

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, AUGUST 17, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of July 20, 2015
2. Consideration of an Architectural Board application for the construction of a single-family residence to be located on Lot 26, 453 Sanctuary Lane in the Sanctuary of Hartland Subdivision

Property Owner/Contractor: Sanctuary of Hartland, LLC/Miller Marriott, 301 Pawling Ave., Hartland, WI 53029

3. Architectural Board and Plan Commission review and consideration of an application for modifications to a car wash facility on the property located at 400 E. Industrial Drive and consideration of possible Conditional Use Permit revisions.

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

4. Consideration of Zoning Code and general Code amendments to allow the Architectural Board to conditionally eliminate the requirement for review of single family residences in subdivisions with active homeowners associations.
5. Adjourn

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission

FROM: David E. Cox, Village Administrator 

DATE: August 14, 2015

SUBJECT: Agenda Information – August 17, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 3 Related to a proposed change to the plan for Hartland Service.

Background: A Conditional Use Permit (CUP) was approved for Hartland Service in April and revised in June to allow an expansion of the Automotive Service business and, specifically, the car wash. The revised CUP indicated that the both the automatic touch-less and soft cloth car washes could be operated 24 hours per day, seven days per week. Additionally, the April approval also included the Site Plan, which called for one large building expansion to house increased service bays and a new car wash and detailing facility. The existing out building on the lot would have been demolished. The owner has submitted plans to the Village showing a downsized addition to the main building and conversion of the existing out building to be used as the car wash facility. In this scenario, the total amount of impervious surface on the parcel is reduced and while the car wash bays are shorter, they orient north/south instead of east/west. During the wash cycle and upon exiting the wash bay, vehicles are oriented toward the north (railroad tracks) instead of toward the residential properties on Cottonwood Avenue. Despite this, no modifications to the landscaping along Cottonwood Avenue have been proposed, which plans include a berm and buffer plantings. The second building (existing out building), which will house the car wash, would be treated as an accessory structure. Amendments to the Conditional Use Permit have been proposed that would reflect the current (and final) proposal.

Recommendation: Recommend approval of the plan and amendments to the CUP.

Item 4 Related to Code changes to not require Arch Board review in certain circumstances.

Background: Architectural Board review of single family home construction and modification was implemented decades ago in response to perceived aesthetic problems with houses being constructed. At that time, the areas of the Village in question were not served by homeowners associations and the appearance of new construction was not being reviewed by anyone to determine its fit within Hartland. In the intervening years, new subdivisions have come on line that were approved with strong expectations as to the type and appearance of

houses and with strong internal review processes for new construction and modifications. In fact, it is always part of the Architectural Board conversation when considering such improvements to determine whether the local homeowners group or architectural review committee has reviewed the proposal. As we have discussed at Architectural Board meetings in the past, perhaps Village review of the aesthetics is not necessary when the subdivision has already reviewed and approved. Based on that concept, staff is proposing some amendments to the Zoning Code and Village Code that would remove the requirement for Arch Board review and to allow the Arch Board to establish a policy of not reviewing certain work. It would then be the intent that the Arch Board would approve a policy that indicates review of improvements in subdivisions with properly created and functioning architectural review committees or the like would not need Arch Board review prior to permitting unless the Building Inspector requests a review. Details of such a policy would be created through discussion with the Architectural Board and approved after the Code is amended.

Recommendation: Review the proposed ordinance and provide feedback as appropriate then bind the action over to September for final recommendation.

DC:PC Agenda Info 8-17

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JULY 20, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, James Schneeberger and Randy Swenson. Excused: Jack Wenstrom.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer

Roll Call

1. Motion (Swenson/Schneeberger) to approve the Jt. Architectural Board/Plan Commission Minutes of June 15, 2015. Carried (6-0).
2. Architectural Board consideration of an application for Elegant Nails Bar for an illuminated sign at 600 Hartbrook Drive.

Applicant: Elegant Nails Bar, 600 Hartbrook Drive, Hartland, WI 53029
Contractor: Bauer Sign, 2500 South 170th Street, New Berlin, WI 53151

There was no representative present at the meeting for this application.

The issue was raised that currently there is a sign in this establishment's window that says "Elegant Nails and Bar." Scott Hussinger stated that a "tavern" is not allowed at this business. He stated on the applicant's building permit that they are not allowed to sell alcohol. They expect to occupy in 30 – 60 days. "No consumption of alcohol" will be stated on their Occupancy Permit. This sign is consistent with the Sendik's Mall sign plan.

Lighted signs can be lit in the evening if the establishment is open. After closing time, the lighting should be turned off by a timer at 10:00 PM.

Motion (deCourcy-Bower/Hallquist) to approve an application for Elegant Nails Bar for an illuminated sign at 600 Hartbrook Drive, noting that it should be consistent with the Sendik's Mall sign plan for lighting. Carried (6-0).

3. Architectural Board consideration of an application for a sign for Lake Country Fine Arts at 112 W. Capitol Drive.

Applicant: Lake Country Fine Arts School and Gallery, 112 W. Capitol Drive,
Hartland, WI 53029
Contractor: Avalon Graphics, 1020 James Drive, Hartland, WI 53029

The sign is non-illuminated and has BID approval.

Motion (Hallquist/Swenson) to approve an application for a sign for Lake Country Fine Arts at 112 W. Capitol Drive. Carried (6-0).

4. Architectural Board and Plan Commission consideration of an application for replacement of existing garage/barn at 563 E Capitol Drive including a height restriction modification.

Applicant: Charles Tindal, 563 E. Capitol Drive, Hartland, WI 53029
Contractor: Owner

The owner has demolished the old barn that was in his back yard. He would like to construct a three-car garage to a height of 17 feet. Under the Village Code, detached accessory structures may not exceed 15 feet in height, but Section 46-926 of the Code allows the Plan Commission and Village Board to allow up to 18 feet under certain conditions. It was noted that the adjoining properties have taller accessory structures on their properties. Mr. Tindal is seeking a wall height of about 10 feet and is using a 6:12 pitch on the roof to be consistent with the pitch of the house, which also has a 9 pitch and an 11 pitch. There was discussion regarding using a truss for a shallow pitch to mimic the line on the east side of the house. The garage is not attached to the house. It was also mentioned that from the road, the garage will not be able to be seen simultaneously with the house. The curb appeal from the road is what should be addressed.

The question was raised, was there thought of reproducing the old barn style for this garage? Mr. Tindal explained that he was told he could not duplicate the 21 foot height of the old barn, which is greater than the 18 foot maximum allowed with Plan Commission's exception. Mr. Tindal's neighbors have 21 foot and 19 foot barns in their yards. Scott Hussinger mentioned that the Village could possibly change their building code to allow certain structures, but it would take 60 days for the amendment process.

The old two story barns add to the historic district. David de Courcy-Bower has one on his property that will eventually need replacing. Aesthetically, if it were to be replicated, would that be consistent with the design elements of our historic district?

The second question, at what point should a homeowner approach the Village Arch Board regarding such a structure? Scott Hussinger recommended homeowners should approach the Village before demolition.

Mr. Hussinger stated that the Village could come up with language that says you can build something similar to what was existing in the historic district. Right now we don't have that. He asked Mr. Tindal if he was willing to wait 60 days for the Village to change the code to allow for special exceptions in the historic district to replace existing structures? Mr. Tindal stated he would like to start his project as soon as possible.

There was discussion regarding adding some architectural features to the current proposed garage plan. Mr. Tindal suggested installing a window that was left over from the house renovation. The Board agreed that the window or a louvered vent would be appropriate. It should be centered on the gable.

Motion (de Courcy-Bower/Hallquist) to recommend approval to the Village Board the application for replacement of existing garage/barn at 563 E Capitol Drive including a height restriction modification, along with the architectural feature centered on the gable. Carried (6-0).

5. Architectural Board and Plan Commission consideration of proposed façade modifications and application for a sign for a proposed restaurant at 122 Cottonwood Ave.

Applicant: Cottonwood Investments, d/b/a Beer Snobs, Inc., 724 Winston Way,
Hartland, WI 53029

Contractor: MTD, 154 Grandville Ave., Cedarburg, WI 53012

- a. Review and consideration of proposed façade improvements to add windows to the east and south side of the building

Three windows will be installed on the east side of the building which will match the rest of the building windows. There is a proposed lease-holder for that section of the building. An additional window will be installed on the south side of the building.

Motion (de Courcy-Bower/Hallquist) to recommend approval to the Village Board the proposed façade modifications for 122 Cottonwood Avenue. Carried (6-0).

- b. Review and consideration of an application for a sign

The Business Improvement District has approved this sign. The wall signs will be installed on the "turret" on Cottonwood Avenue and on Haight Drive. The signs will have gooseneck lighting. The material is cardboard and aluminum. There may be a spacer between the sign and the building wall. Since roof signs are not allowed, the signs will need to be on the parapet wall, not the roof.

Motion (de Courcy-Bower/Schneeberger) to approve an application for a sign for a proposed restaurant at 122 Cottonwood Avenue.

Discussion: The gooseneck lighting will illuminate the sign. The applicant was instructed that the light can be on during the time that the business is open, but it should be turned off at night after closing.

Motion carried after discussion. (6-0).

6. Architectural Board and Plan Commission concept review and consideration of an application for modifications to a car wash facility on the property located at 400 E. Industrial Drive and consideration of possible Conditional Use Permit revisions.

Applicant: Michael & Deborah Kusch, N65 W30981 Beaver Lake Rd., Hartland, WI 53029

Mr. Kusch is now proposing to keep his current 50' x 50' building and put two car washes in that existing building. The building is the perfect size for two car washes and the equipment bay. (The current car wash is 15' x 50'). The blowers will be on the northwest side and the noise will go toward the railroad tracks. The cars will also exit the car wash on the north side of the building. The traffic lanes are exactly in line with the building. With the rezoning, Mr. Kusch had one property with one address. Now he would have two buildings on one property. Mr. Kusch asked the Plan Commission if they would allow him to do this.

The two car washes will be 24/7 operations. There is no need for a longer building in view of the fact that Mr. Kusch decided to install the new trackless/conveyor-less car wash. There will be three free vacuum stations outside the car washes. The trend is that the free vacuum stations draw more revenue from the car washes. The 50' x 15' current car wash space and the storage room will still be converted to additional bays and larger office space.

Formal plans will be presented next month. The car wash building will be considered as an accessory structure, rather than having two principle buildings. If the Village considered this as two principle buildings, it would need a PUD. This plan will require a Conditional Use, which will have to be modified, but a new one will not need to be created.

The Plan Commission agreed that the new plan is a better fit for the property.

This is a conceptual review with a formal review at the August Joint Architectural Board/Plan Commission Meeting.

7. Adjourn

Motion (Amtmann/Schneeberger) to adjourn. Carried (6-0). Meeting adjourned at 7:35 PM.

Respectfully submitted by

Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>453 Sanctuary Lane</u>				
Lot <u>26</u>	Block	Subdivision <u>Sanctuary of Hartland</u>	Key No. HAV	
Owner <u>Sanctuary of Hartland LLC</u>		EMAIL	Phone	
Address <u>lpellegrini@millermarriott.com</u>		City	State	Zip
Contractor <u>Miller Marriott</u>	Phone <u>762-369-0531</u>	FAX <u>762-369-1077</u>	EMAIL	
Address <u>301 Pawling Ave</u>		City <u>Hartland</u>	State <u>WI</u>	Zip <u>53029</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 8/10/15 Date of Meeting: _____ Item No. _____

SHINGLE OVER RIDGE VENT
 1x8 MIRATEC RAKE W/1x2 MIRATEC OVER
 5/4x6 MIRATEC EAVE MOULDING

ALUMINUM GUTTERS

1x16 MIRATEC TRIM
 (MITER & SEAL CORNERS)

5/4x2 MIRATEC TRIM

5/4x10 MIRATEC TRIM

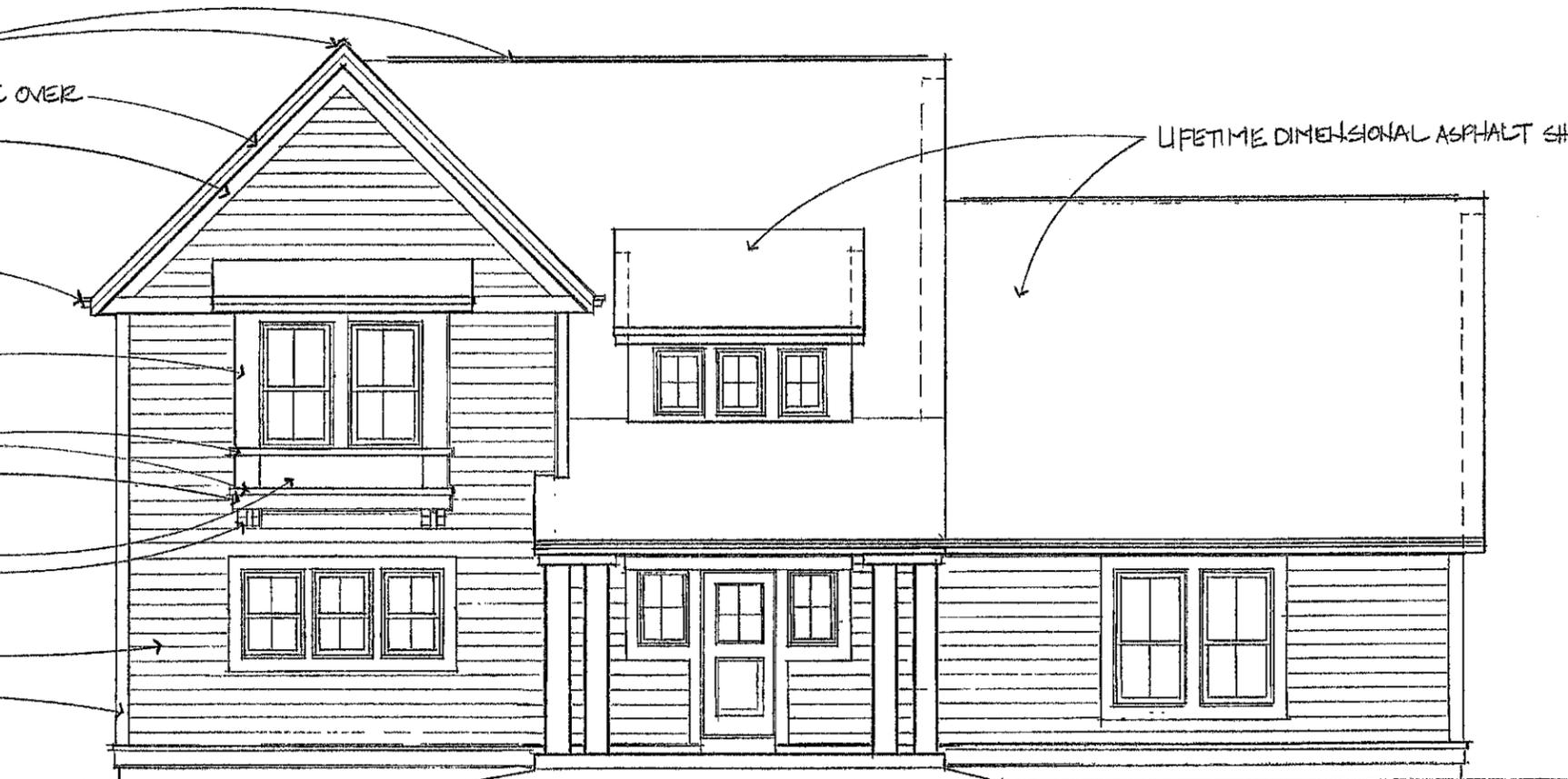
HARDI-PANEL

"PYRON" BRACKETS

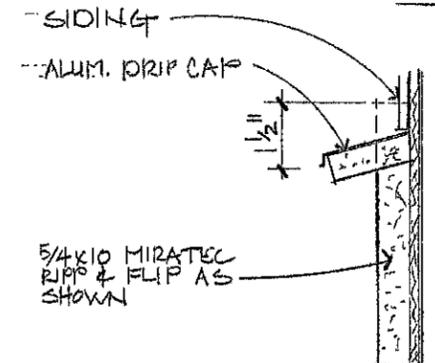
HARDI-PLANK CLAP SIDING

5/4x6 MIRATEC TRIM

LIFETIME DIMENSIONAL ASPHALT SHINGLES



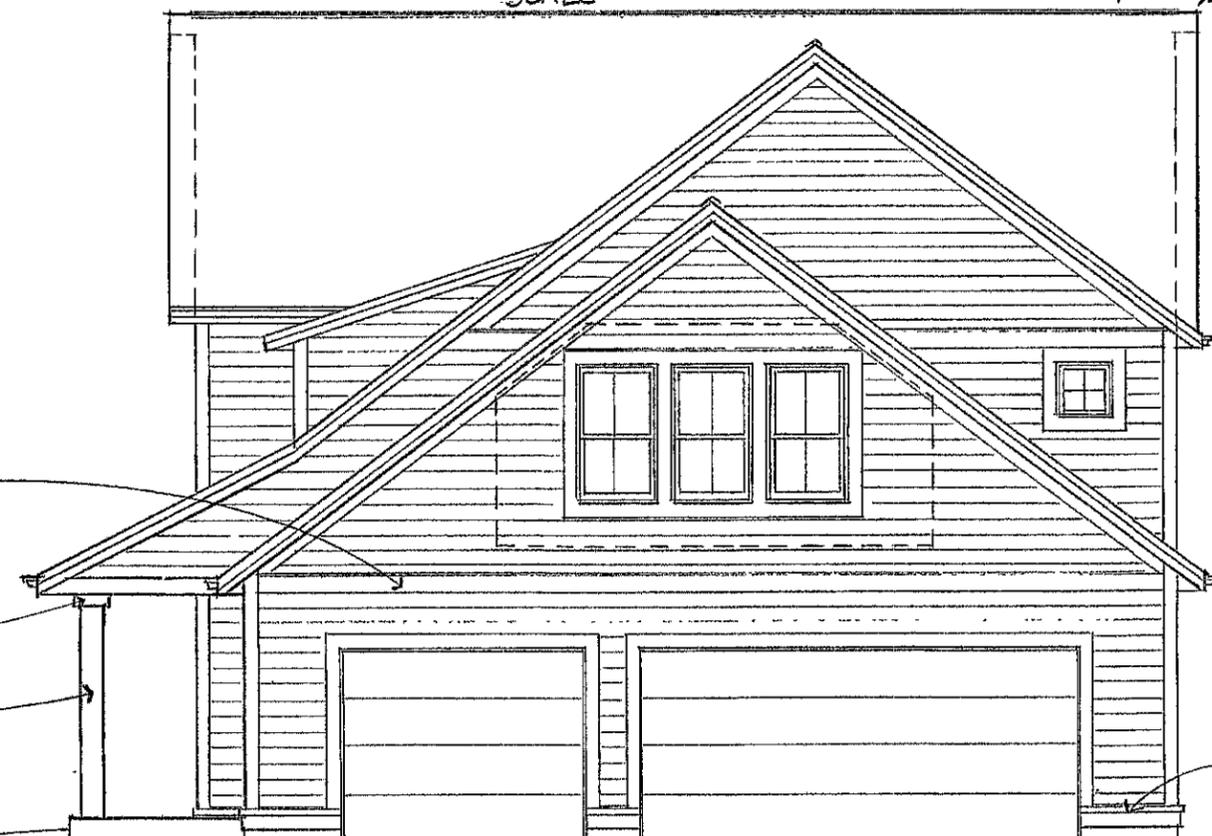
FRONT ELEVATION
 SCALE 1/4"=1'-0"



WATER TABLE SKETCH
 SCALE 5/4x8 MIRATEC W/ALUM. DRIP CAP

1x4 MIRATEC

MDO PLYWOOD BOX COLUMNS



RIGHT SIDE ELEVATION
 SCALE 1/4"=1'-0"

SQUARE FOOTAGE	
FIRST FLOOR	= 1103 SF
SECOND FLOOR	= 1341 SF
GARAGE	= 731 SF

WATER TABLE SEE [Symbol]



James Marriott & Associates
 Architects - Planners
 301 Pawling Ave.
 Hartford, Wisconsin 53029
 Phone (414) 940-3229 Fax (414) 940-1077

THE PLEASANT MODEL

RELEASED - 7-15-15

SHINGLE OVER RIDGE VENT

5/4 X 6 MIRATEC EAVES MOULDING

1 X 8 MIRATEC RAKE W/ 1 X 2 RAKE MOULDING OVER

10"

5/4 X 8 MIRATEC V/ALUM. DEEP CAP

5/4 X 6 MIRATEC WINDOW TRIM

5/4 X 8 MIRATEC WATER TABLE SEE



REAR ELEVATION

SCALE 1/4" = 1'-0"

30 YR. DIMENSIONAL SHINGLES

ALUMINUM GUTTERS

1 X 8 MIRATEC FACIA

5/4 X 6 MIRATEC TRIM

HARDIE-PLANK CLAP SIDING

10"

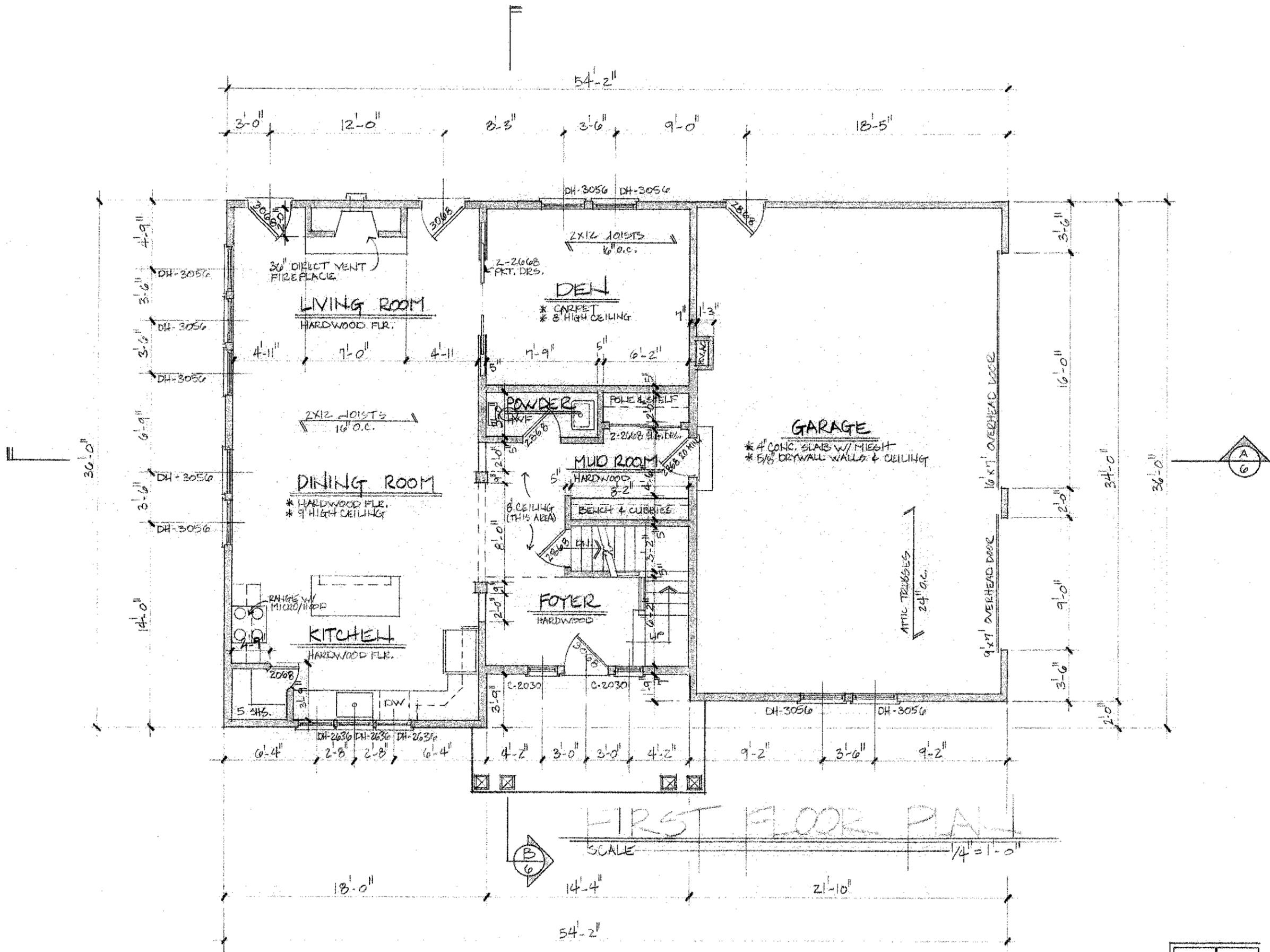
12"

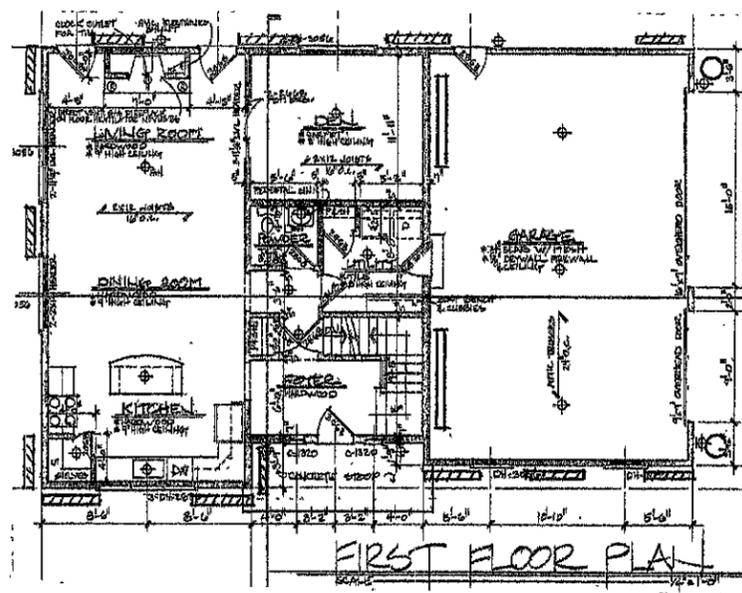
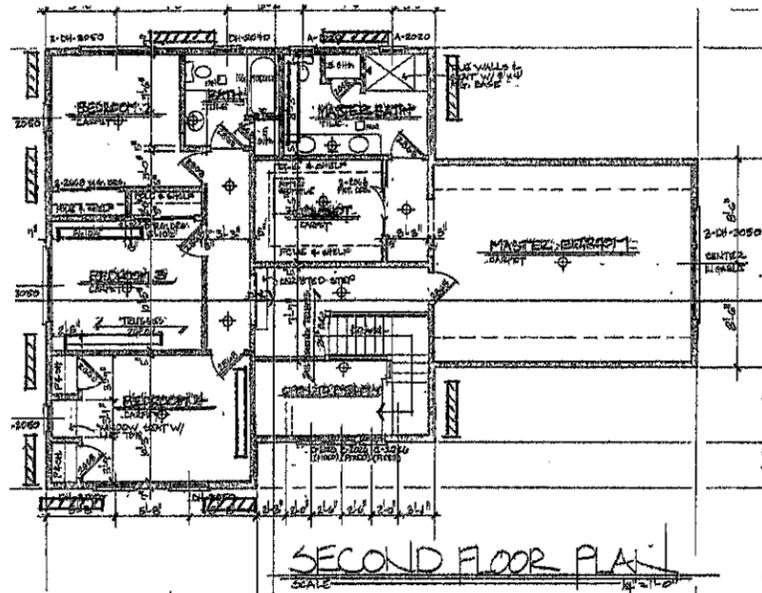
LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

WEBERDT

2





KEY

- 4"8" x 96" x 7/16" ORIENTED STRAND BOARD (STRUCTURAL PANEL) PER COMM. 21.25(8)4. SEE FIG. 21.25 K(C) PROVIDE BLOCKING AT TOP END OF PANEL (TYP.)
- 1/2" GYPSUM SHEET, EA. SIDE OVER 2x4 STUD WALL 16" O.C. PER COMM. 21.25(8)6
- CODE ALLOWANCE FOR NARROW PANEL PER COMM. 21.25 (9)b SEE FIG. 21.25 -E
- CODE ALLOWANCE FOR NARROW PANEL PER COMM. 21.25 (9)b. SEE FIG. 21.25 (K)b (SEE NOTE *)
- CODE ALLOWANCE FOR NARROW PANEL PER COMM. 21.25 (9)b. SEE FIG. 21.25(K)c

NOTE *

- FRAMING ANCHOR TO BE "SIMPSON" # CS-22 STRAP @ 845#

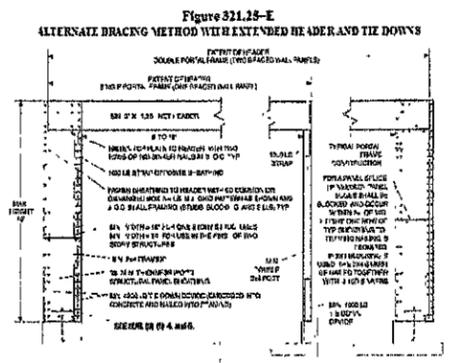
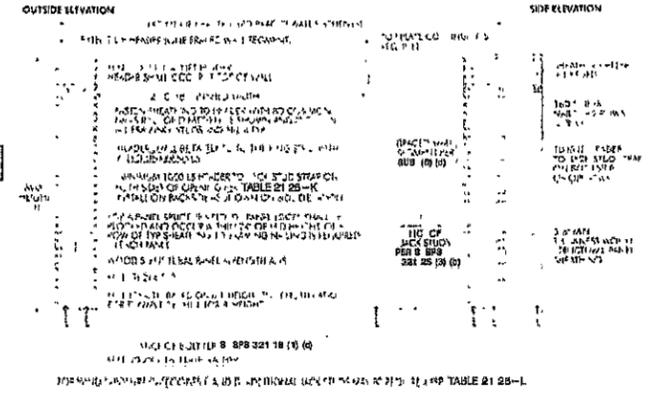
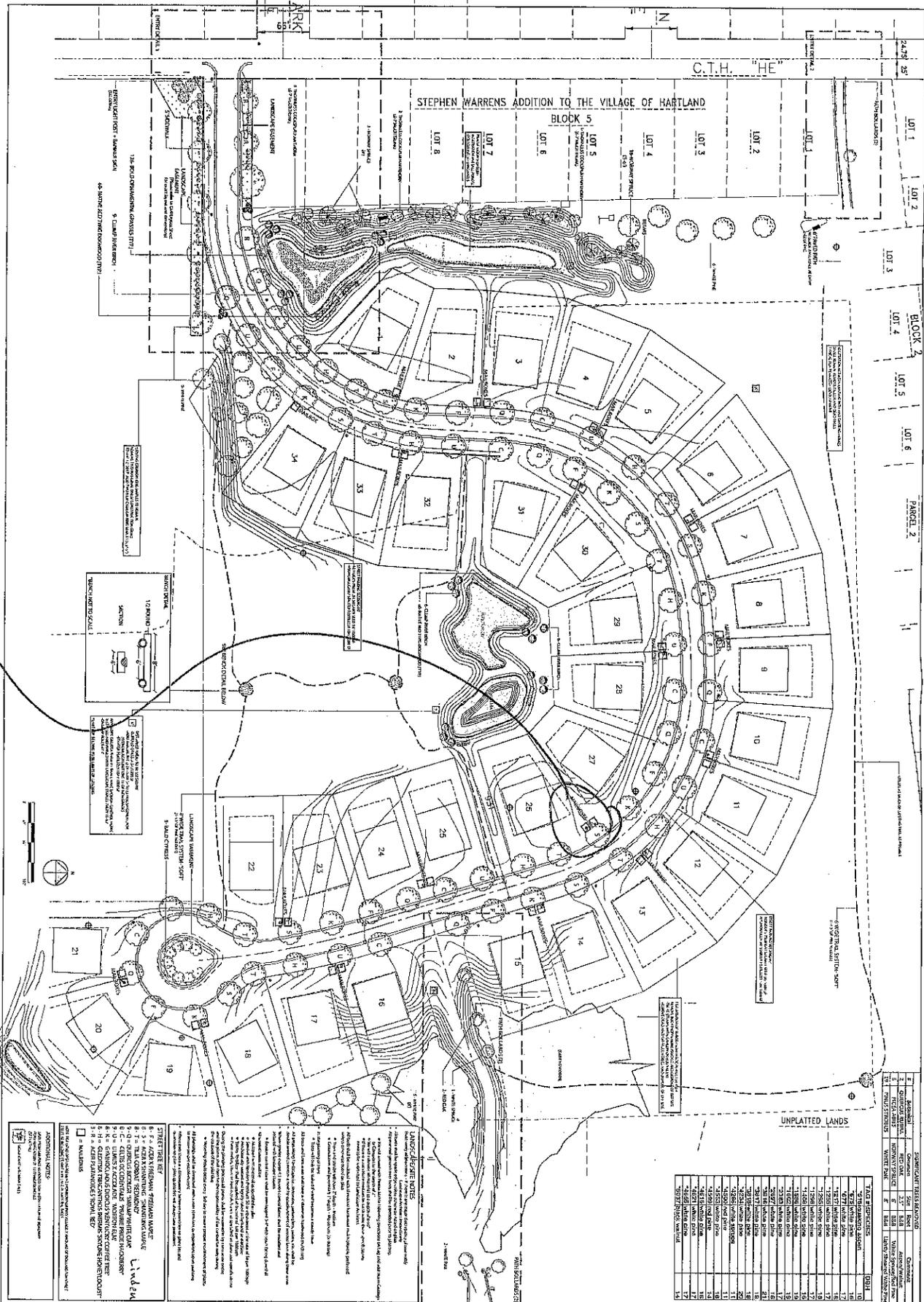


FIGURE 31.25-K
6:1 ASPECT RATIO BRACED WALL PANELS USING CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING AND EXTENDED HEADERS



Material	Fastener	Spacing of Fastener	
		Edges	Intermediate Supports
Engineered wood panel for sub-floor and roof sheathing and wall corner wind bracing to framing			
3/16" to 1/2"	6d common or deformed nail or staple, 1 1/2"	6"	12" 4
5/8" to 3/4"	8d smooth or common, 6d deformed nail, or staple, 14 ga 1 3/4"	6"	12" 4
7/8" to 1"	8d common or deformed nail	6"	12"
1 1/8" to 1 1/4"	10d smooth or common, or 8d deformed nail	6"	12"
Combination subfloor/ underlayment to framing			
3/4" or less	6d deformed or 8d smooth or common nail	6"	12"
7/8" to 1"	8d smooth, common or deformed nail	6"	12"
1 1/8" to 1 1/4"	10d smooth or common or 8d deformed nail	6"	12"
Wood panel siding to framing			
1/2" or less	6d corrosion-resistant siding and casing nails	6"	12"
5/8"	8d corrosion-resistant siding and casing nails	6"	12"
1/2" structural cellulose fiberboard sheathing	1 1/4" galvanized roofing nail, 8d common nail, staple 16 ga, 1 1/2" long	3"	6"
2 5/32" structural cellulose fiberboard sheathing	1 3/4" galvanized roofing nail; 8d common nail, staple 16 ga, 1 3/4" long	3"	6"
1/2" gypsum sheathing ⁵	1 1/4" galvanized roofing nail, 6d common nail, staple galvanized 1 1/2" long, 1 1/4" screws, Type W or S	4"	8"
5/8" gypsum sheathing ⁵	1 3/4" galvanized roofing nail, 8d common nail; staple galvanized 1 5/8" long; 1 5/8" screws, Type W or S	4"	8"

1 All nails are smooth-common, box or deformed shank except where otherwise stated
 2 Nail is a general description and may be T-head, modified round head or round head
 3 Staples are 16-gauge wire, unless otherwise noted, and have a minimum 7/16" o.d. crown width
 4 Staples shall be spaced at not more than 10" o.c. at intermediate supports for floors
 5 Apply vertically 4' x 8' or 4' x 9' panels



Mailboxes

PROPOSED GARDEN DESIGN FOR:

SANCTUARY OF HARTLAND
NEIGHBORHOOD CONCEPTS
HARTLAND, WI

UNPLATTED LANDS

LEGEND

1. 1" = 10' HORIZONTAL SCALE
2. 1" = 10' VERTICAL SCALE

NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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REVISIONS:

23 JUNE, 2014 2 SEPT, 2014

3 JULY, 2014 3 OCT, 2014

4 AUGUST, 2014 10 OCT, 2014

12 AUGUST, 2014 15 JAN, 2015

16 AUGUST, 2014

SCALE: 1/8" = 1'-0"

SHEET NUMBER: 1 OF 3

PROPOSED GARDEN DESIGN FOR:

SANCTUARY OF HARTLAND
NEIGHBORHOOD CONCEPTS
HARTLAND, WI

LEGEND

1. 1" = 10' HORIZONTAL SCALE
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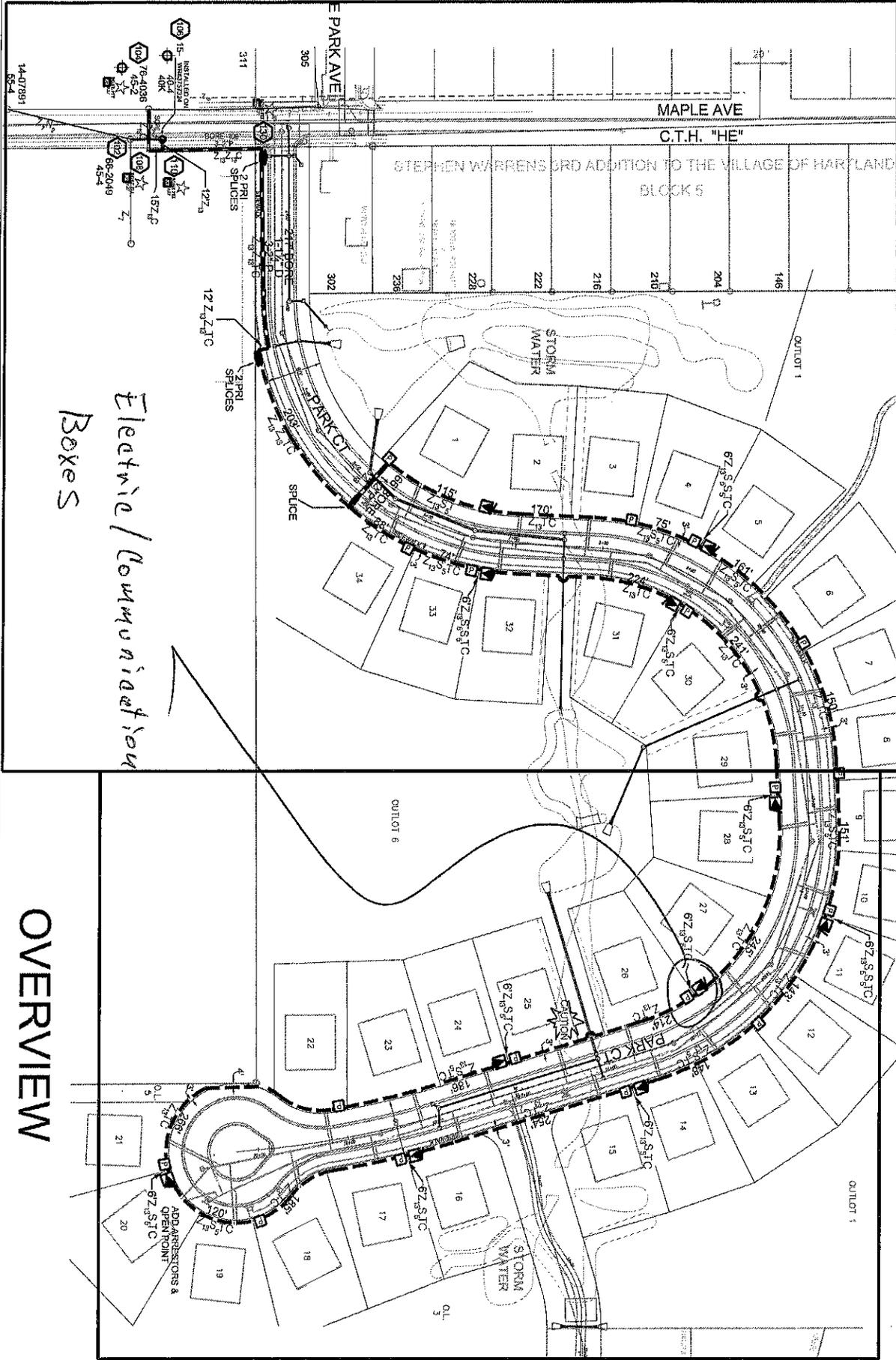
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34. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

GARLAND ALLIANCE, INC.
LANDSCAPE ARCHITECTS

PO BOX 11913
Shorewood, Wisconsin 53211
414-962-1602 tim@gardensbygarland.com





OVERVIEW

Electric / Communication
Boxes



7N 18E 02NW



RECEIVED

JUL 27 2011

Village of Hartland

ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**APPLICATION FOR
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description 6,575 SQ/FT AUTO SERVICE & AUTO DETAIL ADDITION			
Proposed Use Auto repair, auto detailing & car wash services.		No. of Employees 16	
Project Location 400 East Industrial Drive			
Project Name Hartland Service Car Wash & Detail Building		Hartland Service Retail Building	
Owner Michael and Deborah Kusch		Phone	
Address N65 W30981 Beaver Lake Road		City Hartland	State WI Zip 53029
Engineer/Architect MSI General (Pete Anderson)		Phone 262-563-5337	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX 262-719-2957	E-mail john@msgeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
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Project Name

Hartland Service Addition

Project Address

400 East Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

Existing Building Data	
Automotive Repair, Carwash & Office Building	
Building Area	10,870 sq/ft
Construction Type	Type 6 (Under Previous Building Code)
Number of Stories	1
Occupancy Non Separated	
B (Carwash Area)	1,455 sq/ft
S1 (Car Repair Area)	7,110 sq/ft
B (Office)	2,305 sq/ft
Building Height	14'-0" & 21'-4"
Fire Protection	None
Building Addition Data	
Automotive Repair, Automotive Detailing, Carwash & Office Addition	
Building Area	6,575 sq/ft
Construction Type	IIB
Number of Stories	1
Occupancy Non Separated	
S1 (Car Repair Area)	4,455 sq/ft
B (Office)	2,120 sq/ft
Total Building Area Including Addition	17,445 sq/ft
Allowable Building Area (Table 503 with Frontage Increase) Nonseparated use (S1 is most restrictive)	
Allowable Area	30,625 sq/ft
Fire Areas Based on Section 903.2.9.1 not to exceed	
	12,000 sq/ft (Refer to A-101 for locations of fire barriers)
Total Building Occupant Load (This calculation does not include the dedicated carwash area) Per IBC 2009 Table 1004.1.1	
	158
Egress Width	
Required	31.6"
Provided	192"
Exit access Travel Distance	200'
Fire Protection	None
Sanitary Facility Requirements (50% reduction based on owner supplied occupant letter)	
Men (79)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
Women (79)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
One unisex lav. is also provided in the building addition	
Janitor's Sink	
Required	1
Provided	1 Existing
Drinking fountain	
Required	1
Provided	1 Existing

Existing Site Data	
Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Existing Detail Building	2,525 S.F.
Existing House (To be Demolished)	850 S.F.
Existing Shed (To be Demolished)	220 S.F.
Existing Hard Surface (Buildings Excluded)	37,985 S.F.
Total Existing Hard Surface (Buildings Included)	
	52,450 S.F.
Total Existing Green Space	
	46,400 S.F.
Existing Green Space Ratio	47%
Existing Parking Stalls	
Standard Parking Stalls	52
Accessible Parking Stalls	3
Proposed Site Data	
Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Proposed Auto Repair Addition	6,305 S.F.
Proposed Building Area Including Addition	17,445 S.F.
Existing Detail Building To Remain	2,500 S.F.
Proposed Building Footprint Ratio	20%
Total Hard Surface w/ Proposed Site Improvements & Building Addition	
	68,508 S.F.
Total Greenspace w/ Proposed Site Improvements & Building Addition	
	30,342 S.F.
Proposed Green Space Ratio	31%
Parking Requirements	
1 Stall Per Employee	16
1 Stall Per 250 sq/ft of car repair area	
6,450 sq/ft (Does not include circulation or storage areas)	26
Total Stalls Required	42
Existing Parking Stalls to Remain	
Standard Parking Stalls	26
Accessible Parking Stalls	2
Proposed Parking Stalls	
Standard Parking Stalls	22
Total Parking Provided	
Standard Parking Stalls	48
Accessible Parking Stalls	2

Accessibility
Refer to C-101 for location of accessible route & existing accessible parking stalls. Once in the building there is an accessible route to all rooms & we are constructing a new accessible ADA unisex restroom in the building addition serving the primary function area.

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX	
REVISIONS	
No.	Description
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PLAN COMMISSION SET 07.27.15	

PROJECT ADDRESS:
PROJECT NAME
Hartland Service Addition
STREET ADDRESS
400 East Industrial Drive
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

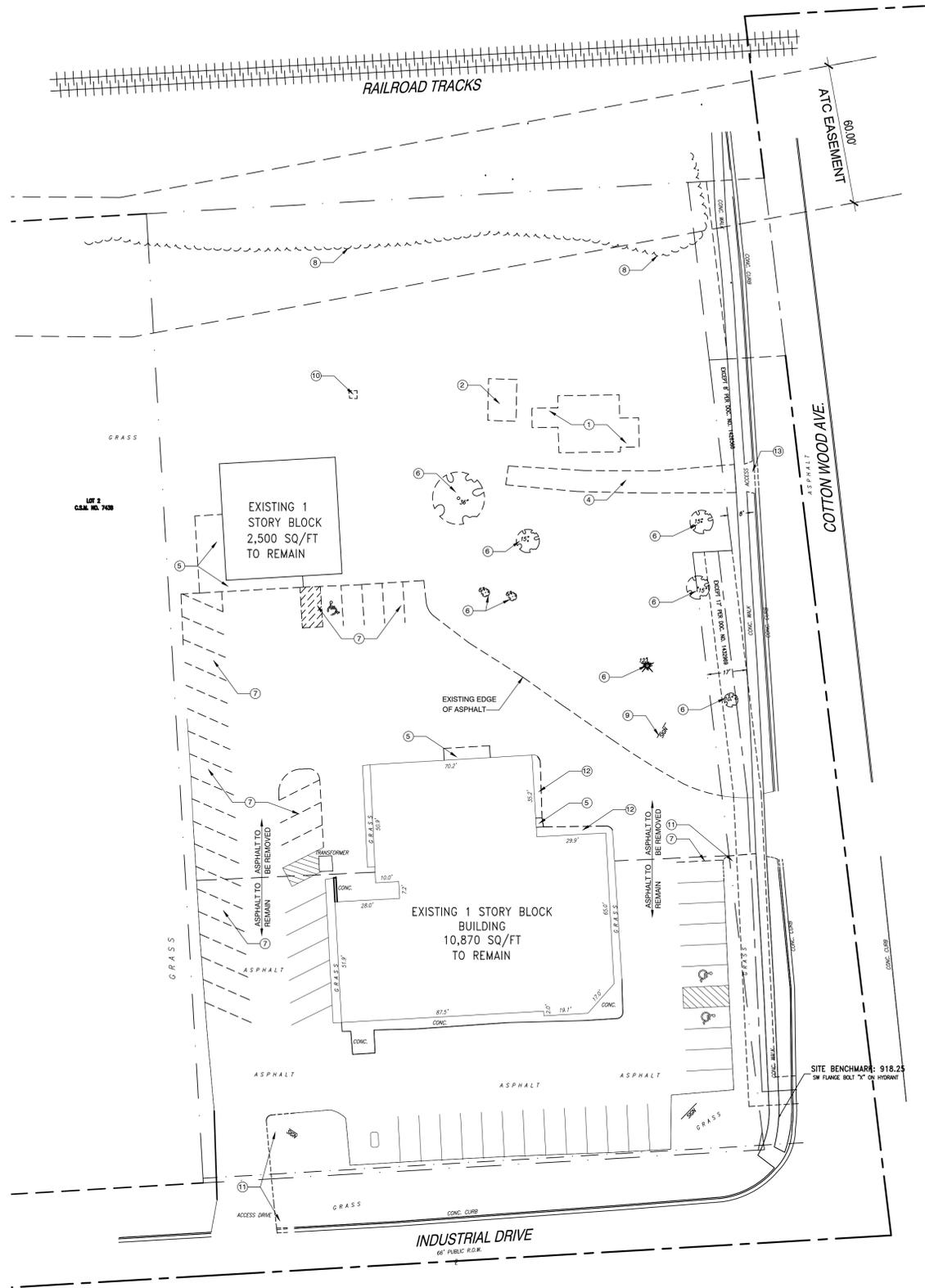
Date: 03.30.15 Drawn By: Pete Anderson
Sheet Title: COVER SHEET
Sheet Number: G-001
Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE DEMOLITION NOTES

- 1 EXISTING HOUSE REMOVED BY OWNER
- 2 EXISTING SHED REMOVED BY OWNER
- 3 OMITTED
- 4 EXISTING GRAVEL DRIVE TO BE REMOVED
- 5 EXISTING CONCRETE TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING PARKING STALL STRIPING TO BE REMOVED
- 8 EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- 9 EXISTING MONUMENT SIGN TO BE REMOVED
- 10 EXISTING TRANSFORMER TO BE REMOVED
- 11 WIDEN EXISTING EAST & SOUTH DRIVES BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE. REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH
- 12 EXISTING LANDSCAPING ALONG EXISTING OFFICE TO BE REMOVED
- 13 REMOVE EXISTING CONCRETE APPROACH, CONCRETE WALK & CONCRETE CURB AS REQUIRED TO INFILL TO MATCH ADJACENT CONSTRUCTION



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REFERENCE KEYNOTES

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
11 80 LB PRECAST LIVE LOAD(03410) 12 80 LB PRECAST LIVE LOAD(03410) 13 100 LB PRECAST LIVE LOAD(03410) 14 125 LB PRECAST LIVE LOAD(03410) 15 150 LB PRECAST LIVE LOAD(03410) 16 200 LB PRECAST LIVE LOAD(03410)	31 CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02050 & 03000) 32 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 33 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 34 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 35 CONCRETE REIN. W/ 600 #5 @ 10 W.F.(03000) 36 CONCRETE REIN. W/ 600 #5 @ 10 W.F.(03000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000) 48 8" CONCRETE BRICK UNIT(04000) 49 12" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(05000, 05100 & 05500) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(05100, 05150, 05200 & 07000) 53 METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(05000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05500) 55 1 1/2" DIA. METAL RAILING(05500)	71 PERIMETER INSULATION(07000) 72 FENITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) 73 5/8" MIN BALLASTED ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION(07000) 74 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 75 24 GAGE SIDE LAP FASTENED METAL ROOF OR WALL PANEL(07410) 76 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL 77 24 GAGE PREFINISHED METAL LINER PANEL 78 3" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" FRICTION FIT INSULATION(07000) 81 EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV1)(07240)	81 BRICKSTONE INSULATED LOW E GLASS(08410,08800) 82 GREY TONE INSULATED LOW E GLASS(08410,08800) 83 CLEAR INSULATED LOW E GLASS(08410,08800) 84 BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 H.M. BOROHOVED LITE	91 SUSPENDED CEILING SYSTEM(09100) 92 METAL SOFFIT PANEL
21 3"1/4" x 1 3/4" ASPHALT OVER 8" STONE BASE(0210,02200) 22 4"1/2" x 1 1/2" ASPHALT OVER 8" STONE BASE(0210,02200) 23 3"3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(0210,02200) 24 HANDICAPPED PARKING STALL SIGN	37 1/2" EXPANSION JOINT MATERIAL(03000) 38 CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000)	40 12" CONCRETE BRICK UNIT(04000) 41 FACE BRICK(04000) 42 12" PRECAST PLANK(0410) 43 12" PRECAST PLANK(0410)	56 PLASTIC LAMINATE WINDOW BOLLARD(05000) 57 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(05100, 05200, 05400) 58 PLASTIC LAMINATE WALL CABINET(05100, 05200, 05400) 59 SHELF AND POLE(05100, 05200)	70 24 GAGE PREFINISHED METAL LINER PANEL 71 3" VINYL FACED BLANKET INSULATION(07000) 72 4" VINYL FACED BLANKET INSULATION(07000) 73 2" FRICTION FIT INSULATION(07000) 74 EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV1)(07240)	80 H.M. BOROHOVED LITE	93 FLAG POLE 94 MONUMENT SIGN 95 DUMPSTER ENCLOSURE 96 ROOF HATCH AND LADDER
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SITE DEMOLITION PLAN 1" = 30'-0"

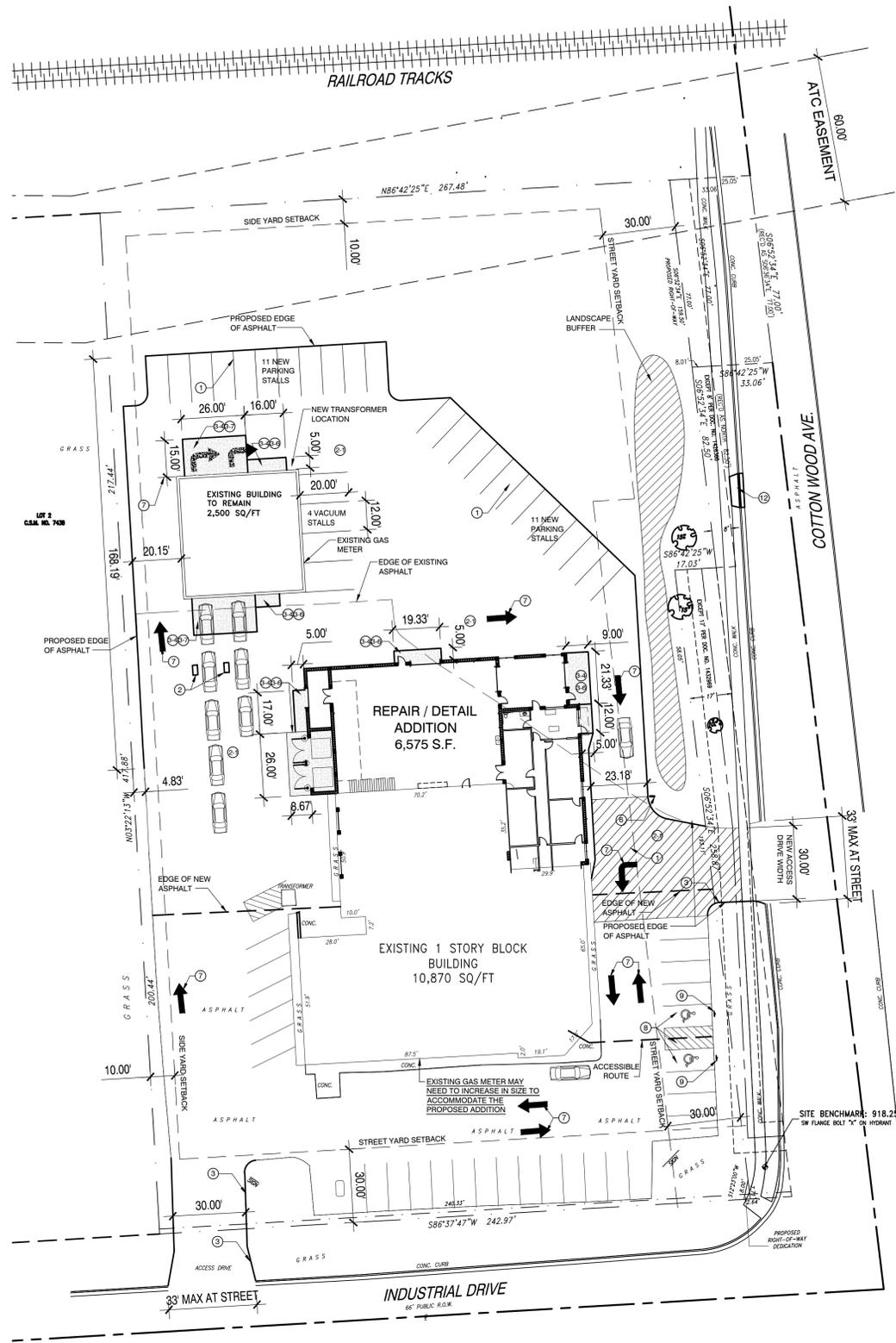
Date: 03.30.15 Drawn By: Pete Anderson
 Sheet Title: SITE DEMOLITION PLAN
 Sheet Number: C-001
 Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



SITE PLAN NOTES

- ① NEW PARKING LOT STRIPING
- ② CAR WASH PAY STATION
- ③ WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- ④ 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- ⑤ OMITTED
- ⑥ TWO SIDED SIGN
STOP SIGN FACING NORTH
ONE WAY DO NOT ENTER SIGN FACING SOUTH
- ⑦ PAINT DIRECTIONAL ARROWS ON EXISTING & NEW PAVEMENT AS INDICATED
- ⑧ REPAINT THE EXISTING HANDICAP PARKING STALLS & ASSOCIATED AISLE
- ⑨ ADD (2) NEW ADA PARKING SIGNS PER DETAIL C7/C-501
- ⑩ 2'-0" HIGH CMU RETAINING WALL- REFER TO SITE GRADING PLAN FOR MORE INFORMATION
- ⑪ NEW CATCH BASIN- REFER TO SITE UTILITY PLAN FOR MORE INFORMATION
- ⑫ INFILL EXISTING APPROACH W/ CONCRETE CURB, GREENSPACE & CONCRETE WALK TO MATCH ADJACENT EXISTING CONSTRUCTION & VILLAGE STANDARDS



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PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Addition
STREET ADDRESS
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<ul style="list-style-type: none"> ① 50 LB PRECAST LIVE LOAD(03410) ② 80 LB PRECAST LIVE LOAD(03410) ③ 100 LB PRECAST LIVE LOAD(03410) ④ 125 LB PRECAST LIVE LOAD(03410) ⑤ 150 LB PRECAST LIVE LOAD(03410) ⑥ 200 LB PRECAST LIVE LOAD(03410) 	<ul style="list-style-type: none"> ① CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02030 & 03030) ② 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02030, 03030) ③ 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02030, 03030) ④ 4" DECORATIVE CONCRETE MASONRY UNIT(04030) ⑤ CONCRETE REIN. W/ 600 #10 @ 10 W.F. (03030) ⑥ CONCRETE REIN. W/ 600 #6 @ 6 W.F. (03030) ⑦ CONCRETE REIN. W/ FIBERMESH REINFORCING(03030) ⑧ 1/2" EXPANSION JOINT MATERIAL(03030) ⑨ CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03030) 	<ul style="list-style-type: none"> ① 4" STANDARD CONCRETE MASONRY UNIT(04030) ② 8" STANDARD CONCRETE MASONRY UNIT(04030) ③ 12" STANDARD CONCRETE MASONRY UNIT(04030) ④ 4" DECORATIVE CONCRETE MASONRY UNIT(04030) ⑤ 12" DECORATIVE CONCRETE MASONRY UNIT(04030) ⑥ 4" CONCRETE BRICK UNIT(04030) ⑦ 8" CONCRETE BRICK UNIT(04030) ⑧ 12" CONCRETE BRICK UNIT(04030) ⑨ FACE BRICK(04030) ⑩ PRECAST PLANK(03410) ⑪ PRECAST PLANK(03410) ⑫ PRECAST PLANK(03410) ⑬ 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03030, 03030) ⑭ 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED (03030, 03030) 	<ul style="list-style-type: none"> ① 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS (03030, 06100 & 06000) ② 20 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS. (06100, 06100, 06000 & 07000) ③ METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(06000) ④ CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(03030, 06000) ⑤ 1 1/2" DIA. METAL RAILING(06000) ⑥ 24 GAGE SCULPTURED STEEL/ALU. METAL WALL PANEL ⑦ 24 GAGE PREFINISHED METAL LINER PANEL ⑧ 2" VINYL FACED BLANKET INSULATION(07000) ⑨ 1" VINYL FACED FRIT INSULATION(07000) ⑩ 1" FRICTION FIT INSULATION(07000) ⑪ EXIF EXTENSION INSULATION FINISH SYSTEM(DRVVT)(07000) 	<ul style="list-style-type: none"> ① PENETRATION INSULATION(07000) ② PENETRATION INSULATION IN CORES OF BLOCK(07000) ③ 1" 20 INSULATION + 3" EPS INSULATION (07000) ④ 24 GAGE CONCEALED FASTENER METAL ROOF PANEL ⑤ 24 GAGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) ⑥ 24 GAGE SCULPTURED STEEL/ALU. METAL WALL PANEL ⑦ 24 GAGE PREFINISHED METAL LINER PANEL ⑧ 2" VINYL FACED BLANKET INSULATION(07000) ⑨ 1" VINYL FACED FRIT INSULATION(07000) ⑩ 1" FRICTION FIT INSULATION(07000) ⑪ EXIF EXTENSION INSULATION FINISH SYSTEM(DRVVT)(07000) 	<ul style="list-style-type: none"> ① BRONZSTONE INSULATED LOW E GLASS(08410,08800) ② GREYSTONE INSULATED LOW E GLASS(08410,08800) ③ CLEAR INSULATED LOW E GLASS(08410,08800) ④ BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) ⑤ CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) ⑥ H.A. BROWNE LOW E 	<ul style="list-style-type: none"> ① SUSPENDED CEILING SYSTEM(0910) ② METAL SOFFIT PANEL
<ul style="list-style-type: none"> ① 2" 1/4" + 1 3/4" ASPHALT OVER 8" STONE BASE(0210,02000) ② 4" 1/2" + 1 1/2" ASPHALT OVER 8" STONE BASE(0210,02000) ③ 3" 3/4" + 2 1/4" ASPHALT OVER 12" STONE BASE(0210,02000) ④ HANDICAPPED PARKING STALL SIGN 			<ul style="list-style-type: none"> ① PLASTIC LAMINATE WINDOW BOLLARD(06000) ② PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06000, 06000) ③ PLASTIC LAMINATE WALL CABINET(06100, 06000, 06000) ④ SHELF AND POLY(06100, 06000) 			<ul style="list-style-type: none"> ① FLAG POLE ② MONUMENT SIGN ③ DUMPSTER ENCLOSURE ④ ROOF HATCH AND LADDER

SITE PLAN 1" = 30'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

Date: 03.30.15
 Drawn By: Pete Anderson
 Sheet Title: **SITE PLAN**
 Sheet Number: **C-101**
 Project Number: P11162
4381



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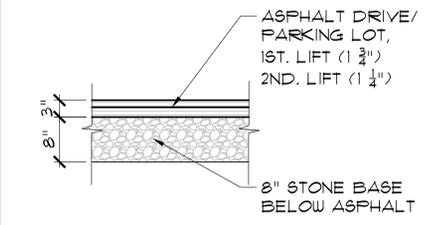
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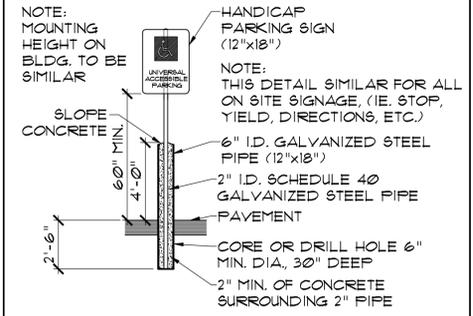
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Date: 03.30.15 Drawn By: Pete Anderson
 Sheet Title: SITE DETAILS
 Sheet Number: C-501
 Project Number: 4381 P11162



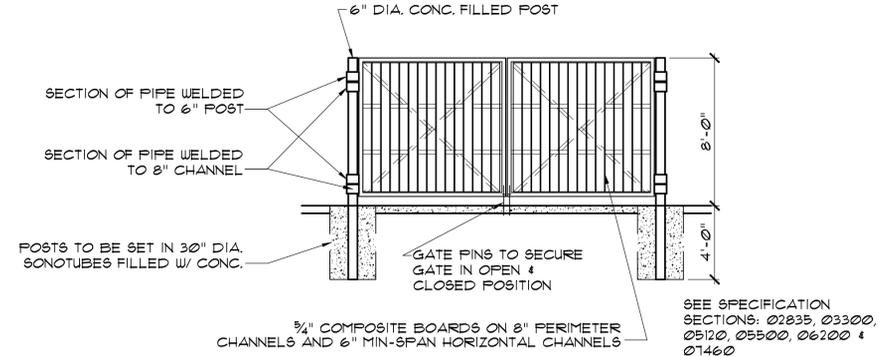
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"



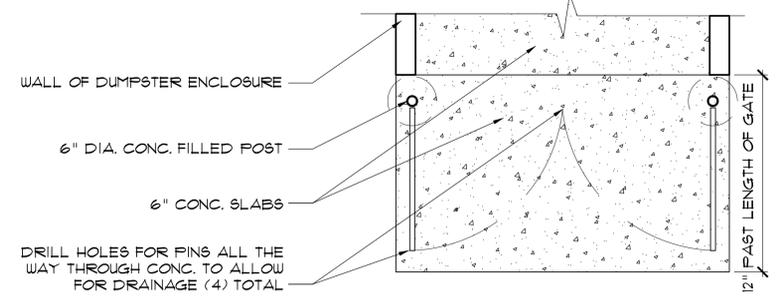
SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN



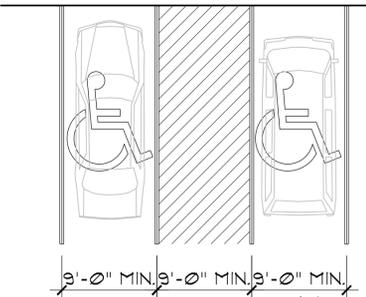
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C8 DUMPSTER ENCLOSURE GATE - ELEVATION



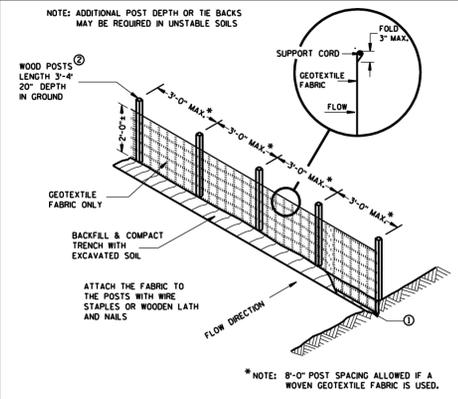
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C10 DUMPSTER ENCLOSURE GATE - PLAN



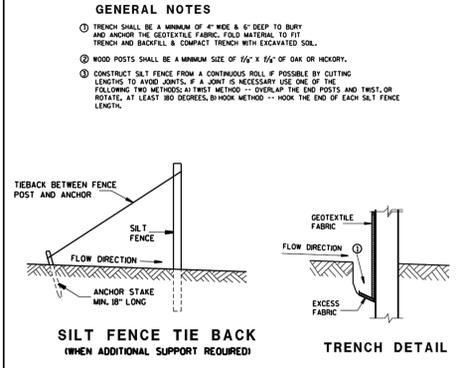
SEE SPECIFICATION SECTIONS: 02510, 03300 & 03350

C11 PARKING SPACE ACCESS AISLE

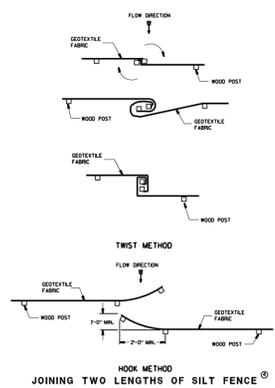


* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

C13 SILT FENCE



C13A SILT FENCE NOTES & SECTIONS



C13B SILT FENCE DETAILS

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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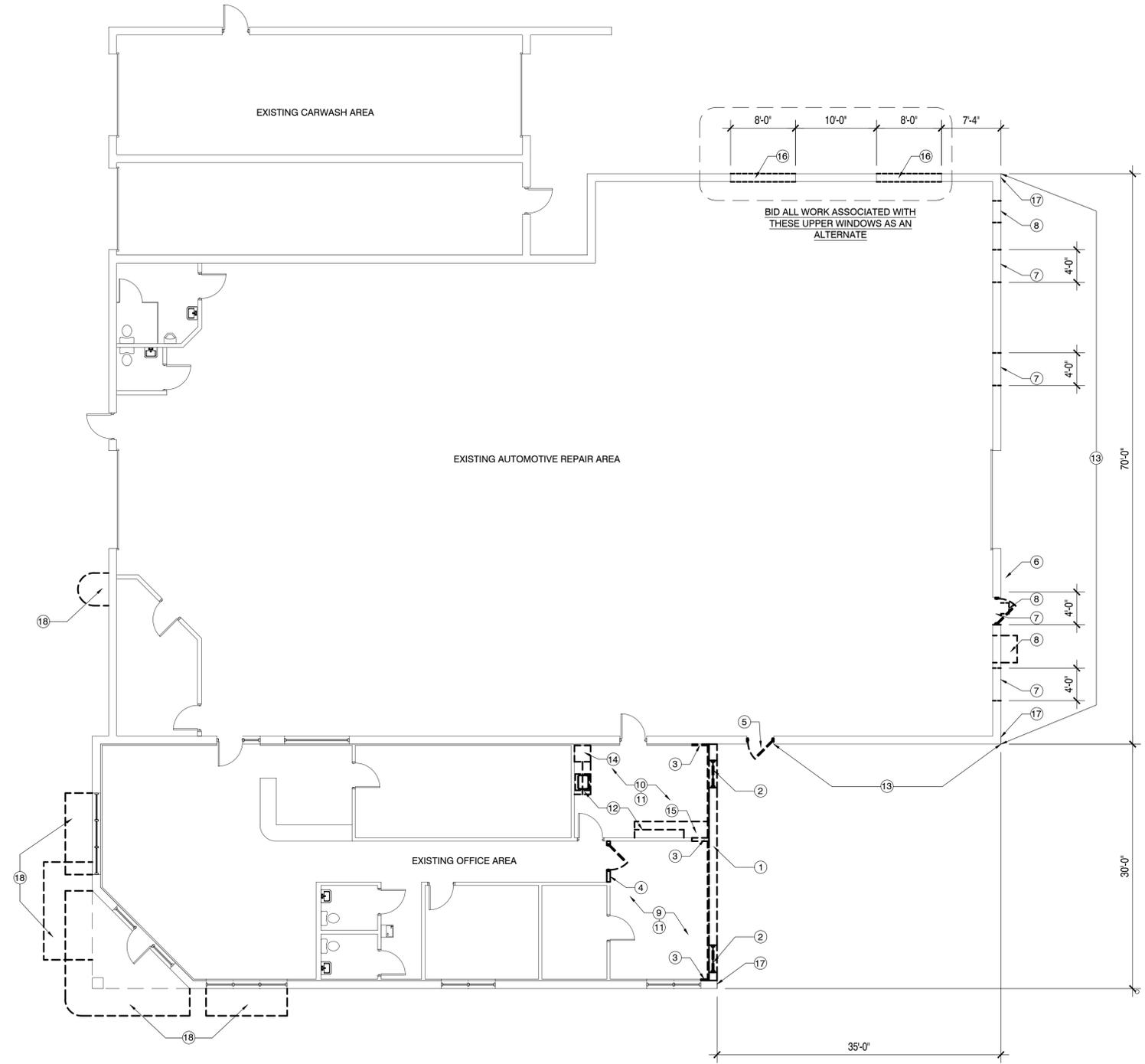
PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Addition
 STREET ADDRESS
 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson
 Sheet Title:
DEMOLITION PLAN
 Sheet Number:
A-001
 Project Number: P11162
4381



DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CMU WALL FROM 8" BELOW FINISHED FLOOR TO TO TOP OF WALL
- ② REMOVE EXISTING ALUMINUM FRAMED EXTERIOR WINDOW
- ③ REMOVE PORTION OF EXISTING PARTITION WALL & EXTERIOR FURRING AS REQUIRED TO REMOVE EXISTING CMU WALL
- ④ REMOVE EXISTING WOOD DOOR, WOOD FRAME & ADJACENT WALLS AS INDICATED. INSTALL BULKHEAD AT 8'-6" IN LINE WITH WALL REMOVAL
- ⑤ REMOVE EXISTING HOLLOW METAL DOOR & FRAME. PREPARE MASONRY OPENING AS REQUIRED FOR 12" CMU INFILL
- ⑥ REMOVE EXISTING HOLLOW METAL DOOR & FRAME. PREPARE MASONRY OPENING FOR INSTALLATION OF NEW 3 HOUR RATED HOLLOW METAL DOOR & FRAME
- ⑦ REMOVE EXISTING 4'X4' AREA OF GLASS BLOCK IN MASONRY OPENING ABOVE. PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑧ REMOVE & RELOCATE EXISTING EXHAUST VENT IN MASONRY OPENING ABOVE. PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑨ REMOVE EXISTING CARPET & WOOD BASE
- ⑩ REMOVE EXISTING VCT & WOOD BASE
- ⑪ REMOVE EXISTING CEILING TILE, CEILING GRID & ALL ASSOCIATED MECHANICALS
- ⑫ REMOVE EXISTING BASE CABINETS, UPPER WALL CABINETS & ALL ASSOCIATED PLUMBING
- ⑬ FIRE CAULK AROUND ALL WALL PENETRATIONS AS REQUIRED TO CREATE A 3HR RATED FIRE BARRIER
- ⑭ REMOVE EXISTING REFRIGERATOR & SAVE PER OWNER'S DIRECTION
- ⑮ REMOVE EXISTING TELEVISION & SAVE PER OWNER'S DIRECTION
- ⑯ SHORE EXISTING ROOF STRUCTURE
 -DEMO OPENING IN EXISTING CMU WALL FOR INSTALLATION OF NEW UPPER WINDOW. REFER TO ELEVATIONS AND SECTIONS
 -INSTALL STEEL LINTEL & FLEXIBLE FLASHING W/ STAINLESS STEEL DRIP EDGE (CONSTRUCT W/ END DAMS)
 -TOOTH IN CMU AT JAMBS & GROUT CMU CORES SOLID AT BEARING
- ⑰ REMOVE RIBBED PORTION OF EXISTING CMU AS REQUIRED TO BEGIN NEW CMU COURSING
- ⑱ REMOVE EXISTING AWNINGS & STORE PER OWNERS DIRECTION

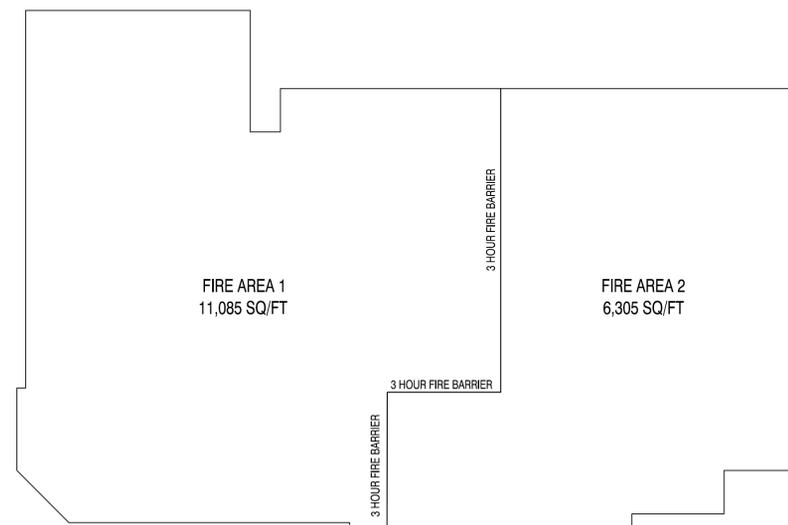
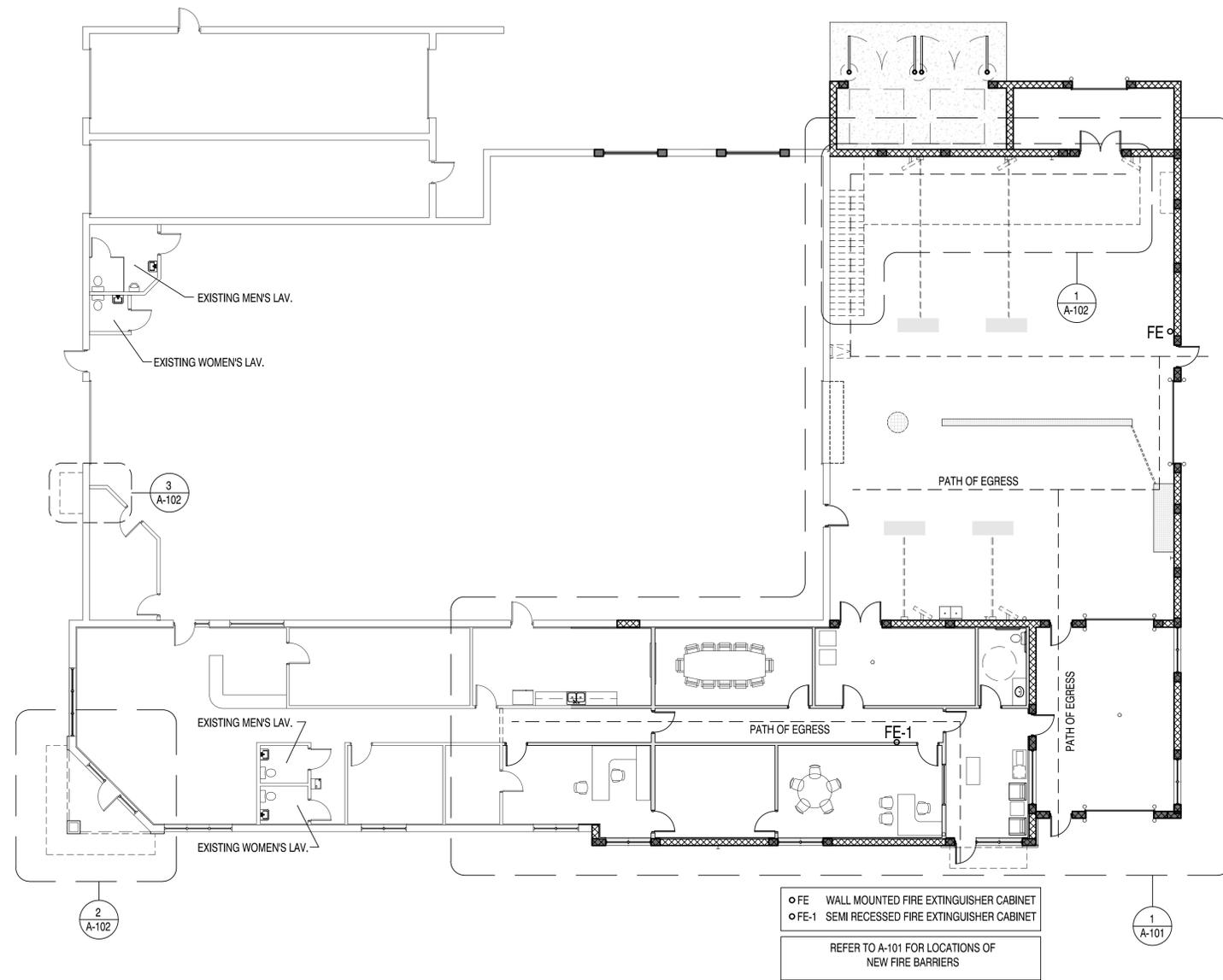
DEMOLITION PLAN 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

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FIRE AREA PLAN NO SCALE

OVERALL BUILDING PLAN 3/32" = 1'-0"



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PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

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Hartland Service Addition
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ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson

Sheet Title:
OVERALL FLOOR PLAN
EGRESS PLAN

Sheet Number:
A-002

Project Number: P11162

4381

MANAGERS

ENGINEERS

CONTRACTORS

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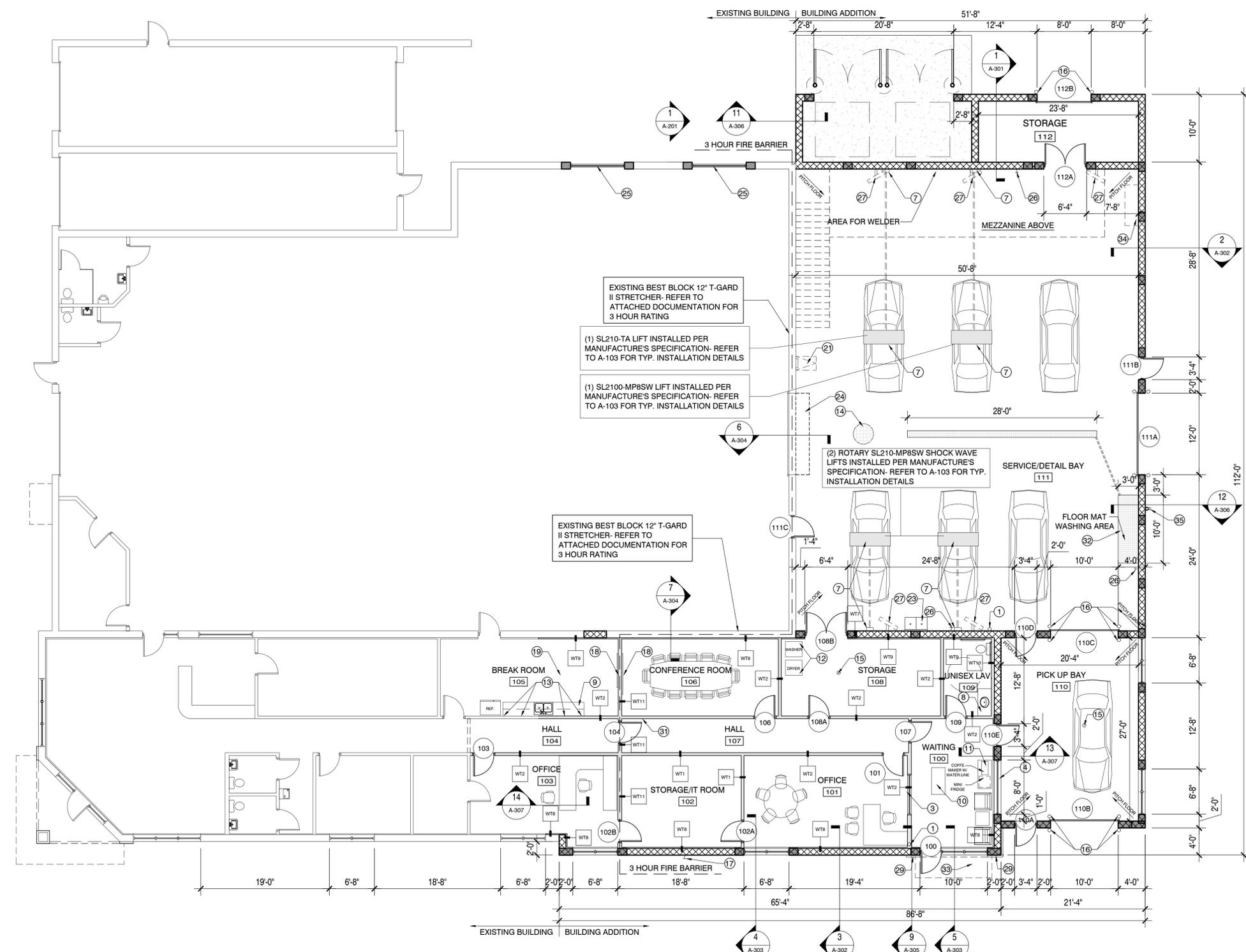
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Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson
Sheet Title: FLOOR PLAN
Sheet Number: A-101
Project Number: P11162
4381

WALL TYPES

- WT1 3/8" METAL STUDS FROM FLOOR TO ROOF DECK (SLIP JOINT AT ROOF DECK) 3/8" BLANKET INSULATION, 1" GYP.BD. FULL HT. ONE SIDE AND 4" ABOVE CEILING OTHER SIDE
 - WT2 3/8" METAL STUDS FROM FLOOR TO ROOF DECK (SLIP JOINT AT ROOF DECK) 3/8" BLANKET INSULATION, 1" GYP.BD. FULL HT. BOTH SIDES
 - WT8 1-1/2" ZEE FURRING WITH 1-1/2" STYROFOAM 2-MATE INSULATION WITH VAPOR BARRIER AND 1" GYP.BD. FROM FLOOR TO ROOF DECK
 - WT9 1-1/2" ZEE FURRING WITH 1" GYP.BD. FROM FLOOR TO 4" ABOVE CEILING
 - WT10 3/8" METAL STUDS & 1" GYP.BD. FROM FLOOR TO 4" ABOVE CEILING OVER CMU WALL
 - WT11 3 HOUR RATED WALL CONSTRUCTED PER (A119) REFER TO DETAIL 6/A-506 (3) LAYERS OF 1/2" TYPE X GYPSUM BOARD EACH SIDE 3-5/8" 20 GA STEEL STUDS @ 16" O.C. 2" MINERAL WOOL BATT INSULATION ENTIRE CONSTRUCTION FULL HEIGHT
- GENERAL WALL TYPE NOTES:
1. MOISTURE RESISTANT GWS AT ALL LOCATIONS EXPOSED TO MOISTURE
2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



FLOOR PLAN NOTES

REFER TO THE DEMOLITION PLAN FOR INFORMATION REGARDING THE INFILL OF EXISTING OPENINGS & CAULKING OF EXISTING PENETRATIONS ALONG THE NORTH WALL OF THE EXISTING BUILDING

- 1 ROOF DRAIN
- 2 OMITTED
- 3 6'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ ONE WAY GLASS ALIGN WINDOW HEAD W/ DOOR HEAD
- 4 8'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ 1" CLEAR INSULATING GLASS- ALIGN HEAD WITH DOOR HEAD IN CMU WALL
- 5 OMITTED
- 6 OMITTED

- 7 105" DEEP LIFT / CONTAINMENT TUBE & CONDUIT FOR HYDRAULIC LINE TO WALL FOR OWNER SUPPLIED HYDRAULIC LIFT & WALL MOUNTED CONTROL PANEL- REFER TO A-103 FOR TYP. INSTALLATION DETAILS
- 8 PLASTIC LAMINATE VANITY COUNTER TOP
- 9 PLASTIC LAMINATE BASE CABINETS, UPPER WALL CABINETS & COUNTER TOP W/ DOUBLE BASIN SINK AS SHOWN
- 10 PLASTIC LAMINATE POINT OF SALE DESK
- 11 PLASTIC LAMINATE BASE CABINET W/ OWNER SUPPLIED MINI FRIDGE & COFFEE MAKER ABOVE- INSTALL WATERLINE FOR COFFEE MAKER
- 12 COMMERCIAL GRADE CLOTHES WASHER/DRYER (BY OWNER) W/ ASSOCIATED POWER & VENTING
- 13 INSTALL 4 DUPLEX OUTLETS ABOVE BACK SPLASH IN BREAK ROOM 105
- 14 CATCH BASIN
- 15 FLOOR DRAIN
- 16 6"Ø x 4'-0" HIGH CONCRETE FILLED STEEL PIPE BOLLARD
- 17 EXTERIOR HOSE BIB

- 18 WALL MOUNTED OWNER SUPPLIED TELEVISION
- 19 INSTALL EXHAUST FAN W/ IN WALL SWITCH IN NEW BREAK ROOM
- 20 INSTALL ONE WAY GLASS AT ATTENDANT STATION WINDOW (OFFICE 114)
- 21 WALL MOUNTED STEEL LADDER & ROOF HATCH ABOVE
- 22 OMITTED
- 23 DOUBLE BASIN LAUNDRY TUB
- 24 12'X14' 3HR RATED FIRE SHUTTER AT EXISTING OPENING (MINIMUM FIRE RESISTANCE REQUIREMENTS MUST MEET ASTM E 119 OR UL263)
- 25 NEW ALUMINUM FRAMED WINDOW INSTALLED IN EXISTING UPPER WALL- REFER TO SECTIONS FOR WINDOW HEIGHTS
- 26 HOSE BIB WITH HOT AND COLD WATER SUPPLY
- 27 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- 28 METAL WALL PANEL SYSTEM INSTALLED OVER METAL FRAMING & CLIPS OVER EXISTING SPLIT FACE CMU WALL- REFER TO A-102 & SECTIONS FOR MORE INFORMATION

- 29 METAL WALL PANEL SYSTEM INSTALL OVER 1/2" HAT CHANNELS OVER NEW SMOOTH FACE CMU WALL- REFER TO A-102 & SECTIONS FOR MORE INFORMATION
- 30 RE-PAINT EXISTING SOFFIT AT MAIN BUILDING ENTRY- REFER TO A-102
- 31 INSTALL MAGNETIC DOOR HOLD OPEN/RELEASE DEVICE WITH SMOKE DETECTION ON BOTH SIDES OF THE DOOR
- 32 1'-0" DEEP CONCRETE PIT W/ ANGLE EMBED FOR STEEL GRATE SUPPORT- PITCH CONCRETE TO DRAIN & CONNECT DRAIN PIPING TO MAIN TRENCH DRAIN- REFER TO SECTION FOR MORE INFORMATION
- 33 INSTALL RECESSED LIGHTING IN THE UNDERSIDE OF EACH NEW CANOPY- REFER TO A-101 & A-102
- 34 INSTALL EXISTING VENT/HOOD RELOCATED FROM EXISTING DETAIL BUILDING- MODIFY EXISTING VENT PIPING TO DISCHARGE THROUGH NEW ROOF OR NEW CMU WALL- VERIFY FINAL LOCATION WITH OWNER
- 35 EXTERIOR DUPLEX OUTLET



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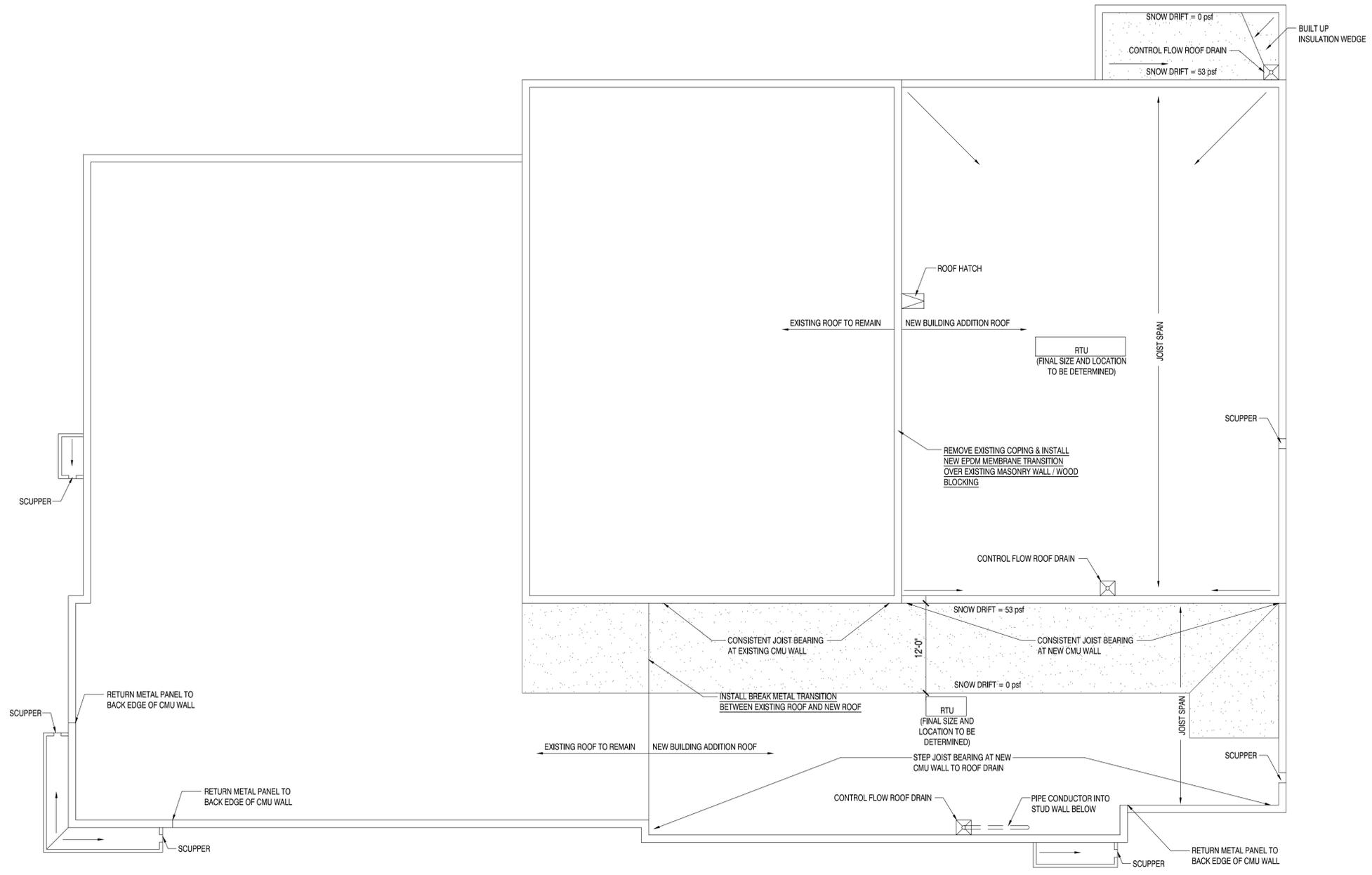
PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

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ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson
 Sheet Title:
ROOF PLAN
 Sheet Number:
A-105
 Project Number: P11162
4381



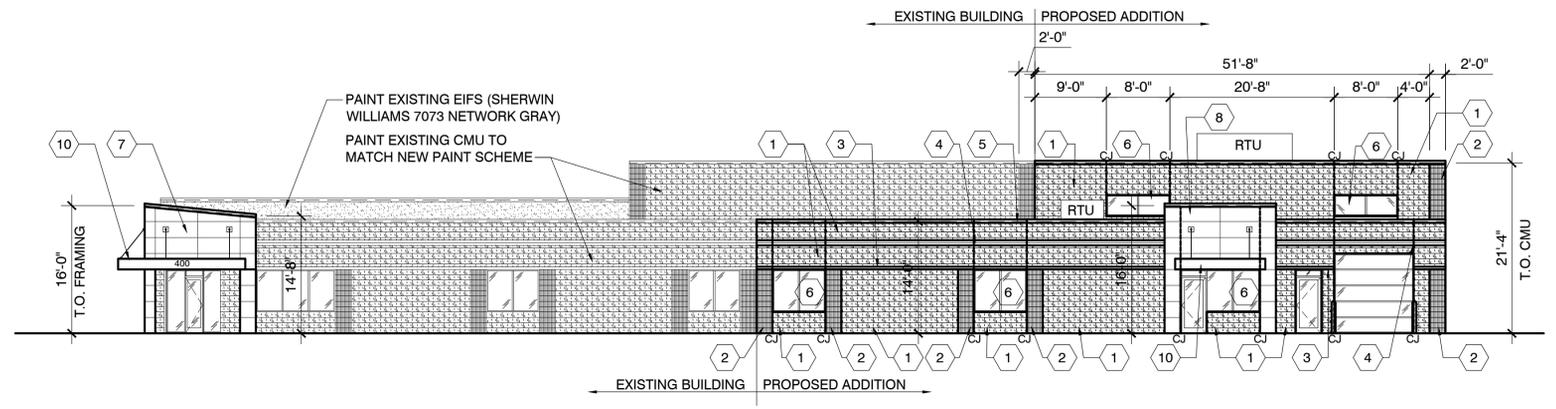
ROOF PLAN 1/8" = 1'-0"

MANAGERS

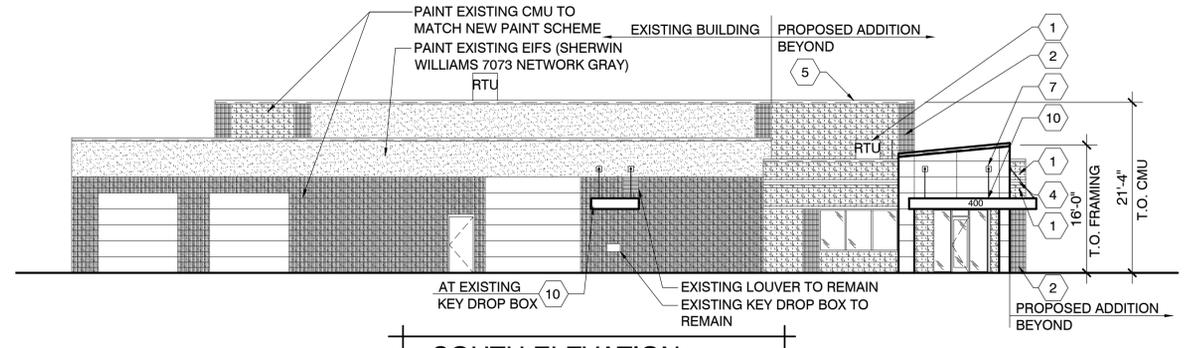
ENGINEERS

CONTRACTORS

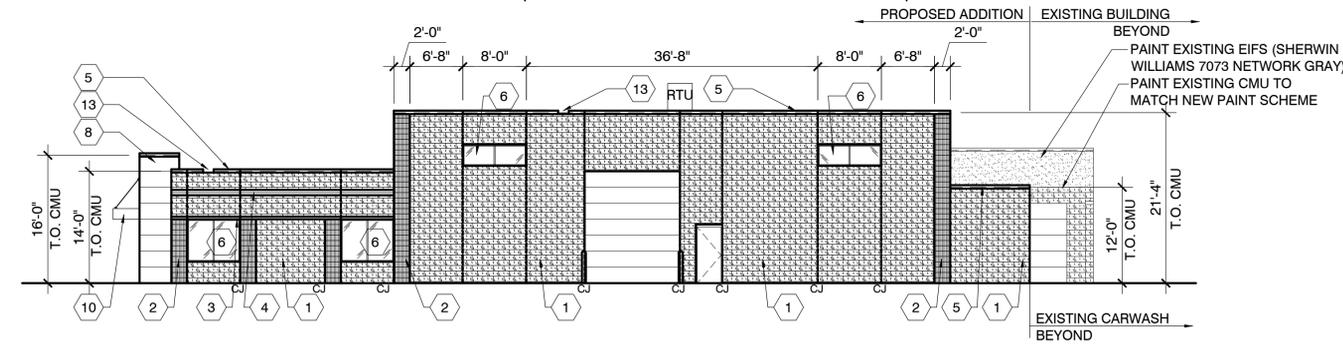
ARCHITECTS



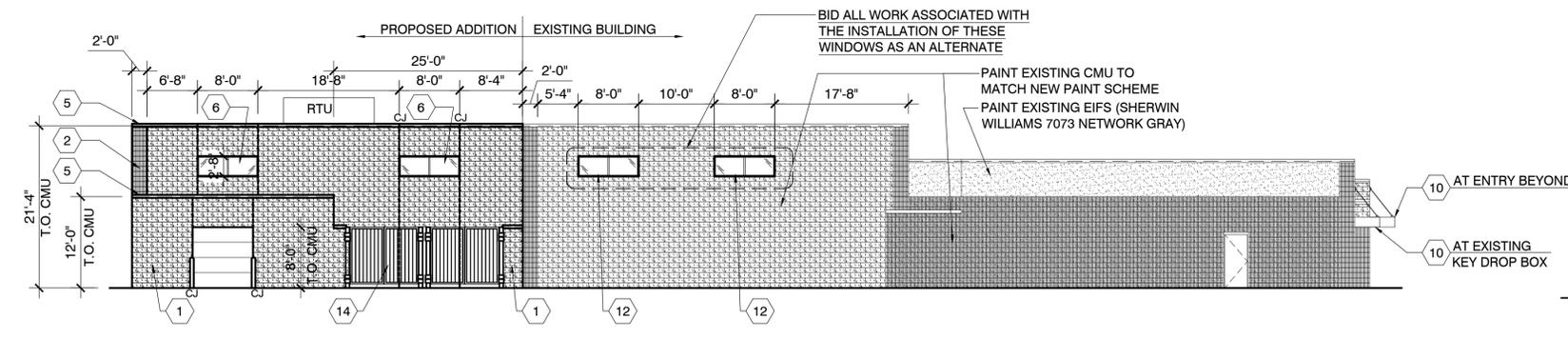
EAST ELEVATION



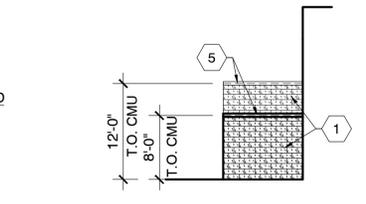
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



1 PARTIAL SOUTH ELEVATION AT DUMPSTER SCREEN

ELEVATION NOTES

GENERAL NOTES FOR EXISTING MATERIAL
 -PAINT EXISTING SPLIT-FACE CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING SPLIT-FACE RIB CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING HALF SPLIT-FACE BANDS TO MATCH COLOR SELECTED FOR BUILDING ADDITION
 -PAINT EXISTING EIFS AS NOTED

TOP COURSE OF ALL NEW CMU WALLS ARE PAINTED SMOOTH CMU

- 1 PAINTED SPLIT-FACE CMU (SHERWIN WILLIAMS SW7074 SOFTWARE)
- 2 PAINTED SPLIT-FACE RIB CMU (RIB STYLE TO MATCH EXISTING (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 3 PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE) SMOOTH HALF (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 4 2 COURSES OF PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE) SMOOTH HALF (CUSTOM HARTLAND SERVICE BLUE TO BE DETERMINED)
- 5 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH EXISTING)
- 6 1" GREY TINTED INSULATING GLASS IN ANODIZED BLACK ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING- FIELD VERIFY)
- 7 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER EXISTING MASONRY & NEW STUD FRAMED PARAPET W/ PANEL JOINTS AS SHOWN (COLOR TO MATCH CLEAR ANODIZED)
- 8 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR MATCH CLEAR ANODIZED)
- 9 OMITTED
- 10 STEEL FRAMED CANOPY WRAPPED IN BREAK METAL TO MATCH METAL WALL PANEL W/ PAINTED STEEL SUPPORT RODS & BRACKETS
- 11 8"x8" GLASS BLOCK
- 12 ALTERNATE: DEMO NEW MASONRY OPENING IN THE EXISTING WALL FOR THE INSTALLATION OF 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 13 SCUPPER
- 14 STEEL FRAMED DUMPSTER GATES- REFER TO STANDARD DETAILS ON C-501



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PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

PROJECT NAME
 Hartland Service Addition
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 400 East Industrial Drive
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson

EXTERIOR ELEVATIONS

Sheet Title:
 Sheet Number:
A-201
 Project Number: P11162

4381

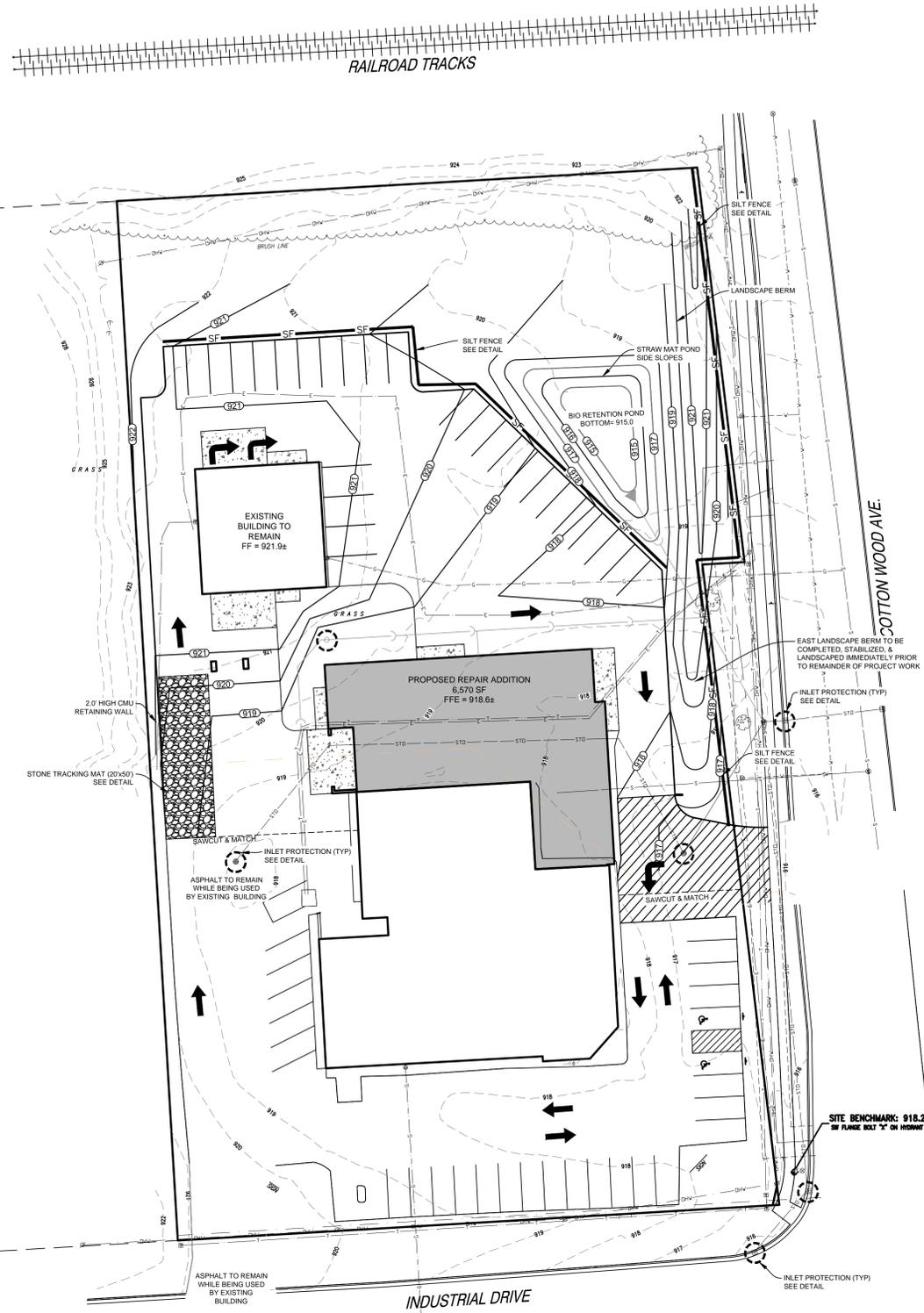
ELEVATIONS 3/32" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



- ### CONSTRUCTION SITE SEQUENCING
- ALL WORK SHALL BE CONFORMANCE WITH THE DNR HPDES PERMIT AND VILLAGE OF HARTLAND EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WITTING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
 3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
 6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (>40 MG/L TSS).
 7. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCH UP AS A RESULT OF REMOVAL.
 11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.



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CD SET 07.24.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY/ STATE / ZIP
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BROOKFIELD, WI 53005
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GRADING & EROSION CONTROL PLAN

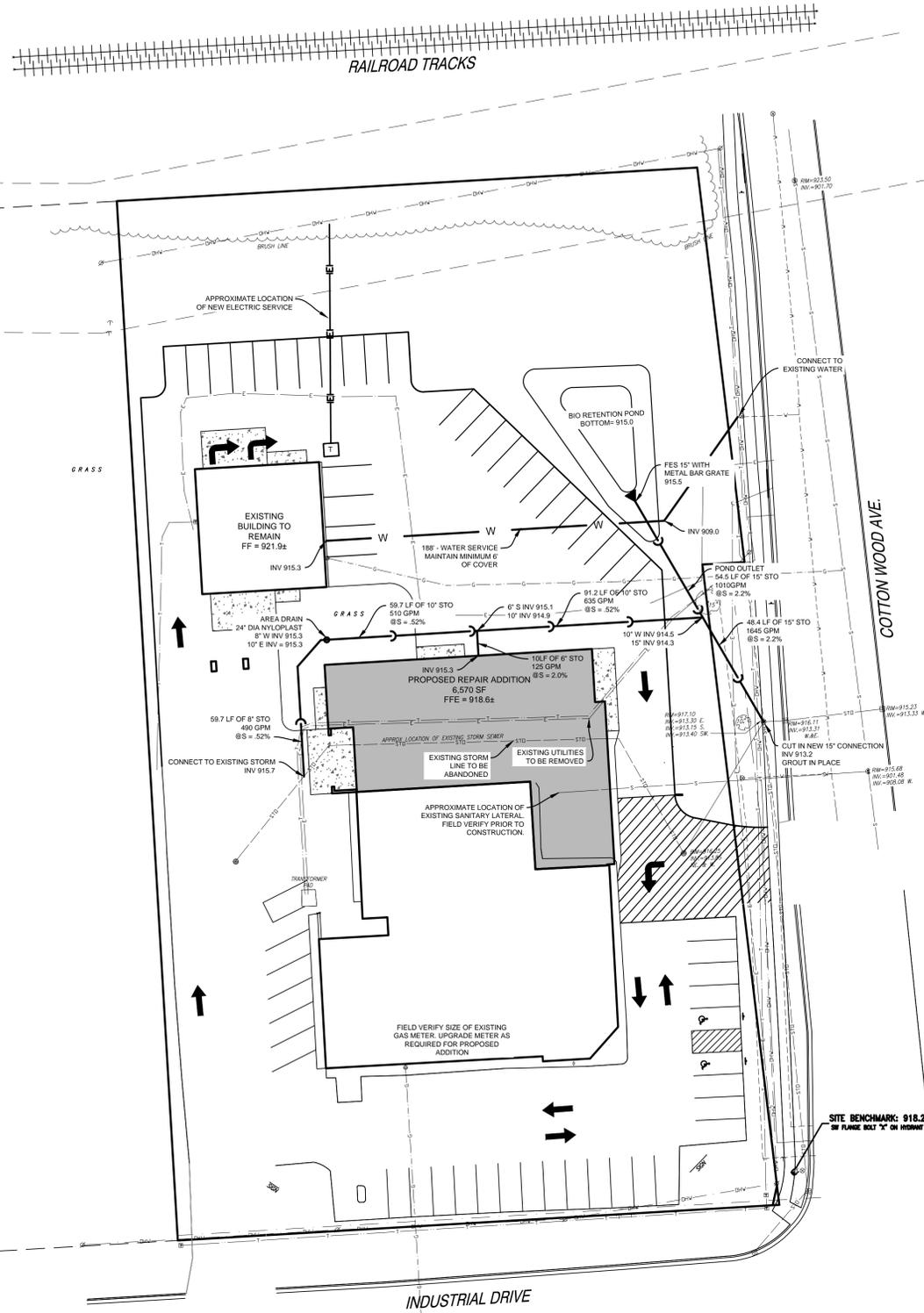
Date: 03.30.15
Drawn By: PEG
Sheet Title:
GRADING & EROSION CONTROL PLAN
Sheet Number:
C-102
Project Number: P11162
4381

MANAGERS

ENGINEERS

CONTRACTORS

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CD SET 07.24.15

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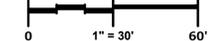
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PLANS PREPARED BY:



PLAN | DESIGN | DELIVER

GRAPHICAL SCALE (FEET)



UTILITY PLAN

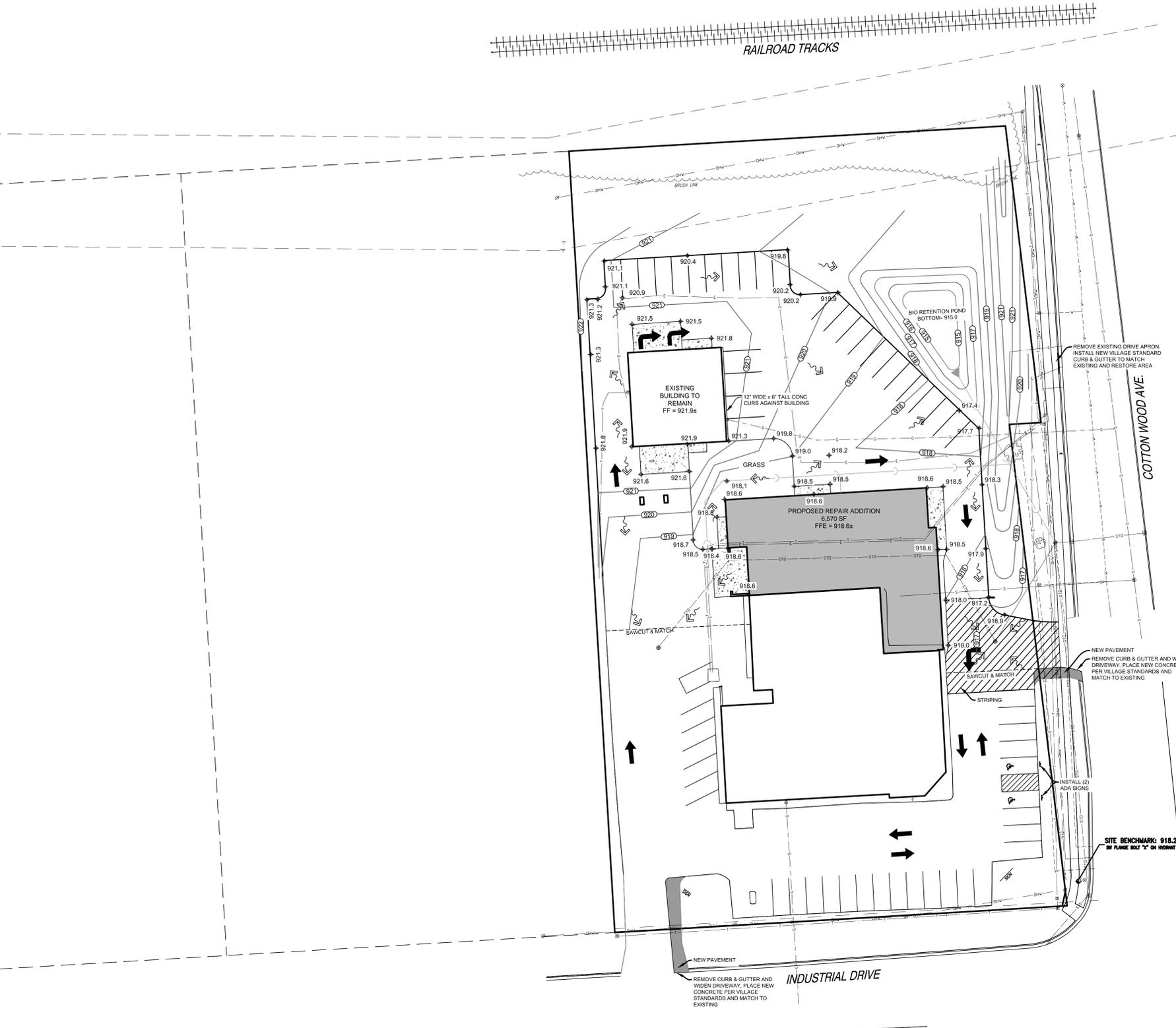
Date: 03.30.15 Drawn By: PEG
 Sheet Title: UTILITY PLAN
 Sheet Number: C-103
 Project Number: 4381 P1162

MANAGERS

ENGINEERS

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 400 East Industrial Drive
 CITY/ STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

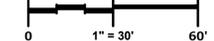
PLANS PREPARED BY:



PLAN | DESIGN | DELIVER

WISCONSIN OFFICE:
 13500 W. BLUEMOUND ROAD
 BROOKFIELD, WI 53005
 (262) 784-8888

GRAPHICAL SCALE (FEET)



PAVING PLAN

Date: 03.30.15 Drawn By: PEG

Sheet Title: PAVING PLAN

Sheet Number:

C-104

Project Number:

4381

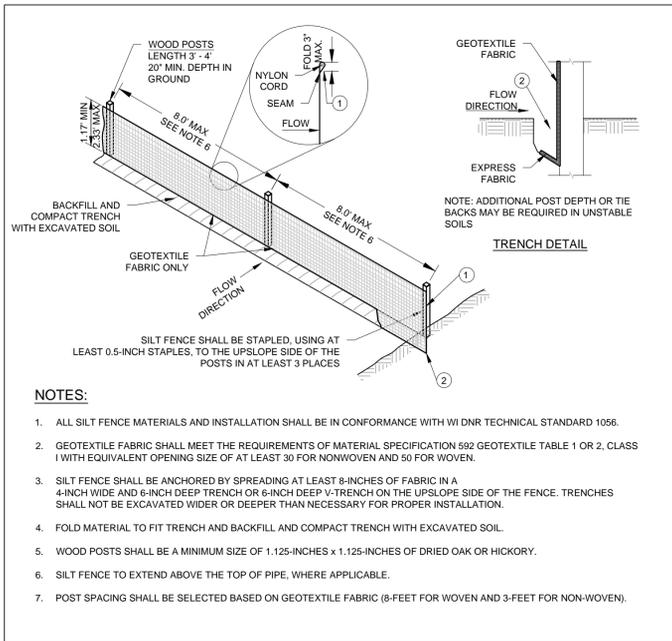
P11162

MANAGERS

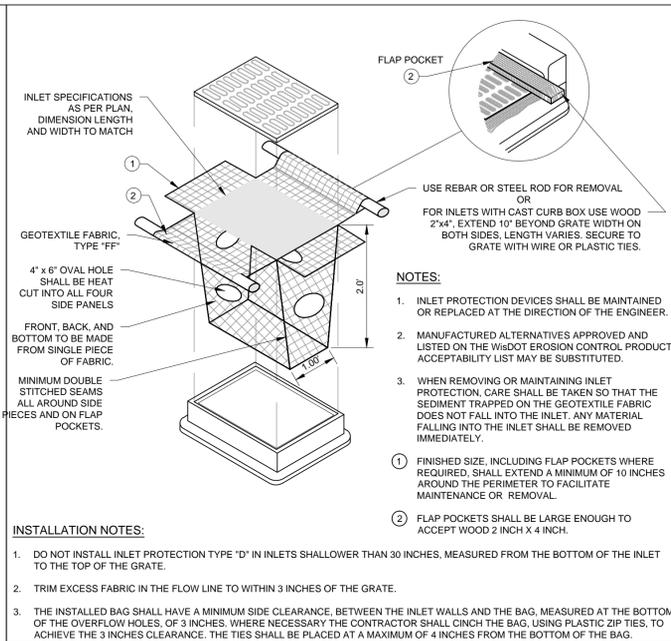
ENGINEERS

CONTRACTORS

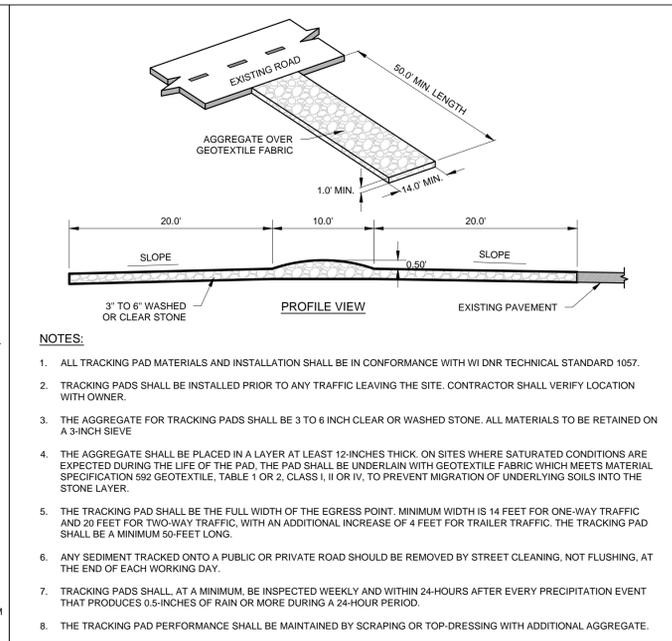
ARCHITECTS



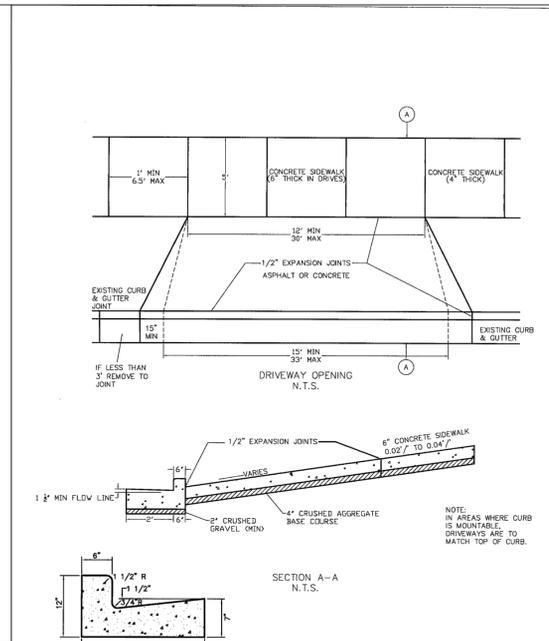
SILT FENCE



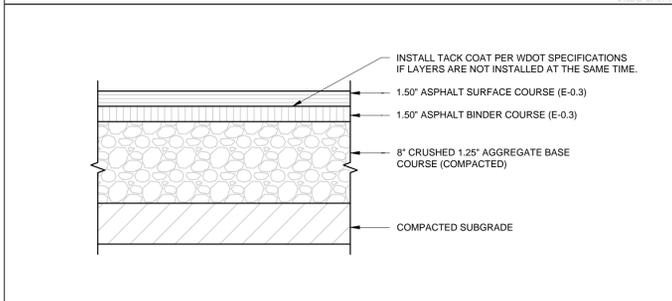
INLET PROTECTION



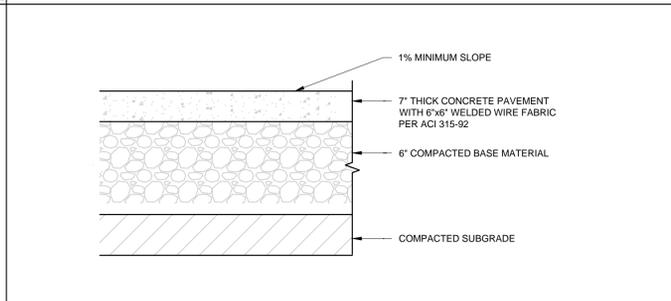
CONSTRUCTION ENTRANCE



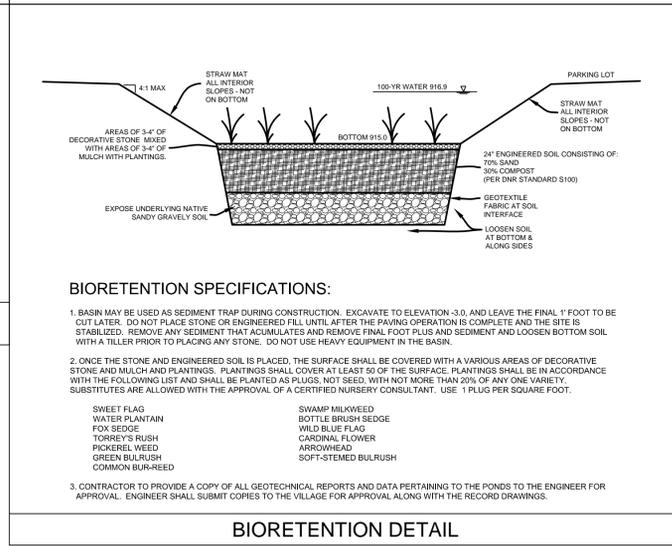
VILLAGE OF HARTLAND CURB CUT DETAIL



REGULAR DUTY PAVEMENT SECTION



CONCRETE PAVEMENT SECTION



BIORETENTION DETAIL



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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CD SET 07.24.15

PROJECT ADDRESS:

PROJECT NAME
Hartland Service Car Wash Building
STREET ADDRESS
400 East Industrial Drive
CITY/ STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: PEG
Sheet Title: CONSTRUCTION DETAILS & SPECIFICATIONS
Sheet Number: C-105
Project Number: 4381 P11162



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
262.367.3661
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

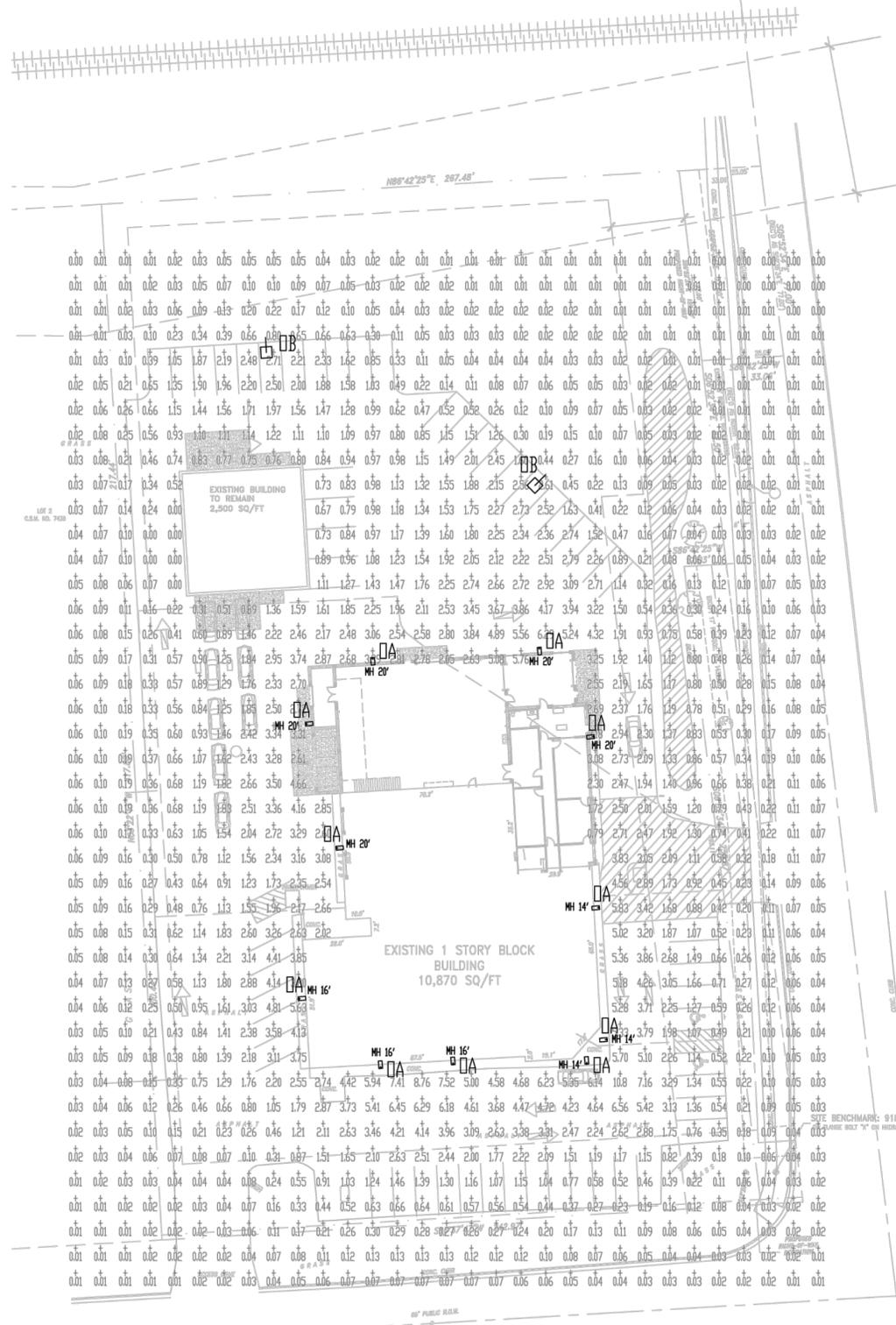
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CD SET 07.24.15

PROJECT ADDRESS:
PROJECT NAME
Hartland Service Addition
STREET ADDRESS
400 East Industrial Drive
CITY/STATE/ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson
Sheet Title: SITE LIGHTING PLAN
Sheet Number: C-107
Project Number: P11162
4381



CONTOUR LEVELS: A= 1.0 B= 0.50 C= 0.20 D= 0.10

Hartland Service LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	LAMP	MOUNTING	LLF	QTY
DA	McGraw-Edison GLEON-AE-02-LED-E1-SL4-BZ-WM	107w LED	VARIES	0.95	11
DB	McGraw-Edison GLEON-AE-02-LED-E1-SL4-BZ	107w LED	20' POLE 2' BASE	0.95	2

McGRAW-EDISON

DESCRIPTION
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated.

CONSTRUCTION
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending mounting housing and heat sink provides scalability with superior structural rigidity. 32 vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

Optics
Choice of 10 patented, high-efficiency AccuLED Optics. The optics are precision designed to shape the distribution maximizing efficiency and application specific. AccuLED Optics create consistent distributions with the scalability requirements. Offered standard in 3000K (w/ 2754K CCT) and minimum 3000K CCT. For the ultimate level of light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 100-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 150V of transient line surge. The Galleon luminaire is suitable for operation in -40°C to ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 500mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal ball guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 30 vibration tested.

Finish
Housing finished in super durable TFC powder coated paint, 2.5 mil nominal thickness for superior protection against salt and water. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five year warranty.

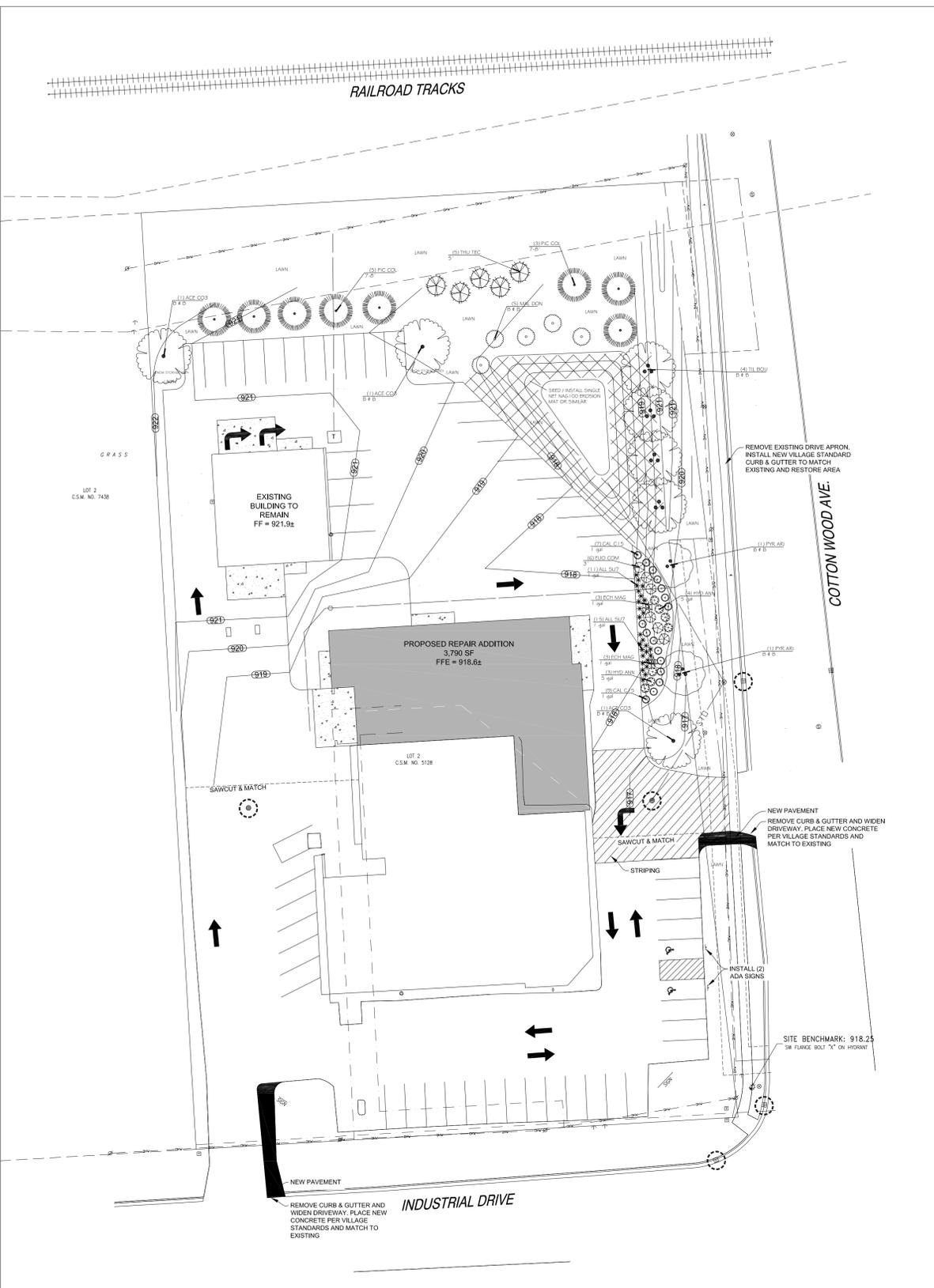
1-10 Light Squares Solid State LED ANA/BITE LUMINAIRE

GLC
CERTIFICATION DATA
UL Listed, Wet Location Listed
50' WET
UL974 L90E1 Compliance
50' Wet Location
IP68 Rated
Designlight Consortium Qualified

ENERGY DATA
Dimmable LED Drive
0.8 Power Factor
C90 Total Harmonic Distortion
100V-277V Voltage
100V-480V Drive
40°C Min. Temperature
90°C Max. Temperature
90°C Max. Temperature (HA Option)

Cooper Lighting
by **FEI**

AD11-0403
2015-03-01 14:59:19



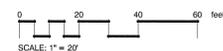
GENERAL LANDSCAPE NOTES:

1. Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
2. Always contact Diggers Hotline (800-242-8511) 72 HRS before proceeding with any work.
3. All plantings shall comply with the standards described in American Standard of Nursery Stock ANSI Z60.0
4. All plants must be bid and selected per species specified on this plan. Contractor is responsible for furnishing all materials, tools, equipment, and labor necessary for proper planting and installation of all landscape materials.
5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect.
6. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive a 2.5-3" layer of shredded bark mulch.
7. Spade cut plant beds and tree rings with a 3" deep shovel cut.
8. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
9. Seeded lawn areas to have Bluegrass blend of seed for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on application rates.
10. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade.
11. Lawn Installation: Contractor to furnish and prep soil conditions as needed, removing rock larger than 1". Provide a starter fertilizer, and mulch cover suitable to germinate and establish grass. Erosion mat should be used as plan states or in swales or on steep grades. Civil Plans stating an erosion plan should be followed.
12. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth and the landscape.
13. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. (If applicable)
14. If a permanent irrigation system is required in turf areas install system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician.
15. Contractor is responsible for all estimating and bidding of all areas, and quantities of the project. Warranty of plants, trees, evergreens, shrubs shall be for a period of one (1) year from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

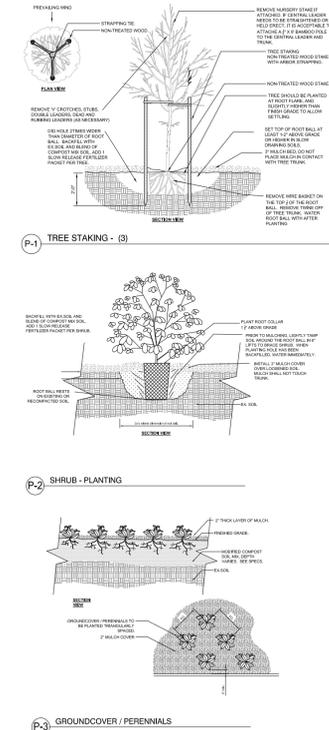
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	GAL.
	ACE COB	3	Acer rubrum 'Columare' / Columar Red Maple	B 4 B	3"Gal
	MAL DON	5	Malus x 'Donald Wyman' / Donald Wyman Crab Apple	B 4 B	2.5"Gal
	PIC COL	8	Picea pungens / Colorado Blue Spruce	T-8'	
	PYR ARI	2	Pyrus calleryana 'Aristocrat' TM / Aristocrat Flowering Pear	B 4 B	2.5"Gal
	THU TEC	5	Thuja occidentalis 'Techy' / Techy Arborvitae	5'	
	TIL BOU	4	Tilia americana 'Boulevard' / Boulevard Linden	B 4 B	2.5"Gal
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	EUB COM	6	Euonymus alatus 'Compactus' / Compact Burning Bush	3'	
	HYD ANN	7	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	5 gal	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	ALL SUT	26	Allium x 'Summer Beauty' / Summer Beauty Allium	1 gal	
	ECH MAG	6	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	1 gal	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	GAL C15	16	Calamagrostis arundinacea 'Karl Foerster' / Karl Foerster Grass	1 gal	

RECOMMENDED SEED MIX:
PREMIUM 60 GRASS SEED MIX REINDERS



PLANTING & HARDSCAPE DETAILS



THE REESMAN COMPANIES

1	NEW LANDSCAPE PLAN	8/1/15
No.	Revision/Issue	Date

**28815 Bushnell Road
Burlington, WI 53105**

Phone 262.342.1425
Fax 262.539.2665
www.reesmans.com

**HARTLAND SERVICE
400 E. INDUSTRIAL DR.
HARTLAND, WI**

Project	LSCP	Sheet
Date	3/23/2015	C-108
Scale	1"=30'	

LANDSCAPE PLAN



HARTLAND SERVICE ADDITION



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST

SINGLE SOURCE RESPONSIBILITY



CONDITIONAL USE PERMIT
[Hartland Service]
REVISED

Document Number

THIS CONDITIONAL USE PERMIT is hereby finally granted this 25th24th day of MayAugust, 2015, by the Village of Hartland (hereinafter Village) to Hartland Service Inc. (hereinafter "Grantee") for the operation of an Automobile Service Facility including car wash, detailing and vehicle service at the property located at 400 E Industrial Drive.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of an Automotive Service facility in the B-2 Zoning District at 400 E Industrial Drive, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0729947002, HAV 0729947003, HAV 0729939, HAV 0729940 as those parcels have been combined by CSM]

**OWNER: Michael Kusch
Deborah Kusch**
N65W30981 Beaver Lake Road
Hartland, WI 53029

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number

HAV 0729947002
HAV 0729947003
HAV 0729939
HAV 0729940

WHEREAS, the Property is located in the B-2 Community Business District; and

WHEREAS, Section 46-469 (2) of the Village of Hartland Code of Ordinances provides that Automotive Sales and Service in the B-2 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibit A and incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances. Further, the Plan Commission considered ~~a~~ proposed modificationmodifications to the CUP at its ~~meeting~~ meetings on June 15, 2015, July 20, 2015

VILLAGE OF HARTLAND

ORDINANCE NO. _____

AN ORDINANCE TO AMEND CHAPTER 46 AND CHAPTER 18
OF THE VILLAGE OF HARTLAND MUNICIPAL CODE
PERTAINING TO ARCHITECTURAL BOARD AND BUILDING PERMITS

THE VILLAGE BOARD OF THE VILLAGE OF HARTLAND DO ORDAIN AS FOLLOWS:

Section 1: Chapter 46, Article II, paragraph 46-99 (1) of the Village of Hartland Municipal Code of Ordinances pertaining to Powers of the Architectural Board is hereby amended to read as follows.

Sec. 46-99. Powers.

(1) Hear and decide applications for permission to erect, move, reconstruct, extend, alter or change the exterior of all residential structures except for small accessory structures, decks and minor exterior alterations unless a determination is requested by the building inspector. Further, the architectural board is empowered to waive, or conditionally waive, its authority under this paragraph for applications in subdivisions for which an active homeowners association or architectural review committee has given its approval for said applications.

Section 1: Chapter 18, paragraph 18-87 (d) of the Village of Hartland Municipal Code of Ordinances pertaining to Building Permits is hereby amended to read as follows.

Sec. 18-87. Building permits.

(d) *Issuance of permit.* All applicable fees shall be paid at the time of application for a building permit. If the plans are approved by the architectural board, as such approval may be necessary in accordance with section 46-99, and the building inspector finds that the proposed building or repair or addition complies with all village ordinances and the uniform dwelling code, the inspector shall officially approve the application and a building permit shall be subsequently issued to the applicant. The issued building permit shall be posted in a conspicuous place at the building site. A copy of any issued building permit shall be kept on file with the building inspector.

Section 3: If any section, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of such ordinance.

Section 4: This Ordinance shall take effect and be in full force after adoption and proper publication.

[SIGNATURES FOLLOW]

Adopted this _____ day of _____, 2015.

VILLAGE OF HARTLAND

By: _____
David C. Lamerand, Village President

ATTEST:

Darlene Igl, MMC, WCPC, Village Clerk

and August 17, 2015 and, as a result of the ~~two~~ meetings, recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the automotive service facility may be expanded, constructed and operated pursuant to the Plan of Operation, which contains an original and revised operational plan, and pursuant to the operator's and owner's representations during the review process including the maintenance and servicing of various vehicles including automobiles and light and medium duty trucks, provision of vehicle emissions testing and supplemented by automatic and hand washing and detailing of automobiles and light and medium duty trucks;
2. the operator of the automotive service facility will construct the building expansion in accordance with the plans as submitted and as finally approved including stormwater retention, buffers and landscaping;
3. the automatic and hand washing and detailing of automobiles and light and medium duty trucks may take place in the existing accessory structure modified for that purpose under the terms of this Conditional Use Permit;
- 3.4. _____ buffers and landscaping on the east side of the project parallel to Cottonwood Avenue shall be completed prior to the occupancy and operation of the expanded portions of facility and shall be maintained during the ongoing operation of the vehicle wash facility in a manner to mitigate the impact of vehicle headlights on the neighboring properties;
- 4.5. _____ the operator of the automotive service facility shall operate the traffic flow and parking needs of the facility completely within the limits of the parcel's parking lot;
- 5.6. _____ all vehicle maintenance, service, washing and detailing shall occur inside the building with the exception of emissions testing, which may be located outside the main service entrance at the southeast corner of the building;
- 6.7. _____ Except for vehicles dropped for service after hours, all vehicles in the parking lot shall include all of their body parts and wheels/tires and be capable of being moved on their own wheels/tires;
- 7.8. _____ property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
- 8.9. _____ Excessive complaints regarding noise or other disturbances related to this operation may be grounds for revocation of this Conditional Use Permit upon review of the Plan Commission and Village Board;

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate an automotive service facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Hartland Service.

2. The business activities permitted hereunder are limited to the operation of an automotive service facility.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein in addition to the conditions contained herein below.
 - a. The touch-less and “soft cloth” wash systems may be operated on a 24 hours per day seven days per week basis provided noise and light levels are maintained at an acceptable level.
 - b. Wash equipment shall be located, oriented, operated and maintained in such a way as to minimize light, visual and noise impact on residential neighbors
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the automobile service facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on April 27, 2017.

This conditional use permit is hereby revised and reissued this ~~22nd~~^{24th} day of ~~June~~^{August}, 2015 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]