

**VILLAGE BOARD AGENDA  
MONDAY, AUGUST 24, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Roll Call

Pledge of Allegiance – Trustee Compton

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Consideration of a motion to approve Village Board minutes of August 10, 2015.
2. Consideration of a motion to approve the vouchers for payment.
3. Consideration of actions related to Licenses and Permits
  - a. Consideration of a motion to approve Operator (Bartender) Licenses with terms ending June 30, 2016
  - b. Consideration of a motion to approve a Street Use Permit for the Arrowhead High School Homecoming Parade on September 20
  - c. Consideration of a motion to approve a Temporary Class B Beer/Wine Permit for the St. Charles Harvest Luncheon on October 10

Items referred from the August 17, 2015 Plan Commission meeting

4. Consideration of a motion to approve site and building plans and an amended Conditional Use Permit for modifications to a car wash facility on the property located at 400 E. Industrial Drive.
5. Actions related to proposed Zoning Code and general Code amendments to allow the Architectural Board to conditionally eliminate the requirement for review of single family residences in subdivisions with active homeowners associations.
  - a. First reading of Bill for an Ordinance No. 08/24/2015-01, An Ordinance To Amend Chapter 46 And Chapter 18 Of The Village Of Hartland Municipal Code Pertaining To Architectural Board And Building Permits.
  - b. Consideration of a motion to set a public hearing for September 28 during the Regular Village Board meeting to hear public comment on the proposed Code amendments.

Others items for consideration

6. Consideration of a motion to approve Resolution No. 08/24/2015-01 "A Resolution Pledging That The Village Board Of The Village Of Hartland Will Expend Funds Necessary For The Hartland Public Library To Exempt The Village From The Waukesha County Library Levy".

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7. Consideration of a motion to approve Change Order No. 1 (Final) for the 2014 Road Improvement Project contract with Payne and Dolan in the net reduction amount of \$126,147.49 for a final contract price of \$841,572.26.
8. Consideration of a motion to approve a reduction to standby letter of credit for Sanctuary of Hartland, LLC.
9. Consideration of a motion to confirm the Village Board authorization for a contest coordinated by Arrowhead History Teacher Ron Reichle to solicit proposals for the improvement and expansion of the Veteran's Memorial at Nixon Park.
10. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
11. Consideration of a motion to recess to closed session pursuant to SS 19.85 (1)(e), deliberating or negotiating the purchasing of public properties, investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session regarding acquisition or sale of property and to adjourn thereafter without reconvening into open session pursuant to SS 19.95 (2).

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** President and Board of Trustees  
**FROM:** David E. Cox, Village Administrator  
**DATE:** August 21, 2015  
**SUBJECT:** Agenda Information



The following information relates to the upcoming Village Board meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 4 Related to a proposed change to the plan for Hartland Service.

**Background:** A Conditional Use Permit (CUP) was approved for Hartland Service in April and revised in June to allow an expansion of the Automotive Service business and, specifically, the car wash. The revised CUP indicated that the both the automatic touch-less and soft cloth car washes could be operated 24 hours per day, seven days per week. Additionally, the April approval also included the Site Plan, which called for one large building expansion to house increased service bays and a new car wash and detailing facility. The existing out building on the lot would have been demolished. The owner has submitted plans to the Village showing a downsized addition to the main building and conversion of the existing out building to be used as the car wash facility. In this scenario, the total amount of impervious surface on the parcel is reduced and while the car wash bays are shorter, they orient north/south instead of east/west. During the wash cycle and upon exiting the wash bay, vehicles are oriented toward the north (railroad tracks) instead of toward the residential properties on Cottonwood Avenue. Despite this, no modifications to the landscaping along Cottonwood Avenue have been proposed, which will include a berm and buffer plantings. The second building (existing out building), which will house the car wash, would be treated as an accessory structure. The Plan Commission considered and recommended approval of the amendments to the Conditional Use Permit and the final proposal and site plan.

**Recommendation:** Approve the plan and amendments to the CUP.

Item 5 Related to Code amendments allowing the Architectural Board to waive its review requirement.

**Background:** Architectural Board review of single family home construction and modification was implemented decades ago in response to perceived aesthetic problems with houses being constructed. At that time, the areas of the Village in question were not served by homeowners associations and the appearance of new construction was not being reviewed by anyone to determine its fit within Hartland. In the intervening years, new subdivisions have come on line that were approved with strong expectations as to the type and appearance of houses and with strong internal review processes for new construction and modifications. In fact, it is always part of the Architectural Board conversation when considering such improvements to determine whether the local homeowners group or architectural review committee has reviewed the proposal. The Architectural Board has opined in the past that perhaps Village review of the aesthetics is not necessary when the subdivision's committee has already reviewed and approved. Based

on that concept, language has been proposed to amend the Zoning Code and Village Code to remove the requirement for Architectural Board review and to allow the Architectural Board to establish a policy of not reviewing certain work. If these amendments are approved, the intent would be for the Architectural Board to approve a policy that indicates what review is waived and under what circumstances. Details of such a policy will be created through continued discussion with the Architectural Board. The Plan Commission gave favorable initial consideration of the amendments at its August meeting and will consider a final recommendation at its September meeting

Recommendation: Provide for a first reading of the proposed ordinance and set a Public Hearing for September 28.

Item 6 Regarding a Resolution pledging the expenditure of funds related to Library operations.

Background: As required by State Law, the Village is required to expend an amount at least equal to what Hartland Property Owners would have been taxed by the County for Library services in order to exempt our residents from that County Tax. This Resolution, which is adopted annually, is the Village's pledge that it will levy and expend at least the required amount in 2016.

Recommendation: The Resolution is recommended for approval.

Item 7 Regarding the final Change Order for the 2014 Paving and Utilities Program.

Background: As Public Works Director Einweck's memo indicates, the final quantities have been confirmed and the final details of the work on last year's annual paving program are complete. The final, as-constructed quantities are somewhat lower than expected resulting in a savings of over \$126,000 from the originally estimated contract price. Upon Board approval of the Change Order and the final payment, the project is closed and the warranties are in place.

Recommendation: The final Change Order is recommended for approval.

Item 9 Regarding the proposed Veteran's Memorial design contest.

Background: At the Village Board meeting on August 10, the Board heard an unscheduled presentation from Arrowhead High School History Teacher Ron Reichle on a proposed contest to solicit designs for an enhanced memorial at Nixon Park to honor Hartland veterans. The Village Board indicated support for the project and instructed that Mr. Reichle could move forward. The Village Board is asked to confirm that decision via this agenda.

Recommendation: Approve the planned contest and use of Nixon Park.

**VILLAGE OF HARTLAND  
VILLAGE BOARD MINUTES  
MONDAY, AUGUST 10, 2015  
7:00 PM**

**BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Present: Trustees Stevens, Meyers, Compton, Landwehr, Swenson, Wallschlager and President Lamerand.

Others Present: DPW Director Einweck, Interim Fire Chief Dean, Police Chief Rosch, Clerk Igl, and Administrator Cox. Village Attorney de la Mora was also present.

**Roll Call**

**Pledge of Allegiance – President Lamerand**

**Public Comments:** (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.) – NONE. (See Veterans Memorial Project at the end of the Announcement section. Applicant did not speak at this time)

1. **Public Comment Follow Up:** Chris Miller, Developer of the Sanctuary of Hartland will update the Board on the status of concerns expressed by a resident at the July 27 Board Meeting regarding the condition of Outlot 1 in the Subdivision.

This item was taken second.

Chris Miller explained that Outlot 1 was used last winter as a borrow pit where they mined some material. When they were done, it was backfilled and restored. Upon review it was regraded, redressed with top soil and reseeded. There has been concern from the neighbors about the length of the planted grass. That area was meant to be a native area and not intended to be cut.

Lee Bromberger, 140 Maple Avenue, addressed Chris Miller's explanation. He stated that when the area neighbors attended meetings before the actual development of the Sanctuary, they were told that Outlot 1 would be lawn. When they looked at the topographical drawings, there was no such depiction as it being a natural area. The neighbors saw flat green, with berms and trees. At this point there are no trees.

Mr. Bromberger stated that he felt this area is still in great need of grading. The problems that he identified two weeks ago include standing water, to the point where there are several little ponds, mosquitoes, ground bees, and frogs that inhabit these ponds. One of the neighbors went back there on his own to start to fill them in. The neighbors have been unable to enjoy summer in their backyards because of the mosquito problem. A neighbor started to weed-wack that area to try to maintain it.

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Mr. Bromberger stated that the neighbors were told that the area would be maintained as lawn, not natural grass. One person has had five mice and eight voles in his house since this high grass grew. There was a never rodent issue in the past with 40 acres of woods behind our yards. Mr. Bromberger has lived there since 1991.

He further stated that the ruts need to be regraded and banked so that the water goes toward the drainage pit. The work done today is not satisfactory. Mr. Bromberger asked the Hartland Village Board members to come out and take a look at the area. The ground is so hard it's like asphalt. Even with the lack of rain, there is still standing water. The neighbors have been left with nothing but problems since the project began. That's why he made the call to Administrator Cox on June 24. Mr. Cox called him back on June 26 and said nothing was going to happen that day. Mr. Bromberger came in person on July 27 and still nothing had happened. "Today we had what I would call a superficial attempt "get it right." It's not right. I was out there today from 4:00 to 4:30 with Mike Einweck. It needs to be done right. If I have to come every two weeks and talk to the board, I will. I don't like the fact that we are being told something different from last year on how Outlot 1 is supposed to be finished and maintained. None of us would have accepted natural grass that is four feet high, standing water and animals".

Mr. Miller stated that the area has been redressed with top soil. Until the roots take hold and the grass starts to grow, the drainage may not be good. Mr. Miller thought the idea was to maintain the natural look of the land. The amount of cut trees was reduced and the excess buckthorn was taken out. It was always the intent to keep it natural. With the northeast path not going in, a minor detention pond is now removed. Workers haven't been able to get in there for the last week and a half because Maple Avenue was torn up. The soonest they could get in was today.

Mr. Bromberger was out there at 4:00 PM today. There are still huge ruts and it is not level. It was level before the project was started. Because it is going to significantly affect our quality of life, it needs to be addressed properly.

President Lamerand asked DPW Director Einweck if the developer is following the plans and if he is watching to make sure they are complying with the plans as the Village approved them.

Mr. Einweck stated that the majority of the work has been associated with the roadway and utilities. It's just recently they started working on the outlot areas for restoration. We have not checked those per plans at this point. He did meet Mr. Bromberger and his neighbor, Scott, out there today and there is some minor rutting. He did bring that to the attention of the developer about three months ago. There was some rutting that was holding water and some low-lying areas. A trench was put in to try to get the water to flow toward the detention pond. Unfortunately, it seems to be blocked off right now. Tree landscaping has not been done because it's a bad time to plant trees with the heat and dryness.

President Lamerand stated that he had envisioned the grassland would be taller grass.

Chris Miller added that once the electric and sidewalks are in, they can come back and restore some areas.

The ditch was a temporary drainage area that was put in for the winter in case there was a runoff event. That will get filled in. Some of the berms are temporary for water retention over the winter. There is still a lot of work to be done.

A lot of the seeding that was done was to stabilize the area so there would not be as much runoff. Mr. Einweck will work with Chris on the length of the grass.

In the past the neighbors mowed the grass behind their lot lines to extend their lots. The land was flat and the grass was short. There wasn't any trouble with rodents or standing water.

Mr. Lamerand stated that Mike Einweck will look at the situation and come up with a better mix as to what that neighborhood should look like and he will keep us informed.

2. Introduction of Firefighters and EMTs and swearing in of new Fire Department members.

Item 2 was taken first.

Clerk Igl swore in the following Fire Department/EMT members:

Logan Groshek - EMT B  
Jill Pfitzinger - EMT B  
Dustin Kummer - EMT B  
Kajil Sharp -Paramedic  
Nick Shimel -FF1  
Alex Konen -AEMT  
Mitchel Lewis -FF1  
Ricky Dominguez-Critical Care Paramedic  
Nate Lutze -Passed Paramedic Class, but still needs to do ride alongs

3. Motion (Meyers/Wallschlager) to approve the Village Board minutes of July 27, 2015. Carried (7-0).
4. Motion (Landwehr/Swenson) to approve the vouchers for payment in the amount of \$222,606.91. Carried (6-0-1). Wallschlager abstained.
5. Motion (Swenson/Landwehr) to approve Operator (Bartender) Licenses with terms ending June 30, 2016. Carried (7-0).
6. Consideration of a motion to approve a Relocation Assistance Agreement with Lake Country Bed Barn related to the Riverwalk development.

The previous and new spaces are roughly the same size, with the new space being slightly larger. The building is just studs right now. The new location is the eastern portion of the building at 122 Cottonwood Avenue where Beer Snobs is going into. The Village will be paying about two-thirds of the construction cost. Whatever they have inside their existing facility, they will bring with them. Because the Village has told Lake Country Bed Barn that they have to move to another downtown location, the Village planned for that and is helping them financially to relocate including refurbishing the location they chose. The amount has been budgeted and it is covered under the TIF. The Village has had similar conversations with Social Life Dance Studio. They have similar build-out costs where they would likely go to accommodate their dance floor. Pink Mocha has been more difficult to relocate because of the need for a kitchen. We put \$150,000 in the TIF to assist in the relocation of these businesses, not only the physical relocation, but the development of their spaces because we are asking them to move on our schedule, not their own.

Motion (Landwehr/Swenson) to approve a Relocation Assistance Agreement with Lake Country Bed Barn related to the Riverwalk development. Carried (7-0).

7. Discussion of potential future development in the area northeast of the Village and consideration of actions related to future roadways.

Administrator Cox reported there has been discussion with potential developers of land in the area northeast of the Village between Mary Hill and the conceptually-approved Homestead subdivision. During those discussions, it has become evident that the matter of disagreement between the Village's future roadway plans and the County's plans as it relates to the relocated County Highway KE may need to be resolved in order for future development to move forward.

Both the Village and the County agree that as development occurs in this area and traffic increases, the currently-existing "jog" in CTH KE at CTH K should be removed in order to improve safety at the intersection.

One of the most significant issues with the relocation of the roadway as the County currently plans is the hill on which the Village's water tower is located. In order to provide safe sight lines for increased traffic at the future intersection near Bristlecone Pines, the County would plan to cut the hill at the water tower down by approximately 12 feet. Further, the design anticipates some filling of the area of the intersection to flatten the entire stretch of road. Overall, an enormous amount of excavation would significantly impact the area properties and would need to be considered in designing utilities in the area.

When the matter has been discussed in the past, outside parties, including SEWRPC, evaluated the situation and suggested that the County planned route is significantly more costly due to the needed excavation; perhaps as much as \$1 million more. However, the County determined that their route was preferred at that time.

While the Village did not force the issue during the Windrush subdivision review and, in fact, did not require the owners to show a potential future roadway on the Plan on the outlot in the northwest portion of the site, Administrator Cox believes we need to make a decision on this matter now in order to determine how the Village will proceed. If the County will adjust their plan, then Hartland's comprehensive plan is valid and can be easily used for development in the area. If the County route remains the future planned location of the road, then Hartland should adjust its own plans, including the Land Use Plan, to reflect the change.

The Village Board was asked to consider whether it wishes to request the County to adjust its plan for CTH KE to meet our plan or if the Village will amend our plan. Either way, the matter needs to be put to rest and the two plans should coincide.

John Siepmann was present and was asked if he had an opinion as a developer. He stated that the County Board looked at this numerous times and has voted upon it three times. The North configuration only affects one home. The intersection has not met the accident level that would have the County put it on their Capital Improvement Plan. The southern route would go very close to a number of lots on the west side of Windrush subdivision, which most homeowners would not prefer.

With the potential for more development in the northeast corner of the Village, we need to ask the County to make a decision about the road and get in on their schedule to build the road. That could take three to five years.

Motion (Landwehr/Stevens) to pursue the southern route for HWY KE. Carried (6-1).  
Wallschlager – no.

8. Motion (Meyers/Swenson) to approve a reduction in the Letter of Credit for the Windrush Subdivision.

Discussion: The work has been progressing very satisfactorily.

Motion carried (7-0).

John Siepmann stated that he is a little disappointed in the vote for the southern route for HWY KE. It may have an impact on the sale of lots in Windrush and also the future Parade of Homes.

9. Consideration of a motion to approve a WE Energies Gas Distribution Easement at Bark River Greenway

WE Energies is requesting an easement from the Village in order to complete the third and final part of the gas distribution system upgrade project to provide Advanced Disposal with an alternative fuel source for their disposal truck fleet. A new 8 inch gas line would be placed along our pathway in the Bark River Greenway. This route will avoid conflicts with utilities in Lawn Street and a crossing of the large culverts just north of this location.

The new gas line will be from 3' to 5' in depth and will avoid the proposed improvements associated with the Riverwalk Development project. As part of the Village granting the easement, WE Energies will restore the Village land and provide funds to install two trees along the Greenway. WE Energies would like to commence the work in the very near future in order to avoid conflicts when school is in session and the upcoming Riverwalk Development project. They will approach an adjacent property on Lawn Street for a five foot easement to gain some extra room. They will have to follow the permitting regulations with the DNR.

Motion (Meyers/Swenson) to approve a WE Energies Gas Distribution Easement at Bark River Greenway.

Discussion: What happens if there is problem with what goes under the river five or ten years from now? Mike Einweck answered that WE Energies would have to repair it; however, there is no chance that it would affect the river. It's a solid high-density polyethylene pipe. There are no joints that could come apart under the river.

Motion Carried (7-0).

10. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

Ann Wallschlager reported that last Saturday was a good time at Lake Country Caring celebrating the years that they have been serving the community.

Ron Reichle, a history teacher at Arrowhead High School, wanted to propose a new Veterans project. He would like to re-design the memorial near the outfield fence at Nixon Park. He would like to open up a contest for every child in every grade, K – 12 in the Arrowhead District, to submit proposals to redesign the Hartland Veterans Memorial. It would replace the existing one outside the center field fence. We would choose a Board that would get together and choose five to seven of the better proposals. Those proposals would go to different businesses in the area for a week or so, the community could look at them, and vote online. The Board would choose the winner. The winning memorial would be built with no taxpayer expense. The high school would raise the money. The current stone that is there for WWII veterans would stay. There would be a disclaimer on the applications that if the Board does not like any of the submittals, they don't have to choose one. Then you could leave the current memorial as is or try again next year. He plans to get the American Legion involved in some way.

On the Arrowhead website home page, under Community, there is a link to the current Veterans display.

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Motion (Lamerand/Meyers) to support the Veterans project proposed by Ron Reichle. Carried (7-0).

Mr. Reichle will send a brochure for the contest when it is ready.

11. Consideration of a motion to recess to closed session pursuant to SS 19.85 (1)(g), Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved regarding licensing, personnel matters and a tax claim and to adjourn thereafter without reconvening into open session pursuant to SS 19.95 (2).

Motion (Stevens/Wallschlager) to recess to closed session. Roll Call Vote was taken. All Ayes. Carried (7-0).

Meeting recessed at 8:20 PM.

Respectfully submitted by  
Recording Secretary,

Lynn Meyer  
Deputy Clerk

TO: Village President & Board of Trustees

FROM: Faith Kandler, Deputy Treasurer

DATE: August 21, 2015

RE: Voucher List

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Attached is the voucher list for the August 24, 2015 Village Board meeting.

July Wires: \$163,613.83

August 24, 2015 Checks: \$594,379.51

Total amount to be approved: \$757,993.34

VILLAGE OF HARTLAND  
VOUCHER LIST/AUGUST 24, 2015

Account Descr	Search Name	Comments	Amount
EXPENSE Descr			
G 101-21592 AFLAC INS PAYABLE	AFLAC	MONTHLY PREMIUMS	\$319.86
G 101-23000 SPECIAL DEPOSITS	BREWETOWN RECREATION	REFUND DEPOSIT	\$250.00
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	HUDSON/S174170-0	\$148.80
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	HUDSON/S174175-1	\$300.00
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	FULLERTON/Q965593-6	\$224.40
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	GIL/I157751-6	\$300.00
R 101-46730 RECREATION CLASSES	MEYER, JANEL	BABYSITTING BASICS	\$44.00
G 403-31786 SANCTUARY OF HARTLAND	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$3,979.30
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$7,204.80
G 403-31849 RIVERWALK APTS	RUEKERT & MIELKE	DEVELOPMENT REVIEW-RIVERWALK	\$103.50
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	JUNE-JULY PROF SERVICES	\$22,482.84
G 403-31786 SANCTUARY OF HARTLAND	RUEKERT & MIELKE	EROSION CONTROL INSP	\$112.50
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$119.25
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	JUNE-JULY BOOSTER STATION	\$2,623.00
G 101-34280 GIS SYSTEM	RUEKERT & MIELKE	JUNE-JULY GIS CONVERSION	\$10,125.00
G 403-31846 HERAEUS ELECTRO-NITE	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$37.50
G 403-31743 W. CAPITOL APARTMENTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$141.00
G 101-23000 SPECIAL DEPOSITS	THORSEN, KATHLEEN	REFUND NIXON 4 DEPOSIT	\$200.00
R 101-46730 RECREATION CLASSES	TRIPATHI, SIDDHARTH	BABYSITTING BASICS REFUND	\$44.00
R 101-46730 RECREATION CLASSES	WINTER, SANDRA	BABYSITTING BASICS REFUND	\$44.00
EXPENSE Descr			\$48,803.75
EXPENSE Descr			
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	10-33 VEHICLE SERVICES	SET UP RESPONSE CAR 4388	\$1,071.70
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	EMERGENCY MEDICAL PRODUCTS	EMS SUPPLIES	\$879.41
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	EMERGENCY MEDICAL PRODUCTS	EMS SUPPLIES	\$271.56
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	BINDERS	\$71.60
E 101-52300-360 VEHICLE MAINT/EXPENSE	PARTS HUT HARTLAND	DIESEL FUEL ADDITIVE	\$16.47
E 101-52300-360 VEHICLE MAINT/EXPENSE	PARTS HUT HARTLAND	DIESEL EXHAUST FLUID	\$25.98
E 101-52300-290 OUTSIDE SERVICES/CONTRACTS	PROHEALTH CARE MEDICAL ASSOC	DRUG TESTING - LAMB/SONTAG	\$74.00
E 101-52300-290 OUTSIDE SERVICES/CONTRACTS	PROHEALTH CARE MEDICAL ASSOC	DRUG TESTING - KRICKEBERG	\$37.00
EXPENSE Descr			\$2,447.72
EXPENSE Descr			
E 101-55370-290 OUTSIDE SERVICES/CONTRACTS	NELSON, WAYNE	HOMETOWN PARADE	\$250.00

Account Descr	Search Name	Comments	Amount
EXPENSE Descr CABLE TELEVISION			\$250.00
EXPENSE Descr CEMETERY PAVING - ANNEX UPPER			
E 401-79175-285 CONSTRUCTION COSTS	STARK ASPHALT	PAVING/CEMETERY DW	\$34,799.50
EXPENSE Descr CEMETERY PAVING - ANNEX UPPER			\$34,799.50
EXPENSE Descr CORPORATE RESERVE EXPENSES			
E 402-59900-830 FIRE/AMBULANCE EXPENSE	BIERMAN CARPENTRY	REMODEL CHIEFS OFFICE	\$3,385.56
E 402-59900-810 ADMINISTRATION EXPENSE	DAVE DROEGKAMP HEATING INC	DEHUMIDIFIER-COMM CNTR	\$3,680.00
E 402-59900-820 POLICE DEPT EXPENSE	DAVE DROEGKAMP HEATING INC	A/C - PD	\$3,161.00
EXPENSE Descr CORPORATE RESERVE EXPENSES			\$10,226.56
EXPENSE Descr COTTONWOOD/MAPLE RR QUIET ZONE			
E 401-70385-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$6,211.91
EXPENSE Descr COTTONWOOD/MAPLE RR QUIET ZONE			\$6,211.91
EXPENSE Descr DOWNTOWN PARKING LOT CONCEPT			
E 401-79185-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$2,734.54
EXPENSE Descr DOWNTOWN PARKING LOT CONCEPT			\$2,734.54
EXPENSE Descr ECONOMIC DEVELOPMENT			
E 804-56700-738 MEMBERSHIPS	BMO (CREDIT CARD-BID)	WOJCIECHOWSKI/ANNUAL FEE	\$19.00
E 804-56700-748 POSTAGE	BMO (CREDIT CARD-BID)	STAMPS	\$9.80
E 804-56700-752 RENT	BMO (CREDIT CARD-BID)	SECURITY DEPOSIT	\$120.00
E 804-56700-746 TELEPHONE	BMO (CREDIT CARD-BID)	AT&T/PHONE BILL	\$121.09
E 804-56700-738 MEMBERSHIPS	BMO (CREDIT CARD-BID)	HAROLDSON/ANNUAL FEE	\$19.00
EXPENSE Descr ECONOMIC DEVELOPMENT			\$288.89
EXPENSE Descr ELECTIONS			
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	FOX BROS PIGGLY WIGGLY	ELECTION FOOD/SODA/WATER	\$17.23
EXPENSE Descr ELECTIONS			\$17.23
EXPENSE Descr FINANCIAL ADMINISTRATION			
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	EMPLOYEE FOLDERS	\$17.86
E 101-51500-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	AUGUST HRA	\$166.01
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	MILEAGE	\$41.40
EXPENSE Descr FINANCIAL ADMINISTRATION			\$225.27
EXPENSE Descr FIRE PROTECTION			
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	5 ALARM FIRE	HYDRO-TEST CYLINDER	\$27.00
E 101-52200-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	PAINTING SUPPLIES	\$227.97
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	BIEBELS TRUE VALUE	STAIN/BRUSH	\$17.50

Account Descr	Search Name	Comments	Amount
E 101-52200-255 BLDGS/GROUNDS EXPENSE Descr FIRE PROTECTION	BIEBELS TRUE VALUE	SHELVES/NAILS/PAINT	\$59.80
EXPENSE Descr GENERAL ADMINISTRATION			\$332.27
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$88.74
E 101-51400-210 LEGAL SERVICES	GODFREY & KAHN, S.C.	PERSONNEL MATTERS	\$3,360.00
E 101-51400-395 COMMUNITY RELATIONS	ICE AGE TRAIL ALLIANCE	COMMUNITY COST SHARING	\$2,500.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	RECORD CHKS/BARTENDER	\$105.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	WI DEPT OF JUSTICE (CHKS)	RECORD CHKS/SOLICITORS	\$7.00
EXPENSE Descr GENERAL ADMINISTRATION			\$6,060.74
EXPENSE Descr INSPECTION			
E 101-52400-290 OUTSIDE SERVICES/CONTRACTS	WISCONSIN BUILDING INSPECTIONS	JULY PERMITS	\$9,362.98
EXPENSE Descr INSPECTION			\$9,362.98
EXPENSE Descr LAW ENFORCEMENT			
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	BIEBELS TRUE VALUE	OIL	\$4.84
E 101-52100-360 VEHICLE MAINT/EXPENSE	EXECU PRINT	REPAIR GRAPHICS - SQ 2	\$150.00
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	LOF/TIRE ROTATION - SQ 2	\$94.07
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	WIPER BLADES - SQ 6	\$48.55
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	LOF/TIRE ROTATION - SQ 1	\$132.97
E 101-52100-360 VEHICLE MAINT/EXPENSE	HARTLAND SERVICE INC	CASE OF SYNTHETIC OIL	\$75.28
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	RED THE UNIFORM TAILOR	JACKET - SEEGER	\$155.14
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	RED THE UNIFORM TAILOR	PANTS - OFFC MUELLER	\$64.08
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	STREICHER S	OC SPRAY REPLACEMENTS	\$96.93
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	TACTICAL SOLUTIONS	CERTIFY RADAR/LIDAR UNITS	\$312.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	TASER INTERNATIONAL	DPM'S & CARTRIDGES	\$397.86
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	VON BRIESEN & ROPER	PERSONNEL MATTERS	\$877.50
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	WAUKESHA CTY TREASURER	RADIO REMOTE MICS	\$167.52
EXPENSE Descr LAW ENFORCEMENT			\$2,576.74
EXPENSE Descr LIBRARY			
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (C031146 3)	BOOKS	\$99.19
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L539676 2)	BOOKS	\$400.37
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	BOOKPAGE	ANNUAL SUBSCRIPTION	\$480.00
E 101-55110-310 BOOKS & MATERIALS	GALE/CENGAGE LEARNING	BOOKS	\$118.04
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	JENSEN, JANET	REIMBURSE PROGRAM SUPPLIES	\$62.03
E 101-55110-310 BOOKS & MATERIALS	PENGUIN RANDOM HOUSE LLC	AUDIO BOOKS	\$30.00
E 101-55110-310 BOOKS & MATERIALS	PENGUIN RANDOM HOUSE LLC	AUDIO BOOKS	\$102.75
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	PROHEALTH CARE MEDICAL ASSOC	DRUG TESTING - WONG	\$29.00
E 101-55110-310 BOOKS & MATERIALS	RECORDED BOOKS LLC	AUDIO BOOKS	\$280.20

Account Descr	Search Name	Comments	Amount
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	AUGUST COPIER MAINT	\$76.35
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	JULY-AUG ADDL IMAGES	\$7.54
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	MAY-JULY ADDL IMAGES	\$8.51
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	FEB-APR ADDL IMAGES	\$9.11
EXPENSE Descr LIBRARY			\$1,703.09
EXPENSE Descr LIBRARY SPEC EXPENSE			
E 205-59100-305 EXPENSES-OTHER	BANNON, SUE	SUMMER READING SUPPLIES	\$412.94
EXPENSE Descr LIBRARY SPEC EXPENSE			\$412.94
EXPENSE Descr MAPLE AVE (E CAPITOL TO RR)			
E 401-70380-285 CONSTRUCTION COSTS	STARK ASPHALT	PAVING/MAPLE	\$147,256.23
EXPENSE Descr MAPLE AVE (E CAPITOL TO RR)			\$147,256.23
EXPENSE Descr MISC STORM SEWER REPAIR			
E 401-74010-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$967.90
E 401-74010-285 CONSTRUCTION COSTS	STARK ASPHALT	MISC STORM SWR REPAIRS	\$37,400.00
EXPENSE Descr MISC STORM SEWER REPAIR			\$38,367.90
EXPENSE Descr MUNICIPAL BUILDING			
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	ALSCO	FLOOR MAT SERVICE	\$93.89
E 101-51600-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	HYGROMETER	\$8.54
E 101-51600-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	FUSES	\$44.50
E 101-51600-230 HVAC REPAIRS	DILLETT MECHANICAL SERVICE	DIAGNOSE AC PROBLEM	\$332.50
E 101-51600-255 BLDGS/GROUNDS	W.W. BROWN NURSERY	FLOWERS/SHRUBS/SOD	\$157.00
E 101-51600-220 UTILITY SERVICES	WE ENERGIES	JULY-AUG ELECTRIC	\$1,978.92
EXPENSE Descr MUNICIPAL BUILDING			\$2,615.35
EXPENSE Descr PARKS			
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	SANDING DISKS	\$21.52
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	NUTS/BOLTS/PAINT BRUSHES	\$29.23
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	PAINT BRUSHES	\$14.71
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	FILTER RESPIRATOR	\$22.49
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	WHITE SPRAY PAINT	\$8.95
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	HOZE/NOZZLE/SQUEEGEE	\$36.57
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	WHITE RUSTOLEUM	\$65.94
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	COUPLING/PLUMBERS TAPE	\$4.42
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	FRONTIER-SERVCO FS	FIELD MARKING CHALK	\$307.20
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	LANGE ENTERPRISES INC	NO PARKING SIGNS	\$27.34
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	OLSEN SAFETY EQUIPMENT CORP	GLOVES	\$54.48
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	OLSEN SAFETY EQUIPMENT CORP	EARPLUGS/GLOVES/SAFETY GLASSES	\$164.36

Account Descr	Search Name	Comments	Amount
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PIONEER SUPPLY LLC	TOILET PAPER	\$96.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PORT-A-JOHN	AUG-SEPT RESTROOM/PENBROOK	\$150.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	THE BEE GUY LLC	REMOVE BEE NESTS	\$298.00
EXPENSE Descr PARKS			\$1,301.21
EXPENSE Descr PUBLIC WORKS			
E 101-53000-235 STREET SWEEPING	ADVANCED DISPOSAL SERVICES	STREET SWEEPINGS	\$875.01
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	BEARINGS/FREEZE-OFF PENETRANT	\$197.04
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	U-BOLTS/SPARK PLUGS/BRAKLEEN	\$52.34
E 101-53000-410 STREETS GEN MAINT	BIEBELS TRUE VALUE	PAINT ROLLERS	\$5.37
E 101-53000-360 VEHICLE MAINT/EXPENSE	BIEBELS TRUE VALUE	SPRAYERS	\$38.85
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	DIESEL FUEL	\$724.05
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	UNLEADED GAS	\$1,511.61
E 101-53000-410 STREETS GEN MAINT	FRONTIER-SERVCO FS	TORDON RTU	\$180.89
E 101-53000-410 STREETS GEN MAINT	HOME DEPOT	QUICKCRETE	\$166.32
E 101-53000-410 STREETS GEN MAINT	HOME DEPOT	LANDSCAPE TIMBERS/SPIKES-MAPLE	\$36.60
E 101-53000-410 STREETS GEN MAINT	LANGE ENTERPRISES INC	SIGN POSTS W/FINS	\$746.70
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	MBM	APR-JULY COPY COVERAGE	\$71.34
E 101-53000-360 VEHICLE MAINT/EXPENSE	POMP S TIRE SERVICE INC	TIRES/JD MOWER & BUSH HOG	\$303.56
E 101-53000-360 VEHICLE MAINT/EXPENSE	PROVEN POWER INC	FLAIL MOWER PARTS	\$1,289.86
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$276.00
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY ENG SERVICES	\$1,809.40
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS	\$102.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS	\$129.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS	\$102.00
E 101-53000-180 OTHER BENEFITS	SPIC AND SPAN INC	UNIFORMS	\$129.00
E 101-53000-360 VEHICLE MAINT/EXPENSE	UTILITY SALES & SERVICE	REPAIR BUCKET TRUCK	\$535.35
E 101-53000-420 STORM SEWER	WOLF PAVING CO INC	DUMP CONCRETE	\$100.00
EXPENSE Descr PUBLIC WORKS			\$9,382.29
EXPENSE Descr RECREATION PROGRAMS/EVENTS			
E 101-55300-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	LAMINATING SUPPLIES	\$115.94
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	NAGAWAUKEE YACHT CLUB	ADULT SAILING LESSONS	\$140.00
EXPENSE Descr RECREATION PROGRAMS/EVENTS			\$255.94
EXPENSE Descr REFUSE & GARBAGE COLLECTION			
E 201-53620-200 GARBAGE COLLECTION FEES	ADVANCED DISPOSAL SERVICES	JULY SERVICE	\$30,964.87
EXPENSE Descr REFUSE & GARBAGE COLLECTION			\$30,964.87
EXPENSE Descr REPAVE PATHWAYS - NOTTINGHAM			
E 401-76090-285 CONSTRUCTION COSTS	STARK ASPHALT	PAVING/PARK PATH	\$5,700.00

Account Descr	Search Name	Comments	Amount
EXPENSE Descr REPAVE PATHWAYS - NOTTINGHAM			\$5,700.00
EXPENSE Descr RETAINING WALL REPLACEMENT			
E 401-79170-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$558.00
EXPENSE Descr RETAINING WALL REPLACEMENT			\$558.00
EXPENSE Descr RR QUIET ZONE			
E 401-79160-285 CONSTRUCTION COSTS	STARK ASPHALT	PAVING/RR QUIET ZONE	\$47,395.00
EXPENSE Descr RR QUIET ZONE			\$47,395.00
EXPENSE Descr RUSTIC LANE			
E 401-70370-285 CONSTRUCTION COSTS	PAYNE AND DOLAN INC	2014 RETAINER	\$24,192.99
EXPENSE Descr RUSTIC LANE			\$24,192.99
EXPENSE Descr SEWER SERVICE			
E 204-53610-270 TREATMENT EXPENSE	DELAFIELD-HARTLAND WATER	AUGUST FEES	\$69,703.51
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	AUGUST HRA	\$25.54
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	NEENAH FOUNDRY CO	SEWER COVER	\$148.00
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	OLSEN SAFETY EQUIPMENT CORP	FOAM LINED GLOVES	\$57.48
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$999.00
E 204-53610-800 CAPITAL OUTLAY	STARK ASPHALT	MISC SANITARY REPAIRS	\$7,750.00
EXPENSE Descr SEWER SERVICE			\$78,683.53
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			
E 401-74075-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$1,727.80
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			\$1,727.80
EXPENSE Descr TIF FUND EXPENSES			
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	EHLERS & ASSOCIATES	TID 6 CREATION	\$14,000.00
E 214-58300-290 OUTSIDE SERVICES/CONTRACTS	EHLERS & ASSOCIATES	TID 4 AMENDMENT	\$1,500.00
E 214-58300-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$371.85
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$371.85
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	VON BRIESEN & ROPER	JULY LEGAL FEES	\$2,704.00
EXPENSE Descr TIF FUND EXPENSES			\$18,947.70
EXPENSE Descr WATER UTILITY			
E 620-53700-631 WATER TREATMENT - CHEMICALS	BIEBELS TRUE VALUE	CHLORINE	\$54.72
E 620-53700-652 MAINTENANCE OF SERVICES	BIEBELS TRUE VALUE	PLUMBERS TAPE	\$6.67
E 620-53700-923 OUTSIDE SERVICES	DIVERSIFIED BENEFIT SERVICES	AUGUST HRA	\$63.85
E 620-53700-923 OUTSIDE SERVICES	EUROFINS	WATER TESTING	\$572.40
E 620-53700-652 MAINTENANCE OF SERVICES	HOME DEPOT	LUMBER	\$12.12
E 620-53700-625 MAINTENANCE OF PUMPING PLANT	HOME DEPOT	LUMBER/NAILS	\$8.62

Account Descr	Search Name	Comments	Amount
E 620-53700-923 OUTSIDE SERVICES	PUBLIC SERVICE COMMISSION	SIMPLIFIED RATE CASE REVIEW	\$213.95
E 620-53700-681 COMPUTERS & SOFTWARE	RUEKERT & MIELKE	JUNE-JULY GIS CONVERSION	\$2,220.00
E 620-53700-651 MAINTENANCE OF MAINS	RUEKERT & MIELKE	JUNE-JULY SERVICES	\$1,010.00
E 620-53700-678 HYDRANTS	STARK ASPHALT	HYDRANT REPLACEMENT	\$41,320.00
E 620-53700-651 MAINTENANCE OF MAINS	STARK ASPHALT	PAVING/MISC WTR REPAIRS	\$14,730.00
E 620-53700-652 MAINTENANCE OF SERVICES	WEBER, KURT	LONG HANDLE RATCHET	\$54.99
E 620-53700-923 OUTSIDE SERVICES	WI STATE LABORATORY OF HYGIENE	JULY FLOURIDE	\$20.00
E 620-53700-651 MAINTENANCE OF MAINS	WOLF PAVING CO INC	ASPHALT	\$122.52
E 620-53700-651 MAINTENANCE OF MAINS	WOLF PAVING CO INC	ASPHALT	\$166.73
EXPENSE Descr WATER UTILITY			\$60,576.57
			\$594,379.51

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## Payments

Current Period: JULY 2015

Batch Name	JULY15WIRE				
	Payment	Computer Dollar Amt	\$163,613.83	Posted	
Refer	47549 EMPLOYEE TRUST FUNDS	Ck# 2015058E 7/24/2015			
Cash Payment Invoice	E 101-51400-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$5,124.81
Cash Payment Invoice	E 101-51500-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$2,394.21
Cash Payment Invoice	E 101-55300-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$685.94
Cash Payment Invoice	E 101-52100-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$28,124.32
Cash Payment Invoice	E 101-53000-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$22,603.51
Cash Payment Invoice	E 101-55110-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$4,102.48
Cash Payment Invoice	E 101-52200-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$1,197.11
Cash Payment Invoice	E 101-52300-150 HEALTH/DENTAL/LIFE	AUGUST HEALTH PREMIUMS			\$1,197.10
Cash Payment Invoice	G 101-21530 INSURANCE DEDUCTIONS	AUGUST HEALTH PREMIUMS			\$1,319.42
Cash Payment Invoice	G 101-34140 UNFUNDED EMPLOYEE BE	AUGUST HEALTH PREMIUMS			\$1,967.10
Transaction Date	7/24/2015	Due 0	GF Checking	11100	<b>Total</b> \$68,716.00
Refer	47550 WI RETIREMENT SYSTEM	Ck# 2015059E 7/31/2015			
Cash Payment Invoice	E 101-55300-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$248.15
Cash Payment Invoice	E 101-51400-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$696.75
Cash Payment Invoice	E 101-51500-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$296.58
Cash Payment Invoice	E 101-52100-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$9,717.28
Cash Payment Invoice	E 101-52100-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$640.42
Cash Payment Invoice	E 101-52200-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$500.66
Cash Payment Invoice	E 101-52300-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$593.12
Cash Payment Invoice	E 101-52200-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$4.78
Cash Payment Invoice	E 101-53000-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$3,470.92
Cash Payment Invoice	E 101-55110-140 RETIREMENT BENEFIT	JUNE WRS CONTRIBUTIONS			\$1,568.57
Cash Payment Invoice	E 620-53700-926 EMPLOYEE PENSIONS	JUNE WRS CONTRIBUTIONS			\$1,834.12

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Payments

Current Period: JULY 2015

Cash Payment	E 204-53610-110 SALARIES	JUNE WRS CONTRIBUTIONS		\$253.02
Invoice				
Cash Payment	E 204-53610-110 SALARIES	JUNE WRS CONTRIBUTIONS		\$245.88
Invoice				
Cash Payment	E 204-53610-390 BILLING/COLLECTION/	JUNE WRS CONTRIBUTIONS		\$351.74
Invoice				
Cash Payment	G 101-21520 RETIREMENT DEDUCTION	JUNE WRS CONTRIBUTIONS		\$9,610.93
Invoice				
Cash Payment	G 101-21520 RETIREMENT DEDUCTION	JUNE WRS CONTRIBUTIONS		\$7,633.97
Invoice				
Transaction Date	7/31/2015	Due 0	GF Checking 11100	<b>Total</b> \$37,666.89
Refer	47551 FIRST BANK FINANCIAL CENTRE		Ck# 2015060E 7/31/2015	
Cash Payment	E 101-51500-300 OPERATING SUPPLIES	EBUSINESS BANKING		\$20.00
Invoice				
Cash Payment	E 101-51500-300 OPERATING SUPPLIES	POSITIVE PAY		\$30.00
Invoice				
Cash Payment	E 101-51500-300 OPERATING SUPPLIES	ACH FILTERS/BLOCKS		\$25.00
Invoice				
Transaction Date	7/31/2015	Due 0	GF Checking 11100	<b>Total</b> \$75.00
Refer	47552 PAYROLL DATA SERVICES INC		Ck# 2015061E 7/3/2015	
Cash Payment	E 804-56700-110 SALARIES	BID PAYROLL - 7/3/15		\$1,026.93
Invoice				
Cash Payment	E 804-56700-760 PAYROLL SERVICE CH	BID PAYROLL - 7/3/15		\$35.00
Invoice				
Transaction Date	7/3/2015	Due 0	GF Checking 11100	<b>Total</b> \$1,061.93
Refer	47553 PAYROLL DATA SERVICES INC		Ck# 2015062E 7/16/2015	
Cash Payment	E 804-56700-110 SALARIES	BID PAYROLL - 07/17/2015		\$1,026.92
Invoice				
Cash Payment	E 804-56700-760 PAYROLL SERVICE CH	BID PAYROLL - 07/17/2015		\$50.00
Invoice				
Transaction Date	7/16/2015	Due 0	GF Checking 11100	<b>Total</b> \$1,076.92
Refer	47554 PAYROLL DATA SERVICES INC		Ck# 2015063E 7/31/2015	
Cash Payment	E 804-56700-110 SALARIES	BID PAYROLL - 07/31/2015		\$1,009.04
Invoice				
Cash Payment	E 804-56700-760 PAYROLL SERVICE CH	BID PAYROLL - 07/31/2015		\$35.00
Invoice				
Transaction Date	7/31/2015	Due 0	GF Checking 11100	<b>Total</b> \$1,044.04
Refer	47555 BOND TRUST SERVICES CORP		Ck# 2015064E 7/31/2015	
Cash Payment	E 301-58000-615 DEBT SERVICE - INTE	2009 GO REFUNDING BONDS INTEREST PAYMENT		\$47,253.13
Invoice				
Transaction Date	7/31/2015	Due 0	GF Checking 11100	<b>Total</b> \$47,253.13
Refer	47556 JPMORGAN CHASE BANK		Ck# 2015065E 7/18/2015	
Cash Payment	E 101-55110-310 BOOKS & MATERIALS	AMAZON - CD'S/DVD'S		\$94.95
Invoice				
Cash Payment	E 101-51400-300 OPERATING SUPPLIES	ICMA - CONFERENCE REGISTRATION - COX		\$655.00
Invoice				

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## Payments

Current Period: JULY 2015

Cash Payment Invoice	E 101-51400-300 OPERATING SUPPLIES	CHULA VISTA - WCMA CONF MEAL COX	\$15.81
Cash Payment Invoice	E 101-51400-300 OPERATING SUPPLIES	THUNDER BAY GRILL - ADM MTG COX	\$15.41
Cash Payment Invoice	E 101-55300-300 OPERATING SUPPLIES	PIGGLY WIGGLY - BRATS - REC	\$15.90
Cash Payment Invoice	E 101-51400-300 OPERATING SUPPLIES	BEN FRANKLIN - PICTURE FRAMING	\$345.14
Cash Payment Invoice	E 101-51100-300 OPERATING SUPPLIES	AMAZON - KEURIG COFFEE MAKER	\$219.99
Cash Payment Invoice	E 101-51440-300 OPERATING SUPPLIES	COUSINS SUBS - ELECTION FOOD	\$114.81
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	SIRCHIE FINGERPRINT - SUPPLIES	\$38.34
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	LAFORCE - FIRE EXT CABINETS	\$306.95
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	WPLF - CONFERENCE - ROSCH	\$135.00
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	CITY OF MADISON - PARKING	\$3.75
Cash Payment Invoice	E 101-52100-360 VEHICLE MAINT/EXPE	EWALDS - TOUCH UP PAINT	\$12.59
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	WALMART - WIPES/WATER/OJ	\$54.58
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	OFFICEMAX - MOUSE	\$19.99
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	CULVERS - MEALS AT TRAINING	\$6.63
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	AMBER GRILL - CONF/MEAL	\$13.59
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	HOLIDAY INN - CONF LODGING - HOFFA	\$210.00
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	PANERA BREAD - CROSSING GUARDS GIFT CARDS	\$40.00
Cash Payment Invoice	E 101-52100-300 OPERATING SUPPLIES	PANERA BREAD - CROSSING GUARD BREAKFAST	\$254.77
Cash Payment Invoice	E 101-53000-300 OPERATING SUPPLIES	NORTHERN TOOL - WATER PUMP	\$179.51
Cash Payment Invoice	E 101-53000-350 EQUIPMENT PURCHAS	NORTHERN TOOL - LAWN MOWER RAMP	\$257.47
Cash Payment Invoice	E 101-55300-300 OPERATING SUPPLIES	PIGGLY WIGGLY - SUPPLIES	\$6.85
Cash Payment Invoice	E 101-55300-300 OPERATING SUPPLIES	WALMART - CONCESSION FOOD	\$152.80
Cash Payment Invoice	E 101-55300-300 OPERATING SUPPLIES	PIGGLY WIGGLY - CONCESSION FOOD	\$49.90
Cash Payment Invoice	E 101-55300-300 OPERATING SUPPLIES	BANNERSONTHECHEAP - BANNER	\$144.32

# VILLAGE OF HARTLAND

08/12/15 12:05 PM

Page 4

## Payments

Current Period: JULY 2015

Cash Payment	E 101-55300-300 OPERATING SUPPLIES	BURGHARDT SPORTING GOODS - STANDARDS			\$298.00
Invoice					
Cash Payment	E 101-55300-303 SUMMER REC EXPENS	PIGGLY WIGGLY - REC SUPPLIES			\$22.28
Invoice					
Cash Payment	E 101-55300-300 OPERATING SUPPLIES	PIGGLY WIGGLY - CONCESSION FOODS			\$43.97
Invoice					
Cash Payment	E 101-55300-303 SUMMER REC EXPENS	PRAIRIEVILLE PARK - FIELD TRIP			\$220.24
Invoice					
Cash Payment	E 101-55300-303 SUMMER REC EXPENS	DOMINO'S - PIZZA FOR SUMMER REC			\$52.50
Invoice					
Cash Payment	E 101-52200-300 OPERATING SUPPLIES	WSFCA - CONFERENCE - DEAN			\$75.00
Invoice					
Cash Payment	E 101-52200-255 BLDGS/GROUNDS	IDI - INSULATION			\$51.12
Invoice					
Cash Payment	E 101-52200-300 OPERATING SUPPLIES	HOLIDAY INN - CONF LODGING - DYER			\$210.00
Invoice					
Cash Payment	E 101-52200-360 VEHICLE MAINT/EXPE	COREY OIL - FUEL			\$84.17
Invoice					
Cash Payment	E 101-52100-300 OPERATING SUPPLIES	MED VET - DOG SNARE POLE			\$80.30
Invoice					
Cash Payment	E 101-52100-360 VEHICLE MAINT/EXPE	AUTOANYTHING - BED COVER FOR SQ. 7			\$859.88
Invoice					
Transaction Date	7/18/2015	Due 0	GF Checking	11100	<b>Total</b> \$5,361.51
Refer	47557 WI DEPT OF REVENUE (SALES TA Ck# 2015066E 7/6/2015				
Cash Payment	G 101-21515 SALES TAXES PAYABLE	2ND QUARTER SALES TAX			\$1,368.41
Invoice					
Cash Payment	R 101-48000 MISCELLANEOUS REVENUE	DISCOUNT GIVEN BY DOR			-\$10.00
Invoice					
Transaction Date	7/6/2015	Due 0	GF Checking	11100	<b>Total</b> \$1,358.41

### Fund Summary

	11100 GF Checking
804 BUSINESS IMPROVEMENT DISTRICT	\$3,182.89
620 WATER FUND	\$1,834.12
301 DEBT SERVICE FUND	\$47,253.13
204 SEWER	\$850.64
101 GENERAL FUND	\$110,493.05
	\$163,613.83

Pre-Written Checks	\$163,613.83
Checks to be Generated by the Computer	\$0.00
Total	\$163,613.83

**VILLAGE OF HARTLAND  
LICENSES AND PERMITS  
AUGUST 24, 2015**

**Bartender (Operator's) License – expires June 30, 2016**

Haylee Wakefield  
Samantha Ranicke  
Katelynn Hodge

The Police Chief recommends approval. The Village Clerk recommends approval. All applicants have successfully completed the Responsible Beverage Servers Course.

**STREET USE PERMIT**

Applicant: Arrowhead High School, Trina Bower  
Event: Annual Homecoming Parade  
Date: Sunday, September 20  
Time: Line-up at 2:30 p.m., parade begins at 3:00 p.m.  
Route: Church St. to E. Capitol Dr. to North Ave. to High School

The Police Chief will staff this event. The Fire Chief recommends approval. The DPW recommends approval with the notation that the applicant be required to clean up the right-of-way. Traffic control will be provided as requested by the Police Department. The Village Clerk recommends approval.

**TEMPORARY CLASS B BEER/WINE LICENSE**

Applicant: St. Charles Parish Community  
Location: St. Charles Parish, 313 Circle Drive  
Event: St. Charles Harvest Luncheon  
Date: October 10

will email ins. cert. soon.



**STREET USE PERMIT APPLICATION FOR LARGE SCALE EVENTS**

Date: 7/23/15  
Rec #: 163700

(Three (3) or more City Blocks, or More than 1,200 Feet)

**APPLICATION MUST BE RECEIVED AT THE ADMINISTRATIVE OFFICES AT LEAST 30 DAYS IN ADVANCE OF THE DATE OF THE EVENT**

**\$50.00 FEE**

Nonrefundable application fee is required at time of filing

Sponsoring Agency (if applicable) ARROWHEAD HIGH SCHOOL  
Street Address 900 NORTH AVE, HARTLAND  
Web Page and/or e-mail address \_\_\_\_\_  
Phone No. 309-3012 Fax No. \_\_\_\_\_

Contact Person TRINA BOWLE  
Street Address (if different than above) \_\_\_\_\_  
E-mail Address \_\_\_\_\_  
Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

Street name and block numbers (attach map and diagram)  
see attached map

Date(s) of Closure/Use 9/20/15 Rain Date? NA  
Hours of Closure/Use 2:30 - 4:30 Estimated Attendance \_\_\_\_\_

Describe Event (include time table indicating hours of set up and tear down if applicable)  
start time: 3:00  
Homecoming Parade

Additional permits are required for the following activities – applications available at the Village Administrative office:

Sale of beer and/or wine – Class "B" Picnic Beer/Wine License \$10

Signature of Applicant [Signature] Date 7/22/15  
(Falsification of information will result in denial of permit)

**IMPORTANT! – PLEASE ATTACH CERTIFICATE OF INSURANCE WITH VILLAGE OF HARTLAND LISTED AS AN ADDITIONAL INSURED**

Return completed application and \$50 application fee to:  
Village of Hartland, 210 Cottonwood Avenue, Hartland, WI 53029  
(Phone 262-367-2714)

Date approved or denied: \_\_\_\_\_  
Any conditions specified: \_\_\_\_\_

Line-Up → 2:30

Parade Starts → 3:00

Parade Route: Follow E Capitol Drive west to Co Rd E (aka North Ave). Turn right onto North Ave. Follow north to Arrowhead High School.

**ALL FLOATS MUST HAVE AN APPROVED ADULT ADVISOR/SPONSOR WHO IS RESPONSIBLE FOR THE FLOAT AND MUST ACCOMPANY THE FLOAT FOR THE ENTIRE DURATION OF THE PARADE**



APPLICATION FOR TEMPORARY CLASS "B"/"CLASS B" RETAILER'S LICENSE

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 10.00

Application Date: 8-18-15

Town Village City of Hartland County of Waukesha

The named organization applies for: (check appropriate box(es).)

- A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.
A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stat.

at the premises described below during a special event beginning and ending and agrees to comply with all law, resolution, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. ORGANIZATION (check appropriate box) Bona fide Club Church Lodge/Society Veteran's Organization Fair Association

(a) Name St. Charles Parish Community

(b) Address 313 Circle Drive, Hartland, WI 53029 (Street)

(c) Date organized 08/31/1906 Town Village City

(d) If corporation, give date of incorporation 08/31/1906

(e) Names and addresses of all officers:
President Archbishop Jerome Listecky
Vice President Father Kenneth E. Omernick
Secretary Trustee 1: Michael Berendes
Treasurer Trustee 2: Paul Prah

(f) Name and address of manager or person in charge of affair:

2. LOCATION OF PREMISES WHERE BEER AND/OR WINE WILL BE SOLD:

(a) Street number 313 Circle Drive, Hartland, WI 53029

(b) Lot Block

(c) Do premises occupy all or part of building? Part

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover:

3. NAME OF EVENT

(a) List name of the event Mission Ladies Harvest Luncheon

(b) Dates of event October 10, 2015

DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

St. Charles Parish (Name of Organization)

Officer [Signature] (Signature/date)

Officer (Signature/date)

Officer [Signature] 8/15/15 (Signature/date)

Officer (Signature/date)

Date Filed with Clerk 8/18/15

Date Reported to Council or Board

Date Granted by Council

License No.



RECEIVED

JUL 27 2011

Village of Hartland

ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

**APPLICATION FOR  
 PLAN COMMISSION**

**\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description 6,575 SQ/FT AUTO SERVICE & AUTO DETAIL ADDITION			
Proposed Use Auto repair, auto detailing & car wash services.		No. of Employees 16	
Project Location 400 East Industrial Drive			
Project Name Hartland Service Car Wash & Detail Building		Hartland Service Retail Building	
Owner Michael and Deborah Kusch		Phone	
Address N65 W30981 Beaver Lake Road		City Hartland	State WI Zip 53029
Engineer/Architect MSI General (Pete Anderson)		Phone 262-563-5337	FAX 262-367-7390
Address P.O. Box 7		City Oconomowoc	State WI Zip 53066
Contact Person John Kutz	Phone 920-650-5032	FAX 262-719-2957	E-mail john@msgeneral.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

Project Name

Hartland Service Addition

Project Address

400 East Industrial Drive

Hartland, WI 53029



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

Existing Building Data

<b>Automotive Repair, Carwash &amp; Office Building</b>	
Building Area	10,870 sq/ft
<b>Construction Type Type 6</b>	
(Under Previous Building Code)	
Number of Stories	1
<b>Occupancy Non Separated</b>	
B (Carwash Area)	1,455 sq/ft
S1 (Car Repair Area)	7,110 sq/ft
B (Office)	2,305 sq/ft
Building Height	14'-0" & 21'-4"
Fire Protection	None

Building Addition Data

Automotive Repair, Automotive Detailing, Carwash & Office Addition	
Building Area	6,575 sq/ft
<b>Construction Type IIB</b>	
Number of Stories	1
Occupancy Non Separated	
S1 (Car Repair Area)	4,455 sq/ft
B (Office)	2,120 sq/ft
Total Building Area Including Addition	17,445 sq/ft
Allowable Building Area (Table 503 with Frontage Increase)	
Nonseparated use (S1 is most restrictive)	
Allowable Area	30,625 sq/ft
Fire Areas Based on Section 903.2.9.1	
not to exceed	12,000 sq/ft
(Refer to A-101 for locations of fire barriers)	
Total Building Occupant Load	158
(This calculation does not include the dedicated carwash area)	
Per IBC 2009 Table 1004.1.1	
Egress Width	
Required	31.6"
Provided	192"
Exit access Travel Distance	200'
Fire Protection	None
Sanitary Facility Requirements (50% reduction based on owner supplied occupant letter)	
Men (79)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
Women (79)	
Required	
Water Closet	2
Lavatory	2
Provided	
Water Closet	2
Lavatory	2
One unisex lav. is also provided in the building addition	
Janitor's Sink	
Required	1
Provided	1 Existing
Drinking fountain	
Required	1
Provided	1 Existing

Existing Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Existing Detail Building	2,525 S.F.
Existing House (To be Demolished)	850 S.F.
Existing Shed (To be Demolished)	220 S.F.
Existing Hard Surface (Buildings Excluded)	37,985 S.F.
Total Existing Hard Surface (Buildings Included) 52,450 S.F.	
Total Existing Green Space	46,400 S.F.
Existing Green Space Ratio	47%
Existing Parking Stalls	
Standard Parking Stalls	52
Accessible Parking Stalls	3

Proposed Site Data

Site Area	98,850 S.F. (2.27 Acres)
Existing Auto Repair Building	10,870 S.F.
Proposed Auto Repair Addition	6,305 S.F.
Proposed Building Area Including Addition	17,445 S.F.
Existing Detail Building To Remain	2,500 S.F.
Proposed Building Footprint Ratio	20%
Total Hard Surface w/	
Proposed Site Improvements & Building Addition 68,508 S.F.	
Total Greenspace w/	
Proposed Site Improvements & Building Addition 30,342 S.F.	
Proposed Green Space Ratio 31%	
Parking Requirements	
1 Stall Per Employee	16
1 Stall Per 250 sq/ft of car repair area	
6,450 sq/ft (Does not include circulation or storage areas)	26
Total Stalls Required	42
Existing Parking Stalls to Remain	
Standard Parking Stalls	26
Accessible Parking Stalls	2
Proposed Parking Stalls	
Standard Parking Stalls	22
Total Parking Provided	
Standard Parking Stalls	48
Accessible Parking Stalls	2

Accessibility  
Refer to C-101 for location of accessible route & existing accessible parking stalls. Once in the building there is an accessible route to all rooms & we are constructing a new accessible ADA unisex restroom in the building addition serving the primary function area.

Architects Seal

Engineers Seal

58 YEARS OF DESIGN EXCELLENCE

SHEET INDEX

NO.	DESCRIPTION	REVISIONS																											
		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28
G-001	COVER SHEET																												
C-001	ARCHITECTURAL DEMOLITION SITE PLAN																												
C-100	CIVIL EXISTING CONDITIONS & DEMOLITION PLAN																												
C-101	SITE PLAN																												
C-102	SITE GRADING & EROSION CONTROL PLAN																												
C-103	SITE UTILITY PLAN																												
C-104	SITE PAVING PLAN																												
C-105	SITE CONSTRUCTION DETAILS & SPECIFICATION																												
C-106	SITE CONSTRUCTION DETAILS & SPECIFICATION																												
C-107	SITE LIGHTING PLAN																												
C-108	LANDSCAPE PLAN																												
C-501	SITE DETAILS																												
A-001	DEMOLITION PLAN																												
A-002	OVERALL BUILDING PLAN																												
A-101	FLOOR PLAN																												
A-105	ROOF PLAN																												
A-201	EXTERIOR ELEVATIONS																												

REVISIONS:

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PLAN COMMISSION SET 07.27.15	

PROJECT ADDRESS:

PROJECT NAME  
Hartland Service Addition  
STREET ADDRESS  
400 East Industrial Drive  
CITY / STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

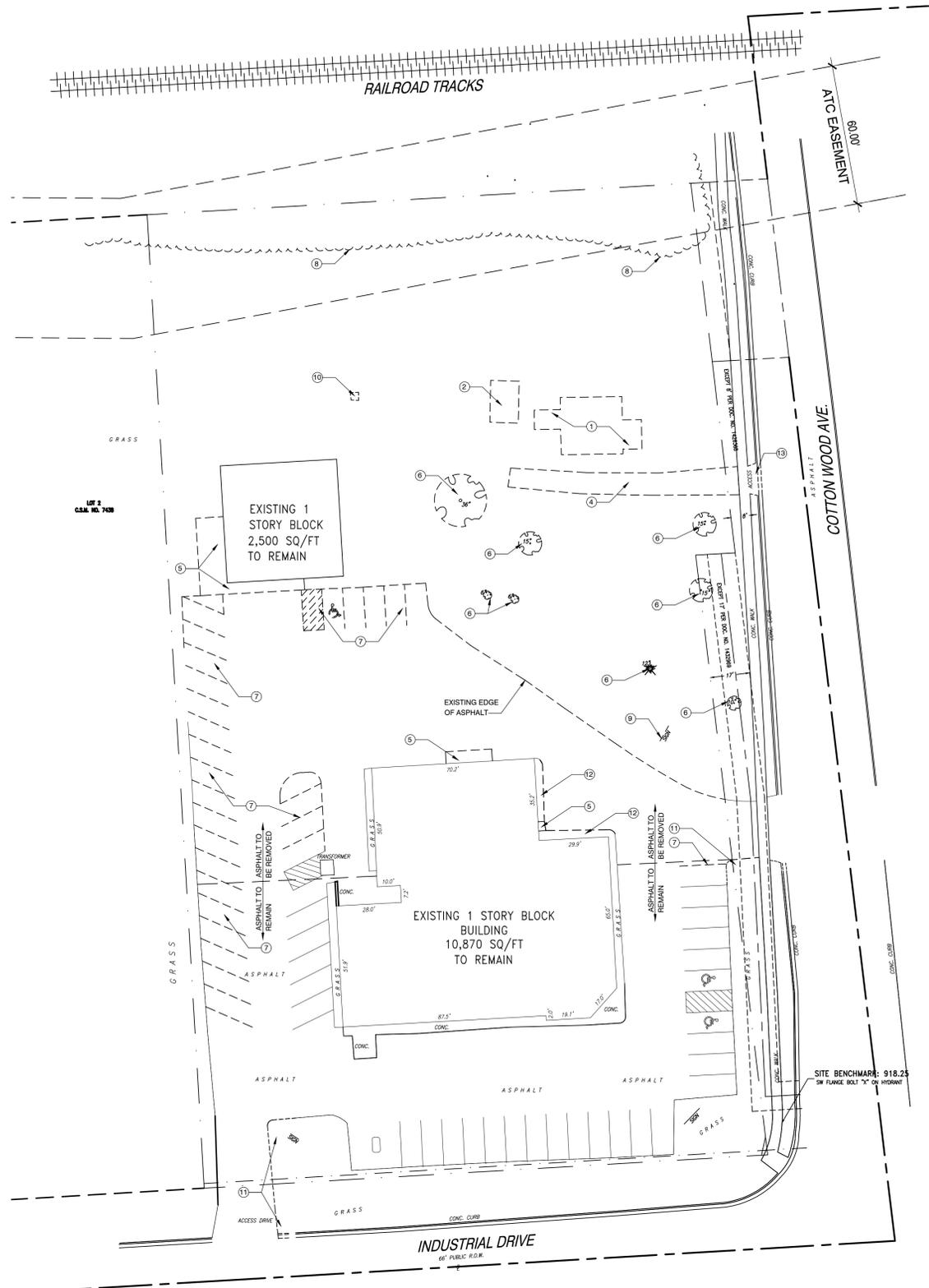
Date: 03.30.15 Drawn By: Pete Anderson  
Sheet Title: COVER SHEET  
Sheet Number: G-001  
Project Number: P11162  
4381

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



**SITE DEMOLITION NOTES**

- 1 EXISTING HOUSE REMOVED BY OWNER
- 2 EXISTING SHED REMOVED BY OWNER
- 3 OMITTED
- 4 EXISTING GRAVEL DRIVE TO BE REMOVED
- 5 EXISTING CONCRETE TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING PARKING STALL STRIPING TO BE REMOVED
- 8 EXISTING BRUSH TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION
- 9 EXISTING MONUMENT SIGN TO BE REMOVED
- 10 EXISTING TRANSFORMER TO BE REMOVED
- 11 WIDEN EXISTING EAST & SOUTH DRIVES BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE. REFER TO SITE PLAN FOR NEW ACCESS DRIVE WIDTH
- 12 EXISTING LANDSCAPING ALONG EXISTING OFFICE TO BE REMOVED
- 13 REMOVE EXISTING CONCRETE APPROACH, CONCRETE WALK & CONCRETE CURB AS REQUIRED TO INFILL TO MATCH ADJACENT CONSTRUCTION



MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
262.367.3661  
FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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PLAN COMMISSION SET 07.27.15

**PROJECT ADDRESS:**

PROJECT NAME  
Hartland Service Addition  
STREET ADDRESS  
400 East Industrial Drive  
CITY / STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

**REFERENCE KEYNOTES**

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
11 80 LB PRECAST LIVE LOAD(03410) 12 80 LB PRECAST LIVE LOAD(03410) 13 100 LB PRECAST LIVE LOAD(03410) 14 125 LB PRECAST LIVE LOAD(03410) 15 150 LB PRECAST LIVE LOAD(03410) 16 200 LB PRECAST LIVE LOAD(03410)	31 CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02050 & 03000) 32 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 33 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 34 4" PRECAST CONCRETE FLOOR W/ 4" STONE & 2" F.B. LIFT(02050, 03000) 35 CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03000) 36 CONCRETE REIN. W/ 600 #5 @ 10 W.F. (03000)	41 4" STANDARD CONCRETE MASONRY UNIT(04000) 42 8" STANDARD CONCRETE MASONRY UNIT(04000) 43 12" STANDARD CONCRETE MASONRY UNIT(04000) 44 4" DECORATIVE CONCRETE MASONRY UNIT(04000) 45 8" DECORATIVE CONCRETE MASONRY UNIT(04000) 46 12" DECORATIVE CONCRETE MASONRY UNIT(04000) 47 4" CONCRETE BRICK UNIT(04000) 48 8" CONCRETE BRICK UNIT(04000) 49 12" CONCRETE BRICK UNIT(04000)	51 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(05000, 05100 & 05500) 52 22 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(05100, 05150, 05200 & 07000) 53 METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(05000) 54 CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05000, 05500) 55 1 1/2" DIA. METAL RAILING(05500)	71 PERIMETER INSULATION(07000) 72 FENITE LOOSE FILL INSULATION IN CORES OF BLOCK(07000) 73 5/8" MIN BALLASTED ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3 1/2" EPS INSULATION (07000) 74 24 GAGE CONCEALED FASTENER METAL ROOF PANEL 75 24 GAGE SIDE LAP FASTENED METAL ROOF OR WALL PANEL(07410) 76 24 GAGE SCULPTURED STEEL OR METAL WALL PANEL 77 24 GAGE PREFINISHED METAL LINER PANEL 78 3" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" FRICTION FIT INSULATION(07000) 81 EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV17)(07240)	81 BRICKSTONE INSULATED LOW E GLASS(08410, 08800) 82 GREY TONE INSULATED LOW E GLASS(08410, 08800) 83 CLEAR INSULATED LOW E GLASS(08410, 08800) 84 BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 H.M. BOROHOVED LITE	91 SUSPENDED CEILING SYSTEM(09010) 92 METAL SOFFIT PANEL
21 3"1/4" x 1 3/4" ASPHALT OVER 6" STONE BASE(02010, 02020) 22 4"1/2" x 1 1/2" ASPHALT OVER 6" STONE BASE(02010, 02020) 23 3"3/4" x 2 1/4" ASPHALT OVER 12" STONE BASE(02010, 02020) 24 HANDICAPPED PARKING STALL SIGN	37 1/2" EXPANSION JOINT MATERIAL(03000) 38 CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000)	47 12" PRECAST PLANK(0410) 48 12" PRECAST PLANK(0410)	61 PLASTIC LAMINATE WINDOW (SILVER)(06000) 62 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400) 63 PLASTIC LAMINATE WALL CABINET(06100, 06200, 06400) 64 SHELF AND POLE(06100, 06200)	77 24 GAGE PREFINISHED METAL LINER PANEL 78 3" VINYL FACED BLANKET INSULATION(07000) 79 4" VINYL FACED BLANKET INSULATION(07000) 80 2" FRICTION FIT INSULATION(07000) 81 EIFS EXTERIOR INSULATION FINISH SYSTEM(DRV17)(07240)	81 BRICKSTONE INSULATED LOW E GLASS(08410, 08800) 82 GREY TONE INSULATED LOW E GLASS(08410, 08800) 83 CLEAR INSULATED LOW E GLASS(08410, 08800) 84 BRICKSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 85 CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) 86 H.M. BOROHOVED LITE	91 SUSPENDED CEILING SYSTEM(09010) 92 METAL SOFFIT PANEL
			<b>Division 06- Woods and Plastics</b> 61 PLASTIC LAMINATE WINDOW (SILVER)(06000) 62 PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06200, 06400) 63 PLASTIC LAMINATE WALL CABINET(06100, 06200, 06400) 64 SHELF AND POLE(06100, 06200)			<b>Division 10- Misc</b> 101 FLAG POLE 102 MONUMENT SIGN 103 DUMPSTER ENCLOSURE 104 ROOF HATCH AND LADDER

**SITE DEMOLITION PLAN 1" = 30'-0"**

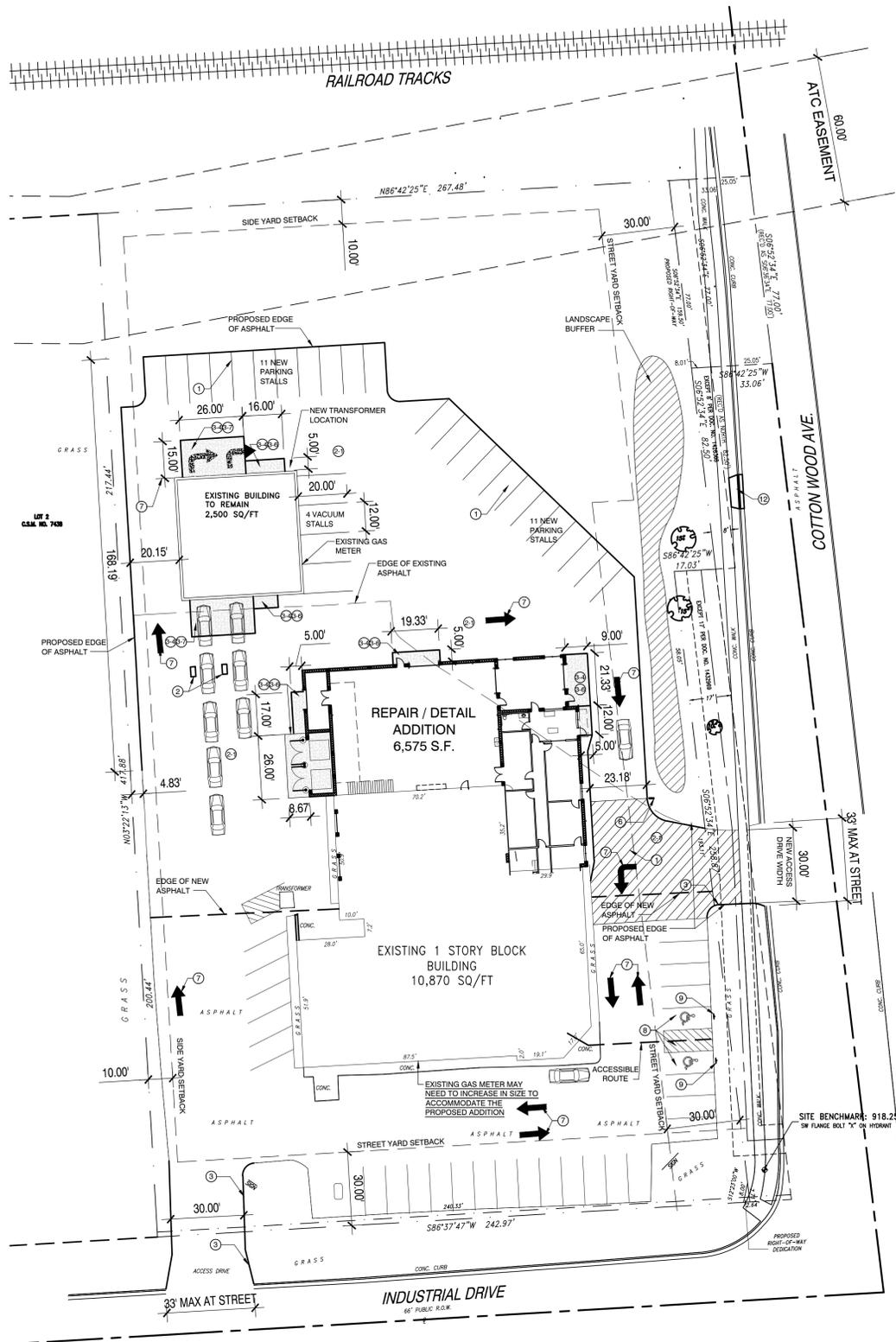
Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title: **SITE DEMOLITION PLAN**  
 Sheet Number: **C-001**  
 Project Number: P11162  
**4381**

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



**SITE PLAN NOTES**

- ① NEW PARKING LOT STRIPING
- ② CAR WASH PAY STATION
- ③ WIDEN EXISTING EAST DRIVE BY REMOVING EXISTING ASPHALT, STREET CURB & GREEN SPACE  
REPLACE W/ ASPHALT & WIDENED CONCRETE APRON TO MATCH EXISTING
- ④ 8'-0" HIGH PAINTED CMU DUMPSTER SCREEN W/ FULL FOUNDATION/FOOTING, METAL COPING, GATES & 6" CONCRETE SLAB / APRON
- ⑤ OMITTED
- ⑥ TWO SIDED SIGN  
STOP SIGN FACING NORTH  
ONE WAY DO NOT ENTER SIGN FACING SOUTH
- ⑦ PAINT DIRECTIONAL ARROWS ON EXISTING & NEW PAVEMENT AS INDICATED
- ⑧ REPAINT THE EXISTING HANDICAP PARKING STALLS & ASSOCIATED AISLE
- ⑨ ADD (2) NEW ADA PARKING SIGNS PER DETAIL C7/C-501
- ⑩ 2'-0" HIGH CMU RETAINING WALL- REFER TO SITE GRADING PLAN FOR MORE INFORMATION
- ⑪ NEW CATCH BASIN- REFER TO SITE UTILITY PLAN FOR MORE INFORMATION
- ⑫ INFILL EXISTING APPROACH W/ CONCRETE CURB, GREENSPACE & CONCRETE WALK TO MATCH ADJACENT EXISTING CONSTRUCTION & VILLAGE STANDARDS



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PLAN COMMISSION SET 07.27.15

**PROJECT ADDRESS:**

PROJECT NAME  
Hartland Service Addition  
STREET ADDRESS  
400 East Industrial Drive  
CITY/STATE/ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

**REFERENCE KEYNOTES**

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes
<ul style="list-style-type: none"> <li>① 50 LB PRECAST LIVE LOAD(03410)</li> <li>② 80 LB PRECAST LIVE LOAD(03410)</li> <li>③ 100 LB PRECAST LIVE LOAD(03410)</li> <li>④ 125 LB PRECAST LIVE LOAD(03410)</li> <li>⑤ 150 LB PRECAST LIVE LOAD(03410)</li> <li>⑥ 200 LB PRECAST LIVE LOAD(03410)</li> </ul>	<ul style="list-style-type: none"> <li>① CONCRETE OVERPOUR HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(02001 &amp; 03000)</li> <li>② 4" POURED CONCRETE FLOOR W/ 4" STONE &amp; 2" F.B. LIFT(02000, 03000)</li> <li>③ 4" POURED CONCRETE FLOOR W/ 4" STONE &amp; 2" F.B. LIFT(02000, 03000)</li> <li>④ 4" DECORATIVE CONCRETE MASONRY UNIT(04000)</li> <li>⑤ 4" DECORATIVE CONCRETE MASONRY UNIT(04000)</li> <li>⑥ CONCRETE REIN. W/ 600 #10 W.F. @ 20" O.C.</li> <li>⑦ CONCRETE REIN. W/ 600 #6 @ 16" W.F. @ 20" O.C.</li> <li>⑧ CONCRETE REIN. W/ FIBERMESH REINFORCING(03000)</li> <li>⑨ 1/2" EXPANSION JOINT MATERIAL(03000)</li> <li>⑩ CONCRETE TOPPING REIN. W/ FIBER MESH REINFORCING(03000)</li> </ul>	<ul style="list-style-type: none"> <li>① 4" STANDARD CONCRETE MASONRY UNIT(04000)</li> <li>② 8" STANDARD CONCRETE MASONRY UNIT(04000)</li> <li>③ 12" STANDARD CONCRETE MASONRY UNIT(04000)</li> <li>④ 4" DECORATIVE CONCRETE MASONRY UNIT(04000)</li> <li>⑤ 4" DECORATIVE CONCRETE MASONRY UNIT(04000)</li> <li>⑥ 12" DECORATIVE CONCRETE MASONRY UNIT(04000)</li> <li>⑦ 4" CONCRETE BRICK UNIT(04000)</li> <li>⑧ 8" CONCRETE BRICK UNIT(04000)</li> <li>⑨ 12" CONCRETE BRICK UNIT(04000)</li> <li>⑩ FACE BRICK(04000)</li> <li>⑪ PRECAST PLANK(03410)</li> <li>⑫ PRECAST PLANK(03410)</li> <li>⑬ 12" PRECAST PLANK(03410)</li> <li>⑭ 8" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(03000, 03000)</li> <li>⑮ 12" CONCRETE FILLED BOND BEAM REIN. W/ 2 #5 BARS CONT. AND LAPPED(03000, 03000)</li> </ul>	<ul style="list-style-type: none"> <li>① 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(03000, 06100 &amp; 06000)</li> <li>② 20 GAGE METAL DECK, BAR JOISTS AND TRUSS ORDERS(06100, 06100, 06000 &amp; 07000)</li> <li>③ METAL STAIR UNIT W/ CURB STRUT TREADS CLOSED RISERS(06000)</li> <li>④ CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(03000, 06000)</li> <li>⑤ 1 1/2" DIA. METAL RAILING(06000)</li> <li>⑥ 24 GAGE SCULPTURED STEEL/ALUM. METAL WALL PANEL</li> <li>⑦ 24 GAGE PREFINISHED METAL LINER PANEL</li> <li>⑧ 2" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑨ 1" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑩ 1" FRICTION FIT INSULATION(07000)</li> <li>⑪ EFF. EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000)</li> </ul>	<ul style="list-style-type: none"> <li>① PENETRES INSULATION(07000)</li> <li>② PENETRES GLOSSY FILL INSULATION IN CORERS OF BLOCK(07000)</li> <li>③ 5/8" BATT INSULATION ROOF SYSTEM W/ 1 1/2" SD INSULATION + 3" EPS INSULATION(07000)</li> <li>④ CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(03000, 06000)</li> <li>⑤ 24 GAGE SIDE LAP FASTENED METAL ROOF OR WALL PANEL(07410)</li> <li>⑥ 24 GAGE SCULPTURED STEEL/ALUM. METAL WALL PANEL</li> <li>⑦ 24 GAGE PREFINISHED METAL LINER PANEL</li> <li>⑧ 2" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑨ 1" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑩ 1" FRICTION FIT INSULATION(07000)</li> <li>⑪ EFF. EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000)</li> </ul>	<ul style="list-style-type: none"> <li>① BRONZSTONE INSULATED LOW E GLASS(08410, 08000)</li> <li>② GREY/TONE INSULATED LOW E GLASS(08410, 08000)</li> <li>③ CLEAR INSULATED LOW E GLASS(08410, 08000)</li> <li>④ BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410)</li> <li>⑤ CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410)</li> <li>⑥ H.A. BOROPOWER LITE</li> </ul>	<ul style="list-style-type: none"> <li>① SUSPENDED CEILING SYSTEM(09100)</li> <li>② METAL SOFFIT PANEL</li> </ul>
<ul style="list-style-type: none"> <li>① 2" 1/4" + 1 3/4" ASPHALT OVER 8" STONE BASE(02010, 02000)</li> <li>② 4" 1/2" + 1 1/2" ASPHALT OVER 8" STONE BASE(02010, 02000)</li> <li>③ 3" 3/4" + 2 1/4" ASPHALT OVER 12" STONE BASE(02010, 02000)</li> <li>④ HANDICAPPED PARKING STALL SIGN</li> </ul>	<ul style="list-style-type: none"> <li>① 24 GAGE SCULPTURED STEEL/ALUM. METAL WALL PANEL</li> <li>② 24 GAGE PREFINISHED METAL LINER PANEL</li> <li>③ 2" VINYL FACED BLANKET INSULATION(07000)</li> <li>④ 1" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑤ 1" FRICTION FIT INSULATION(07000)</li> <li>⑥ EFF. EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000)</li> </ul>	<ul style="list-style-type: none"> <li>① PLASTIC LAMINATE WINDOW BOLLARD(06000)</li> <li>② PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06000, 06000)</li> <li>③ PLASTIC LAMINATE WALL CABINET(06100, 06000, 06000)</li> <li>④ SHELF AND POLE(06100, 06000)</li> </ul>	<ul style="list-style-type: none"> <li>① 24 GAGE SCULPTURED STEEL/ALUM. METAL WALL PANEL</li> <li>② 24 GAGE PREFINISHED METAL LINER PANEL</li> <li>③ 2" VINYL FACED BLANKET INSULATION(07000)</li> <li>④ 1" VINYL FACED BLANKET INSULATION(07000)</li> <li>⑤ 1" FRICTION FIT INSULATION(07000)</li> <li>⑥ EFF. EXTERIOR INSULATION FINISH SYSTEM(DRVVT)(07000)</li> </ul>	<ul style="list-style-type: none"> <li>① SUSPENDED CEILING SYSTEM(09100)</li> <li>② METAL SOFFIT PANEL</li> </ul>	<ul style="list-style-type: none"> <li>① FLAG POLE</li> <li>② MONUMENT SIGN</li> <li>③ DUMPSTER ENCLOSURE</li> <li>④ ROOF HATCH AND LADDER</li> </ul>	<ul style="list-style-type: none"> <li>① SUSPENDED CEILING SYSTEM(09100)</li> <li>② METAL SOFFIT PANEL</li> </ul>

**SITE PLAN 1" = 30'-0"**

Date: 03.30.15  
Drawn By: Pete Anderson  
Sheet Title: **SITE PLAN**  
Sheet Number: **C-101**  
Project Number: P11162  
**4381**

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



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PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

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 400 East Industrial Drive  
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Date: 03.30.15 Drawn By: Pete Anderson

SITE DETAILS

Sheet Number:  
**C-501**  
 Project Number: P11162

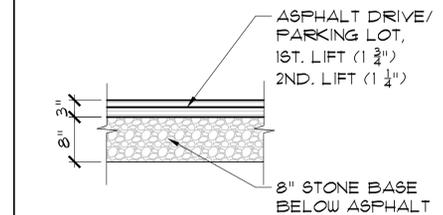
**4381**

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ENGINEERS

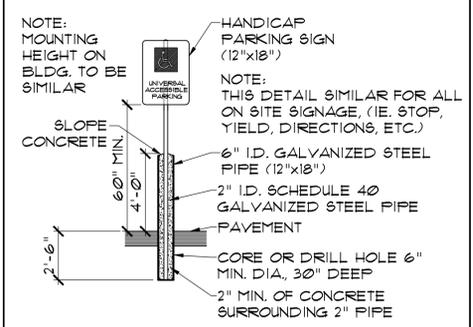
CONTRACTORS

ARCHITECTS



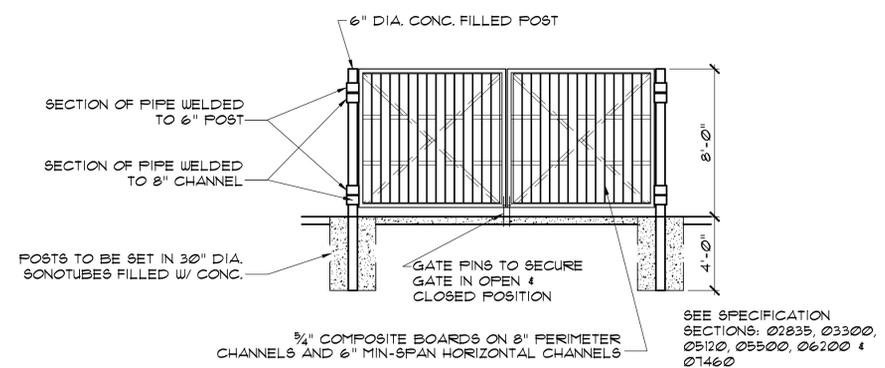
SEE SPECIFICATION SECTIONS: 02200, 02510 & 03300

C4 ASPHALT DRIVE - 3"

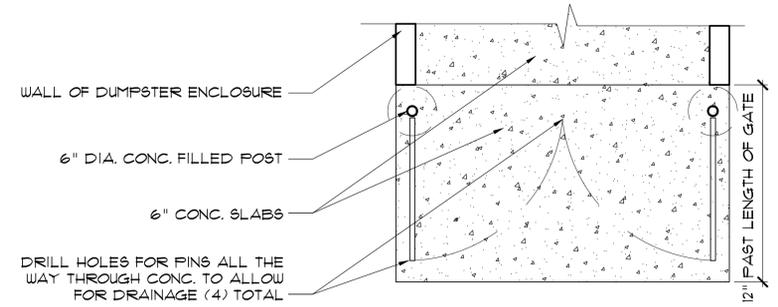


SEE SPECIFICATION SECTIONS: 02510 & 03300

C7 HANDICAPPED PARKING STALL SIGN

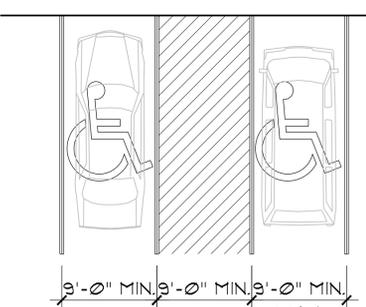


C8 DUMPSTER ENCLOSURE GATE - ELEVATION



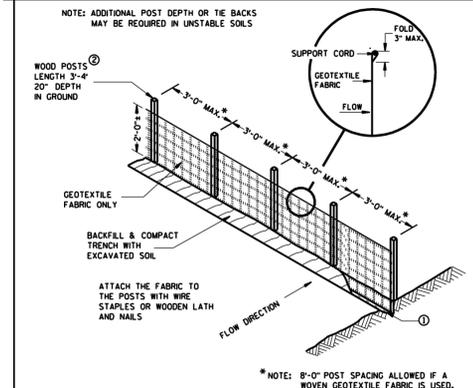
SEE SPECIFICATION SECTIONS: 02835, 03300, 05120, 05500, 06200 & 07460

C10 DUMPSTER ENCLOSURE GATE - PLAN

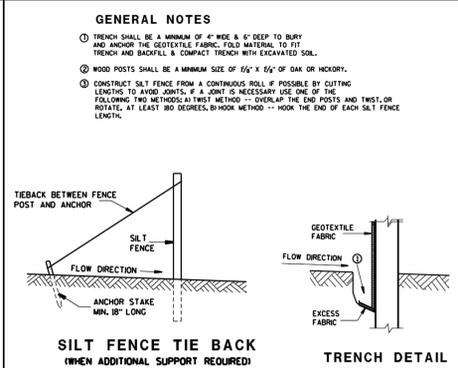


SEE SPECIFICATION SECTIONS: 02510, 03300 & 03350

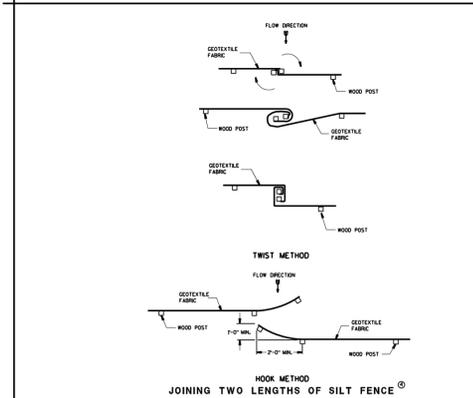
C11 PARKING SPACE ACCESS AISLE



C13 SILT FENCE



C13A SILT FENCE NOTES & SECTIONS



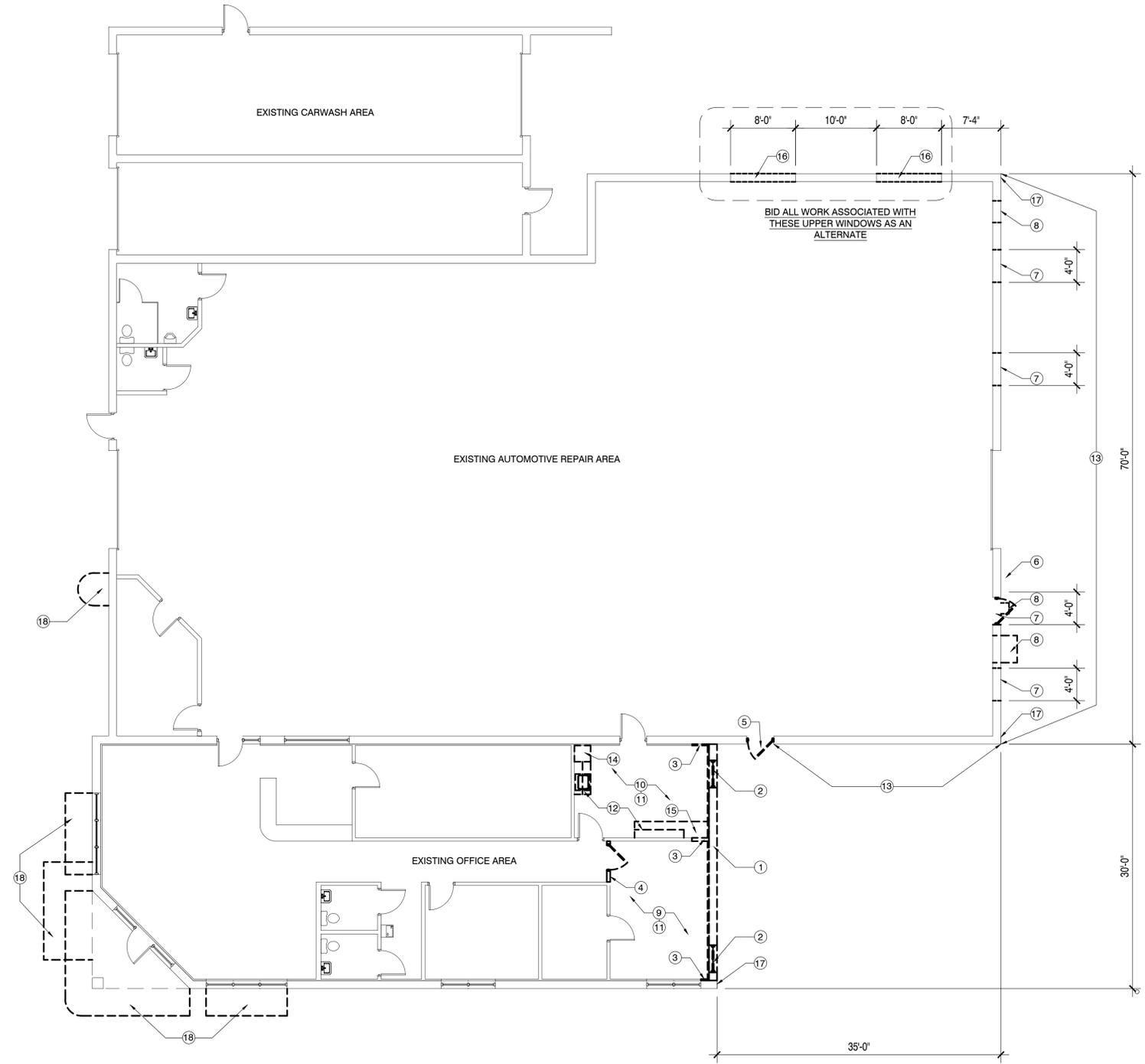
C13B SILT FENCE DETAILS



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**DEMOLITION PLAN NOTES**

- ① REMOVE EXISTING CMU WALL FROM 8" BELOW FINISHED FLOOR TO TO TOP OF WALL
- ② REMOVE EXISTING ALUMINUM FRAMED EXTERIOR WINDOW
- ③ REMOVE PORTION OF EXISTING PARTITION WALL & EXTERIOR FURRING AS REQUIRED TO REMOVE EXISTING CMU WALL
- ④ REMOVE EXISTING WOOD DOOR, WOOD FRAME & ADJACENT WALLS AS INDICATED. INSTALL BULKHEAD AT 8'-6" IN LINE WITH WALL REMOVAL
- ⑤ REMOVE EXISTING HOLLOW METAL DOOR & FRAME. PREPARE MASONRY OPENING AS REQUIRED FOR 12" CMU INFILL
- ⑥ REMOVE EXISTING HOLLOW METAL DOOR & FRAME. PREPARE MASONRY OPENING FOR INSTALLATION OF NEW 3 HOUR RATED HOLLOW METAL DOOR & FRAME
- ⑦ REMOVE EXISTING 4'X4' AREA OF GLASS BLOCK IN MASONRY OPENING ABOVE. PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑧ REMOVE & RELOCATE EXISTING EXHAUST VENT IN MASONRY OPENING ABOVE. PREPARE MASONRY OPENING AS REQUIRED FOR 3 HOUR RATED 12" CMU INFILL
- ⑨ REMOVE EXISTING CARPET & WOOD BASE
- ⑩ REMOVE EXISTING VCT & WOOD BASE
- ⑪ REMOVE EXISTING CEILING TILE, CEILING GRID & ALL ASSOCIATED MECHANICALS
- ⑫ REMOVE EXISTING BASE CABINETS, UPPER WALL CABINETS & ALL ASSOCIATED PLUMBING
- ⑬ FIRE CAULK AROUND ALL WALL PENETRATIONS AS REQUIRED TO CREATE A 3HR RATED FIRE BARRIER
- ⑭ REMOVE EXISTING REFRIGERATOR & SAVE PER OWNER'S DIRECTION
- ⑮ REMOVE EXISTING TELEVISION & SAVE PER OWNER'S DIRECTION
- ⑯ -SHORE EXISTING ROOF STRUCTURE  
 -DEMO OPENING IN EXISTING CMU WALL FOR INSTALLATION OF NEW UPPER WINDOW. REFER TO ELEVATIONS AND SECTIONS  
 -INSTALL STEEL LINTEL & FLEXIBLE FLASHING W/ STAINLESS STEEL DRIP EDGE (CONSTRUCT W/ END DAMS)  
 -TOOTH IN CMU AT JAMBS & GROUT CMU CORES SOLID AT BEARING
- ⑰ REMOVE RIBBED PORTION OF EXISTING CMU AS REQUIRED TO BEGIN NEW CMU COURSING
- ⑱ REMOVE EXISTING AWNINGS & STORE PER OWNERS DIRECTION

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Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title:  
**DEMOLITION PLAN**  
 Sheet Number:  
**A-001**  
 Project Number: P11162  
**4381**

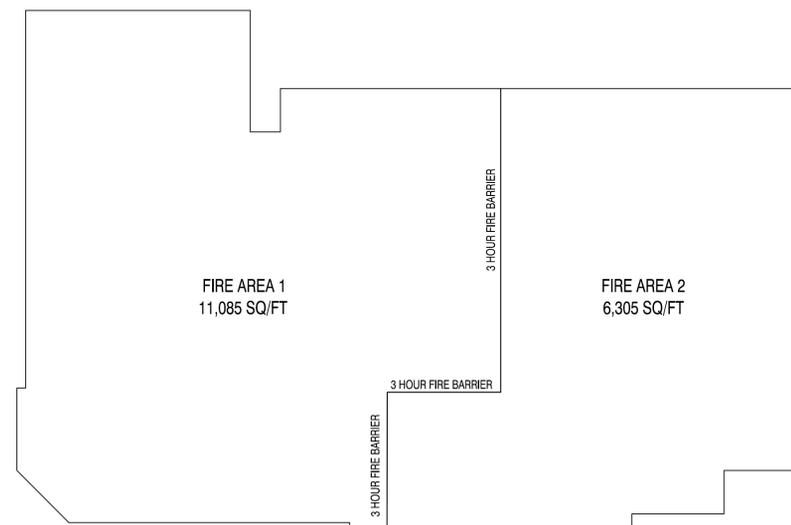
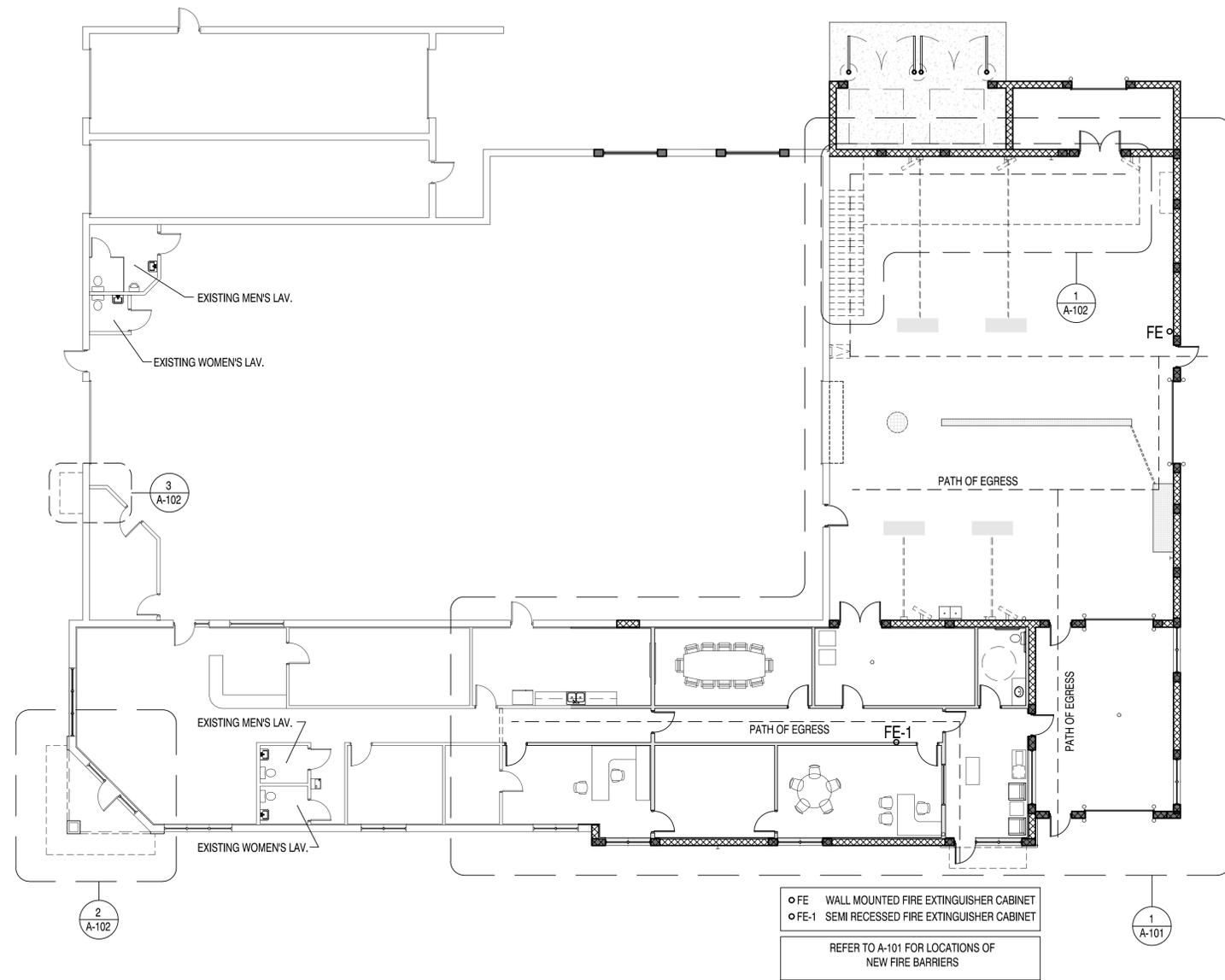
DEMOLITION PLAN 1/8" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



FIRE AREA PLAN NO SCALE

OVERALL BUILDING PLAN 3/32" = 1'-0"



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Date: 03.30.15 Drawn By: Pete Anderson

Sheet Title:  
OVERALL FLOOR PLAN  
EGRESS PLAN

Sheet Number:  
**A-002**

Project Number: P11162

**4381**

MANAGERS

ENGINEERS

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03.30.15 Drawn By: Pete Anderson

Sheet Title:  
**FLOOR PLAN**

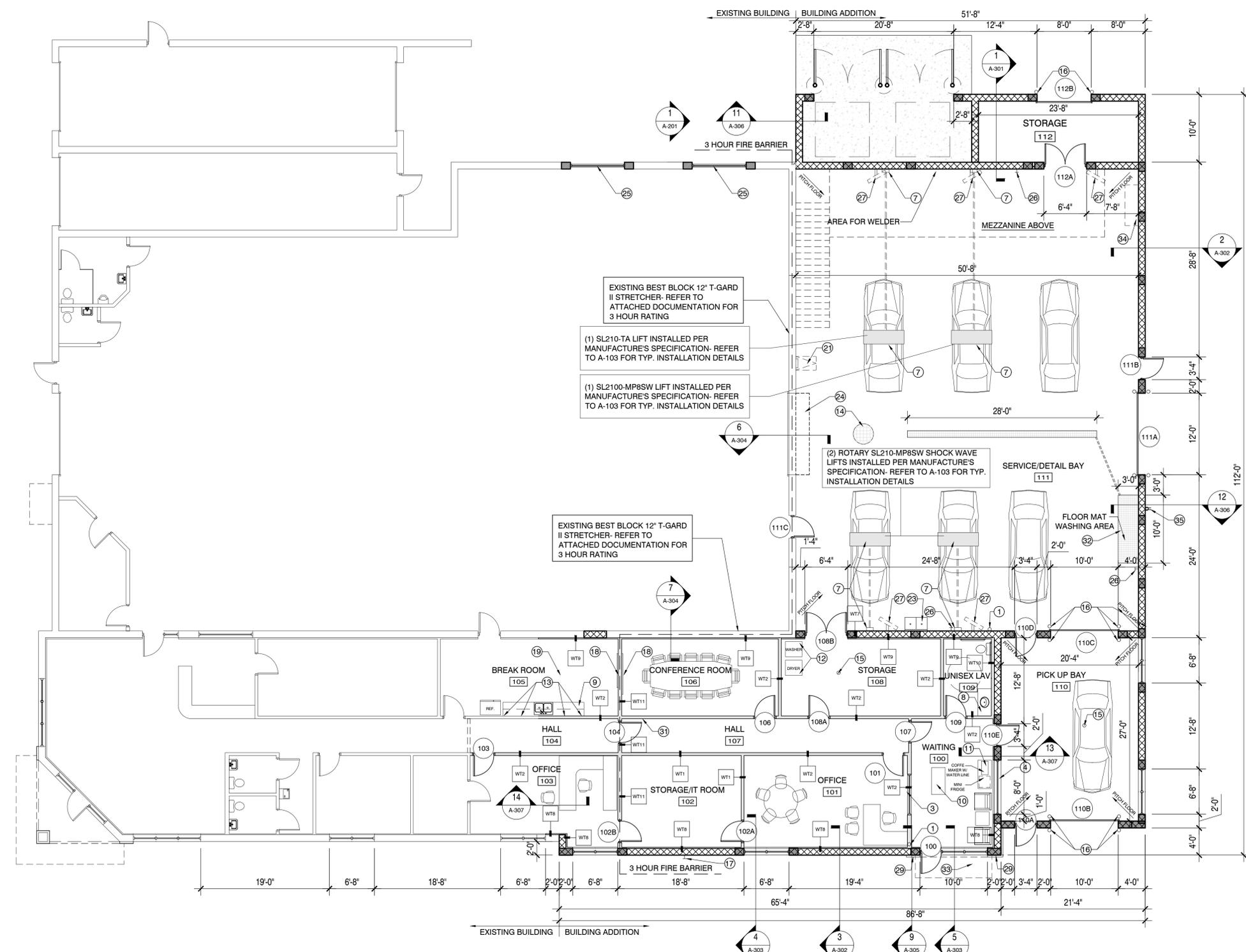
Sheet Number:  
**A-101**

Project Number: P11162

**4381**

WALL TYPES

- WT1 3/8" METAL STUDS FROM FLOOR TO ROOF DECK (SLIP JOINT AT ROOF DECK) 3/8" BLANKET INSULATION, 1" GYP.BD. FULL HT. ONE SIDE AND 4" ABOVE CEILING OTHER SIDE
  - WT2 3/8" METAL STUDS FROM FLOOR TO ROOF DECK (SLIP JOINT AT ROOF DECK) 3/8" BLANKET INSULATION, 1" GYP.BD. FULL HT. BOTH SIDES
  - WT8 1-1/2" ZEE FURRING WITH 1-1/2" STYROFOAM 2-MATE INSULATION WITH VAPOR BARRIER AND 1" GYP.BD. FROM FLOOR TO ROOF DECK
  - WT9 1-1/2" ZEE FURRING WITH 1" GYP.BD. FROM FLOOR TO 4" ABOVE CEILING
  - WT10 3/8" METAL STUDS & 1" GYP.BD. FROM FLOOR TO 4" ABOVE CEILING OVER CMU WALL
  - WT11 3 HOUR RATED WALL CONSTRUCTED PER (A119) REFER TO DETAIL 6/A-506 (3) LAYERS OF 1/2" TYPE X GYPSUM BOARD EACH SIDE 3-5/8" 20 GA STEEL STUDS @ 16" O.C. 2" MINERAL WOOL BATT INSULATION ENTIRE CONSTRUCTION FULL HEIGHT
- GENERAL WALL TYPE NOTES:  
1. MOISTURE RESISTANT GWS AT ALL LOCATIONS EXPOSED TO MOISTURE  
2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS  
3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



FLOOR PLAN NOTES

REFER TO THE DEMOLITION PLAN FOR INFORMATION REGARDING THE INFILL OF EXISTING OPENINGS & CAULKING OF EXISTING PENETRATIONS ALONG THE NORTH WALL OF THE EXISTING BUILDING

- 1 ROOF DRAIN
- 2 OMITTED
- 3 6'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ ONE WAY GLASS ALIGN WINDOW HEAD W/ DOOR HEAD
- 4 8'-0" X 4'-0" HOLLOW METAL FRAMED BORROWED LITE W/ 1" CLEAR INSULATING GLASS- ALIGN HEAD WITH DOOR HEAD IN CMU WALL
- 5 OMITTED
- 6 OMITTED

- 7 105" DEEP LIFT / CONTAINMENT TUBE & CONDUIT FOR HYDRAULIC LINE TO WALL FOR OWNER SUPPLIED HYDRAULIC LIFT & WALL MOUNTED CONTROL PANEL- REFER TO A-103 FOR TYP. INSTALLATION DETAILS
- 8 PLASTIC LAMINATE VANITY COUNTER TOP
- 9 PLASTIC LAMINATE BASE CABINETS, UPPER WALL CABINETS & COUNTER TOP W/ DOUBLE BASIN SINK AS SHOWN
- 10 PLASTIC LAMINATE POINT OF SALE DESK
- 11 PLASTIC LAMINATE BASE CABINET W/ OWNER SUPPLIED MINI FRIDGE & COFFEE MAKER ABOVE- INSTALL WATERLINE FOR COFFEE MAKER
- 12 COMMERCIAL GRADE CLOTHES WASHER/DRYER (BY OWNER) W/ ASSOCIATED POWER & VENTING
- 13 INSTALL 4 DUPLEX OUTLETS ABOVE BACK SPLASH IN BREAK ROOM 105
- 14 CATCH BASIN
- 15 FLOOR DRAIN
- 16 6"Ø x 4'-0" HIGH CONCRETE FILLED STEEL PIPE BOLLARD
- 17 EXTERIOR HOSE BIB

- 18 WALL MOUNTED OWNER SUPPLIED TELEVISION
- 19 INSTALL EXHAUST FAN W/ IN WALL SWITCH IN NEW BREAK ROOM
- 20 INSTALL ONE WAY GLASS AT ATTENDANT STATION WINDOW (OFFICE 114)
- 21 WALL MOUNTED STEEL LADDER & ROOF HATCH ABOVE
- 22 OMITTED
- 23 DOUBLE BASIN LAUNDRY TUB
- 24 12'X14' 3HR RATED FIRE SHUTTER AT EXISTING OPENING (MINIMUM FIRE RESISTANCE REQUIREMENTS MUST MEET ASTM E 119 OR UL263)
- 25 NEW ALUMINUM FRAMED WINDOW INSTALLED IN EXISTING UPPER WALL- REFER TO SECTIONS FOR WINDOW HEIGHTS
- 26 HOSE BIB WITH HOT AND COLD WATER SUPPLY
- 27 36" Ø WALL MOUNTED PLUG IN FAN & ASSOCIATED OUTLET
- 28 METAL WALL PANEL SYSTEM INSTALLED OVER METAL FRAMING & CLIPS OVER EXISTING SPLIT FACE CMU WALL- REFER TO A-102 & SECTIONS FOR MORE INFORMATION

- 29 METAL WALL PANEL SYSTEM INSTALL OVER 1/2" HAT CHANNELS OVER NEW SMOOTH FACE CMU WALL- REFER TO A-102 & SECTIONS FOR MORE INFORMATION
- 30 RE-PAINT EXISTING SOFFIT AT MAIN BUILDING ENTRY- REFER TO A-102
- 31 INSTALL MAGNETIC DOOR HOLD OPEN/RELEASE DEVICE WITH SMOKE DETECTION ON BOTH SIDES OF THE DOOR
- 32 1'-0" DEEP CONCRETE PIT W/ ANGLE EMBED FOR STEEL GRATE SUPPORT- PITCH CONCRETE TO DRAIN & CONNECT DRAIN PIPING TO MAIN TRENCH DRAIN- REFER TO SECTION FOR MORE INFORMATION
- 33 INSTALL RECESSED LIGHTING IN THE UNDERSIDE OF EACH NEW CANOPY- REFER TO A-101 & A-102
- 34 INSTALL EXISTING VENT/HOOD RELOCATED FROM EXISTING DETAIL BUILDING- MODIFY EXISTING VENT PIPING TO DISCHARGE THROUGH NEW ROOF OR NEW CMU WALL- VERIFY FINAL LOCATION WITH OWNER
- 35 EXTERIOR DUPLEX OUTLET



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 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 262.367.3661  
 FAX. 262.367.2764

SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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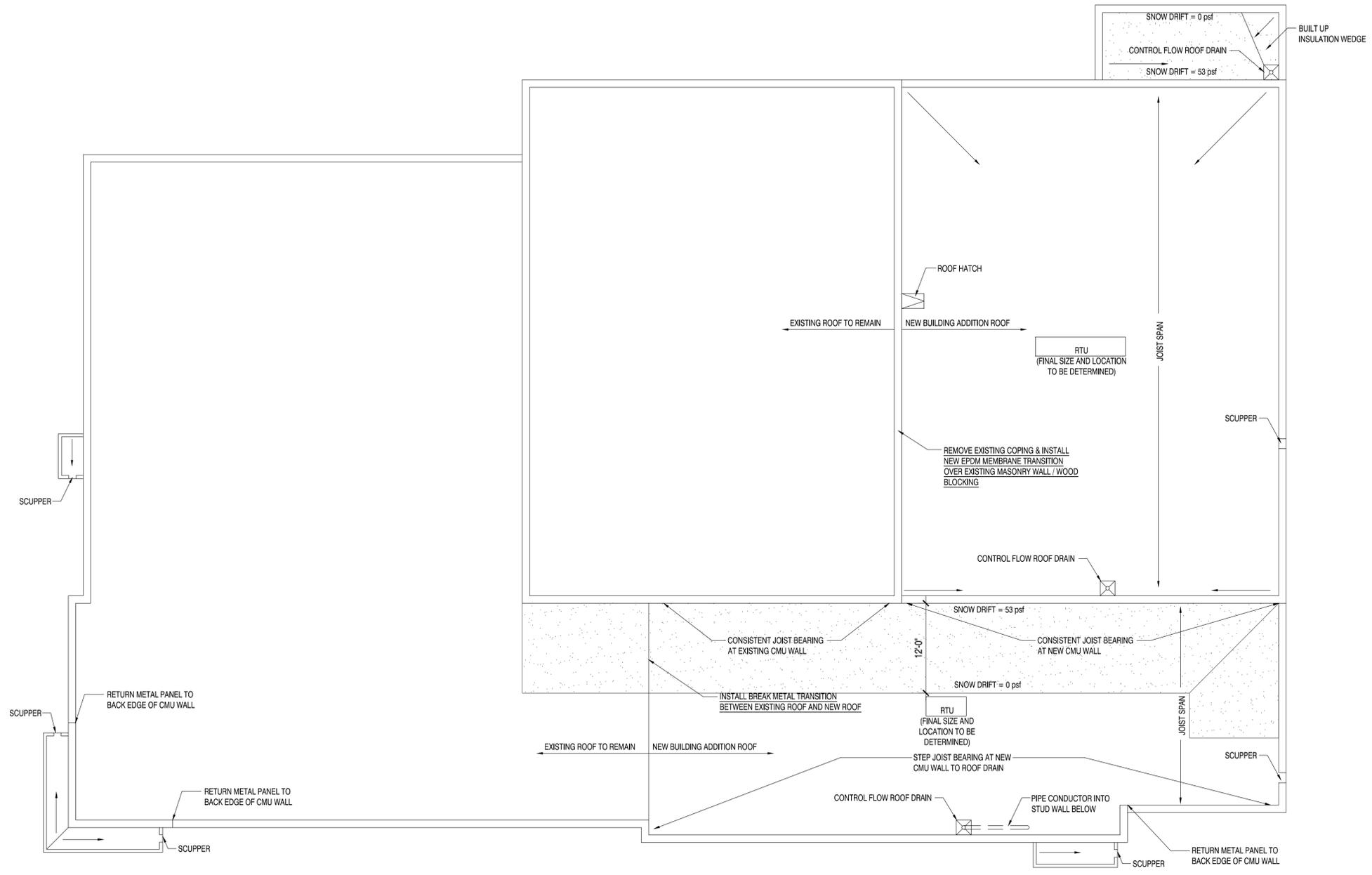
PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

PROJECT NAME  
 Hartland Service Addition  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title:  
**ROOF PLAN**  
 Sheet Number:  
**A-105**  
 Project Number: P11162  
**4381**



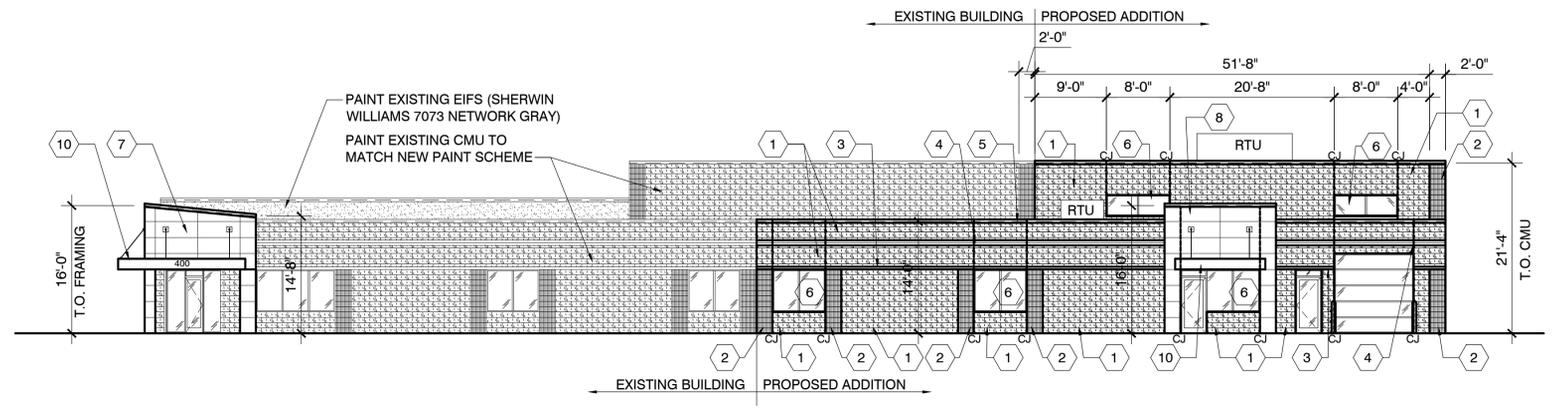
ROOF PLAN 1/8" = 1'-0"

MANAGERS

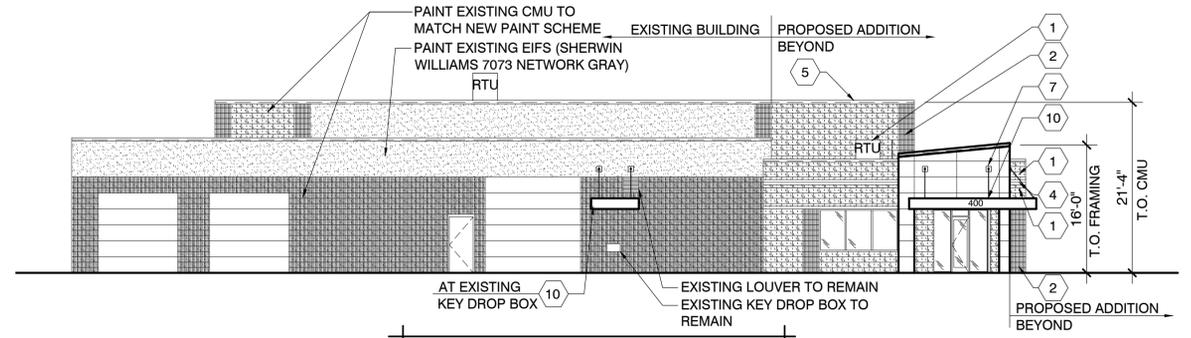
ENGINEERS

CONTRACTORS

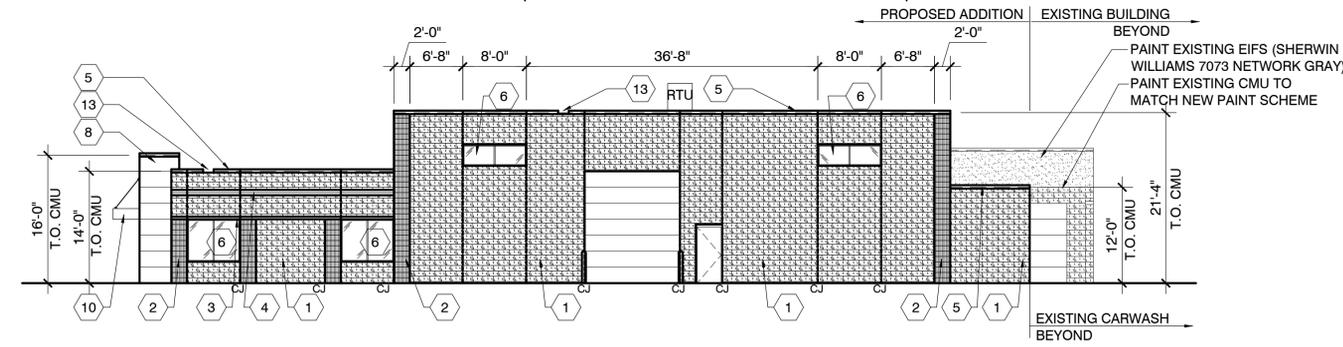
ARCHITECTS



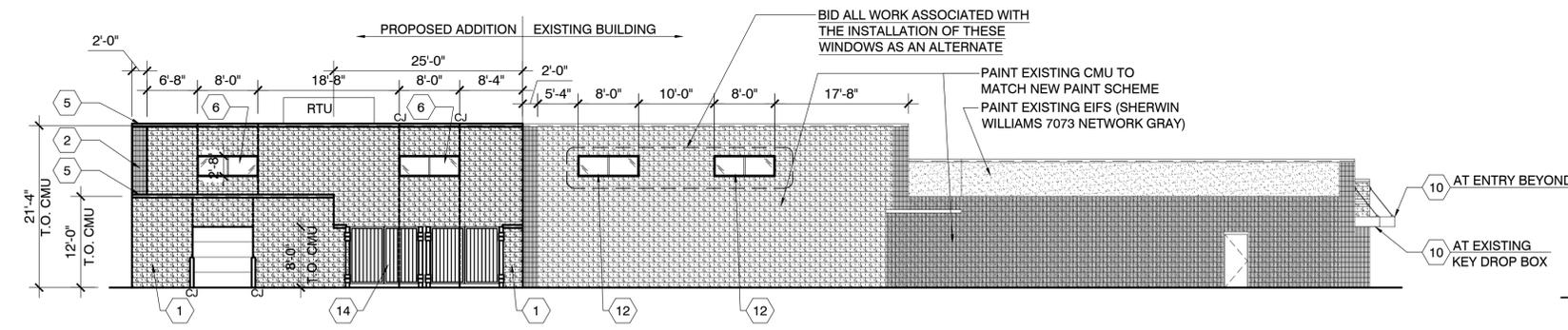
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

ELEVATION NOTES

GENERAL NOTES FOR EXISTING MATERIAL  
 -PAINT EXISTING SPLIT-FACE CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING SPLIT-FACE RIB CMU TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING HALF SPLIT-FACE BANDS TO MATCH COLOR SELECTED FOR BUILDING ADDITION  
 -PAINT EXISTING EIFS AS NOTED

TOP COURSE OF ALL NEW CMU WALLS ARE PAINTED SMOOTH CMU

- 1 PAINTED SPLIT-FACE CMU (SHERWIN WILLIAMS SW7074 SOFTWARE)
- 2 PAINTED SPLIT-FACE RIB CMU (RIB STYLE TO MATCH EXISTING (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 3 PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE) SMOOTH HALF (SHERWIN WILLIAMS SW7076 CYBERSPACE)
- 4 2 COURSES OF PAINTED HALF SPLIT-FACE CMU SPLIT-FACE HALF (SHERWIN WILLIAMS SW7074 SOFTWARE) SMOOTH HALF (CUSTOM HARTLAND SERVICE BLUE TO BE DETERMINED)
- 5 PREFINISHED METAL GRAVEL STOP (COLOR TO MATCH EXISTING)
- 6 1" GREY TINTED INSULATING GLASS IN ANODIZED BLACK ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING- FIELD VERIFY)
- 7 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER EXISTING MASONRY & NEW STUD FRAMED PARAPET W/ PANEL JOINTS AS SHOWN (COLOR TO MATCH CLEAR ANODIZED)
- 8 ALUCOBOND DRY SEAL PANEL SYSTEM & COPING INSTALLED OVER NEW MASONRY W/ PANEL JOINTS AS SHOWN (COLOR MATCH CLEAR ANODIZED)
- 9 OMITTED
- 10 STEEL FRAMED CANOPY WRAPPED IN BREAK METAL TO MATCH METAL WALL PANEL W/ PAINTED STEEL SUPPORT RODS & BRACKETS
- 11 8"x8" GLASS BLOCK
- 12 ALTERNATE: DEMO NEW MASONRY OPENING IN THE EXISTING WALL FOR THE INSTALLATION OF 1" INSULATING GLASS IN ANODIZED ALUMINUM FRAMES (ENTIRE SYSTEM TO MATCH EXISTING)
- 13 SCUPPER
- 14 STEEL FRAMED DUMPSTER GATES- REFER TO STANDARD DETAILS ON C-501



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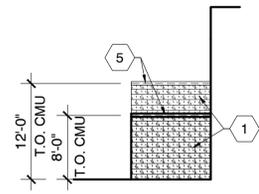
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PLAN COMMISSION SET 07.27.15

PROJECT ADDRESS:

PROJECT NAME  
 Hartland Service Addition  
 STREET ADDRESS  
 400 East Industrial Drive  
 CITY / STATE / ZIP  
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION



1 PARTIAL SOUTH ELEVATION AT DUMPSTER SCREEN

ELEVATIONS 3/32" = 1'-0"

Date: 03.30.15 Drawn By: Pete Anderson  
 Sheet Title: EXTERIOR ELEVATIONS  
 Sheet Number: A-201  
 Project Number: P11162  
**4381**

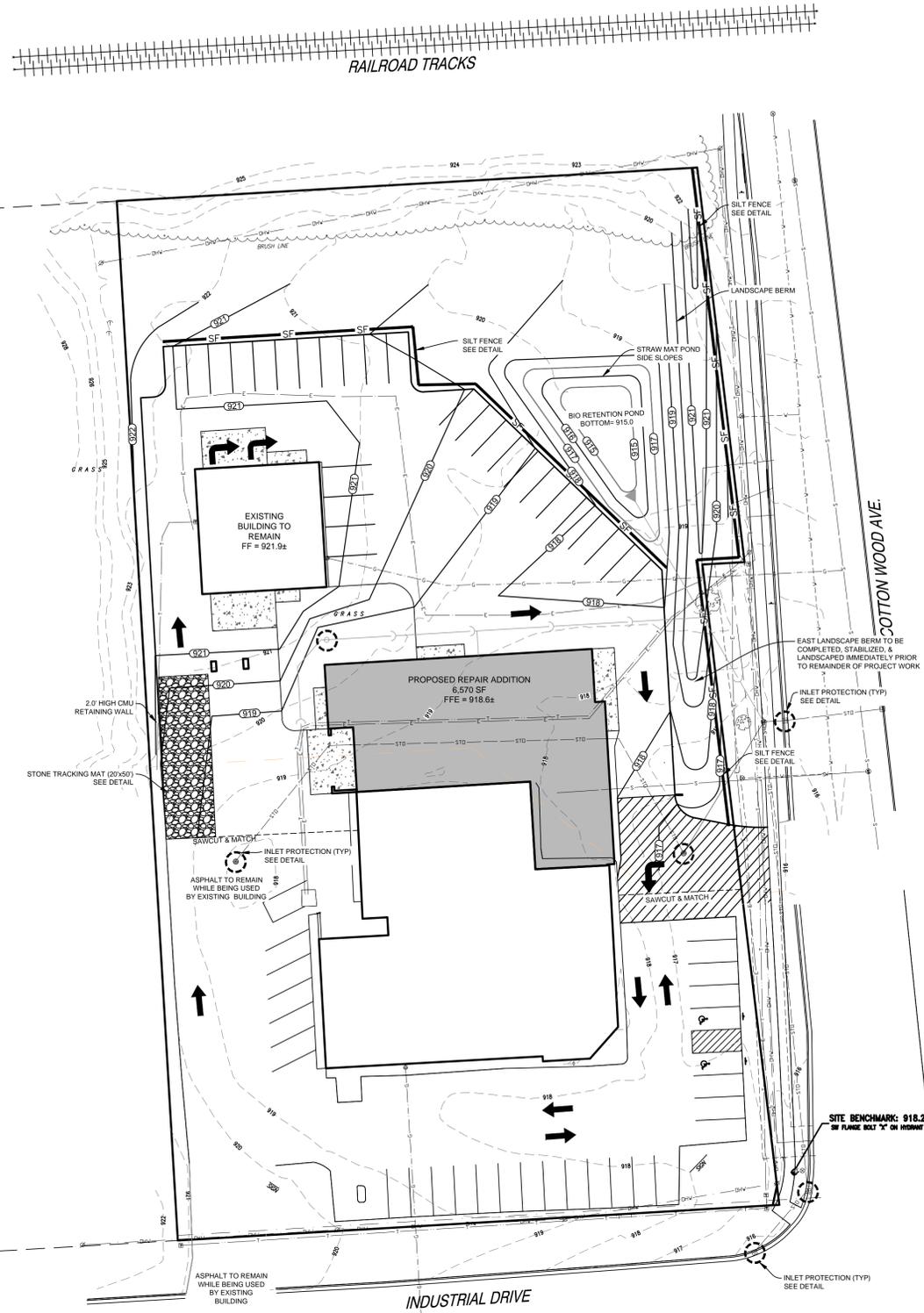
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS





- ### CONSTRUCTION SITE SEQUENCING
- ALL WORK SHALL BE CONFORMANCE WITH THE DNR HPDES PERMIT AND VILLAGE OF HARTLAND EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION. DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WITTING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  2. ONCE LAND DISTURBING ACTIVITIES COMMENCE, INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF RAINFALLS OF 0.5 INCHES OR MORE. AN INSPECTION LOG SHALL BE KEPT ON SITE. REPAIRS SHALL BE MADE IMMEDIATELY.
  3. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
  4. IF STOCKPILE IS UTILIZED, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  5. BIORETENTION AREA SHALL BE EXCAVATED AND USED AS A SEDIMENT TRAP. INSTALL OUTLET STRUCTURE WITH A MINIMAL AMOUNT OF STONE TO SUPPORT IT, BUT DO NOT INSTALL STONE OR ENGINEERED FILL UNTIL AFTER SITE IS STABILIZED. REMOVE ALL ACCUMULATED SEDIMENT IN THE BASIN AREA PRIOR TO PLACEMENT OF STONE AND ENGINEERED FILL.
  6. IF DEWATERING IS REQUIRED, ALL PUMPED WATER SHALL BE DIVERTED TO THE SEDIMENT TRAP OR TREATED VIA A SILT BAG OR SIMILAR SEDIMENT REMOVAL DEVICE. CONTRACTOR SHALL MONITOR THE DISCHARGE AND INCLUDE A LIQUID APPLIED POLYMER TO THE DEWATERING SYSTEM IF EFFLUENT APPEARS "OVERLY TURBID" (>40 MG/L TSS).
  7. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  8. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  9. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
  10. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. STRAW MAT ANY AREAS REQUIRING MINOR TOUCH UP AS A RESULT OF REMOVAL.
  11. OWNER TO FILE A NOTICE OF TERMINATION UPON FINAL COMPLETION.



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262.367.3661  
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SINGLE SOURCE RESPONSIBILITY™

REVISIONS:

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CD SET 07.24.15

PROJECT ADDRESS:

PROJECT NAME  
Hartland Service Car Wash Building  
STREET ADDRESS  
400 East Industrial Drive  
CITY/ STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PLANS PREPARED BY:



PLAN | DESIGN | DELIVER



GRADING & EROSION CONTROL PLAN

Date: 03.30.15  
Drawn By: PEG  
Sheet Title: GRADING & EROSION CONTROL PLAN  
Sheet Number: C-102  
Project Number: 4381  
P11162

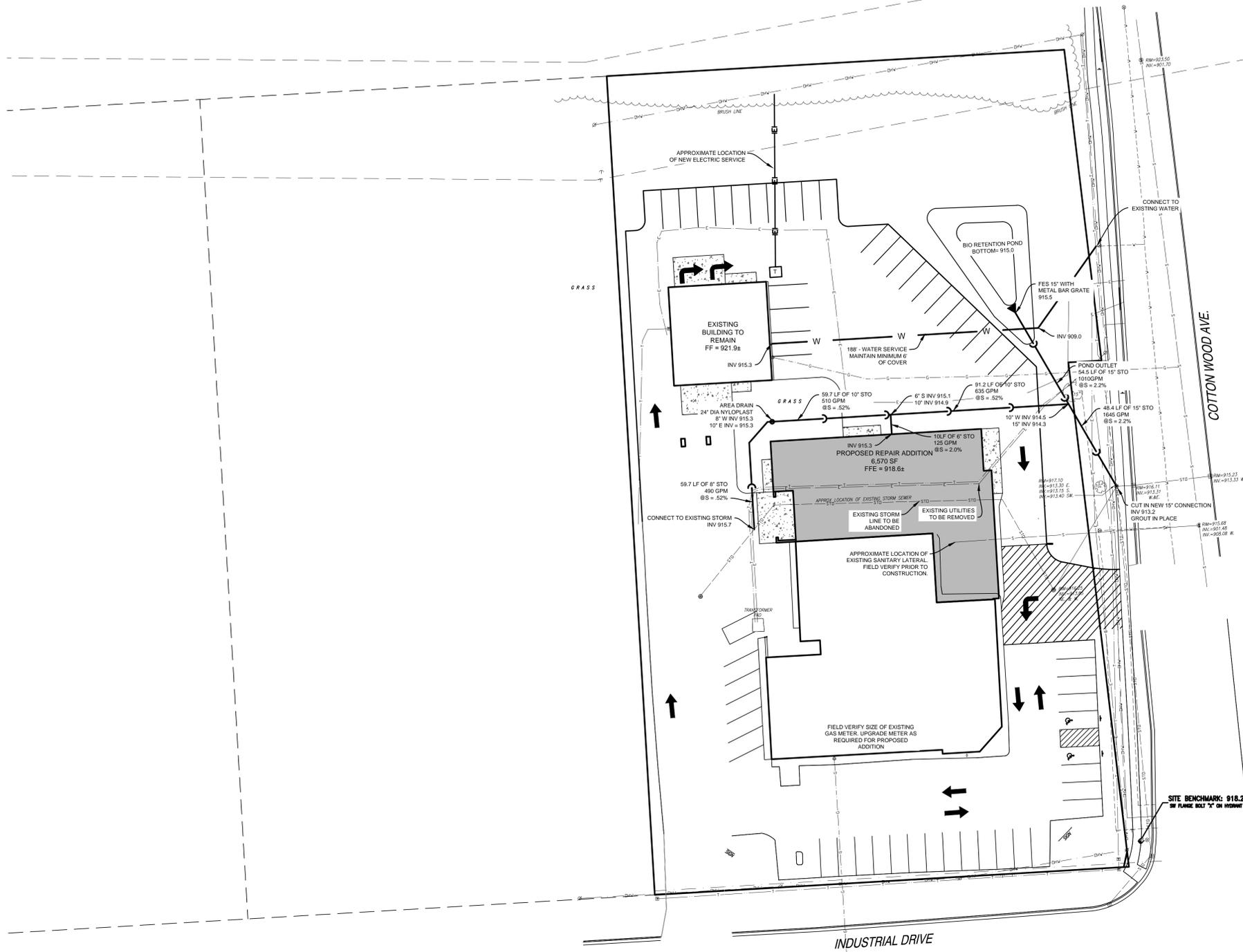
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

RAILROAD TRACKS



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CD SET 07.24.15

PROJECT ADDRESS:

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 Hartland, WI 53029

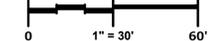
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PLANS PREPARED BY:



PLAN | DESIGN | DELIVER

GRAPHICAL SCALE (FEET)



UTILITY PLAN

Date: 03.30.15 Drawn By: PEG

Sheet Title: UTILITY PLAN

Sheet Number:

C-103

Project Number:

4381

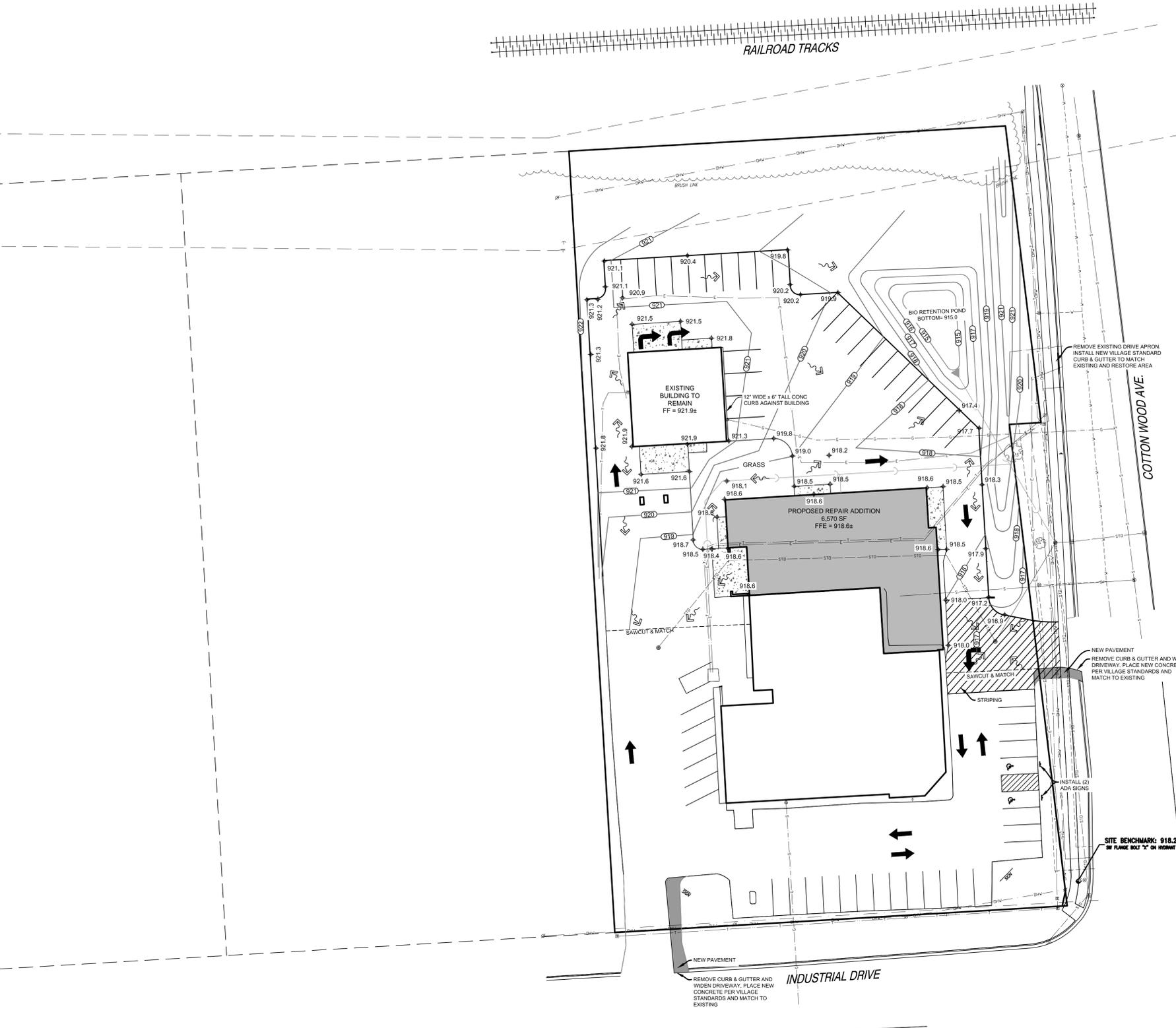
P11162

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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SINGLE SOURCE RESPONSIBILITY™

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ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

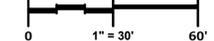
PLANS PREPARED BY:



PLAN | DESIGN | DELIVER

WISCONSIN OFFICE: 15500 W. BLUEMOUND ROAD, BROOKFIELD, WI 53005, (262) 784-8888

GRAPHICAL SCALE (FEET)



PAVING PLAN

Date: 03.30.15 Drawn By: PEG

Sheet Title: PAVING PLAN

Sheet Number:

C-104

Project Number:

4381

P11162

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS







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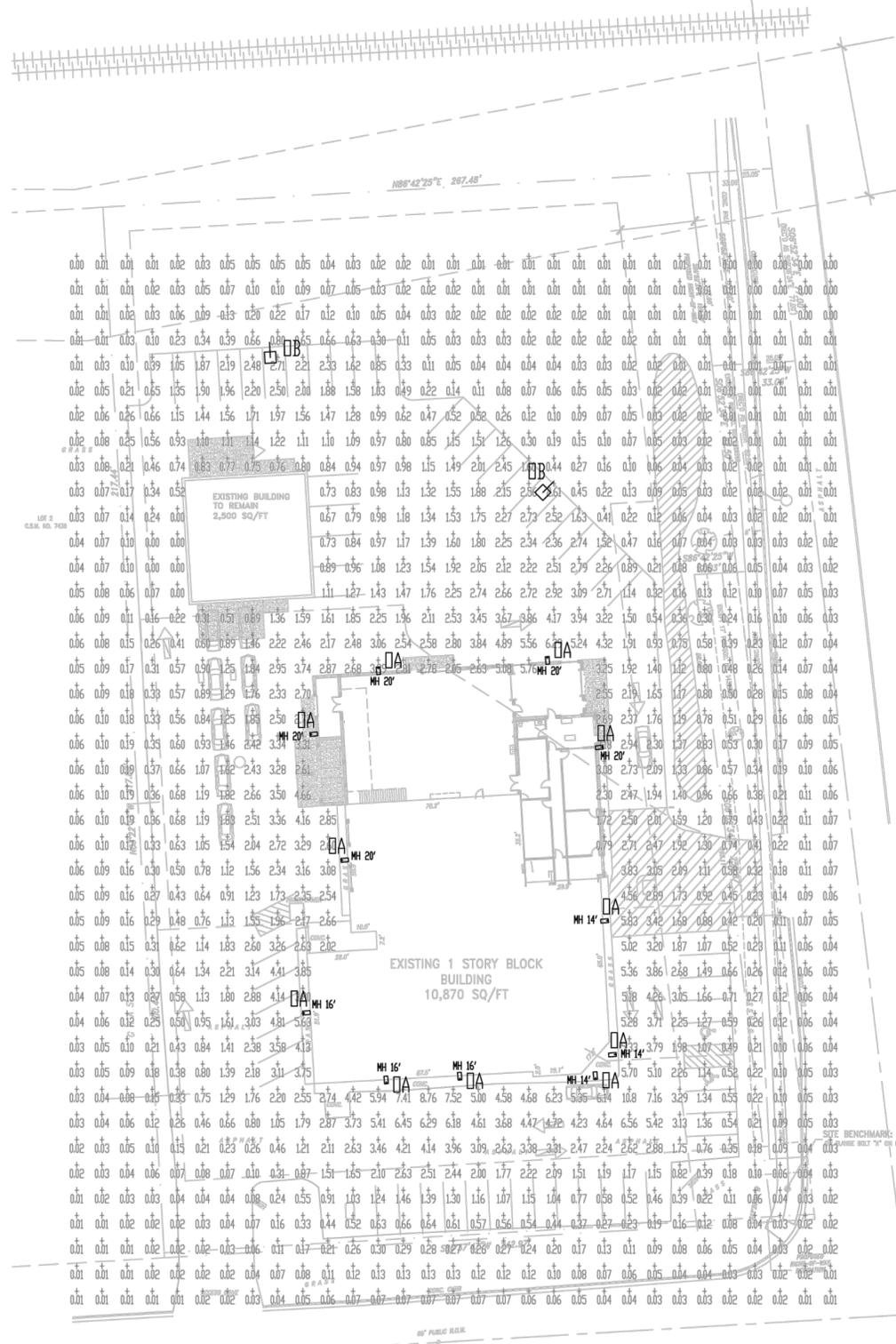
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CD SET 07.24.15

PROJECT ADDRESS:

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ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION



CONTOUR LEVELS: A= 1.0 B= 0.50 C= 0.20 D= 0.10

Hartland Service LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	LAMP	MOUNTING	LLF	QTY
DA	McGraw-Edison GLEON-AE-02-LED-E1-SL4-BZ-WM	107w LED	VARIES	0.95	11
DB	McGraw-Edison GLEON-AE-02-LED-E1-SL4-BZ	107w LED	20' POLE 2' BASE	0.95	2

**McGRAW-EDISON®**

**DESCRIPTION**  
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated.

**CONSTRUCTION**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending mounting housing and heat sink provides scalability with superior structural rigidity. 32 vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

**Optics**  
Choice of 10 patented, high-efficiency AccuLED Optics. The optics are precision designed to shape the distribution maximizing efficiency and application specific. AccuLED Optics create consistent distributions with the scalability requirements. Offered standard in 3000K (w/ 2754K CCT) and minimum 3000K CCT. For the ultimate level of light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 100-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 150V of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 500mA and 700mA drive currents.

**Mounting**  
Extruded aluminum arm includes internal ball guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 30 vibration tested.

**Finish**  
Housing finished in super durable TFC powder coated paint, 2.5 mil nominal thickness for superior protection against acids and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five year warranty.

**GLEON GALLEON LED**  
1-10 Light Squares  
Solid State LED  
ANSI/BITS LUMINAIRE

**ULC**  
CERTIFICATION DATA  
UL Listed  
UL9741 L865 Compliant  
50' Max  
IP68 Rated  
Designated Consultant/Quarant

**ENERGY DATA**  
Dimmed LED Drive  
0.8 Power Factor  
C90 Total Harmonic Distortion  
100V-277V Voltage  
100V-480V Drive  
40°C Min. Temperature  
90°C Max. Temperature  
90°C Max. Temperature (HA Option)

**Cooper Lighting**  
by **ET-E**

**COOPER LIGHTING**  
www.cooperlighting.com

**ADDITIONAL INFORMATION**  
2015-03-01 14:59:19

Date: 03.30.15  
Drawn By: Pete Anderson  
Sheet Title:  
SITE LIGHTING PLAN  
Sheet Number:  
**C-107**  
Project Number: P11162  
**4381**

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



# HARTLAND SERVICE ADDITION



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST

SINGLE SOURCE RESPONSIBILITY



CONDITIONAL USE PERMIT  
**[Hartland Service]**  
REVISED

Document Number

THIS CONDITIONAL USE PERMIT is hereby finally granted this 25th24th day of MayAugust, 2015, by the Village of Hartland (hereinafter Village) to Hartland Service Inc. (hereinafter "Grantee") for the operation of an Automobile Service Facility including car wash, detailing and vehicle service at the property located at 400 E Industrial Drive.

RECITALS

**WHEREAS**, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of an Automotive Service facility in the B-2 Zoning District at 400 E Industrial Drive, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0729947002, HAV 0729947003, HAV 0729939, HAV 0729940 as those parcels have been combined by CSM]

**OWNER: Michael Kusch  
Deborah Kusch**  
N65W30981 Beaver Lake Road  
Hartland, WI 53029

Recording Area

Name and Return Address  
Village of Hartland  
210 Cottonwood Ave.  
Hartland, WI 53029

Parcel Identification Number

HAV 0729947002  
HAV 0729947003  
HAV 0729939  
HAV 0729940

**WHEREAS**, the Property is located in the B-2 Community Business District; and

**WHEREAS**, Section 46-469 (2) of the Village of Hartland Code of Ordinances provides that Automotive Sales and Service in the B-2 District is a conditional use; and

**WHEREAS**, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibit A and incorporated herein; and

**WHEREAS**, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances. Further, the Plan Commission considered ~~a~~ proposed modificationmodifications to the CUP at its ~~meeting~~ meetings on June 15, 2015, July 20, 2015

and August 17, 2015 and, as a result of the ~~two~~ meetings, recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the automotive service facility may be expanded, constructed and operated pursuant to the Plan of Operation, which contains an original and revised operational plan, and pursuant to the operator's and owner's representations during the review process including the maintenance and servicing of various vehicles including automobiles and light and medium duty trucks, provision of vehicle emissions testing and supplemented by automatic and hand washing and detailing of automobiles and light and medium duty trucks;
2. the operator of the automotive service facility will construct the building expansion in accordance with the plans as submitted and as finally approved including stormwater retention, buffers and landscaping;
3. the automatic and hand washing and detailing of automobiles and light and medium duty trucks may take place in the existing accessory structure modified for that purpose under the terms of this Conditional Use Permit;
- 3.4. \_\_\_\_\_ buffers and landscaping on the east side of the project parallel to Cottonwood Avenue shall be completed prior to the occupancy and operation of the expanded portions of facility and shall be maintained during the ongoing operation of the vehicle wash facility in a manner to mitigate the impact of vehicle headlights on the neighboring properties;
- 4.5. \_\_\_\_\_ the operator of the automotive service facility shall operate the traffic flow and parking needs of the facility completely within the limits of the parcel's parking lot;
- 5.6. \_\_\_\_\_ all vehicle maintenance, service, washing and detailing shall occur inside the building with the exception of emissions testing, which may be located outside the main service entrance at the southeast corner of the building;
- 6.7. \_\_\_\_\_ Except for vehicles dropped for service after hours, all vehicles in the parking lot shall include all of their body parts and wheels/tires and be capable of being moved on their own wheels/tires;
- 7.8. \_\_\_\_\_ property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
- 8.9. \_\_\_\_\_ Excessive complaints regarding noise or other disturbances related to this operation may be grounds for revocation of this Conditional Use Permit upon review of the Plan Commission and Village Board;

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

**NOW THEREFORE**, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate an automotive service facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Hartland Service.

2. The business activities permitted hereunder are limited to the operation of an automotive service facility.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein in addition to the conditions contained herein below.
  - a. The touch-less and “soft cloth” wash systems may be operated on a 24 hours per day seven days per week basis provided noise and light levels are maintained at an acceptable level.
  - b. Wash equipment shall be located, oriented, operated and maintained in such a way as to minimize light, visual and noise impact on residential neighbors
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
  - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
  - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the automobile service facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on April 27, 2017.

This conditional use permit is hereby revised and reissued this ~~22nd~~<sup>24<sup>th</sup></sup> day of ~~June~~<sup>August</sup>, 2015 subject to the conditions provided herein.

**VILLAGE OF HARTLAND**

\_\_\_\_\_  
David Lamerand, Village President

\_\_\_\_\_  
Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]

VILLAGE OF HARTLAND

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE TO AMEND CHAPTER 46 AND CHAPTER 18  
OF THE VILLAGE OF HARTLAND MUNICIPAL CODE  
PERTAINING TO ARCHITECTURAL BOARD AND BUILDING PERMITS

THE VILLAGE BOARD OF THE VILLAGE OF HARTLAND DO ORDAIN AS FOLLOWS:

**Section 1:** Chapter 46, Article II, paragraph 46-99 (1) of the Village of Hartland Municipal Code of Ordinances pertaining to Powers of the Architectural Board is hereby amended to read as follows.

**Sec. 46-99. Powers.**

(1) Hear and decide applications for permission to erect, move, reconstruct, extend, alter or change the exterior of all residential structures except for small accessory structures, decks and minor exterior alterations unless a determination is requested by the building inspector. Further, the architectural board is empowered to waive, or conditionally waive, its authority under this paragraph for applications in subdivisions for which an active homeowners association or architectural review committee has given its approval for said applications.

**Section 1:** Chapter 18, paragraph 18-87 (d) of the Village of Hartland Municipal Code of Ordinances pertaining to Building Permits is hereby amended to read as follows.

**Sec. 18-87. Building permits.**

(d) *Issuance of permit.* All applicable fees shall be paid at the time of application for a building permit. If the plans are approved by the architectural board, as such approval may be necessary in accordance with section 46-99, and the building inspector finds that the proposed building or repair or addition complies with all village ordinances and the uniform dwelling code, the inspector shall officially approve the application and a building permit shall be subsequently issued to the applicant. The issued building permit shall be posted in a conspicuous place at the building site. A copy of any issued building permit shall be kept on file with the building inspector.

**Section 3:** If any section, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of such ordinance.

**Section 4:** This Ordinance shall take effect and be in full force after adoption and proper publication.

[SIGNATURES FOLLOW]

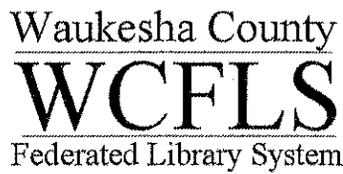
Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

VILLAGE OF HARTLAND

By: \_\_\_\_\_  
David C. Lamerand, Village President

ATTEST:

\_\_\_\_\_  
Darlene Igl, MMC, WCPC, Village Clerk



741 N. Grand Avenue, Suite 210  
Waukesha, WI 53186  
(262) 896-8081  
Connie Meyer, System Director  
cmeyer@wcfls.org

## Memorandum

To: Chief Elected Officials/Administrators in Communities with Libraries, Member  
Library Directors  
From: Waukesha County Federated Library System Director Connie Meyer *Connie G Meyer*  
Re: County library tax exemption notices  
Date: August 5, 2015

Annually Waukesha County sets a special levy for library services. The funds are distributed to libraries to compensate them for items borrowed by non-residents of their communities. State law (ss. 43.64(2) Wisc. Statutes) provides that communities with libraries may avoid double taxation and exempt themselves from this special levy if they meet certain conditions:

- Exempting library communities must levy and expend an amount equal to or greater than the mill rate set by Waukesha County in the preceding year with the exception of joint libraries whose participating municipalities have an alternate option for exempting which is to levy and expend an amount not less than the average of the previous 3 years (ss.43.64 (2)(c)). Last year's mill rate was impacted due to the Town of Lisbon's change from a library community to a non-library community effective January 1, 2015. The mill rate is projected to stabilize this year.
- Exempting library communities are required to provide written notification to the county annually.
- The County Code requires that the notification be from the **local governing body** rather than from the clerk alone.
- The Code also requires a deadline date of September 30 so that the County Executive Budget available to supervisors and the general public can properly reflect the Federated Library taxation levels in the Adopted Budget in November.
- For 2016 tax purposes, exempting communities must also have a library that meets or exceeds minimum county standards as certified by the library board. (The libraries have already received their standards certification letters.)

If you would like to exempt your community from the Waukesha County library tax, the form (on page 2), *Notice of Exemption from Waukesha County Library Levy 2015 Tax for 2016 Purposes* must be approved by the Municipality's governing body, signed, and returned to WCFLS no later than September 30, 2015. Email submission is acceptable as long as the form includes the actual signature.

Thank you for providing library services to our citizens. Strong libraries build strong communities and your commitment to financially support your library is important and valued!

**Notice of Exemption from Waukesha County Library Levy  
2015 Tax for 2016 Purposes for Joint Libraries**

**Name of Community:**

**Name of library:**

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We recognize that, pursuant to ss 43.64 Wisconsin Statutes, to obtain an exemption from the 2015 county library levy for 2016 purposes, the municipality must certify that during budget year 2016, its library will be provided and be allowed to expend no less than the county library tax rate in the prior year, \$0.286303 per \$1,000 Equalized Value.

In the case of joint library, an alternate exemption option exists pursuant to ss 43.64 (2) (c). Under this language, each participating municipality in the joint library has the option to certify that during its budget year 2016, the library will be provided and allowed to expend no less than the average of the funding levels of the previous 3 years.

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We further recognize that, pursuant to state law, listed funding must be only from municipal sources, not the entire library budget. Reported amounts must exclude fines, fees, and other revenues. Capital expenditures are excluded as well.

I am authorized to certify that the governing body of the municipality has **enacted an ordinance or resolution** pledging that it will appropriate and allow the library to expend no less than a rate of \$0.286303 per \$1,000 of the actual state Equalized Value amount for the community that is published by the state on or about **August 15, 2015** or, in the case of a joint library whose municipality may choose this option, that the participating municipality will appropriate and allow the library to expend no less than the average of the funding levels of the previous 3 years.

The community meets its requirement stated above and is therefore eligible for exemption from the 2016 Waukesha County library levy.

**Name and Title of Person filling out this form:**

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**Signature**

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**Date**

**This form must be filed no later than September 30<sup>th</sup> 2015.**

**Waukesha County Federated Library System  
741 N. Grand Avenue, Suite 210  
Waukesha, WI 53186  
or email to [cmeyer@wcfls.org](mailto:cmeyer@wcfls.org)**

**VILLAGE OF HARTLAND  
RESOLUTION NO. 08/24/2015-01**

**A RESOLUTION PLEDGING THAT THE VILLAGE BOARD OF THE VILLAGE OF HARTLAND  
WILL EXPEND FUNDS NECESSARY FOR THE HARTLAND PUBLIC LIBRARY TO EXEMPT  
THE VILLAGE FROM THE WAUKESHA COUNTY LIBRARY LEVY**

WHEREAS, the Village Board of the Village of Hartland recognizes that pursuant to Wisconsin State Statute 43.64(2), in order to obtain an exemption from the 2015 county library levy for 2016 purposes, the Village of Hartland must certify that it will expend no less than the county rate from the prior year of \$0.286303 per \$1,000 Equalized Value; and

WHEREAS, the Village Board of the Village of Hartland further recognizes that pursuant to state law, listed funding for the Hartland Public Library must come only from municipal sources and must exclude fines, fees and other revenues and capital expenditures as well;

NOW, THEREFORE BE IT RESOLVED, by the Village Board of the Village of Hartland that it hereby pledges to appropriate and allow the Hartland Public Library to expend no less than a rate of \$0.286303 per \$1,000 of the actual state Equalized Value that is published by the state on or about August 15. The Village of Hartland is therefore eligible for exemption from the county library levy.

Adopted this 24th day of August, 2015.

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David C. Lamerand, Village President

ATTEST:

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Darlene Igl, MMC/WCPC, Village Clerk

**MEMO**

**TO: David E. Cox, Village Administrator**  
**FROM: Michael Einweck, Director of Public Works**  
**DATE: August 20, 2015**  
**SUBJECT: 2014 Paving Program**  
**Change Order – Number 1 – Final**

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Attached is a copy of Change Order Number 1 for the 2014 Paving Program with the contractor Payne & Dolan, Inc. This change order incorporates the final quantities for the project.

The final project costs were less than the original contract amount that was awarded by the Village Board. The total contract amount decreases from \$967,719.75 to \$841,572.26, a project savings of \$126,147.49. The main reason for this savings was that the amount of base patching of the roadways was much less than expected and we didn't need to use any of the \$25,000 force account. This will close out the project and begins the contractor's one year guarantee period for their work.

Please place this on the next Village Board agenda for consideration.

Attachment

cc: Ryan Bailey, Finance Director/Treasurer  
Mike Gerszewski, DPW Operations Supervisor  
Ryan Amtmann, Village Engineer

Date of Issuance: 8-18-15  
 Project: 2014 Paving Program  
 Contract: 2014 Paving Program  
 Contractor: Payne & Dolan, Inc.  
 Address: PO Box 781  
 Waukesha, WI 53187-0781

Effective Date: 8-24-15  
 Owner: Village of Hartland  
 Engineer: R&M/Village  
 of Hartland  
 Effective Date of Contract: 5-23-14

The Contract is modified as follows upon execution of this Change Order:

Description: Contract Change Order #1

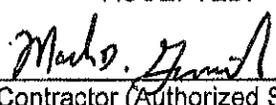
Reason for Change Order: Final contract quantities.

Attachments: (List documents supporting change) Final Pay Request, Application For Payment Number 2

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price \$ <u>967,719.75</u>	Original Contract Times: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
Decrease from previously approved Change Orders No. ____ to No. ____: \$ <u>0.00</u>	●Increase● ●Decrease● from previously approved Change Orders No. ____ to No. ____: Substantial Completion: _____ Ready for Final Payment: _____ days
Contract Price prior to this Change Order: \$ <u>967,719.75</u>	Contract Times prior to this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
Decrease of this Change Order: \$ <u>126,147.49</u>	●Increase● ●Decrease● of this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
Contract Price incorporating this Change Order: \$ <u>841,572.26</u>	Contract Times with all approved Change Orders: Substantial Completion: _____ Ready for Final Payment: _____ days or dates

RECOMMENDED:  
 By:   
 Engineer (Authorized Signature)

ACCEPTED:  
 By: \_\_\_\_\_  
 Owner (Authorized Signature)

ACCEPTED:  
 By:   
 Contractor (Authorized Signature)

Date: 8-18-15

Date: \_\_\_\_\_

Date: 8/20/15



Payne & Dolan, Inc.

"Paving the Way  
to the Future"

# INVOICE

TO: Village of Hartland  
210 Cottonwood Ave  
Hartland, WI 53029

DATE: July 31, 2015  
PROJECT MANAGER: Mark Genrich  
CUSTOMER #: 113908  
INVOICE #: 105271-RETAINER

JOB NAME: V/O Hartland 2014 Paving Program

For furnishing the necessary labor, materials and equipment to complete the above named project as follows:

Final Retainer Payment -	\$ 24,192.99
<b>TOTAL AMOUNT DUE THIS INVOICE</b>	<b>\$ 24,192.99</b>

*Handwritten signature and date: 8/20/15*

Thank You

APPROVED FOR PAYMENT: *M. E. [Signature]*  
ACCOUNT NUMBER: 401-70370-285  
DATE PAID: \_\_\_\_\_  
CHECK NUMBER: \_\_\_\_\_

If you have any questions or concerns on this invoice, please contact me @ 262-524-1729  
Thank you.

Remit To: P.O. Box 781 ~ Waukesha, WI 53187-0781  
262-524-1700 ~ FAX 262-524-1845

INVOICE DUE NET UPON RECEIPT

2014 Paving Project

Payne & Dolan Inc.

Project	Construction Account #	Pay Request #1	Pay Request #1	Pay Request #1	Pay Request #2	Pay Request #2
		Amt Completed	Amt Retained	Balance Due	Amt Completed	Amt Retained
PENBROOK WAY (IMPERIAL TO OXFORD)#	401-70335-285	\$129,895.80		\$129,895.80		
CRYSTAL DRIVE#	401-70340-285	\$112,976.50		\$112,976.50		
SHELLY LANE#	401-70345-285	\$106,991.25		\$106,991.25		
BADGER DRIVE	401-70350-285	\$47,603.00		\$47,603.00		
EAGLE PASS	401-70355-285	\$48,407.35		\$48,407.35		
MARQUETTE RD (GREENWAY TO MERTON)	401-70360-285	\$43,736.75		\$43,736.75		
FORSETH DR	401-70365-285	\$51,183.80		\$51,183.80		
RUSTIC LANE#	401-70370-285	\$130,940.25	\$24,192.99	\$106,747.26	\$24,192.99	\$0.00
GLENOWEN DRIVE	401-70375-285	\$35,129.45		\$35,129.45		
Patching	401-70235-285	\$18,330.00		\$18,330.00		
Repave Pathways	401-76070-285	\$99,162.39		\$99,162.39		
Municipal Parking Lot Repairs	401-79155-285	\$17,215.72		\$17,215.72		

# common to all costs divided among these streets

Totals	\$841,572.26	\$24,192.99	\$817,379.27	\$24,192.99	\$0.00
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Progress Estimate - Unit Price Work

Contractor's Application for Payment No.

42

For (Project): 2014 Paving Program, Village of Hartland

Application Period:

09-10008.300

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Item Value (\$)	G		H		I	J
						Work Completed to Date	Value of Work Installed to Date (\$)	Estimated Quantity Installed	Value of Work Installed to Date (\$)		
<b>MARQUETTE ROAD</b>											
1	30-inch Concrete Curb & Gutter Remove and Replace	LF	25	\$33.85	\$846.25						
2	Pulverize and Reshape	SY	1,505	\$2.15	\$3,235.75	1,505	\$3,235.75	100.0%			\$846.25
3	Remove Excess Material	SY	1,505	\$1.50	\$2,257.50	1,505	\$2,257.50	100.0%			
4	Base Patching Remove and Replace 12-inch Material	SY	600	\$11.50	\$6,900.00	600	\$6,900.00	100.0%			
5	1 3/4 inch Asphalt Binder	SY	1,505	\$5.80	\$8,729.00	1,505	\$8,729.00	100.0%			
6	1 3/4 inch Asphalt Surface	SY	1,505	\$6.50	\$9,782.50	1,505	\$9,782.50	100.0%			
7	Adjust Valve Box	EA	1	\$400.00	\$400.00	1	\$400.00	100.0%			
8	Adjust Manhole	EA	6	\$2,072.00	\$12,432.00	6	\$12,432.00	100.0%			
9	Restoration (Hydroseed)	SY	10	\$69.50	\$695.00						\$69.50
<b>SUBTOTAL OF ALL MARQUETTE ROAD BID PRICES</b>											
						\$43,736.75					
<b>CRYSTAL DRIVE</b>											
10	30-inch Concrete Curb & Gutter Remove and Replace	LF	125	\$33.85	\$4,231.25						
11	Pulverize and Reshape	SY	4,160	\$1.70	\$7,072.00	4,116	\$6,997.20	98.9%			\$1,658.65
12	Remove Excess Material	SY	4,160	\$1.45	\$6,032.00	4,116	\$5,968.20	98.9%			\$74.80
13	Base Patching Remove and Replace 12-inch Material	SY	2,280	\$11.50	\$26,220.00	1,000	\$11,500.00	43.9%			\$14,720.00
14	1 3/4 inch Asphalt Binder	SY	4,160	\$5.30	\$22,048.00	4,116	\$21,814.80	98.9%			\$233.20
15	1 3/4 inch Asphalt Surface	SY	4,160	\$5.95	\$24,752.00	4,116	\$24,490.20	98.9%			\$261.80
16	Adjust Valve Box	EA	5	\$400.00	\$2,000.00	3	\$1,200.00	60.0%			\$800.00
17	Adjust Manhole	EA	9	\$1,997.00	\$17,973.00	12	\$23,964.00	133.3%			-\$5,991.00
18	Restoration (Hydroseed)	SY	30	\$69.50	\$2,085.00	10	\$695.00	33.3%			\$1,390.00
<b>SUBTOTAL OF ALL CRYSTAL DRIVE BID PRICES</b>											
						\$98,576.50					
<b>SHELLY LANE</b>											
19	30-inch Concrete Curb & Gutter Remove and Replace	LF	150	\$33.85	\$5,077.50						
20	Pulverize and Reshape	SY	4,960	\$1.70	\$8,432.00	4,412	\$7,500.40	89.0%			\$947.80
21	Remove Excess Material	SY	4,960	\$1.45	\$7,192.00	4,412	\$6,397.40	89.0%			\$931.60
22	Base Patching Remove and Replace 12-inch Material	SY	2,480	\$11.50	\$28,520.00	560	\$6,326.00	22.2%			\$22,195.00
23	1 3/4 inch Asphalt Binder	SY	4,960	\$5.30	\$26,288.00	4,412	\$23,383.60	89.0%			\$2,904.40
24	1 3/4 inch Asphalt Surface	SY	4,960	\$5.95	\$29,512.00	4,412	\$26,251.40	89.0%			\$3,260.60
25	Adjust Valve Box	EA	3	\$400.00	\$1,200.00	1	\$400.00	33.3%			\$800.00
26	Adjust Manhole	EA	9	\$1,997.00	\$17,973.00	9	\$17,973.00	100.0%			
27	Restoration (Hydroseed)	SY	35	\$69.50	\$2,432.50	35	\$2,432.50	100.0%			
<b>SUBTOTAL OF ALL SHELLY LANE BID PRICES</b>											
						\$92,603.75					
<b>BADGER DRIVE</b>											
28	30-inch Concrete Curb & Gutter Remove and Replace	LF	50	\$33.85	\$1,692.50						
						\$1,692.50					

Progress Estimate - Unit Price Work

Contractor's Application for Payment No. 4-2

For (Project): 2014 Paving Program, Village of Hartland

Application Period:

09-10008.300

A	Item No.	Description	C	Unit	D	E	F	G	H	I	J
29		Pulverize and Reshape	SY	2,140	\$1.70	\$3,638.00		2,160	\$3,672.00	100.9%	-\$34.00
30		Remove Excess Material	SY	2,140	\$1.45	\$3,103.00		2,160	\$3,132.00	100.9%	-\$29.00
31		Base Patching Remove and Replace 12-inch Material	SY	1,280	\$11.50	\$14,720.00		305	\$3,507.50	23.8%	\$11,212.50
32		1 3/4 inch Asphalt Binder	SY	2,140	\$5.40	\$11,556.00		2,160	\$11,664.00	100.9%	-\$108.00
33		1 3/4 inch Asphalt Surface	SY	2,140	\$6.10	\$13,054.00		2,160	\$13,176.00	100.9%	-\$122.00
34		Adjust Valve Box	EA	3	\$400.00	\$1,200.00		1	\$400.00	33.3%	\$800.00
35		Adjust Manhole	EA	8	\$1,997.00	\$15,976.00		6	\$11,982.00	75.0%	\$3,994.00
36		Restoration (Hydroseed)	SY	10	\$69.50	\$695.00		10	\$695.00	100.0%	\$0.00
SUBTOTAL OF ALL BADGER DRIVE BID PRICES											
EAGLE PASS											
37		30-inch Concrete Curb & Gutter Remove and Replace	LF	50	\$33.85	\$1,692.50		23	\$778.55	46.0%	\$913.95
38		Pulverize and Reshape	SY	1,880	\$1.70	\$3,196.00		1,892	\$3,216.40	100.6%	-\$20.40
39		Remove Excess Material	SY	1,880	\$1.45	\$2,726.00		1,892	\$2,743.40	100.6%	-\$17.40
40		Base Patching Remove and Replace 12-inch Material	SY	940	\$11.50	\$10,810.00		475	\$5,462.50	50.5%	\$5,347.50
41		1 3/4 inch Asphalt Binder	SY	1,880	\$5.40	\$10,152.00		1,892	\$10,216.80	100.6%	-\$64.80
42		1 3/4 inch Asphalt Surface	SY	1,880	\$6.10	\$11,468.00		1,892	\$11,541.20	100.6%	-\$73.20
43		Adjust Valve Box	EA	3	\$400.00	\$1,200.00		1	\$400.00	33.3%	\$800.00
44		Adjust Manhole	EA	9	\$1,997.00	\$17,973.00		7	\$13,979.00	77.8%	\$3,994.00
45		Restoration (Hydroseed)	SY	10	\$69.50	\$695.00		10	\$695.00	100.0%	\$0.00
SUBTOTAL OF ALL EAGLE PASS BID PRICES											
PENBROOK WAY											
46		30-inch Concrete Curb & Gutter Remove and Replace	LF	200	\$33.85	\$6,770.00		493	\$16,688.05	246.5%	-\$9,918.05
47		Pulverize and Reshape	SY	4,535	\$1.70	\$7,709.50		4,635	\$7,879.50	102.2%	-\$170.00
48		Remove Excess Material	SY	4,535	\$1.50	\$6,802.50		4,635	\$6,952.50	102.2%	-\$150.00
49		Base Patching Remove and Replace 12-inch Material	SY	1,380	\$11.50	\$15,640.00		700	\$8,050.00	51.3%	\$7,590.00
50		1 3/4 inch Asphalt Binder	SY	4,535	\$5.50	\$24,942.50		4,635	\$25,492.50	102.2%	-\$550.00
51		1 3/4 inch Asphalt Surface	SY	4,535	\$6.10	\$27,663.50		4,635	\$28,273.50	102.2%	-\$610.00
52		3-inch Asphalt Driveway Remove and Replace	SY	50	\$31.37	\$1,568.50		9	\$3,600.00	75.0%	\$1,568.50
53		Adjust Valve Box	EA	12	\$400.00	\$4,800.00		8	\$3,200.00	66.7%	\$1,600.00
54		Adjust Manhole	EA	5	\$2,072.00	\$10,360.00		5	\$10,360.00	100.0%	\$0.00
55		3-inch Concrete Driveway Remove and Replace	SY	500	\$6.25	\$3,125.00		95	\$593.75	19.0%	\$2,531.25
56		Restoration (Hydroseed)	SY	50	\$6.95	\$347.50		200	\$1,390.00	400.0%	-\$1,042.50
SUBTOTAL OF ALL PENBROOK WAY BID PRICES											
GLENWOMEN DRIVE											
57		30-inch Concrete Curb & Gutter Remove and Replace	LF	20	\$33.85	\$677.00		37	\$1,252.45	185.0%	-\$575.45

Progress Estimate - Unit Price Work

Contractor's Application for Payment No. 42

For (Project): 2014 Paving Program, Village of Hartland

Application Period:

09-10008.300

A	Item No.	Description	C	Unit	D	Estimated Quantity	E	Bid Unit Price	Bid Item Value (\$)	G		I	J
										Work Completed to Date	Value of Work Installed to Date (\$)		
	58	Pulverize and Restripe	SY		1,550		\$1.90	\$2,945.00	1,542	\$2,929.80	99.5%	\$15.20	
	59	Remove Excess Material	SY		1,550		\$1.50	\$2,325.00	1,542	\$2,313.00	99.5%	\$12.00	
	60	Base Patching Remove and Replace 12-Inch Material	SY		310		\$11.50	\$3,565.00	150	\$1,725.00	48.4%	\$1,840.00	
	61	1 3/4 Inch Asphalt Binder	SY		1,550		\$5.90	\$9,145.00	1,542	\$9,097.80	99.5%	\$47.20	
	62	1 3/4 Inch Asphalt Surface	SY		1,550		\$5.70	\$10,385.00	1,542	\$10,331.40	99.5%	\$53.60	
	63	3-Inch Asphalt Driveway Remove and Replace	SY		20		\$43.00	\$860.00				\$860.00	
	64	Adjust Valve Box	EA		1		\$400.00	\$400.00				\$400.00	
	65	Adjust Manhole	EA		3		\$2,447.00	\$7,341.00	3	\$7,341.00	100.0%		
	66	Restoration (Hydroseed)	SY		10		\$69.50	\$695.00	20	\$139.00	200.0%	-\$69.50	
SUBTOTAL OF ALL GLENOWEN WAY BID PRICES													
FORSETH DRIVE													
	67	30-Inch Concrete Curb & Gutter Remove and Replace	LF		25		\$33.85	\$846.25	58	\$1,963.30	232.0%	-\$1,117.05	
	68	Pulverize and Restripe	SY		2610		\$1.70	\$4,437.00	2560	\$4,352.00	98.1%	\$85.00	
	69	Remove Excess Material	SY		2610		\$1.45	\$3,784.50	2560	\$3,712.00	98.1%	\$72.50	
	70	Base Patching Remove and Replace 12-Inch Material	SY		1044		\$11.50	\$12,006.00	335	\$3,852.50	32.1%	\$8,153.50	
	71	1 3/4 Inch Asphalt Binder	SY		2610		5.45	\$14,224.50	2560	\$13,952.00	98.1%	\$272.50	
	72	1 3/4 Inch Asphalt Surface	SY		2610		\$6.20	\$16,182.00	2560	\$15,872.00	98.1%	\$310.00	
	73	3-Inch Asphalt Driveway Remove and Replace	SY		20		\$42.10	\$842.00				\$842.00	
	74	Adjust Valve Box	EA		3		\$400.00	\$1,200.00	3	\$7,341.00	100.0%	\$1,200.00	
	75	Adjust Manhole	EA		3		\$2,447.00	\$7,341.00	20	\$139.00	200.0%	-\$69.50	
	76	Restoration (Hydroseed)	SY		10		\$69.50	\$695.00				\$695.00	
SUBTOTAL OF ALL FORSETH DRIVE BID PRICES													
RUSTICLANE													
	77	30-Inch Concrete Curb & Gutter Remove and Replace	LF		290		\$33.85	\$9,816.50	365	\$12,355.25	125.9%	-\$2,538.75	
	78	Pulverize and Restripe	SY		4,610		\$1.70	\$7,837.00	4,580	\$7,786.00	99.3%	\$51.00	
	79	Remove Excess Material	SY		4,610		\$1.45	\$6,684.50	4,580	\$6,641.00	99.3%	\$43.50	
	80	Base Patching Remove and Replace 12-Inch Material	SY		2,305		\$11.50	\$26,507.50	950	\$10,925.00	41.2%	\$15,582.50	
	81	1 3/4 Inch Asphalt Binder	SY		4,610		\$5.45	\$25,124.50	4,580	\$24,961.00	99.3%	\$163.50	
	82	1 3/4 Inch Asphalt Surface	SY		4,610		\$6.20	\$28,582.00	4,580	\$28,396.00	99.3%	\$186.00	
	83	3-Inch Asphalt Driveway Remove and Replace	SY		25		\$39.00	\$975.00	1	\$400.00	33.3%	\$575.00	
	84	Adjust Valve Box	EA		3		\$400.00	\$1,200.00	12	\$23,964.00	100.0%	\$800.00	
	85	Adjust Manhole	EA		12		\$1,987.00	\$23,964.00	270	\$1,687.50		\$1,687.50	
	86	6-Inch Concrete Driveway Remove and Replace	SF		270		\$6.25	\$1,687.50	160	\$1,112.00	228.6%	-\$625.50	
	87	Restoration (Hydroseed)	SY		70		\$6.95	\$486.50				\$486.50	
SUBTOTAL OF ALL RUSTICLANE BID PRICES													

Progress Estimate - Unit Price Work

Contractor's Application for Payment No.

4 2

For (Project): 2014 Paving Program, Village of Hardand

Application Period:

09-10008.300

A Item No.	Description	C Unit	D Estimated Quantity	E Bid Unit Price	F Bid Item Value (\$)	G Work Completed to Date		I % Complete (H/F)	J Balance to Finish (F - H)	
						Estimated Quantity Installed	Value of Work Installed to Date (\$)			
<b>MISCELLANEOUS ASPHALT PAVEMENT PATCHING</b>										
88	Asphalt Pavement Patching	SY	460	\$39.00	\$17,940.00		470	\$18,330.00	102.2%	-\$390.00
<b>SUBTOTAL OF ALL MISCELLANEOUS ASPHALT PAVEMENT PATCHING BID PRICES</b>										
<b>VILLAGE WIDE PATHWAY RECONSTRUCTION</b>										
89	Common Excavation	LS	1	\$9,990.00	\$9,990.00		1	\$9,990.00	100.0%	
90	Crushed Aggregate Base Course	TON	1,100	\$16.50	\$17,050.00		1,580	\$24,484.89	143.6%	-\$7,434.89
91	3-inch Asphalt Surface Course	SY	3,500	\$13.50	\$47,250.00		3,587	\$48,424.50	102.5%	-\$1,174.50
92	Restoration (Hydroseed)	SY	750	\$6.95	\$5,212.50		2340	\$16,263.00	312.0%	-\$11,050.50
<b>SUBTOTAL OF ALL VILLAGE WIDE PATHWAY BID PRICES</b>										
<b>VILLAGE PARKING LOT RECONSTRUCTION</b>										
93	Common Excavation	LS	1	\$5,000.00	\$5,000.00		1	\$5,000.00	100.0%	
94	Crushed Aggregate Base Course	TON	100	\$16.00	\$1,600.00		170.57	\$2,729.12	170.6%	-\$1,129.12
95	3-inch Asphalt Surface Course	SY	580	\$16.30	\$9,454.00		582	\$9,486.60	100.3%	-\$32.60
96	Restoration (Hydroseed)	SY	20	\$6.95	\$139.00					\$139.00
<b>SUBTOTAL OF ALL VILLAGE PARKING LOT RECONSTRUCTION BID PRICES</b>										
<b>COMMON TO ALL PROJECT AREAS</b>										
97	Traffic Control, Signage, and Barricades	LS	1	\$43,000.00	\$43,000.00		1	\$43,000.00	100.0%	
98	Erosion Control	LS	1	\$1,050.00	\$1,050.00		1	\$1,050.00	100.0%	
99	Excavation Below Subgrade (EBS)	CY	600	\$20.30	\$12,180.00		125	\$2,537.50	20.8%	\$9,642.50
100	Geotextile Fabric	SY	600	\$7.40	\$840.00					\$840.00
101	Excavation Below Subgrade (EBS) Backfill	TON	1200	\$13.90	\$16,680.00					\$16,680.00
102	Crushed Aggregate Base Course	TON	200	\$13.00	\$2,600.00					\$2,600.00
103	Remove and Replace Valve Box Top Section	EA	10	\$550.00	\$5,500.00		20	\$11,000.00	200.0%	-\$5,500.00
104	Allowance for Additional Work	LS	1	\$25,000.00	\$25,000.00					\$25,000.00
<b>SUBTOTAL OF ALL COMMON TO ALL AREAS BID PRICES</b>										\$57,587.50
<b>Totals</b>						\$967,719.75		\$841,572.26	86.96%	\$126,147.50

Retention \$24,192.99  
 9-23-14 Payment 817,379.27

PAYMENT REQUESTED = \$24,192.99

## MEMO

**TO:** David E. Cox, Village Administrator  
**FROM:** Michael Einweck, Director of Public Works  
**DATE:** August 20, 2015  
**SUBJECT:** Sanctuary of Hartland Subdivision  
Security Reduction

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The developer, Mr. Chris Miller of Miller Marriott Construction Co., has requested a reduction in the letter of credit security for the Sanctuary of Hartland Subdivision construction items that have been completed. The request has been reviewed and checked by the Village Engineer, Ruckert - Mielke (please see attached). I have also reviewed the request that the work has been completed. This is the sixth request for security reduction.

The existing letter of credit is requested to be reduced from the current balance of \$645,637.80 to \$618,029.40. This is a reduction in the amount of \$27,608.40. If approved by the Board, staff will contact the issuer of the security with the new amount contingent upon receiving the lien waivers for this reduction. The remaining balance is to cover the outstanding construction work and the ten percent guarantee security.

Please place this on the next Village Board agenda for consideration.

### Attachments

cc: Darlene Igl, Village Clerk  
Ryan Bailey, Finance Director/Treasurer  
Ryan Amtmann, Village Engineer

August 20, 2015

Mr. Michael Einweck, P.E.  
Director of Public Works  
Municipal Building  
Village of Hartland  
210 Cottonwood Avenue  
Hartland, WI 53029

RE: Sanctuary of Hartland  
Letter of Credit Reduction No. 6

Dear Mike:

I have reviewed Miller Marriott's sixth request to reduce the Letter of Credit amount by \$27,608.40. I am in agreement with this request and recommend that the Village Board reduce the Letter of Credit to \$618,029.40. This recommendation is based upon inspection records performed by Ruekert/Mielke and confirmed quantity estimates with Village Staff.

If you should have any questions regarding this recommendation, please feel free to contact me.

Very truly yours,

RUEKERT & MIELKE, INC.



Jerad J. Wegner, P.E. (WI)  
Project Manager  
[jwegner@ruekert-mielke.com](mailto:jwegner@ruekert-mielke.com)

JJW:sjs

cc: Ryan T. Amtmann, P.E., Ruekert / Mielke  
File



**MILLER MARRIOTT**  
CONSTRUCTION CO. LLC

August 4, 2015

Village of Hartland  
Attn: Mike Einweck  
210 Cottonwood Ave  
Hartland, WI 53029

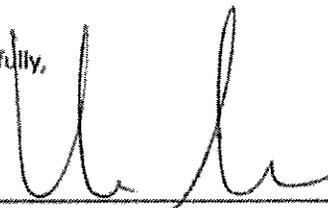
We all agree that the attached work described on the project draw dated through period 7/31/2015 has been completed.

We also agree that:

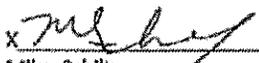
- 1) Dollar value of work is accurate.
- 2) Work has been completed in a good and workmanlike manner in compliance w/ the Plat and applicable plans and specifications.
- 3) No liens will attach to this site.
- 4) The dollar value of the work completed is reasonable.

We would like to ask at this time that you perform an inspection (if needed) and grant us a reduction in our letter of credit amount per our developer's agreement.

Respectfully,

  
x \_\_\_\_\_

Chris Miller  
Owner, Miller Marriott Construction Co. LLC

  
x \_\_\_\_\_  
Mike Schiltz  
Evergreen Development Group

  
x \_\_\_\_\_  
Josh Pudelko  
Owner, Trio Engineering LLC

**APPLICATION AND CERTIFICATE FOR PAYMENT**

**TO OWNER:**

Securant Bank/Village of Hartland

**PROJECT:**

Sanctuary of Hartland Subdivision

APPLICATION # 6  
PERIOD TO: 07/31/15  
PROJECT NOS:

Distribution to:

<input checked="" type="checkbox"/>	Owner
<input checked="" type="checkbox"/>	Const. Mgr
<input checked="" type="checkbox"/>	Architect
<input checked="" type="checkbox"/>	Contractor

**FROM CONTRACTOR:**

Miller Marriott Construction Co.

**ENGINEERS:**

Evergreen Development Group/Mike Schiltz  
Trio Engineering, LLC/Josh Pudeltko

CONTRACT DATE: 10/30/14

**CONTRACT FOR:**

**CONTRACTOR'S APPLICATION FOR PAYMENT**

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown therein is now due.

1. ORIGINAL CONTRACT SUM	\$ 1,315,156.10
2. Net change by Change Orders	\$
3. CONTRACT SUM TO DATE (Line 1 +/- 2)	\$ 1,315,156.10
4. TOTAL COMPLETED & STORED TO DATE-\$ (Column G on Continuation Sheet)	\$ 774,586.00

5. RETAINAGE:  
a. 10.0% of Completed Work  
(Columns D+E on Continuation Sheet) \$ 77,458.60  
b. of Stored Material  
(Column F on Continuation Sheet) \$

6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$ 77,458.60
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$ 687,127.40
8. CURRENT PAYMENT DUE (Line 6 from prior Certificate)	\$ 689,519.00
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$ 27,608.40
	\$ 618,028.70

AMOUNT CERTIFIED \$ 27,608.40  
(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this application and on the Continuation Sheet that are changed to conform to the amount certified.)

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
<b>TOTALS</b>		
NET CHANGES by Change Order		

**CONTRACTOR:**

By:  Date: 8-4-2015

State of: \_\_\_\_\_  
County of: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

**CERTIFICATE FOR PAYMENT**

In accordance with Contract Documents, based on on-site observations and the data comprising application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

**ENGINEER**

By:  Date: 7/30/15

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner of Contractor under this Contract.

**CONTINUATION SHEET**

ATTACHMENT TO PAY APPLICATION

APPLICATION NUMBER: 6

PROJECT: Sanctuary of Hartland Subdivision

APPLICATION DATE: 08/04/15

PERIOD TO: 07/31/15

ARCHITECT'S PROJECT NO:

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		E Work Completed This Period	F Materials Presently Stored (Not in D or E)	G Total Completed And Stored To Date (D + E + F)	H Balance To Finish (C - G)	I Retainage
			From Previous Application (D + E)						
1	Erosion Control (Rams)	51,200.00	46,286.00				46,286.00	4,914.00	4,628.60
2	Tree Cleaning (Rams)	35,500.00	35,500.00				35,500.00		3,550.00
3	Site Grading (Rams)	218,950.00	182,324.00	30,676.00			213,000.00	5,950.00	21,300.00
4	Sanitary Sewer (DF Tomasini)	163,377.00	163,377.00				163,377.00		16,337.70
5	Watermain (DF Tomasini)	199,084.00	199,084.00				199,084.00		19,908.40
6	Storm Sewer (DF Tomasini)	117,339.00	117,339.00				117,339.00		11,733.90
7	Curb & Gutter (Payne & Dolan)	38,681.00						38,681.00	
8	Asphalt Pavement (Payne & Dolan)	183,965.00						183,965.00	
9	Concrete Sidewalks (Payne & Dolan)	30,680.00						30,680.00	
10	Landscaping (Breezy Hill)	73,338.00						73,338.00	
11	Fencing	24,000.00						24,000.00	
12	Entrance Lighting	7,500.00						7,500.00	
13									
14	15% Maintenance Amount	171,542.10						171,542.10	
15									
16									
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28									
SUBTOTALS PAGE 2		1,315,156.10	743,910.00	30,676.00			774,586.00	540,570.10	77,458.60