$50.00
Gold Maintenance Package^	\$115.00	1	\$115.00^
Back-up Battery	\$112.90	5	\$22.58
Coin Cell Battery	\$10.10	5	\$2.02
Estimated Annual Maintenance			\$189.60^

^Silver Maintenance Package would be \$40 less annually

Municipal Example: City of Pewaukee, Gold Maintenance Package

Device Type for City of Pewaukee	QTY Requested	Price Each	Extended Cost
DS200 Precinct Digital Tabulator	4	\$5,777.00	\$23,108.00
Wireless Modem for DS200	4	300.00	1,200.00
ExpressVote ADA Ballot Marking Device	3	3,527.00	10,581.00
ExpressVote Rocker Paddle	3	170.50	511.50
ExpressVote Sip n' Puff Device	3	350.00	1,050.00
Total Equipment Cost			\$36,450.50
Waukesha County Cost Share (66.67%)			\$24,301.55
City of Pewaukee Cost Share (33.33%)			\$12,148.95
City of Pewaukee 3-year Annual Cost (0% APR)			\$4,049.65

Device Type for City of Pewaukee	QTY Requested	Annual Maintenance	Extended Cost
DS200 Precinct Digital Tabulator	4	\$278.00	\$1,112.00
ExpressVote ADA Ballot Marking Device	3	\$189.60	\$568.80
Total Annual Cost (est.)			\$1,680.80

Product Equipment Training

- Product equipment training for Municipal Clerk's, Election Inspector's and the Waukesha County Clerk's Office (WCCO) will be funded by the capital project.

Trade-in Value to Muni (option)

- AutoMARK - \$150.00 each
- Eagle - \$150.00 each
- Edge - \$50.00 each
- Insight - \$100.00 each

Optional Items and Consumables (Municipalities and WCCO)

- DS 200 Steel Ballot Box with Diverter - \$1,230
- DS200 AC Power Cord - \$13.75
- DS200 Ballot Box Key Set - \$5.00 each
- DS200 Ballot Box Key - \$4.25 each
- DS200 Coin Cell Motherboard Battery \$10.00 each
- DS200 External Power Supply - \$77.00 each
- DS200 Thermal Paper Roll - \$1.85 each

- DS200 Tote Bin for Plastic Ballot Box - \$150.00 each
- DS200 Unit Key - \$4.25 each
- DS200 4GB Jump Drive (additional) - \$105.00 each (useful for recall situations or multiple elections)
- Express Vote Booth - \$425.00 each
- ExpressVote Table - \$325.00 each
- ExpressVote Thermal Activation Card-11 inch - \$30.00 (250 count)
- ExpressVote Thermal Activation Card-14 inch - \$40.00 (250 count)
- ExpressVote Thermal Activation Card-17 inch - \$45.00 (250 count)
- ExpressVote Thermal Activation Card-19 inch - \$50.00 (250 count)
- ExpressVote Coin Cell Battery - \$10.10 each
- ExpressVote 4 GB Jump Drive (additional) - \$105.00 each (not required, but useful for recall situations or multiple elections)
- ADA Stylus-Ball Gripper w/tip - \$5.85 each
- Alcohol Isopropyl - \$4.25 each
- Headphone Sanitary Cover - \$ 0.18 each
- Pens – (BIC Grip Roller Ball Pen, Black .7mm - \$10.68 per box of 12
- Touchscreen Cleaning Cloth - \$2.75 each
- Touch Screen Cleaning Kit - \$10.50 each
- Wire Roto 8" Tool less Seal - \$0.68 each
- Black Stylus - \$14.95
- Canned Air - \$11.50

MEMO

TO: David E. Cox, Village Administrator
FROM: Michael Einweck, Director of Public Works
DATE: May 20, 2015
SUBJECT: Sanctuary of Hartland Subdivision
Security Reduction

The developer, Mr. Chris Miller of Miller Marriott Construction Co., has requested a reduction in the letter of credit security for the Sanctuary of Hartland Subdivision construction items that have been completed. The request has been reviewed and checked by the Village Engineer, Ruekert - Mielke (please see attached). I have also reviewed the request and am in agreement that the work has been completed. This is the fourth request for security reduction.

The existing letter of credit may be reduced from the current balance of \$898,052.70 to \$707,971.80. This is a reduction in the amount of \$190,080.90. If approved by the Board, staff will contact the issuer of the security with the new amount contingent upon receiving the lien waivers for this reduction. The remaining balance is adequate to cover the outstanding construction work and the ten percent guarantee security.

Please place this on the next Village Board agenda for consideration.

Attachments

cc: Darlene Igl, Village Clerk
Ryan Bailey, Finance Director/Treasurer
Ryan Amtmann, Village Engineer

May 18, 2015

Mr. Michael Einweck, P.E.
Director of Public Works
Municipal Building
Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

RE: Sanctuary of Hartland
Letter of Credit Reduction No. 4

Dear Mike:

I have reviewed Miller Marriott's fourth request to reduce the Letter of Credit amount by \$190,080.90. I am in agreement with this request and recommend that the Village Board reduce the Letter of Credit to \$707,971.80. This recommendation is based upon inspection records performed by Ruekert/Mielke and confirmed quantity estimates with Village Staff.

If you should have any questions regarding this recommendation, please feel free to contact me.

Very truly yours,

RUEKERT & MIELKE, INC.



Jerad J. Wegner, P.E. (WI)
Project Manager
jwegner@ruekert-mielke.com

JJW:sjs

cc: Ryan T. Amtmann, P.E., Ruekert / Mielke
File



MILLER MARRIOTT
CONSTRUCTION CO. LLC

May 5th, 2015

Village of Hartland
Attn: Mike Einweck
210 Cottonwood Ave
Hartland, WI 53029

We all agree that the attached work described on the project draw dated through period 4/30/2015 has been completed.

We also agree that:

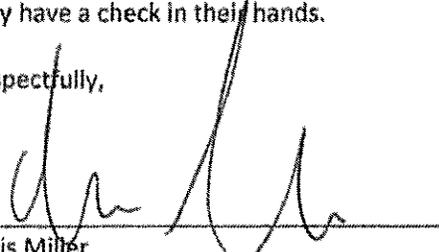
- 1) Dollar value of work is accurate.
- 2) Work has been completed in a good and workmanlike manner in compliance w/ the Plat and applicable plans and specifications.
- 3) No liens will attach to this site.
- 4) The dollar value of the work completed is reasonable.

We would like to ask at this time that you perform an inspection (if needed) and grant us a reduction in our letter of credit amount per our developer's agreement.

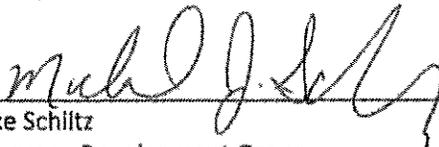
As a reminder, we will not receive the Unconditional Lien Waivers from Tomasini for this pay app until they have a check in their hands.

Respectfully,

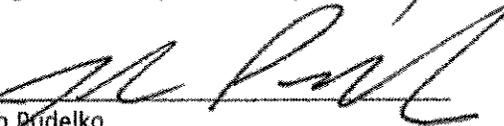
X


Chris Miller
Owner, Miller Marriott Construction Co. LLC

X


Mike Schiltz
Evergreen Development Group

X


Josh Pudelko
Owner, Trio Engineering LLC

APPLICATION AND CERTIFICATE FOR PAYMENT

TO OWNER: Securent Bank/Village of Hartland PROJECT: Sanctuary of Hartland Subdivision APPLICATION # 4 Distribution to: Owner Const. Mgr Architect Contractor

FROM CONTRACTOR: Miller Harbatt Construction Co. ENGINEERS: Evergreen Development Group/Mike Schiltz CONTRACT DATE: 10/30/14

Tri Engineering, LLC/Josh Pudeiko

CONTRACT FOR:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$ 1,315,156.10
2. Net change by Change Orders	\$
3. CONTRACT SUM TO DATE (Line 1 +/- 2)	\$ 1,315,156.10
4. TOTAL COMPLETED & STORED TO DATE \$ (Column G on Continuation Sheet)	\$ 674,650.00
5. RETAINAGE:	
a. 10.0% of Completed Work (Column D+E on Continuation Sheet)	\$ 67,465.00
b. _____ of Stored Material (Column F on Continuation Sheet) Total Retainage (Line 5a + 5b or Total in Column 1 of Continuation Sheet)	\$
6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$ 67,465.00
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$ 607,185.00
8. CURRENT PAYMENT DUE	\$ 417,104.10
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$ 190,080.90
	\$ 707,971.10

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:  Date: 5/5/15

By: _____ Date: _____

State of: _____

County of: _____

Subscribed and sworn to before me this _____ day of _____

Notary Public: _____

My Commission expires: _____

CERTIFICATE FOR PAYMENT

In accordance with Contract Documents, based on on-site observations and the data comprising application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED

AMOUNT CERTIFIED \$ 190,080.90

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this application and on the Continuation Sheet that are changed to conform to the amount certified.)

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order		

ENGINEER:  Date: 5/4/15

By: _____ Date: _____

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner of Contractor under this Contract.

CONTINUATION SHEET

ATTACHMENT TO PAY APPLICATION

Page 2 of 2 Pages

APPLICATION NUMBER 4

APPLICATION DATE 05/05/15

PERIOD TO: 04/30/15

PROJECT: Sanctuary of Hartland Subdivision

ARCHITECT'S PROJECT NO:

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		E Completed This Period	F Materials Presently Stored (Not in D or E)	G Total Completed And Stored To Date (D + E + F)	H Balance To Finish (C - G)	I Retainage
			From Previous Application (D + E)	This Period					
1	Erosion Control (Rams)	51,200.00	4,095.00	36,865.00			40,960.00	10,240.00	4,096.00
2	Tree Clearing (Rams)	35,500.00	35,500.00				35,500.00		3,550.00
3	Site Grading (Rams)	218,950.00	85,921.00	32,489.00			118,390.00	100,560.00	11,839.00
4	Sanitary Sewer (DF Tomasiini)	163,377.00	160,717.00	2,660.00			163,377.00		16,337.70
5	Watermain (DF Tomasiini)	199,064.00	135,940.00	63,144.00			199,084.00		19,908.40
6	Storm Sewer (DF Tomasiini)	117,339.00	41,276.00	76,063.00			117,339.00		11,733.90
7	Curb & Gutter (Payne & Dolan)	38,681.00						38,681.00	
8	Asphalt Pavement (Payne & Dolan)	183,965.00						183,965.00	
9	Concrete Sidewalks (Payne & Dolan)	30,680.00						30,680.00	
10	Landscaping (Breezy Hill)	73,338.00						73,338.00	
11	Fencing	24,000.00						24,000.00	
12	Entrance Lighting	7,500.00						7,500.00	
13									
14	15% Maintenance Amount	171,542.10						171,542.10	
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28	SUBTOTALS PAGE 2	1,315,156.10	463,449.00	211,201.00			674,650.00	640,506.10	67,465.00