

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA  
MONDAY, SEPTEMBER 21, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of August 17, 2015
2. Architectural Board consideration of an application for the construction of a single-family residence to be located on Lot 13 in the Sanctuary of Hartland Subdivision.
3. Architectural Board consideration of an application for a sign for St. Charles Food Pantry at 229 Lawn Street.
4. Architectural Board consideration of an application for a sign for Lake Country Bed Barn at 122 Cottonwood Avenue.
5. Architectural Board consideration of an application for a sign for Coda Yoga Studio at 139 E. Capitol Drive.
6. Architectural Board consideration of an application for a sign for Hartland Business Improvement District at 135 Cottonwood Avenue.
7. Architectural Board consideration of an application for outside installation of air compressors, condensers and HVAC units on concrete pads for CL & D Digital at 535 Norton Drive.
8. Architectural Board and Plan Commission review and consideration of an application for modifications to a building addition for light manufacturing for Herbsmith at 455 E. Industrial Drive.
9. Plan Commission review and consideration of an application for asphalt reconstruction and parking lot addition/expansion for ABC Supply at 550 S. Industrial Drive.

10. Plan Commission consideration of an Extraterritorial Preliminary Plat for the Hawks Haven Subdivision on Maple Avenue south of North Shore Drive (CTH KE).
11. Actions related to conditionally eliminating the requirement for review of single family residences in subdivisions with active homeowners associations.
  - a. Consideration of a motion to recommend an ordinance making Zoning Code and general Code amendments
  - b. Discussion of a draft Plan Commission Policy Statement

12. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: [www.villageofhartland.com](http://www.villageofhartland.com)

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** Architectural Board and Plan Commission  
**FROM:** David E. Cox, Village Administrator   
**DATE:** September 18, 2015  
**SUBJECT:** Agenda Information – September 21, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 8 Related to a proposed building addition at Herbsmith.

Background: As the Plan Commission may recall, EyeCom/Herbsmith approached the Village in early 2014 and received permission to construct a 56,000 square foot addition to their facility at 455 E Industrial Drive. That addition was never constructed. The company is returning with a request for permission to construct a smaller portion of the previously approved addition. Staff understands that this would be the first phase of a project that would eventually lead to the construction of the entire addition. The current building is 60,000 square feet. The original approval included:

- All of the new building materials to match the original building materials
- Four loading docks and one at grade door
- The addition of asphalt for additional parking of 15 more vehicles (172 total spaces)
- Upgrade of landscaping and relocation of two lights.
- Architectural features of metal panels and block towers on the back of the building to break up the wall
- Relocation of the dumpster
- Upgrade of the retention pond to the current code to serve the new site plan.

The current consideration should match the appropriate portions of this previous approval. The Commission should determine whether certain improvements should be made at a level to serve the future of the site. Staff would recommend that the storm water features of the site be sized as part of this project to accommodate the future anticipated improvements on the site.

Recommendation: Recommend approval of proposed addition subject to conditions.

Item 9 Related to a proposed parking lot addition at ABC Supply.

Background: ABC Supply is proposing the addition of two new parking areas on its site including a large parking lot in front of the building (12 spaces) and the addition of 11 spaces as

part of the reconstruction of the south entry drive. The proposed plans call for the removal of five mature trees and the placement of five new trees west of (in front of) the new parking lot. There is no other landscaping proposed. The Plan Commission is asked to consider the sufficiency of the proposed tree plan and determine whether other landscaping should be required either adjacent to the front parking lot or the side (south) parking lot adjacent to the neighboring lot.

Recommendation: Recommend approval of proposed parking lots with additional landscaping to supplement the tree installations.

Item 11            Related to Code changes to not require Architectural Board review.

Background: This item is returned for second review with the Plan Commission and Architectural Board. As the Commission will recall, recent discussion at Architectural Board meetings have concerned whether Village review of the aesthetics is necessary when the subdivision committee has already reviewed and approved a submission. In addition to the proposed Code amendment language, which was presented at the August meeting and is scheduled for final consideration, a draft of a policy related to the waiver of Village review is being presented for discussion. The Architectural Board is asked to consider the draft and offer comments as to how it might be amended. Also, the Board is asked to consider whether any or all of the current developers should be asked to review and comment on the proposed policy. The policy, as amended if necessary, would be scheduled for approval in October after the Code changes have been made.

Recommendation: Recommend the proposed ordinance for approval and provide feedback as appropriate on the policy.

DC:PC Agenda Info 9-21

cc:     Ryan Amtmann, Village Engineer  
       Mike Einweck, Public Works Director  
       Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND  
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES  
MONDAY, AUGUST 17, 2015  
7:00 PM  
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, Jim Schneeberger, Randy Swenson and Jack Wenstrom.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer.

Roll Call

1. Motion (Hallquist/Swenson) to approve the Jt. Architectural Board/Plan Commission Minutes of July 20, 2015. Carried (7-0).
2. Consideration of an Architectural Board application for the construction of a single-family residence to be located on Lot 26, 453 Sanctuary Lane in the Sanctuary of Hartland Subdivision

Property Owner/Contractor: Sanctuary of Hartland, LLC/Miller Marriott, 301 Pawling Ave., Hartland, WI 53029

It was noted that the address for Lot 26 is 453 Park Court, not Sanctuary Lane.

This is the first house to be built in the Sanctuary Subdivision and it is being proposed by the developer. The proposed site plan meets zoning requirements.

There was concern that the mailbox plan from the developer's representative and the utility plans all point to having obstructions in the corner where they intend to put their driveway. The Village will make sure the builder knows about this and he will have to address it.

Motion (Swenson/Wenstrom) to approve the application for the construction of a single-family residence to be located on Lot 26, 453 Park Court in the Sanctuary of Hartland Subdivision, noting that the builder should be notified by staff about the mailbox and utility obstructions. Carried (7-0).

3. Architectural Board and Plan Commission review and consideration of an application for modifications to a car wash facility on the property located at 400 E. Industrial Drive and consideration of possible Conditional Use Permit revisions.

Applicant: Hartland Service, 400 E. Industrial Dr.

Property Owner: Michael & Debra Kusch, N65W30981 Beaver Lake Rd., Hartland, WI 53029

Architect: MSI General, P O Box 7, Oconomowoc, WI 53066

A Conditional Use Permit was approved for Hartland Service in April and revised in June to allow an expansion of the Automotive Service business and specifically, the car wash. The revised CUP indicated that both the automatic touch-less and soft cloth car washes could be operated 24 hours per day, seven days per week. Additionally, the April approval also included the Site Plan, which called for one large building expansion to house increased service bays and a new car wash and detailing facility. The existing out building on the lot would have been demolished. The owner has submitted plans to the Village showing a downsized addition to the main building and conversion of the existing out building to be used as a car wash facility. In this scenario, the total amount of impervious surface on the parcel is reduced and while the car wash bays are shorter, they orient north/south instead of east/west. During the wash cycle and upon exiting the wash bay, vehicles are oriented toward the north (railroad tracks) instead of toward the residential properties on Cottonwood Avenue. Despite this, no modifications to the landscaping along Cottonwood Avenue have been proposed, which plans include a berm and buffer plantings. The second building (existing out building), which will house the car wash, would be treated as an accessory structure. Amendments to the Conditional Use Permit have been proposed that would reflect the current (and final) proposal.

There will be five free vac stations. Tire storage will be in a new concrete storage area on the northwest side of the building. The dumpster enclosure will be on the west side of the property.

The color scheme on the main building will be a darker gray and the awning will be replaced with steel canopies over the two front doors. There will be a blue ribbon around most of the top perimeter of the building. All outdoor building lights will be LED.

The car wash building is blue and will have blue paneling across the top for the first two or three feet, along with a car wash sign on the south side. The vac stations will be blue. The signs will be modified, but they haven't been addressed yet.

The Commission reminded Mr. Kusch to apply for BID approval for the color scheme of the buildings, as well as the modified signs.

The photometrics were reviewed.

Mr. Kusch stated that the vacuums will be turned off at night – they will be on a timer, probably turning off around 10:00 PM.

Motion (Swenson/Hallquist) to recommend approval to the Village Board the application for modifications to a car wash facility on the property located at 400 E. Industrial Drive and approval of the Conditional Use Permit revisions. Carried (7-0).

4. Consideration of Zoning Code and general Code amendments to allow the Architectural Board to conditionally eliminate the requirement for review of single family residences in subdivisions with active homeowners associations.

Architectural Board review of a single family home construction and modification was implemented decades ago in response to perceived aesthetic problems with houses being constructed. At that time, the areas of the Village in question were not served by homeowners associations and the appearance of new construction was not being reviewed by anyone to determine its fit within Hartland. In the intervening years, new subdivisions have come on line that were approved with strong expectations as to the type of appearance of houses and with strong internal review processes for new construction and modifications. In fact, it is always part of the Architectural Board conversation when considering such improvements to determine whether the local homeowners group or architectural review committee has reviewed the proposal. As we have discussed at Architectural Board meetings in the past, perhaps Village review of the aesthetics is not necessary when the subdivision has already reviewed and approved. Based on that concept, staff is proposing some amendments to the Zoning Code and Village Code that would remove the requirement for Arch Board review and to allow the Arch Board to establish a policy of not reviewing certain work. It would then be the intent that the Arch Board would approve a policy that indicates review of improvements in subdivisions with properly and functioning architectural review committees or the like would not need Arch Board review prior to permitting unless the Building Inspector requests a review. Details of such a policy would be created through discussion with the Architectural Board and approved after the Code is amended.

Administrator Cox suggested that a Policy Statement could be brought to the Board.

Scott Hussinger mentioned that there are only about five vacant lots in the Village right now. As we move forward, the new policy really applies to the new developments.

Ultimately each home plan will go to Scott Hussinger for review for the permitting process. If he sees any problems, he will bring them to the Architectural Board.

The Village is not bound by a private entity, such as a homeowners association. If someone purposely by-passes their subdivision's architectural review board, Mr. Hussinger could submit the new construction to the Architectural Board and process a permit for the owner.

Also discussed was the scenario of the developer of a subdivision who is also acting as the architectural review board (for example The Sanctuary Subdivision). Mr. Hussinger would be alert to any deviations from the Villages expectations and could bring it to the Board, if necessary.

This amendment would not be codified – it could be revoked if the Village desires. The reason this amendment is suggested is to allow the Village to issue permits more quickly. We have approximately 150 home sites ready for construction.

It was suggested that Scott Hussinger give a general report each month regarding how many homes are being built and where. The Board would not need to see plans.

Building Inspector Hussinger is expecting approximately 30 new homes per year for the next few years.

The Board was in favor of going forward with this new amendment.

A written policy will be brought before the Board to adopt next month.

5. Adjourn

Motion (Wenstrom/Schneeberger) to adjourn. Carried (7-0). Meeting adjourned at 7:35 PM.

Respectfully submitted by  
Recording Secretary,

Lynn Meyer  
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>Park Court</u>			
Lot <u>13</u>	Block	Subdivision <u>Sanctuary of Hartland</u>	Key No. <u>HAV 0726146</u>
Owner <u>Stew + Elisa Filipp</u>		Phone <u>608 335 7815</u>	
Address <u>233 W. Wisconsin Ave #209</u>		City <u>Oconomowoc</u>	State <u>WI</u> Zip <u>53066</u>
Contractor <u>Kings Way Homes</u>	Phone <u>402 6202</u>	FAX <u>780 1980</u>	E-Mail Address <u>dolson@kingswayhomes.com</u>
Address <u>700 Pilgrim Pkwy #100</u>		City <u>Elm Grove</u>	State <u>WI</u> Zip <u>53122</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**One & Two Family**

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: \_\_\_\_\_ Date of Meeting: Sept. 21, 2015 Item No. \_\_\_\_\_



Dept of Safety & Professional Services  
Industry Services Division  
Wisconsin Stats. 101.63, 101.73

Instruct used by

Deb Olson | Director of Preconstruction  
dolson@kingswayhomes.com

700 Pilgrim Parkway | Elm Grove, WI 53122  
262.402.6202 tel | 262.780.1980 fax | www.kingswayhomes.com

Application No.  
Parcel No. **HAV 0726146**  
control  Other:

**PERMIT REQUESTED**

Construction

Owner's Name  
**Steve + Elisa Filipp**

**233 W. Wisconsin Ave #209 53066**

10 WOC Tel. **335-781515**  
**608-556-3706**  
(Tel. & Fax **262-**)

Contractor Name & Type

Lic/Cert#

Mailing Address

(Tel. & Fax)

Dwelling Contractor (Constr.)  
**Kings Way Homes LLC**

**1022164**

**700 Pilgrim Pkwy #100  
Elm Grove 53122**

**402 6202  
780 1980**

Dwelling Contr. Qualifier  
**Deborah Olson**

**1065337**

The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr.

**402 6202  
780 1980**

HVAC  
**Interstate Heating**

**1528**

**N53W849SO So. Corporate Cir  
Sussex 53089**

**246 4772  
246 0296**

Electrical  
**Wike Electric**

**246204**

**21975 Dorat Rd  
Waukesha 53186**

**798 5001  
798 5016**

Plumbing  
**Alpine Plumbing**

**222534**

**14580 W Greenfield Ave  
Brookfield 53005**

**797 4120  
797 4125**

**PROJECT LOCATION**

Lot area **13444** sq. ft.

One acre or more of soil will be disturbed

Town  Village  City of **Hartland**

**NW 1/4 NE 1/4 SW 1/4, NW 1/4, of Section 2, T 7N, R 18E**

Building Address

**Park Court Waukesha**

Subdivision Name

**Sanctuary of Hartland 13**

Lot No. Block No.

Zoning District(s)

Zoning Permit No.

Setbacks:

Front **31** ft.

Rear **33** ft.

Left **24.82** ft.

Right **12.75** ft.

**1. PROJECT**

New  
 Alteration  
 Addition  
 Other:  
 Repair  
 Raze  
 Move

**3. OCCUPANCY**

Single Family  
 Two Family  
 Garage  
 Other:  
 Underground  
 Overhead

**6. ELECTRIC**

Entrance Panel Amps: **200**  
 Underground  
 Overhead

**9. HVAC EQUIP.**

Furnace  
 Radiant Basebd  
 Heat Pump  
 Boiler  
 Central AC  
 Fireplace  
 Other:

12. ENERGY SOURCE		Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar Geo
Space Htg	Water Htg		<input checked="" type="checkbox"/>					

**2. AREA INVOLVED (sq ft)**

**4. CONST. TYPE**

Wood Frame  
 Steel  
 ICF  
 Timber/Pole  
 Other:

**7. WALLS**

Wood Frame  
 Steel  
 ICF  
 Timber/Pole  
 Other:

**13. HEAT LOSS**

**58827** BTU/HR Total Calculated Envelope and Infiltration Losses (available from "Total Building Heating Load" on Rescheck report)

	Unit 1	Unit 2	Total
Unfin. Bsmt	<b>565</b>		
Living	<b>2032</b>		
Area	<b>1326</b>		
Garage	<b>677</b>		
Deck/Porch	<b>292</b>		
Totals	<b>4892</b>		

Site-Built  
 Mfd. per WI UDC  
 Mfd. per US HUD

**5. STORIES**

**8. USE**

Seasonal  
 Permanent  
 Other:

**11. WATER**

Municipal  
 On-Site Well

**10. SEWER**

Municipal  
 Sanitary Permit#

**14. EST. BUILDING COST w/o LAND**  
**\$ 425,000-**

I understand that I am subject to all applicable codes, laws, statutes and ordinances, including those described on the reverse side of the last ply of this form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply of this form.

APPLICANT (Print) **Deborah L. Olson** Sign **Deborah L. Olson** DATE **9/2/15**

**APPROVAL CONDITIONS** This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.  See attached for conditions of approval.

**ISSUING JURISDICTION**

Town of  Village of  City of  County of  State-->

State-Contracted Inspection Agency#:

Municipality Number of Dwelling Location

**FEES:**

Plan Review \$  
Inspection \$  
Wis. Permit Seal \$  
Other \$  
Total \$

**PERMIT(S) ISSUED**

**WIS PERMIT SEAL #**

**PERMIT ISSUED BY:**

Construction  
 HVAC  
 Electrical  
 Plumbing  
 Erosion Control

Name \_\_\_\_\_  
Date \_\_\_\_\_ Tel. \_\_\_\_\_  
Cert No. \_\_\_\_\_

**CUSTOMER INFORMATION**

Customer Name: STEVE & ELISA FILIPP  
 Job Number: FIL5452

**JOB SITE INFORMATION**

Lot Number: 13  
 Subdivision: SANCTUARY OF HARTLAND  
 Municipality: VILLAGE OF HARTLAND  
 County: WAUKESHA

**CUSTOMER SIGNATURE & DATE**

*Steve Filipp* 8-26-15  
*Elisa Filipp* 8-26-15

**CONSTRUCTION SUPERINTENDENT & DATE**

*David Steady* 8/31/15

**SHEET INDEX**

1. FRONT ELEVATION
2. FIRST FLOOR PLAN
3. BASEMENT PLAN
4. REAR ELEVATION
5. LEFT SIDE ELEVATION
6. RIGHT SIDE ELEVATION
7. HOUSE SECTION
8. DETAILS
9. FIRST FLOOR ELECTRICAL PLAN
10. FINISHED LOWER LEVEL PLAN
11. SHEAR WALL BRACING PLAN

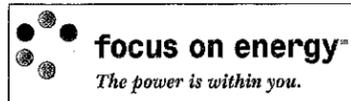


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**PURCHASE ORDER**  
Required

THIS HOME IS BUILT TO THE STANDARDS OF THE FOCUS ON ENERGY PROGRAM



**DWELLING SQUARE FOOTAGES**

<b>LIVING AREAS:</b>	
FIRST FLOOR LIVING AREA:	2032 S.F.
SECOND FLOOR LIVING AREA:	--- S.F.
FINISHED LOWER LEVEL LIVING AREA:	1326 S.F.
<b>TOTAL LIVING AREA:</b>	<b>3358 S.F.</b>
<b>NON-LIVING AREAS:</b>	
FRONT PORCH AREA:	292 S.F.
GARAGE AREA:	677 S.F.
UNFINISHED BASEMENT AREA:	565 S.F.

**KINGS WAY HOMES, L.L.C.**

700 PILGRIM PARKWAY  
 SUITE 100  
 ELM GROVE, WI.  
 Phone (262) 797-3600

**CUSTOM HOME**

RESIDENCE FOR:

STEVE & ELISA FILIPP

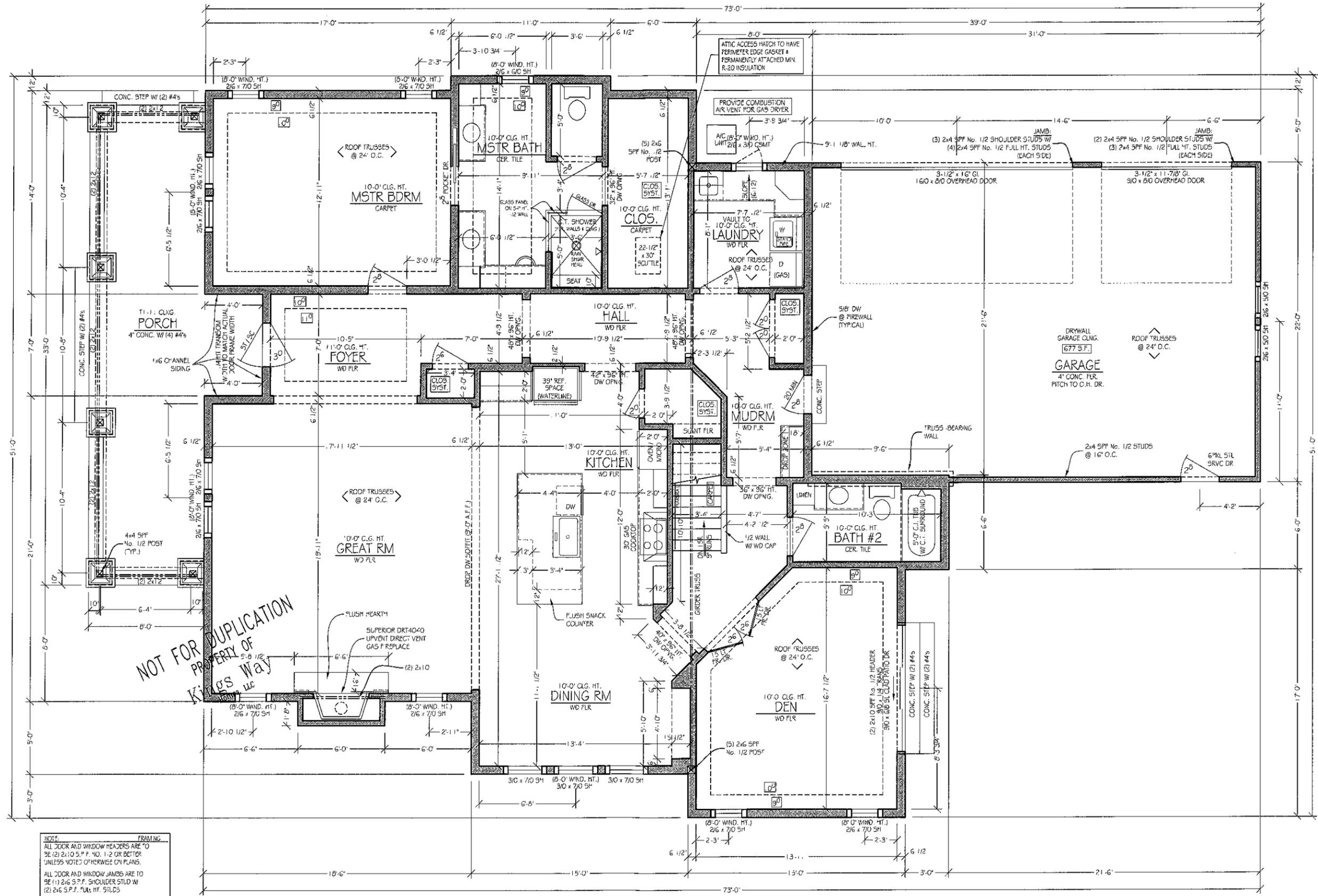
DATE REVISED

06/15/15 08/26/15  
 06/23/15  
 07/01/15  
 07/08/15  
 08/24/15

SHEET NO. #

1

CLIENT FIL5452

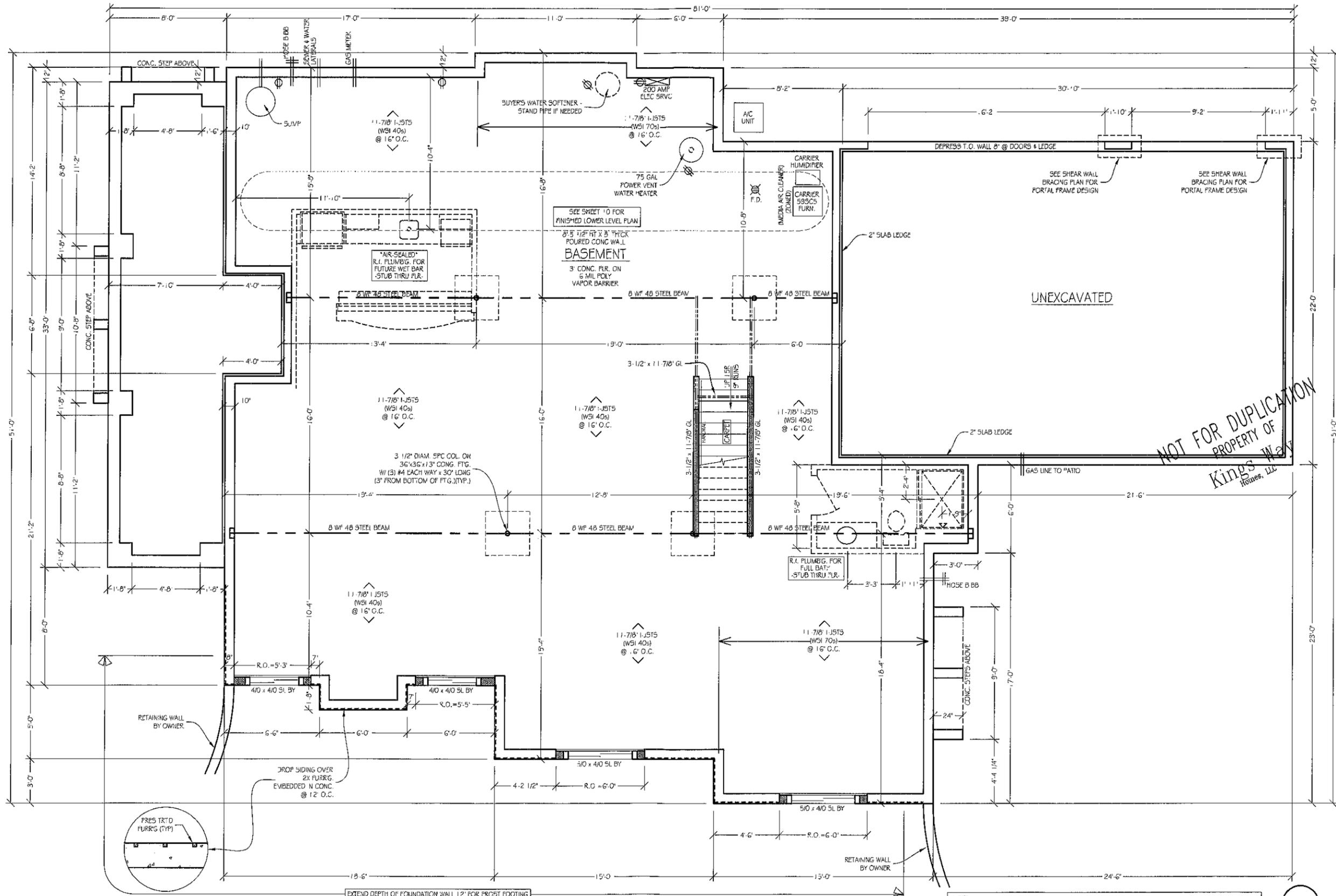


**NOTE:**  
 ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.P.F. NO. 1 OR BETTER (UNLESS NOTED OTHERWISE ON PLANS).  
 ALL DOOR AND WINDOW JAMBS ARE TO BE (1) 2x6 S.P.F. SHOULDER STUD W/ (2) 2x6 S.P.F. FLR. HT. STUDS.  
 SOLID BLOCKING UNDER ALL POSTS.  
**U.N.O.:**  
 2x4 GARAGE EXTERIOR WALL FRAMING  
 2x4 HOUSE INTERIOR WALL FRAMING @ 16" O.C.  
 2x6 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.

20325.F.  
**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**NOTE:**  
 6'-8" HT. DOORS THROUGHOUT 1ST FLOOR (UNLESS NOTED OTHERWISE ON PLAN)



NOT FOR DUPLICATION  
PROPERTY OF  
Kings Way  
Homes, LLC

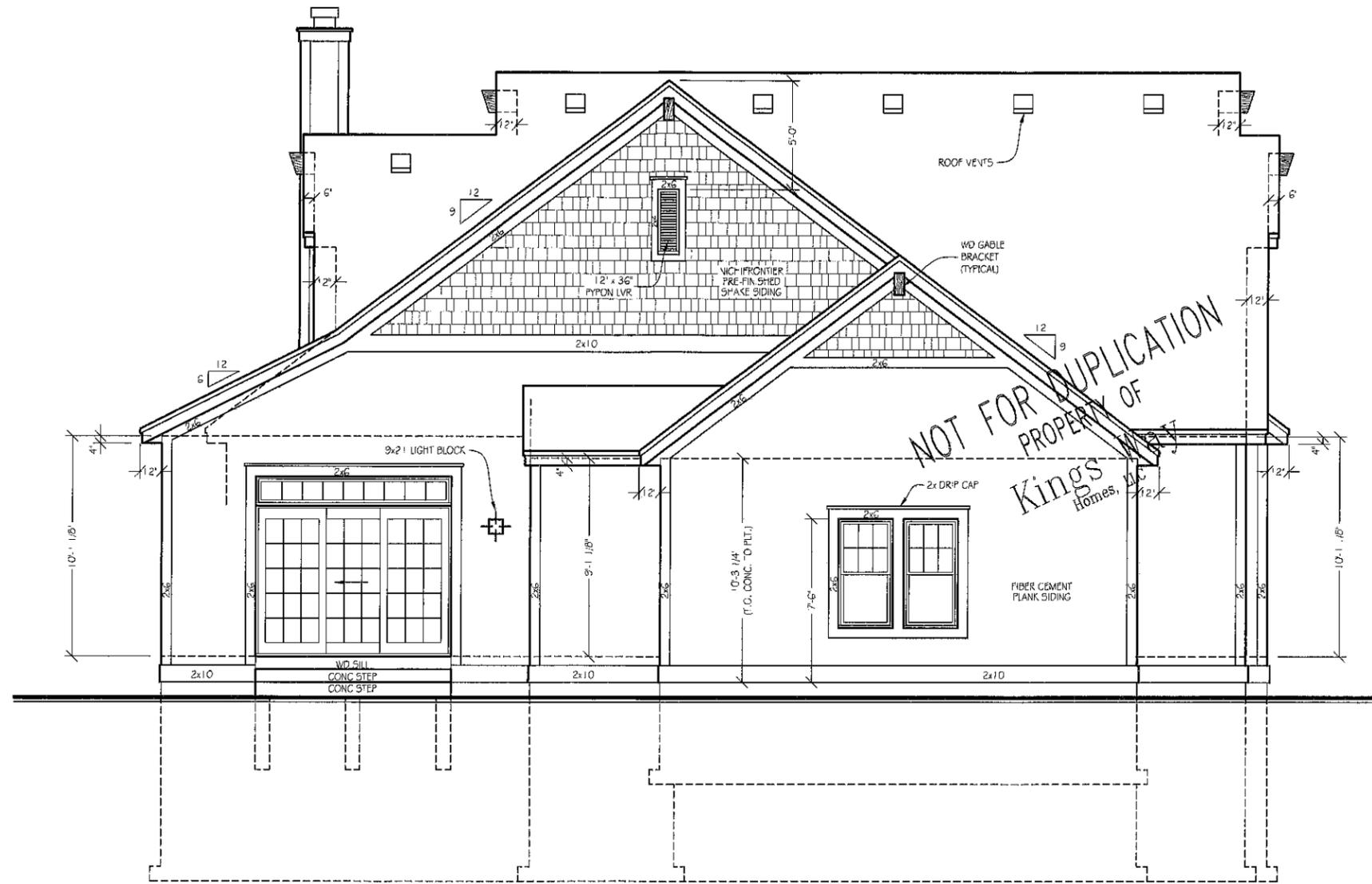
### BASEMENT PLAN

SCALE: 1/4" = 1'-0"

- NOTE:
- 3RD WATER LINE FOR BUYER'S WATER SOFTENER - INCLUDES T<sub>s</sub>, VALVES & ELEC OUTLET
  - PASSIVE RADON MITIGATION SYSTEM - SEALED SUMP CROCK W/ 1-1/2" VENT PIPE THROUGH ROOF
  - HVAC SEAMWRAPS

3

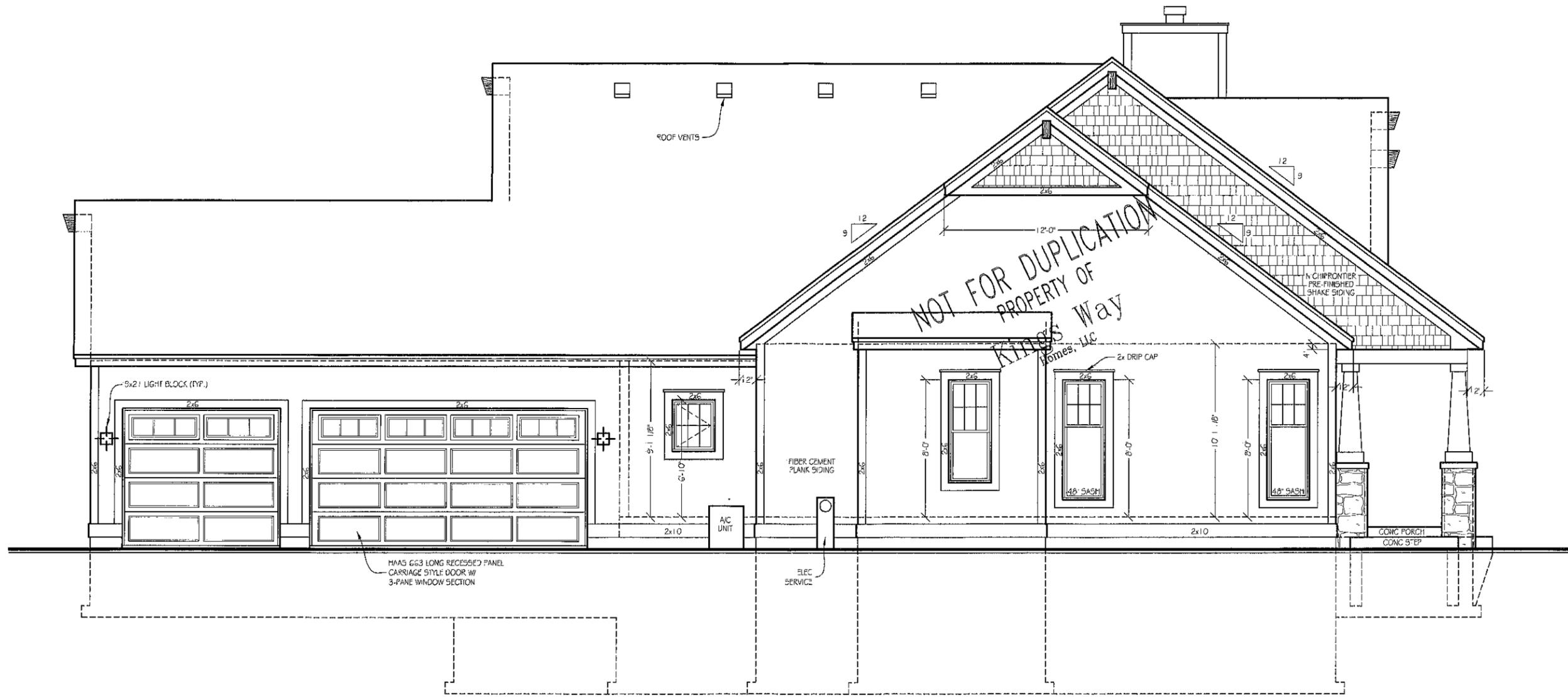
CLIENT FIL5452



NOT FOR DUPLICATION  
PROPERTY OF  
Kings  
Homes, Inc.

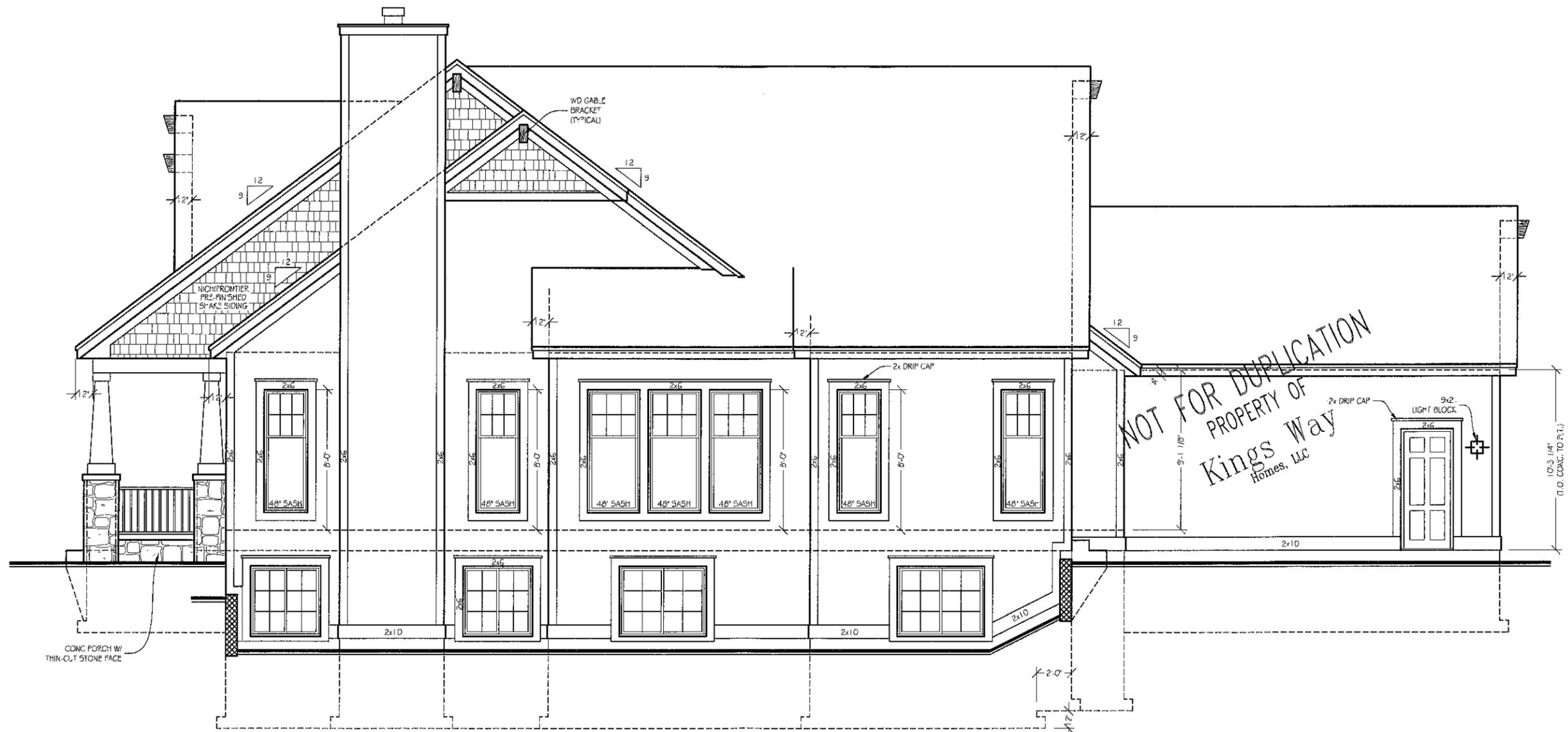
REAR ELEVATION

SCALE: 1/4" = 1'-0"



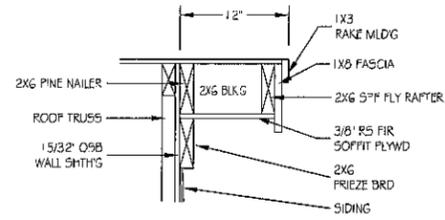
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



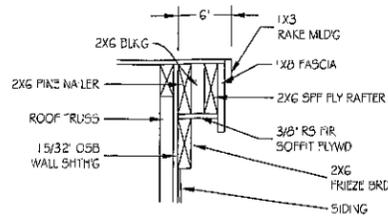
**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



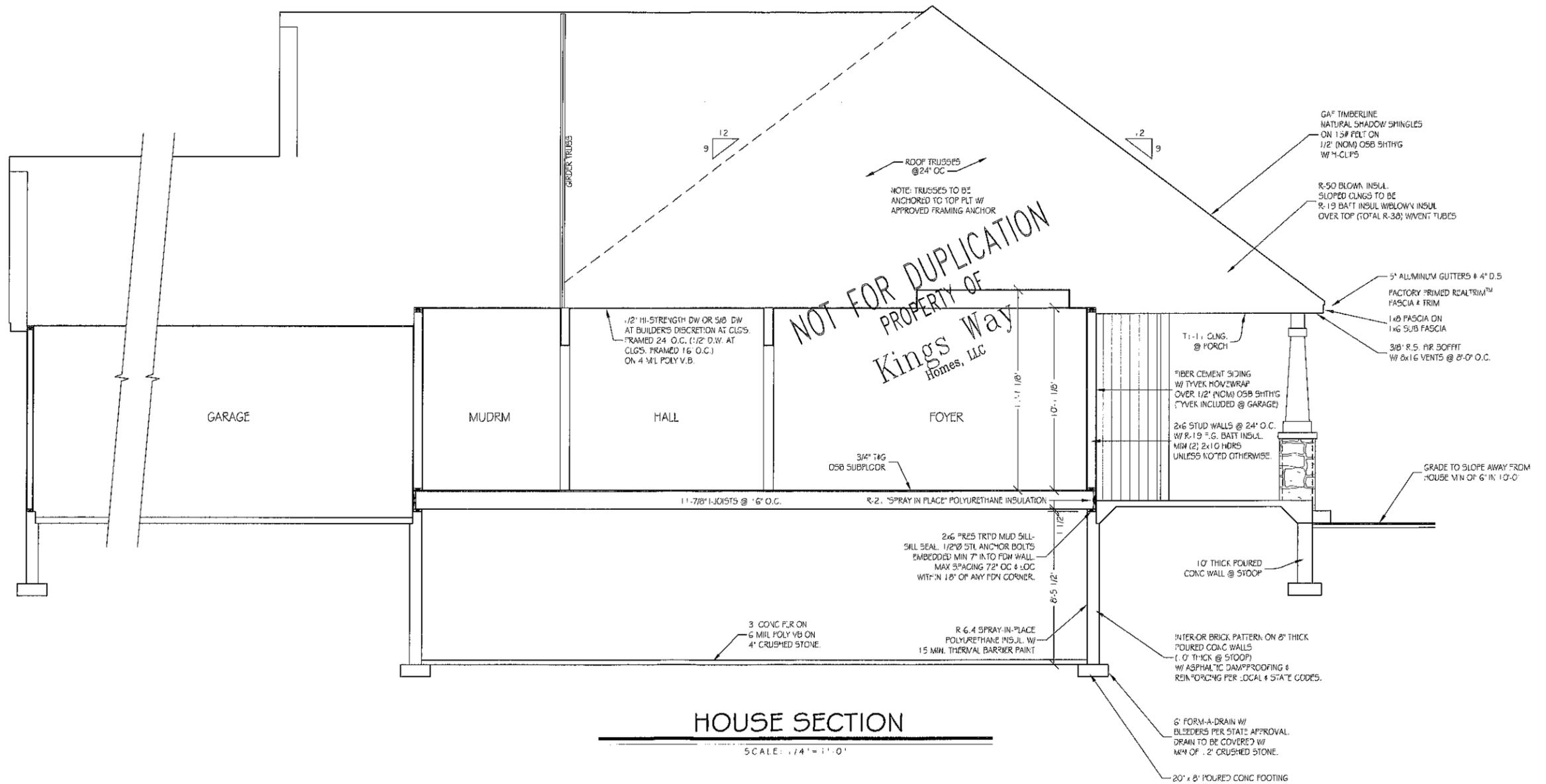
**DBL RAKE DETAIL LOOKOUT**

SCALE: 1" = 1'-0"



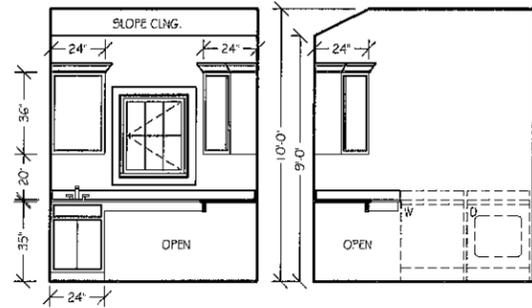
**DBL RAKE DETAIL**

SCALE: 1" = 1'-0"



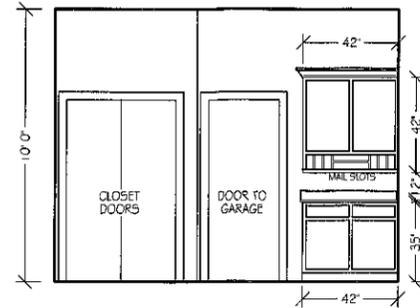
**HOUSE SECTION**

SCALE: 1/4" = 1'-0"



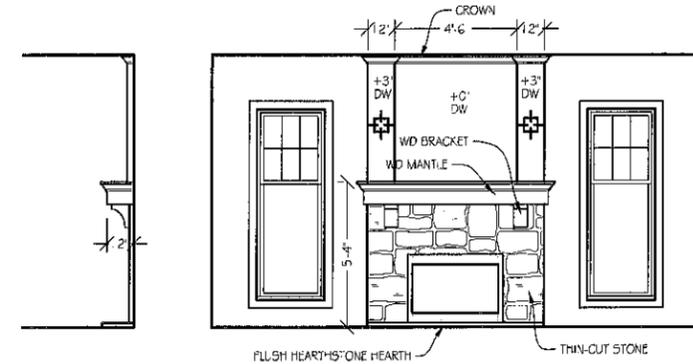
LAUNDRY RM

SCALE: 1/4" = 1'-0"



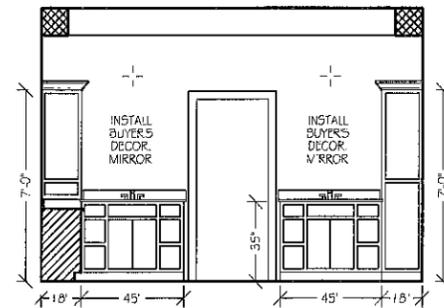
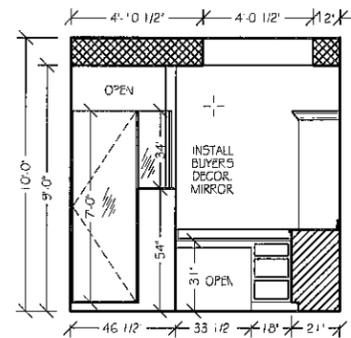
MUDRM

SCALE: 1/4" = 1'-0"



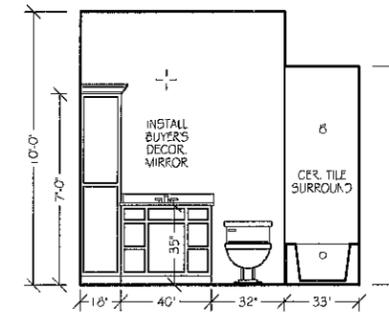
GREAT RM

SCALE: 1/4" = 1'-0"



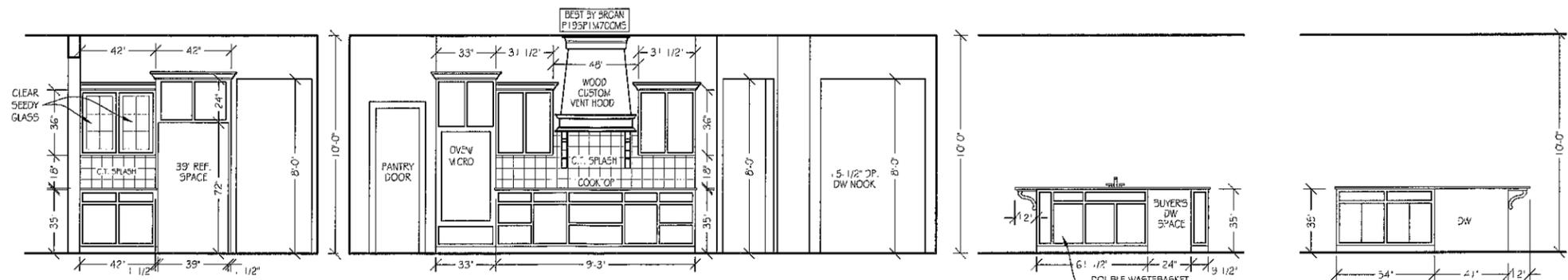
MASTER BATH

SCALE: 1/4" = 1'-0"



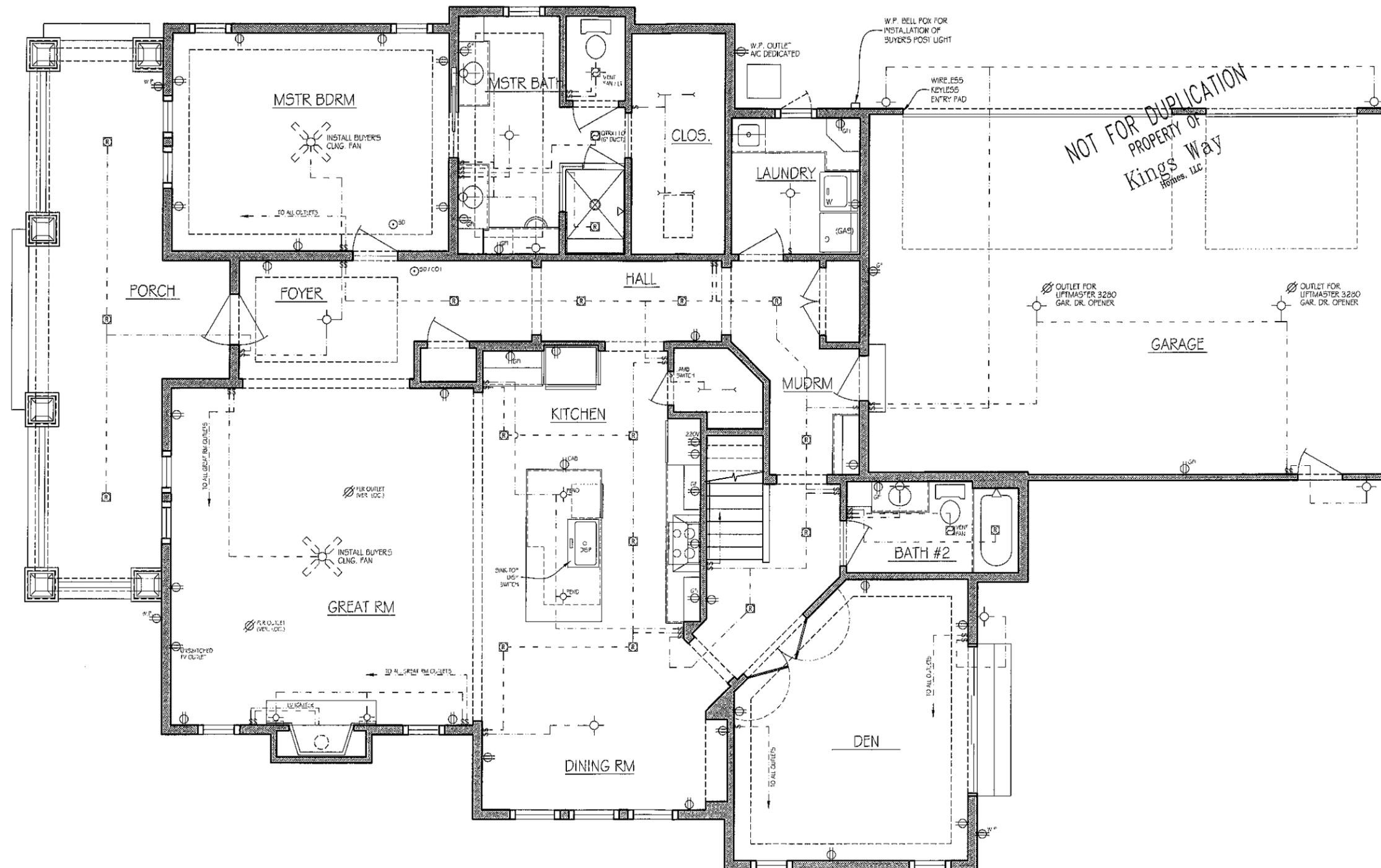
BATH #2

SCALE: 1/4" = 1'-0"



KITCHEN CABINET ELEVATIONS

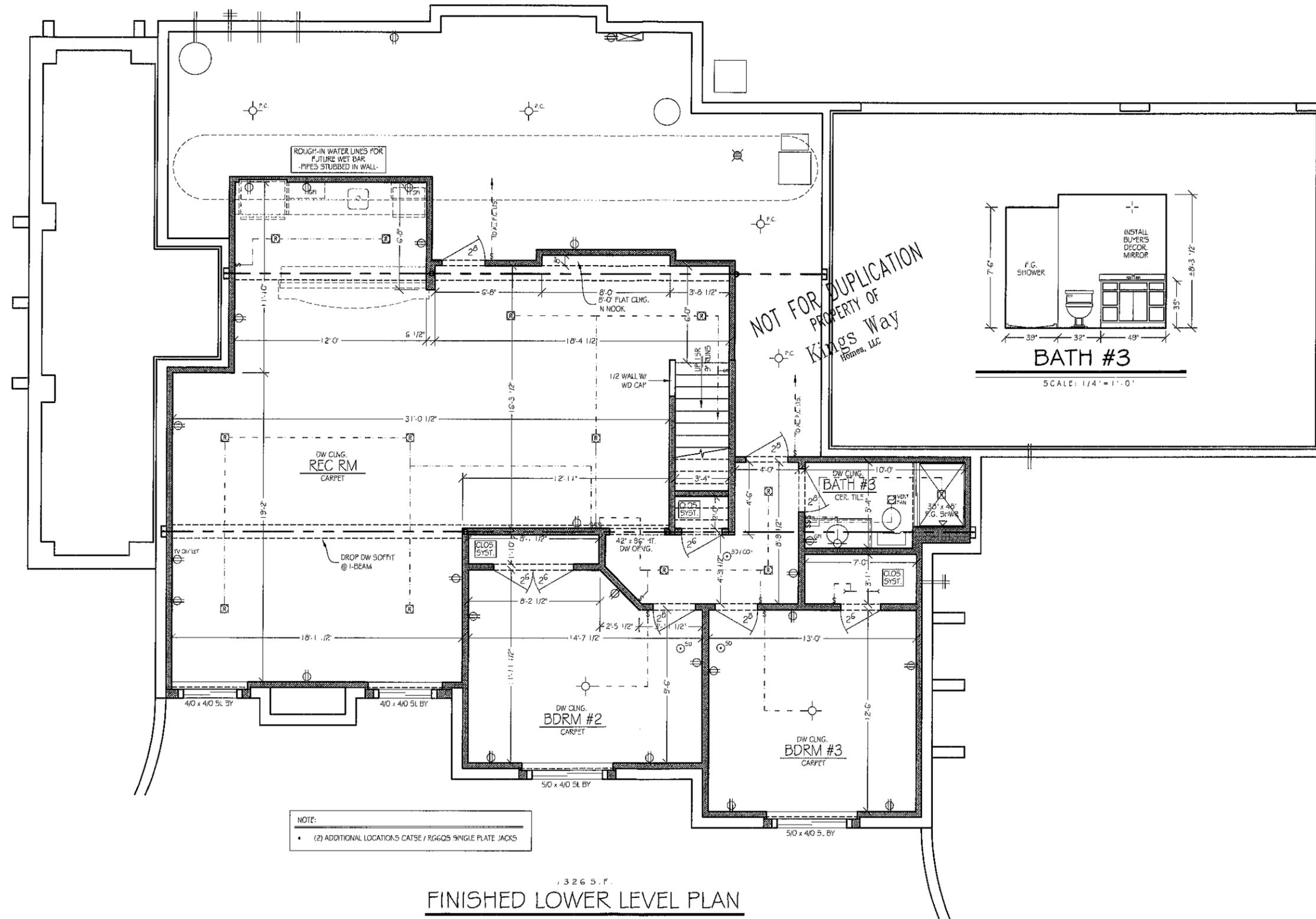
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:  
 • (4) LOCATIONS CAT3E / RG6QS SINGLE PLATE JACKS  
 • SINK-TOP SWITCH FOR DISPOSAL







ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430  
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR ARCHITECTURAL BOARD

Job Address <u>229 Lawn St Hartland, WI</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>St Charles Food Pantry</u>		EMAIL <u>motherdurmick@hotmail</u>	Phone <u>262 361-4616</u>
Address		City	State      Zip
<sup>Contact</sup> Contractor <u>Mickey Durmick</u>	Phone <u>262 361-4616</u>	FAX	EMAIL
Address		City	State      Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:**

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_



# 75

ADMINISTRATION  
210 COTTONWOOD AVENUE  
HARTLAND, WI 53029  
PHONE (262) 367-2714  
FAX (262) 367-2430

DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT

PERMIT # \_\_\_\_\_

JOB LOCATION St Charles SVDP Food Pantry TAX KEY # \_\_\_\_\_  
OWNER Dan + Mary Taylor PHONE \_\_\_\_\_  
ADDRESS 229 Lawn St CITY Hartland STATE WI ZIP 53029  
CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

SIGN TYPE:  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

St Charles  
Hartland Catholic Community FOOD PANTRY  
SVDP

OVERALL DIMENSIONS OF SIGN 48 x 12 COLOR OF BACKGROUND white  
SIZE OF LETTERS IN INCHES 4" COLOR OF LETTERS BLACK + gold + blue  
CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) \_\_\_\_\_

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 375<sup>00</sup>

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Michelle M. Durmick DATE 9/2/15

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

COMMENTS: \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_ DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_



**CUSTOMER NAME:** SAINT CHARLES SCHOOL  
**SALES ORDER #** PRO  
**SALES EXECUTIVE** CHRISTIAN  
**ORDER DATE** 8/4/15  
**PROOF DATE** 8/5/15

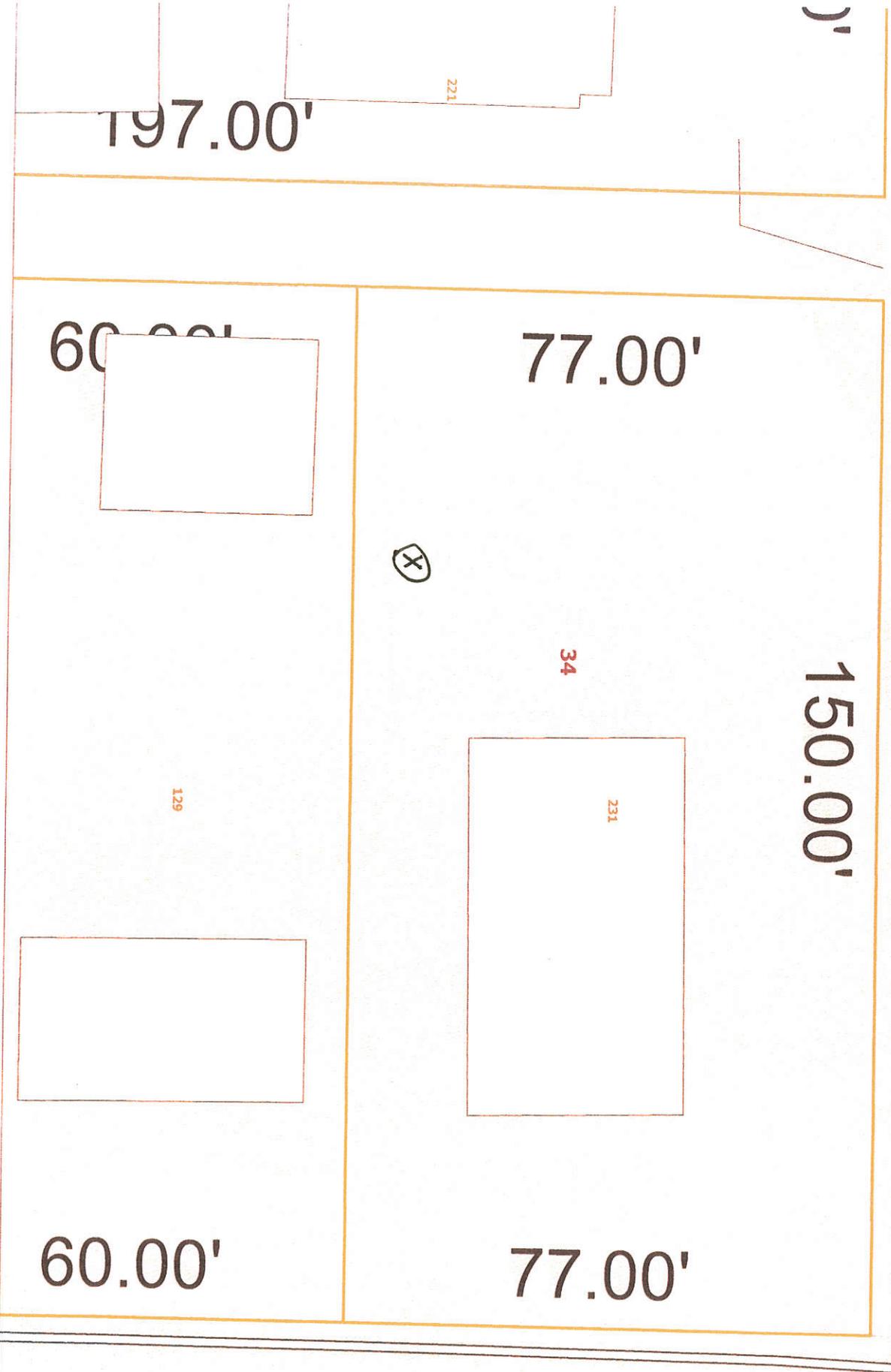
<b>COLOR OF PRODUCT</b>	DBD-WHITE WITH BLACK	<b>SPECIAL INSTRUCTIONS</b>
<b>ITEM</b>	GLS 48" X 24"	
<b>RESIN POURED</b>	YES	
<b>RESIN COLORS</b>	PMS 1985 C (CUSTOM FELLOW), B (MILITARY CHARLES FOOD & TRIP ONLY)	



**Customer Approval**

By approving the above layout for production, the customer approves of the layout, spelling, colors and any other modifications that are shown or described. Resin colors are approximated unless specifically requested, due to the limitations and inconsistencies of various monitors, colors may not be an accurate representation of the product. Approval of this proof begins production immediately and is non-returnable.

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197.00'

221

60.00'

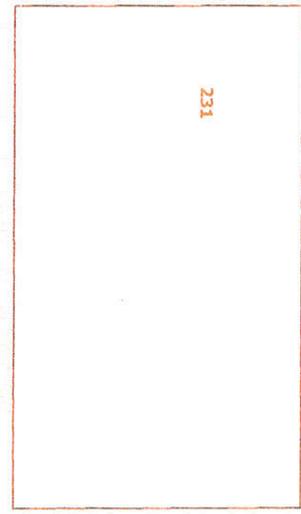
77.00'



129

(X)

34



231

150.00'

60.00'

77.00'

35

(X) ~ sign

St Charles SVDP Food Pantry







CHARLES W LIPPERT  
226 LAWN ST  
HARTLAND WI 53029

RICHARD NOWAKOWSKI  
PATRICIA NOWAKOWSKI  
220 LAWN ST  
HARTLAND WI 53029-1706

PRESCOTT F LAIRD  
RAECHAL M LAIRD  
214 LAWN ST  
HARTLAND WI 53029-1706

JACOB R ZUEHL  
JENNETT M ZUEHL  
306 LAWN ST  
HARTLAND WI 53029-1708

PETER D GLOWINSKI  
AMANDA R GLOWINSKI  
230 LAWN ST  
HARTLAND WI 53029

MARJORIE M PURGETT LIVING TRUST  
ROBERT J GOETZ  
16780 WILD CHERRY DR  
BROOKFIELD WI 53005

BRICK LAWN LLC  
1003 WOODS DR  
HARTLAND WI 53029-2905

MICHAEL STOLL  
SARAH STOLL  
221 LAWN ST  
HARTLAND WI 53029

JOSEPH D MCCORMICK  
101 N MILL ST  
MADISON WI 53701

JEFFERY L HEIMSCH  
LAURA J HEIMSCH  
129 CHURCH ST  
HARTLAND WI 53029

MARJORIE PURGETT TRUST  
ROBERT J GOETZ  
16780 WILD CHERRY DR  
BROOKFIELD WI 53005

BENJAMIN LYONS  
CANDIDA LYONS  
123 CHURCH ST  
HARTLAND WI 53029

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>122 Cottonwood Ave</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>Steve Berger</u>		Phone <u>262-367-6627</u>	
Address <u>Same</u>		City	State   Zip
Contractor <u>Signarama</u>		Phone <u>262-641-9911</u> FAX <u>641-9995</u>	E-Mail Address <u>kw@signarama-pewaukee.com</u>
Address <u>601 Ryan St</u>		City <u>Pewaukee</u>	State <u>WI</u>   Zip <u>53072</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

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**Commercial/Industrial/Multifamily:**

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Date Applied: \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_





*Projection Sign  
3' x 3'*

*3' x 4' sign w/ light*



CEMENT FIBER PANEL AND TRIM

NORTH ELEVATION  
1/4" = 1'-0"

ALUMINUM AND GLASS OVERHEAD DOOR

ALUMINUM AND GLASS OVERHEAD DOOR

ALUMINUM AND GLASS OVERHEAD DOOR

DUPLEX OUTLET ON GFI

CUL ANE

*3' x 4' sign w/ light*



FIBER CEMENT HORIZONTAL SIDING

RECESSED CAN LIGHT

SIMULATED SHAKE FIBERGLASS SHINGLE

CEMENT FIBER TRIM BOARDS

CULTURED STONE VENEER AND SILL

WEST ELEVATION  
1/4" = 1'-0"



**CUSTOMER INFO:**

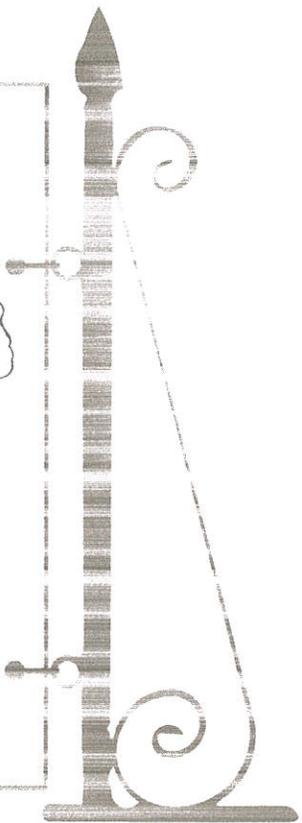
**COMPANY NAME/CONTACT:**

**ADDRESS:**

**PHONE#:**

**SIGNARAMA PEWAUKEE REQUIRES THAT YOU REVIEW THE ATTACHED PROOF AND ADVISE WHETHER PROOF IS APPROVED FOR PRODUCTION. AN EMAIL REPLY IS REQUIRED TO START PRODUCTION.**

**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION, PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**



**36"**

**Lake Country  
Bed Barn**

**WHOLESALE MATTRESSES**

**36"**

THIS RENDERING IS INTENDED AS A SAMPLE ONLY. COLOR, TEXTURE, MEASUREMENTS AND ACTUAL APPEARANCE MAY VARY SLIGHTLY FROM WHAT YOU WILL RECEIVE. © COPYRIGHT 2014 Signarama Inc.

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**50% DEPOSIT DUE AT TIME OF ORDER/FULL amount if under \$100) balance due upon time of completion.**

**I HAVE READ AND AGREE TO ALL TERMS.**

**INITIAL** \_\_\_\_\_

**Pewaukee  
Signarama**



601 B Ryan St Pe waukee, W 53072

Phone: 262-691-9994 Fax: 26 2-691-6995

www.signarama.com

**I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.**

**CUSTOMER APPROVAL SIGNATURE:** \_\_\_\_\_

**PRINT** \_\_\_\_\_

**DATE:** \_\_\_\_\_

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STEVEN S JOST  
LESLIE F JOST  
N29W26138 STEEPLECHASE DR  
PEWAUKEE WI 53072

MARGRIT MEIER  
MAX MEIER FAMILY TRUST  
110 COTTONWOOD AVE  
HARTLAND WI 53029

EPPLER ENTERPRISES LLC  
502 W 5TH ST  
OCONOMOWOC WI 53066

COTTONWOOD INVESTMENTS INC  
724 WINSTON WAY  
HARTLAND WI 53029-2538

CARL W ZEUTZIUS  
CHRISTINE A ZEUTZIUS  
N68W30836 CLUB CIR E  
HARTLAND WI 53029

PREMIER HOLDINGS LLC  
134 COTTONWOOD AVE  
HARTLAND WI 53029

HL SALONS LLC  
140 COTTONWOOD AVE  
HARTLAND WI 53029

MAUREEN SLATTERY  
THOMAS SLATTERY  
128 COTTONWOOD AVE  
HARTLAND WI 53029-2015

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>139 E CAPITOL DR HARTLAND WI 53029</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>JIM MUENZENBERGER</u>			Phone <u>(262) 307-2750</u>
Address <u>139 E CAPITOL</u>		City <u>HARTLAND</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>KEN SCARIE</u>		Phone <u>(262) 691-9944</u> FAX <u>-</u>	E-Mail Address <u>ken@signarama-pewaukee.com</u>
Address <u>601 RYANST UNIT B</u>		City <u>PEWAUKEE</u>	State <u>WI</u> Zip <u>53072</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

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Date Applied: \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_

DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT

PERMIT # \_\_\_\_\_

JOB LOCATION 139 E CAPITOL UNIT 7 HARTLAND TAX KEY # \_\_\_\_\_  
OWNER JIM MUENZENBERGER PHONE \_\_\_\_\_  
ADDRESS 139 E CAPITOL CITY HARTLAND STATE WI ZIP 53029  
CONTRACTOR TON SCHARFE PHONE (202) 691-0994  
ADDRESS 101 RYAN ST UNIT B CITY CONROCK STATE WI ZIP 53072

SIGN TYPE:  WALL     PROJECTING     AWNING, CANOPY     GROUND  
 PORTABLE/TRAINING     REAL ESTATE PERM.     REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:  
www.codayoga.com    CODA YOGA STUDIO,  
(WINDOW DECAL)

OVERALL DIMENSIONS OF SIGN 76" x 40" COLOR OF BACKGROUND WHITE  
SIZE OF LETTERS IN INCHES 4" + 3 3/4" COLOR OF LETTERS BLACK

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)  
VIA VINYL

ILLUMINATED?     YES     NO     INTERNALLY     EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 294.84

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HEREWITH AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 9/2/16  
(LARA GREEN)

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_ DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

SEE Pg. 1

JOB LOCATION \_\_\_\_\_ TAX KEY # \_\_\_\_\_  
OWNER \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

**SIGN TYPE:**    WALL    PROJECTING    AWNING, CANOPY    GROUND  
 PORTABLE/TRAINING    REAL ESTATE PERM.    REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:  
(3 DOUBLE SIDED INSERTS) : CODA VOCA STUDIO, PHONE,  
WEBSITE, DAILY SCHEDULE, MON-SAT, 1 DAY PRINTED  
FOR EACH SIDE.

OVERALL DIMENSIONS OF SIGN <sup>SIGN:</sup> STAND: 41" x 27", 24" x 36" COLOR OF BACKGROUND WHITE

SIZE OF LETTERS IN INCHES VARYING COLOR OF LETTERS BLACK

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)  
COROPLAST INSERTS ON SIGNICADE A FRAME

ILLUMINATED?    YES    NO    INTERNALLY    EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 426.97

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 9/31/15  
(LARA UROY)

PLANS APPROVED:   ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED:   BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**TOTAL FEES:** \_\_\_\_\_   **DATE PAID** \_\_\_\_\_   **RECEIPT #** \_\_\_\_\_

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

SEE PG. 1

JOB LOCATION \_\_\_\_\_ TAX KEY # \_\_\_\_\_  
OWNER \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

**SIGN TYPE:**    WALL    PROJECTING    AWNING, CANOPY    GROUND  
 PORTABLE/TRAINING    REAL ESTATE PERM.    REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:  
\_\_\_\_\_ CODA VOCA STUDIO W \_\_\_\_\_  
\_\_\_\_\_ SMALL ARROW \_\_\_\_\_  
\_\_\_\_\_

OVERALL DIMENSIONS OF SIGN 36" x 36"   COLOR OF BACKGROUND WHITE  
SIZE OF LETTERS IN INCHES 4" + 2 1/4"   COLOR OF LETTERS BLACK

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)  
ALUMINUM SUBSTRATE BACKGROUND, HANGING STEEL BRACKET

ILLUMINATED?    YES    NO    INTERNALLY    EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 554.09

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature]   DATE 9/3/15  
(LARA LEBLEY)

PLANS APPROVED:   ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED:   BUILDING INSPECTOR \_\_\_\_\_   DATE \_\_\_\_\_

**TOTAL FEES:** \_\_\_\_\_   **DATE PAID** \_\_\_\_\_   **RECEIPT #** \_\_\_\_\_

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

SEE PG. 1

JOB LOCATION \_\_\_\_\_ TAX KEY # \_\_\_\_\_  
OWNER \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

**SIGN TYPE:**  WALL     PROJECTING     AWNING, CANOPY     GROUND  
 PORTABLE/TRAINING     REAL ESTATE PERM.     REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:  
PLEASE USE OTHER DOOR (WINDOW/DOOR DECAL)

OVERALL DIMENSIONS OF SIGN 11" x 6"    COLOR OF BACKGROUND BLACK  
SIZE OF LETTERS IN INCHES 1.5"    COLOR OF LETTERS WHITE

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)  
VINYL

ILLUMINATED?     YES     NO     INTERNALLY     EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 47.29

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature]    DATE 9/3/15  
(LARA LINDSEY)

PLANS APPROVED:    ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED:    BUILDING INSPECTOR \_\_\_\_\_    DATE \_\_\_\_\_

**TOTAL FEES:** \_\_\_\_\_    **DATE PAID** \_\_\_\_\_    **RECEIPT #** \_\_\_\_\_

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

PERMIT # \_\_\_\_\_

JOB LOCATION \_\_\_\_\_ TAX KEY # \_\_\_\_\_  
OWNER \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

**SIGN TYPE:**  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

(BUILDING DIRECTORY-OUTDOOR) CODA YOGA STUDIO

OVERALL DIMENSIONS OF SIGN 48" x 10" COLOR OF BACKGROUND BLACK

SIZE OF LETTERS IN INCHES 3" COLOR OF LETTERS WHITE

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) DI BOARD

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ \_\_\_\_\_

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 9/3/15  
(LARA LIBBY)

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_ DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_

SEE PAGE 1

Signarama - Pewaukee  
 KMS Sales Incorporated  
 601 Ryan Street Unit B  
 Pewaukee WI 53072  
 United States  
 Phone: 262-691-9994  
 Fax : 262-691-9995  
 ken@signarama-pewaukee.com  
 www.signarama-pewaukee.com  
 EIN # : 45-2831066



**Quote 4206 - New Building Signage**

**Expiration Date : 10/03/2015**

Quote for	Contact	Shipping/Install
<b>Coda Yoga Studio</b> 139 E. Capitol Drive Hartland Wisconsin 53029 United States	<b>Lara Lirely</b> Phone : (414) 231-1918 Email : lelirely@gmail.com Address : 139 E. Capitol Drive Hartland Wisconsin 53029 United States	

Quote #	Quote Date	Sales Rep	Payment Terms	PO	PO Date
4206	09/03/2015	<b>Ken Skarie</b> Ken@signarama-pewaukee.com (262) 422-5881	50/50		

**Items**

#	Item	Qty	Unit Price	Total	Tax	Total (With Tax)
1	<b>Hanging Wall Sign - .080 Aluminum</b> .080 Aluminum W:36.0 in. X H:36.0 in. , Double Sided, 6 Color Process Digitally printed and laminated vinyl graphics produced two-sided on .080 Aluminum substrate. 36-inch Deluxe Scroll Bracket - Spear Point Finial •Decorative spear point finial end •Fits sign blanks up to 36" in width •Solid steel construction •3/16" Thick steel 14"H x 3"W backplate for mounting to flat surfaces •Suspension rings spaced at 22" centers (+/- 1/2") •Wrought iron style flat bar scroll element •Stock color: Satin black powder coat Installation included.	1	\$527.20	\$527.20	\$26.89	\$554.09
2	<b>Large Window Graphics - RTA Vinyl</b> W:76.0 in. X H:40.0 in., Digitally Printed 6 Color Process Digitally printed and laminated vinyl graphics produced to customer approved artwork. All artwork and set-up charges included. Installation included.	1	\$280.53	\$280.53	\$14.31	\$294.84
3	<b>Please Use Other Dood Sign - RTA Vinyl</b> W:11.0 in. X H:6.0 in., 1 color - White Ready to apply cut vinyl graphics produced to customer approved artwork. All artwork and set-up charges included. Installation included.	1	\$45.00	\$45.00	\$2.29	\$47.29

#	Item	Qty	Unit Price	Total	Tax	Total (With Tax)
4	<b>Signicade Deluxe A-Frame Stand</b> White Signicade Deluxe A-Frame sign. * Signicade Quick Change Two-sided Sign * Stay Tabs hold sign securely in place yet allow for easily sliding signs in and out. * Overall Dimensions: 46.375"H x 27.125"W * Sign Blank: 36"H x 24"W; Weight 20 Lbs.	1	\$125.00	\$125.00	\$6.38	\$131.38
5	<b>Signicade Deluxe - Coroplast 4 mm</b> Coroplast 4 mm W:24.0 in. X H:36.0 in.; Double Sided Digitally printed and laminated vinyl graphics produced two sided on 4 mm Coroplast to customer approved artwork. All artwork and set up charges included.	3	\$93.75	\$281.25	\$14.34	\$295.59

**Terms And Conditions**

Invoices & Cancellation of Orders: Sign-A-Rama (Vendor) prepares your order according to your specifications. Therefore, prior to its commencement, your order is only cancelable with the Vendor's prior written consent. After commencement of your order (the point at which materials are assembled and work has begun), your order is non-cancelable. The Customer is Solely Responsible for Proofreading. Vendor does not assume any responsibility for the correctness of copy. Therefore, you must review and sign a proof prior to our commencement of your order. By signing your proof, you approve of its content and release the Vendor to commence our work. You are solely responsible for the content of the proof once it has been signed. However, if we should make an error in producing the work as proofed, please be assured that we will redo the work as quickly as possible and without charge to you. Vendor's Liability: Vendor's total liability is hereby expressly limited to the services indicated on the invoice and Vendor will not be liable for any subsequent damages, consequential damages, or otherwise. All dates promised on this invoice are approximations unless the word "firm" is written and acknowledged by the Vendor.

Terms of Payment: Upon ordering, you must give Vendor a 50% deposit. Your balance will be due upon delivery and/or installation. Vendor may, at its sole discretion, extend credit terms to you upon approval. Collection Procedures: Invoices are considered delinquent thirty (30) days from the date that your order is completed. After the thirtieth day, a late charge of \$25.00, together with interest accruing at the rate of 1.5% per annum, or the maximum rate allowable by law is assessed. You shall be liable for all costs related to collection of delinquent invoices, including court costs and attorney's fees. Customer's Acceptance of Work: Customer's acceptance, either personal or through his/her agent(s) and/or employee(s) of the work ordered shall be deemed as full acceptance. This means that by accepting delivery of the work, customer affirms that the work substantially conforms to all expectations. Lost or Substantially Forgotten Work: If customer does not take possession of completed work within thirty (30) days from notification of completion, then the work will be considered lost or forgotten, and vendor will not be responsible for further loss. Customer will be billed and responsible for payment for work that has been completed.

Please circle the option above that you want and sign below

for **Coda Yoga Studio**

<b>Signature</b>	<b>Date</b>
------------------	-------------

We agree to your terms and conditions. Please proceed with the order.

**CUSTOMER INFO:**

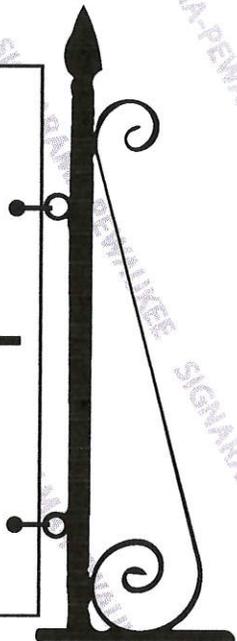
**COMPANY NAME/CONTACT:**

**ADDRESS:**

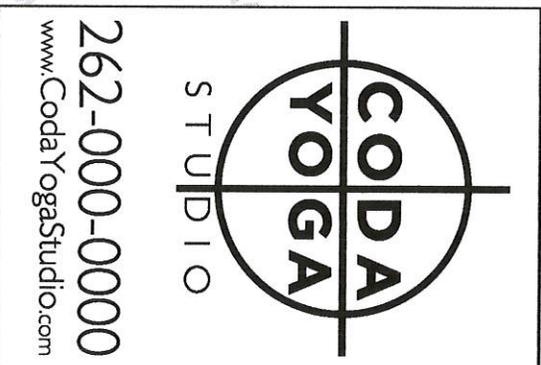
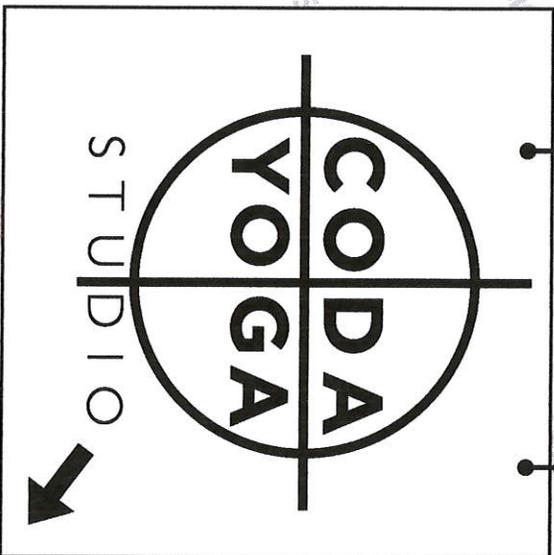
**PHONE#:**

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**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**



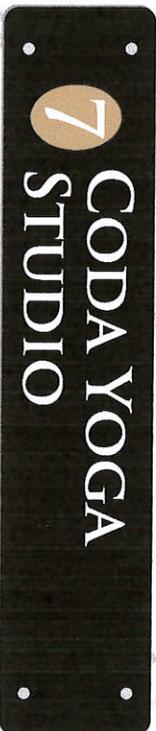
24x36" Signcade



36"

36"

48x10" Directory



Decal 11x6"

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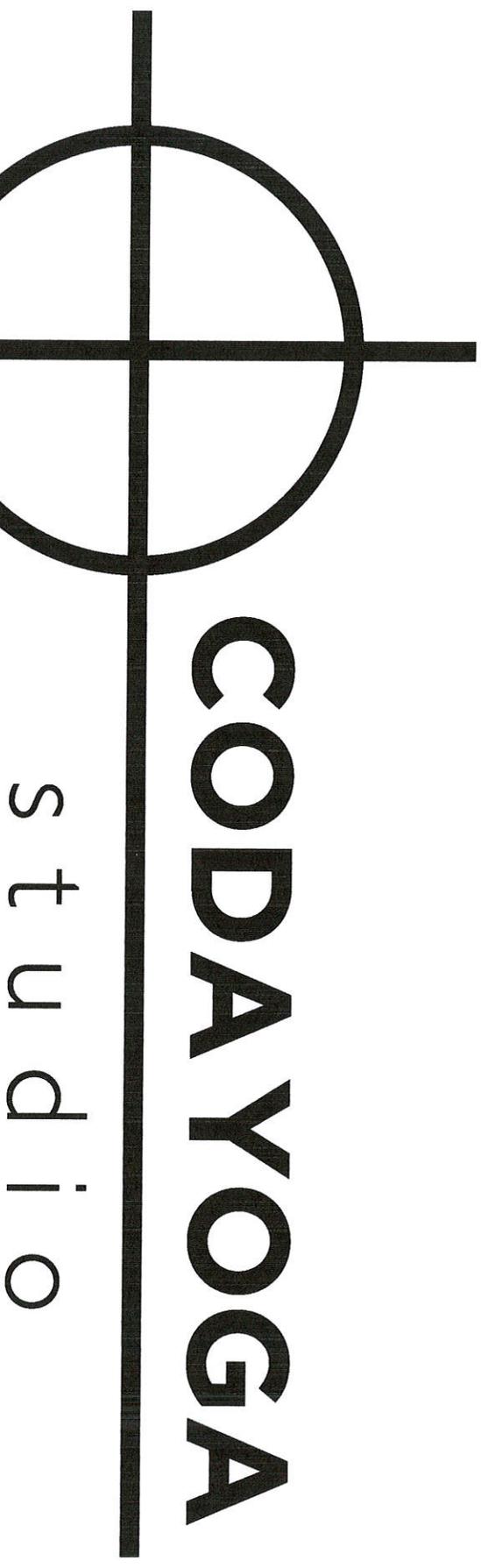
**50% DEPOSIT DUE AT TIME OF ORDER/full amount if under \$100, balance due upon time of completion. I HAVE READ AND AGREE TO ALL TERMS. INITIAL \_\_\_\_\_**



601B Ryan St. Pewaukee, WI 53072  
Phone: 262-691-9994 Fax: 262-691-9995  
www.signarama-pewaukee.com • info@signarama-pewaukee.com

I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.  
CUSTOMER APPROVAL SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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[www.CodaYogaStudio.com](http://www.CodaYogaStudio.com)

*\*\*Black represents Window*

76x60" Window Size



"CODA YOGA STUDIO"  
W/ KERRON SANG DIMONSON,  
SANG HEUHT.  
SANG BRACKET.

SIDEWALK CLEARANCE:

9' 6.5"

MOUNTED -

BOTTOM: 12' 7"

TOP: 13' 9"

# 139 E. CAPITOL BUILDING

MAIN LEVEL

1 GENERATIONS  
DENTAL

2 DÉCOR ADORE

3 DÉCOR ADORE

CALL FOR LEASING OPPORTUNITIES  
262-367-2750

LOWER LEVEL

4 GERLACH  
COMPANIES

5 GERLACH  
COMPANIES

AVAILABLE  
262-367-2750

"CODA VOCA STUDIO"

ADDED TO DIRECTORY

W/ #7

"CODA YOGA STUDIO" ON WALL DIRECTORY

"CODA YOGA STUDIO" + WEBSITE ON LEFT WINDOW

"PLEASE USE OTHER DOOR" ON DOOR ON LEFT SIDE OF PICTURE



# SITE PLAN



## CORRECTION

- RENDERING SHOWS WWW.CODAYOGASTUDIO.COM,  
WEBSITE IS WWW.CODAYOGA.COM AND WILL REFLECT  
ON FINAL SIGNAGE.
- SANDWICH BOARD WILL ALSO SHOW A DAILY  
SCHEDULE. ONE DAY PER SIDE ON 3 INSERTS.

CRESTHAVEN INVESTMENTS LLP  
W330N6209 HASSLINGER DR  
NASHOTAH WI 53058

EMANDEMCO LLC  
142 E CAPITOL DR STE 300  
HARTLAND WI 53029

P RADNEK  
J BOWAN  
128 E CAPITOL DR  
HARTLAND WI 53029

BRASS INVESTMENTS LLC  
151 E CAPITOL DR  
HARTLAND WI 53029

SSI WALKER PROPERTIES LLC  
143 E CAPITOL DR  
HARTLAND WI 53029

ARKAD GROUP  
139 E CAPITOL DR  
HARTLAND WI 53029

131/133 EAST CAPITOL LLC  
420 RAVENSWOOD HILLS CIR  
BROOKFIELD WI 53045

RENEE M EVERT  
170 WARREN AVE  
HARTLAND WI 53029

FLANAGAN-DORN POST #294  
AMERICAN LEGION  
231 GOODWIN AVE  
HARTLAND WI 53029

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

JOB LOCATION 135 Cottonwood TAX KEY # \_\_\_\_\_  
OWNER Carl Zeutzins PHONE 362-4100  
ADDRESS 135 Cottonwood CITY Hartland STATE WI ZIP 53029  
CONTRACTOR Signarana PHONE 2-691-9994  
ADDRESS 601B Ryan St CITY Pewaukee STATE WI ZIP 53072

SIGN TYPE:  WALL  PROJECTING  AWNING, CANOPY  GROUND  
 PORTABLE/TRAINING  REAL ESTATE PERM.  REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Hartland Business Improvement District

OVERALL DIMENSIONS OF SIGN 33" x 8" COLOR OF BACKGROUND White

SIZE OF LETTERS IN INCHES 3" COLOR OF LETTERS Black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

High Density urethane

ILLUMINATED?  YES  NO  INTERNALLY  EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 251.71

**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Hartland BID / Cindy Gardner DATE 9-1-15

PLANS APPROVED: ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_ DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_

**CUSTOMER INFO:**

**COMPANY NAME/CONTACT:**

**ADDRESS:**

**PHONE#:**

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**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**

**33X8"**

# HARTLAND BUSINESS IMPROVEMENT DISTRICT

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**50% DEPOSIT DUE AT TIME OF ORDER/full amount if under \$100, balance due upon time of completion.**

**I HAVE READ AND AGREE TO ALL TERMS.**

INITIAL \_\_\_\_\_

**Pewaukee  
Signarama**



601B Ryan St Pewaukee, WI 53072

Phone: 262-691-9994 Fax: 262-691-9995  
www.signarama-pewaukee.com • info@signarama-pewaukee.com

I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.  
CUSTOMER APPROVAL SIGNATURE: \_\_\_\_\_

PRINT: \_\_\_\_\_

DATE: \_\_\_\_\_

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**PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.**

**CUSTOMER INFO:**

**COMPANY NAME/CONTACT:**

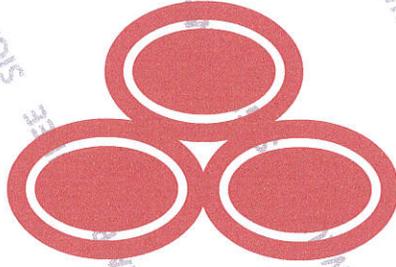
**ADDRESS:**

**PHONE#:**

**HARTLAND BUSINESS  
IMPROVEMENT DISTRICT**

8"

**State Farm**



**CARL  
ZEUTZIUS  
262-367-4100**

135

33"

40"

Please check layout (artwork, spelling, dimensions) and return with signature. Production cannot begin until written approval is received. Additional charges will be applied for any changes that are needed after approval is received. Signarama is not responsible for any errors in spelling, layout, or dimensions that have been approved by the customer. The proof is for listed items only. Any changes or deletions by the customer not shown or charged herein will be billed separately.

**50% DEPOSIT DUE AT TIME OF ORDER (full amount if under \$100), balance due upon time of completion.  
I HAVE READ AND AGREE TO ALL TERMS. INITIAL \_\_\_\_\_**



**Pewaukee  
Signarama**  
601B Ryan St Pewaukee, WI 53072  
Phone: 262-691-9994 Fax: 262-691-9995  
www.signarama-pewaukee.com • info@signarama-pewaukee.com

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**I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.**

**CUSTOMER APPROVAL SIGNATURE:** \_\_\_\_\_

**PRINT:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

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**FOR APPROVAL ONLY. NOT INTENDED TO BE USED AS FINAL ART BY VENDOR.**

This page is for cost estimates and to show correct appearance only. State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art **after this Proposed Layout has been approved.**

40" x 33"

State Farm® logo is approx. 16"

Address is Minion regular

Agent name is approx. 3.3" and 2.75" high Minion semi-bold

Phone number is approx. 2.6" high Minion medium



**NOTE TO AGENT/VENDOR:** This page is for estimating cost and to show correct appearance only.

State Farm, Creative Services will supply Adobe Illustrator (ai) files to be used as final art. The final art files are intended to be used for this sign and this sign only.

USE OF THE STATE FARM LOGO FOR ANY OTHER PROJECT IS AN UNAUTHORIZED USE OF THE STATE FARM TRADEMARK.

**CONTACT:**

Paul Kritzmire (309) 766-7405 (phone)  
paul.kritzmire.dmk0@statefarm.com (e mail) with any problems or questions regarding Illustrator final art file from State Farm.

See color specifications at right for all colors.

**Color Specifications:**

**3M® TRANSLUCENT VINYL FOR RED:**

3M 033 Trans Red Series #3630 or  
Arlon #2500-33 Red Vinyl

**OPAQUE VINYL FOR RED:**

Arlon #2100-223 Peacock Red

**SHERWIN WILLIAMS PAINT COLOR FOR RED:**

For all paint systems, red should match  
Sherwin Williams - SW 6869 Stop

**SHERWIN WILLIAMS PAINT COLORS FOR GOLD:**

SW 6136 Harmonic Tan (closest to Pantone 4515) or SW 0043 Peristyle Brass (darker gold if needed)

**SHERWIN WILLIAMS PAINT COLORS FOR WHITE:**

SW 7005 Pure White

EPPLER ENTERPRISES LLC  
502 W 5TH ST  
OCONOMOWOC WI 53066

COTTONWOOD INVESTMENTS INC  
724 WINSTON WAY  
HARTLAND WI 53029-2538

MICHAEL & KATHLEEN KRETSCHMER  
2009 LIVING TRUST  
141 W CAPITOL DR  
HARTLAND WI 53029

CARL W ZEUTZIUS  
CHRISTINE A ZEUTZIUS  
N68W30836 CLUB CIR E  
HARTLAND WI 53029

PREMIER HOLDINGS LLC  
134 COTTONWOOD AVE  
HARTLAND WI 53029

KEVIN M STEFFANUS  
MELISSA G STEFFANUS  
151 W CAPITOL DR  
HARTLAND WI 53029

ANTHONY & PHYLLIS BRUNO TRUST  
1615 CRICKETWOOD CIR  
RENO NV 89523-4860

HL SALONS LLC  
140 COTTONWOOD AVE  
HARTLAND WI 53029

ANTHONY & PHYLLIS BRUNO TRUST  
1615 CRICHETWOOD CIR  
RENO NV 89523

TIM R SEIFERT  
1206 ANTON RD  
HARTLAND WI 53029

MAUREEN SLATTERY  
THOMAS SLATTERY  
128 COTTONWOOD AVE  
HARTLAND WI 53029-2015



**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 535 Norton Drive, Hartland WI, 53029 - <b>CLOD Graphics</b>			
Lot	Block	Subdivision	Key No. HAV 070958022
Owner Mike Dowling		EMAIL Mdowning@cldgraphics.com	Phone 414-915-1054
Address 34749 Fairview Road		City Oconomowoc	State WI Zip 53066
Contractor Various	Phone	FAX	EMAIL
Address		City	State Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:**

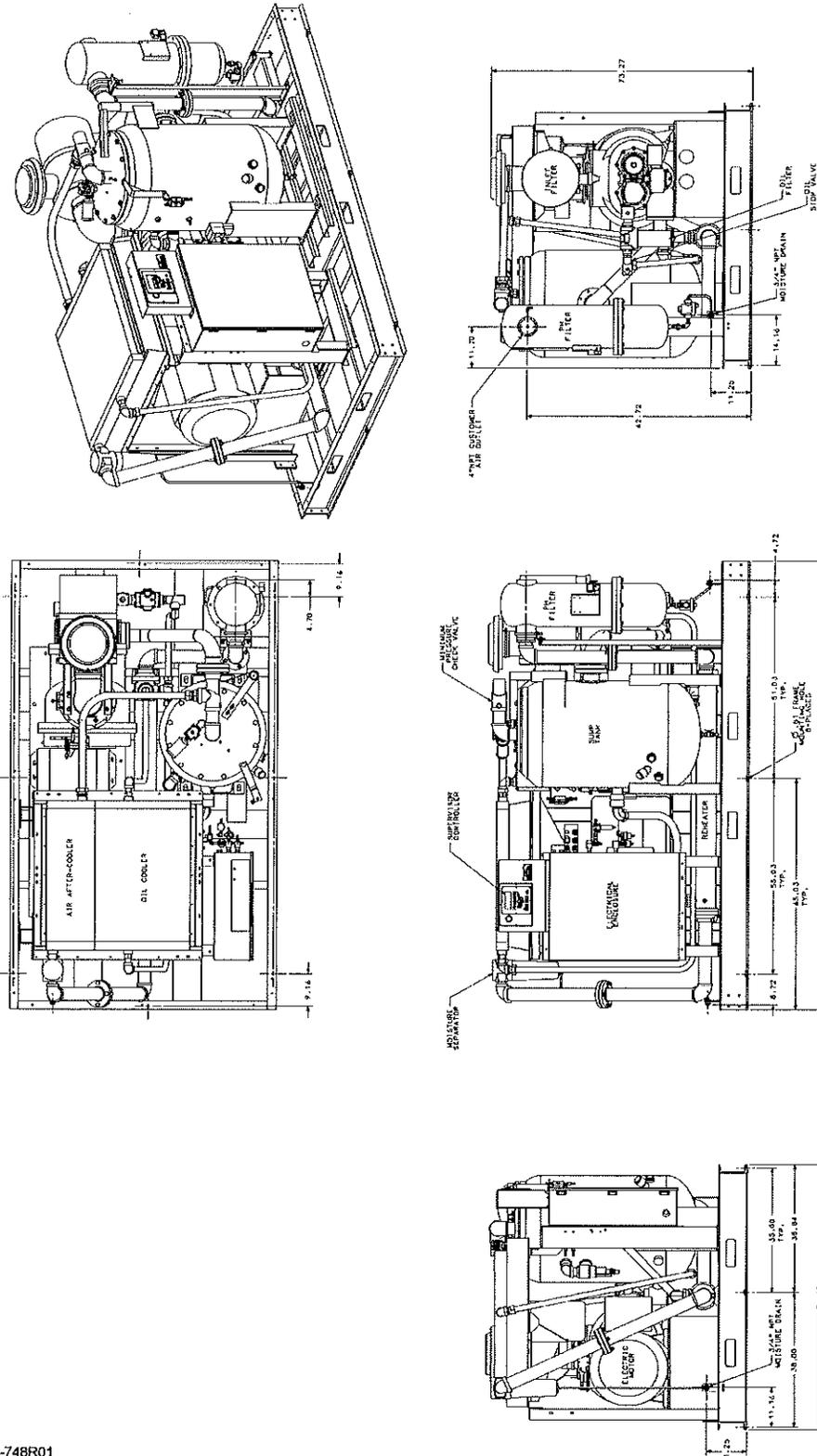
- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 9/11/15 Date of Meeting: 9/21/15 Item No. \_\_\_\_\_

# Section 3 SPECIFICATIONS

Figure 3-3B Identification- LS-25 150HP/112KW Air-cooled with Enclosure



- NOTES:
1. PHYSICAL DIMENSION IN INCHES.
  2. ALL DIMENSIONS  $\pm .50$ ".
  3. ALLOW 48" MINIMUM CLEARANCE ALL AROUND MACHINE FOR ACCESS AS WELL AS FREE CIRCULATION OF AIR.
  4. A FOUNDATION OR MOUNTING CAPABLE OF SUPPORTING THE WEIGHT OF THE PACKAGE AND RIGID ENOUGH TO MAINTAIN THE COMPRESSOR FRAME LEVEL IS REQUIRED. THE COMPRESSOR FRAME MUST BE LEVEL AND SECURE WITH FOUNDATION BOLTS, AND FULL UNIFORM CONTACT MUST BE MAINTAINED BETWEEN THE FRAME AND THE FOUNDATION. NO PIPING LOADS SHALL BE TRANSMITTED AT THE EXTERNAL CONNECTIONS.

02250141-748R01



Model Number YSH240F4RHA\*\*00000000000000000000000000000000

Customer :  
 Project :  
 Name : Y4V 1

## 12 1/2-25 Ton Packaged Unitary Gas/Elec Rooftop - Dedicated [Y4V]

### General

Unit function	Gas/Electric	Unit efficiency	Standard efficiency
Unit controls	Reliatel	Design Airflow	8000cfm
Tonnage	20 Ton	Airflow	Horizontal
Cooling Entering Dry Bulb	80.00F	Cooling Entering Wet Bulb	67.00F
Ent Air Rel Humidity	51.08%	Ambient Temp	95.00F
Heating capacity	Gas Heat - High	Voltage	460/60/3
Design ESP	0.500in H2O	Major design sequence	F - R-410A with Microchannel
Evaporator Rows	4	Evaporator Face Area	26.00sq ft
Evaporator Fin Spacing	180Per Foot	Evaporator Face Velocity	308ft/min
Min. Unit Operating Weight	1909.0lb	Max Unit Operating Weight	2323.0lb
Rated capacity (AHRI)	240	ASHRAE 90.1	Yes

### CDQ

IPLV @ AHRI 11.51 PLV

### Main Cooling

IPLV @ AHRI	11.51 PLV	Evap Coil Leav Air Temp (DB)	57.16F
Evap Coil Leav Air Temp (WB)	56.49F	Cooling Leaving Unit DB	59.11F
Cooling Leaving Unit WB	57.24F	Gross Total Capacity	258.93MBh
Gross Sensible Capacity	197.33MBh	Gross Latent Capacity	61.61MBh
Net Total Capacity	245.49MBh	Net Sensible Capacity	183.88MBh
Net Sensible Heat Ratio	0.75Number	Fan Motor Heat	13.45MBh
Dew Point Temp	56.05F	Refrig charge (HFC-410A) - ckt 1	13.5lb
Refrig charge (HFC-410A) - ckt 2	7.0lb	Saturated Discharge Temp Circuit 1	124.14F
Saturated Suction Temp Circuit 1	51.23F	Saturated Discharge Temp Circuit 2	128.41F
Saturated Suction Temp Circuit 2	51.08F		

### CDQ Performance

IPLV @ AHRI 11.51 PLV

### Dehumidification

IPLV @ AHRI 11.51 PLV



### Main Heating

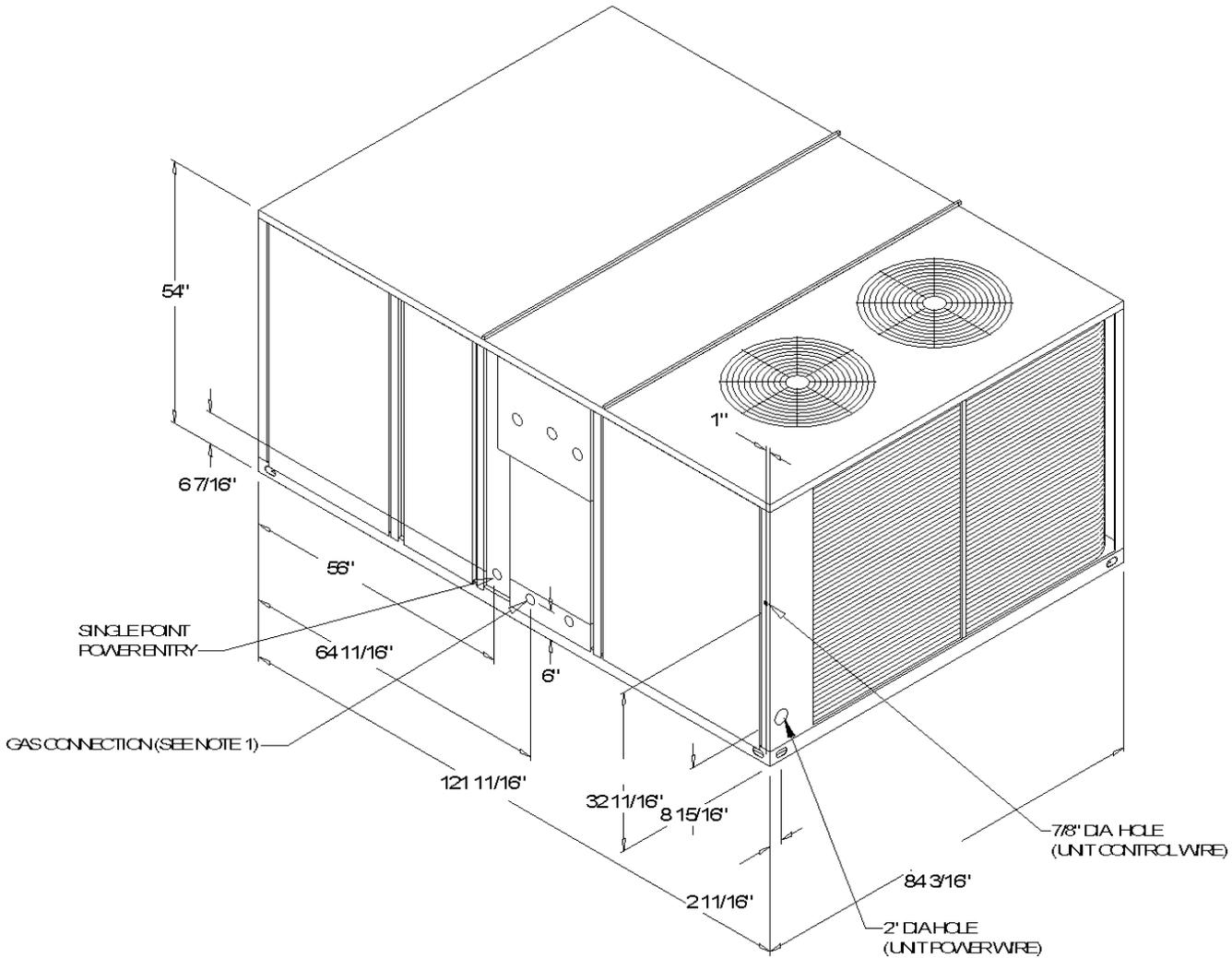
IPLV @ AHRI	11.51 PLV	Output Htg Capacity	324.00MBh
Output Htg Capacity w/Fan	337.45MBh	Heating LAT	37.33F
Heating Temp Rise	37.33F		

### Motor/Electrical

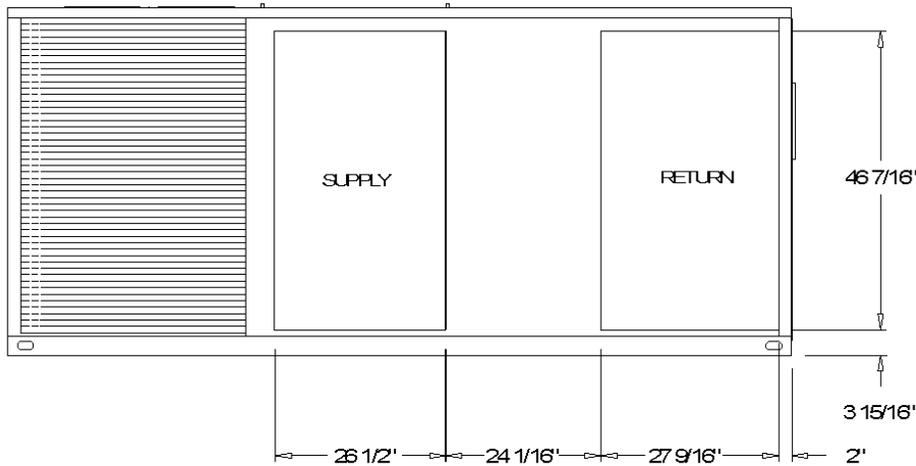
IPLV @ AHRI	11.51 PLV	Field Supplied Drive Kit Required	None
Component SP Add	0.000in H2O	Total Static Pressure	0.5
Indoor Mtr. Operating Power	4.27bhp	Indoor RPM	737rpm
Indoor Motor Power	3.18kW	Outdoor Motor Power	1.76kW
Compressor Power	20.24kW	System Power	25.18kW
EER @ AHRI Conditions	10.0EER	MCA	52.00A
MOP	70.00A	Compressor 1 RLA	20.00A
Compressor 2 RLA	13.20A	Condenser Fan FLA	2.90A
Evaprator Fan FLA	7.60A	Exhaust fan power	0.56kW
IEER Rating	11.50		

### Acoustics

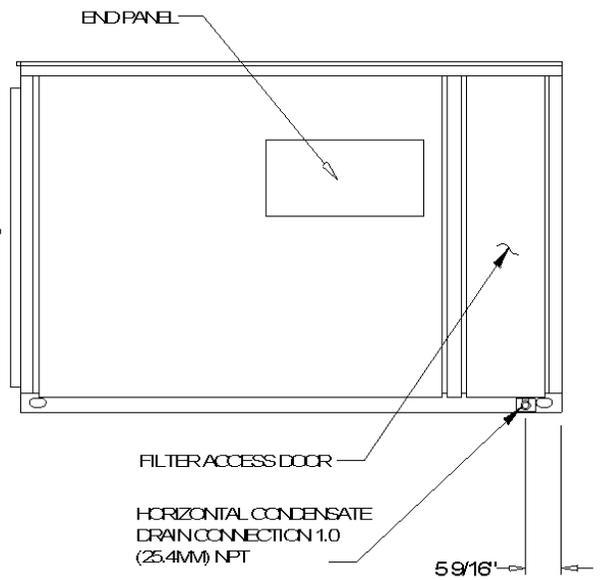
IPLV @ AHRI	11.51 PLV
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PACKAGED COOLING - HORIZONTAL  
ISOMETRIC DRAWING



PACKAGED GAS/ELECTRIC - HORIZONTAL  
AIR FLOW SIDE



HORIZONTAL CONDENSATE DRAIN AND FILTER ACCESS  
SIDE VIEW

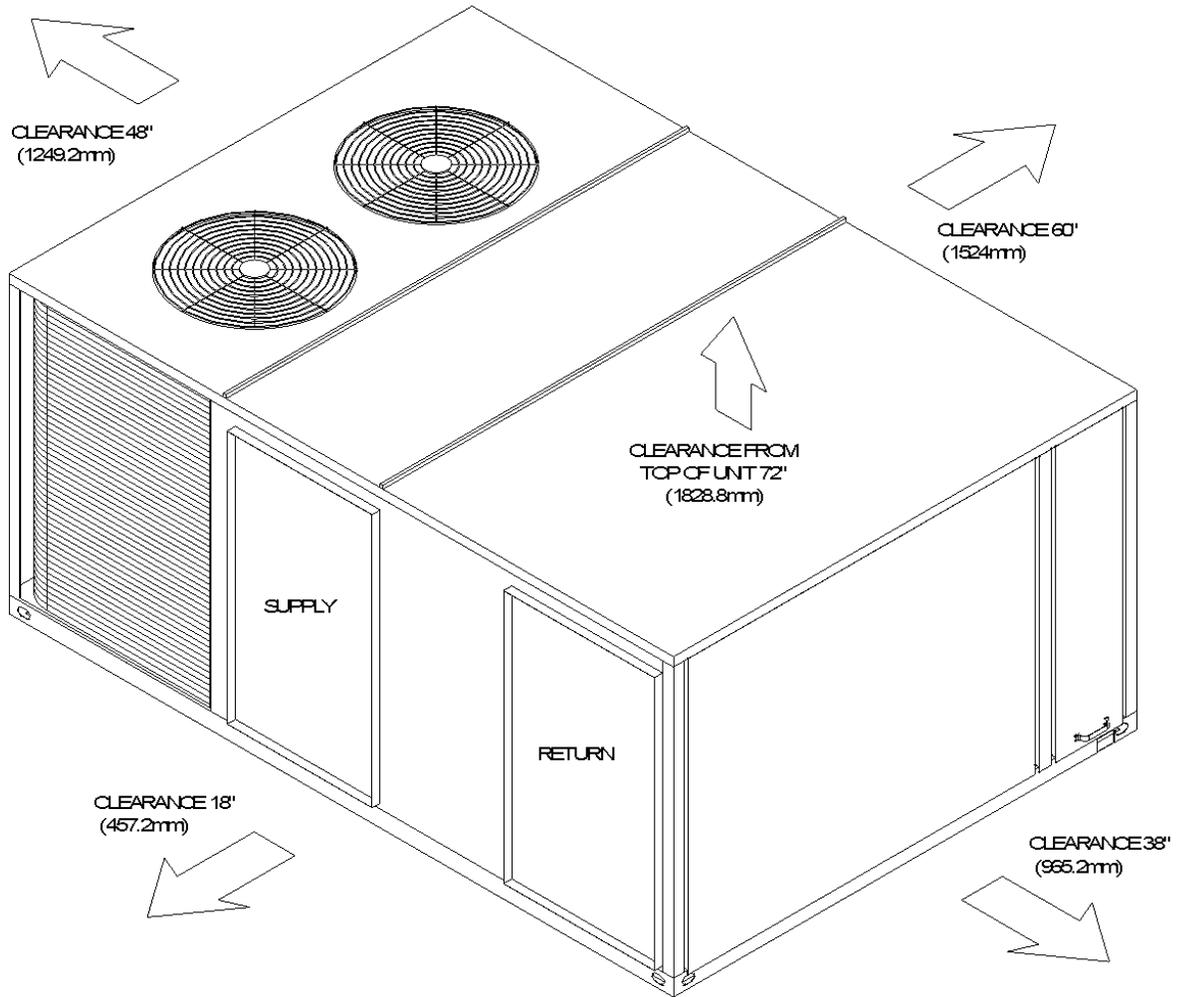


## ELECTRICAL / GENERAL DATA

<b>GENERAL PERFORMANCE</b>			
Model (Ton): YSH240F (20.0) Unit Operating Voltage Range: 414-506 Unit Primary Voltage: 460 Unit Secondary Voltage: - Unit Hertz: 60 Unit Phase: 3  EER: 10.0	<b>Standard Motor</b> Minimum Circuit Ampacity: 52.0 Maximum Fuse Size: 70.0 Maximum (HACR) Circuit Breaker: 70.0  <b>Oversized Motor</b> MCA: N/A MFS: N/A MCB (HACR): N/A	<b>Field Installed Oversized Motor</b> MCA: N/A MFS: N/A MCB (HACR): N/A	
<b>GAS HEATING</b>		<b>COMPRESSOR</b>	
Heating Models: High Heating and 1 Stage Input (Bluh): 400,000 / 300,000 Heating and 1 Stage Output (Bluh): 324,000 / 243,000 Min./Max. Gas Input - Pressure Natural or LP: 25 / 14.0 Gas Connection Pipe Size: 3/4"	Circuit #1 / 2  Number: 2 Horsepower: 11.7/6.9 Phase: 3 Rated Load Amps: 20.0/13.2 Locked Rotor Amps: 147.0/100.0		
<b>INDOOR MOTOR</b>			
Number: 1 Horsepower: 5.00 Motor Speed (RPM): 3,450 Phase: 3 Full Load Amps: 7.6 Locked Rotor Amps: 54.9	<b>Oversized Motor</b> Number: N/A Horsepower: N/A Motor Speed (RPM): N/A Phase: N/A Full Load Amps: N/A Locked Rotor Amps: N/A	<b>Field Installed Oversized Motor</b> Number: N/A Hp: N/A Motor Speed (RPM): N/A Phase: N/A FLA: N/A LRA: N/A	
<b>OUTDOOR MOTOR</b>	<b>POWER EXHAUST</b> (Field Installed Power Exhaust)		<b>COMBUSTION BLOWER MOTOR</b> (Gas-Fired Heating only)
Number: 2 Horsepower: 1.00 Motor speed (RPM): 1,125 Phase: 1 Full Load Amps: 2.5 Locked Rotor Amps: 5.8	Horsepower: N/A Motor Speed (RPM): N/A Phase: N/A Full Load Amps: N/A Locked Rotor Amps: N/A		Horsepower: 0.1 Motor Speed (RPM): 3,500/2,800 Phase: 1 Full Load Amps: 0.8 Locked Rotor Amps: 2.00
<b>FILTER</b>		<b>REFRIGERANT</b>	
Type: Throwaway Furnished: Yes Number: 8 Recommended Size: 20"X25"X2"	Circuit #1 / 2  Type: R410 Factory Charge: 13.5 lb / 7.0 lb Circuit #1 / 2: 13.5 lb / 7.0 lb		

**NOTES:**

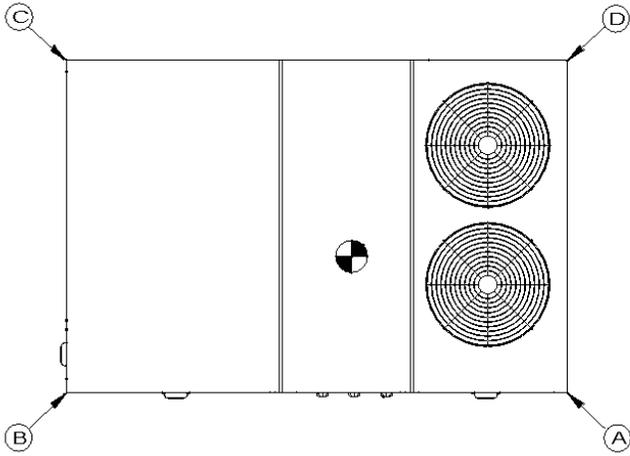
1. Maximum (HACR) Circuit Breaker sizing is for installations in the United States only.
2. Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.
3. Value does not include Power Exhaust Accessory.
4. Value includes oversized motor.
5. Value does not include Power Exhaust Accessory.
6. EER is rated at AHR conditions and in accordance with DCE test procedures.



HORIZONTAL ISOMETRIC-PACKAGED GAS/ELECTRIC CLEARANCE

### INSTALLED OPTIONS NET WEIGHT DATA

Accessory	Accessory
Economizer	
Motorized Outside Air Damper	
Manual Outside air Damper	
Oversized Motor	
High Static Drive	
Thru the Base Electrical	
Unit Mounted Circuit Breaker	
Unit Mounted Disconnect	
Power Exhaust	
Hinged Doors	
Zone Sensor	
LPG Conversion Kit	
Powered Convenience Outlet	
Roof Curb	

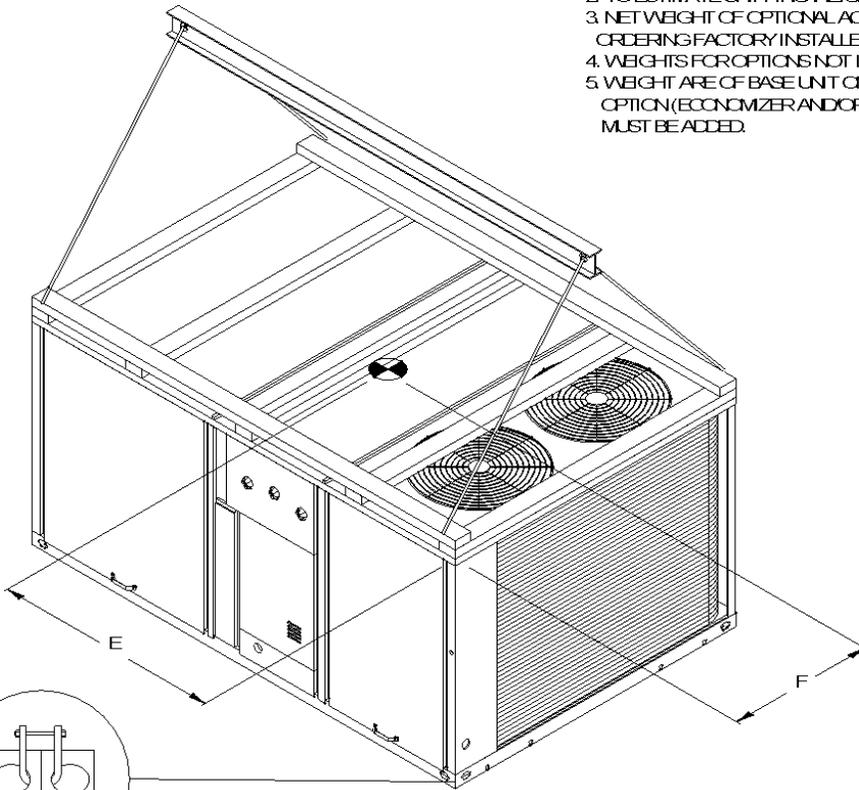


**CORNER WEIGHT**

BASE UNIT WEIGHTS		CORNER WEIGHTS				CENTER OF GRAVITY	
SHIPPING	NET	(A)	(B)	(C)	(D)	E	F
2528.0lb	2069.0lb	669.0lb	561.0lb	402.0lb	466.0lb	57"	38"

**NOTE**

1. CORNER WEIGHTS ARE GIVEN FOR INFORMATION ONLY.
2. TO ESTIMATE SHIPPING WEIGHT OF OPTION/ACCESSORIES ADD 5 LBS TO NET WEIGHT.
3. NET WEIGHT OF OPTIONAL ACCESSORIES SHOULD BE ADD TO UNIT WEIGHT WHEN ORDERING FACTORY INSTALLED ACCESSORIES.
4. WEIGHTS FOR OPTIONS NOT LISTED ARE < 5 LBS.
5. WEIGHT ARE OF BASE UNIT ONLY. FOR TOTAL WEIGHT, 10 DIGIT FACTORY INSTALLED OPTION (ECONOMIZER AND/OR OVERSIZED MOTOR OR HIGH/ACCESSORY WEIGHT MUST BE ADDED.



**RIGGING AND CENTER OF GRAVITY**



## General

The units shall be dedicated downflow or horizontal airflow. The operating range shall be between 115°F and 0°F in cooling as standard from the factory for all units. Cooling performance shall be rated in accordance with AHRI testing procedures. All units shall be factory assembled, internally wired, fully charged with R-410A, and 100 percent run tested to check cooling operation, fan and blower rotation and control sequence, before leaving the factory. Wiring internal to the unit shall be colored and numbered for simplified identification. Units shall be UL listed and labeled, classified in accordance to UL 1995/C 22.2, 236-05 3rd Edition.

## Casing

Unit casing shall be constructed of zinc coated, heavy gauge, galvanized steel. Exterior surfaces shall be cleaned, phosphatized, and finished with a weather-resistant baked enamel finish. Unit's surface shall be tested 672 hours in a salt spray test in compliance with ASTM B117. Cabinet construction shall allow for all maintenance on one side of the unit. In order to ensure a water and air tight seal, service panels shall have lifting handles and no more than three screws to remove. All exposed vertical panels and top covers in the indoor air section shall be insulated with a 1/2 inch, 1 pound density foil-faced, fire-resistant, permanent, odorless, glass fiber material. The base of the downflow unit shall be insulated with 1/2 inch, 1 pound density foil-faced, closed-cell material. The downflow unit's base pan shall have no penetrations within the perimeter of the curb other than the raised 11/8 inch high supply/return openings to provide an added water integrity precaution, if the condensate drain backs up. The base of the unit shall have provisions for forklift and crane lifting.

## Unit Top

The top cover shall be one piece, or where seams exist, double hemmed and gasket sealed to prevent water leakage.

## Filters

Two inch standard filters shall be factory supplied on all units. Optional two inch pleated media filters shall be available.

## Compressors

All units shall have direct-drive, hermetic, scroll type compressors with centrifugal type oil pumps. Motor shall be suction gas-cooled and shall have a voltage utilization range of plus or minus 10 percent of nameplate voltage. Internal overloads shall be provided with the scroll compressors. All models shall have crankcase heaters, phase monitors and low and high pressure control as standard.

## Crankcase Heaters

These band heaters provide improved compressor reliability by warming the oil to prevent migration during off-cycles or low ambient conditions. These are standard on all Voyager models.

## Refrigerant Circuits

Each refrigerant circuit shall have independent fixed orifice or thermostatic expansion devices, service pressure ports, and refrigerant line filter driers factory installed as standard. An area shall be provided for replacement suction line driers.

## Gas Heating Section

The heating section shall have a drum and tube heat exchanger design using corrosion resistant steel components. A forced combustion blower shall supply premixed fuel to a single burner ignited by a pilotless hot surface ignition system. In order to provide reliable operation, a negative pressure gas valve shall be used on standard furnaces and a pressure switch on furnaces with modulating heat that requires blower operation to initiate gas flow. On an initial call for heat, the combustion blower shall purge the heat exchanger 45 seconds before ignition. After three unsuccessful ignition attempts, the entire heating system shall be locked out until manually reset at the thermostat. Units shall be suitable for use with natural gas or propane (field installed kit) and shall also comply with California requirements for low NOx emissions. The 12½- 25 tons shall have two stage heating (Gas/Electric Only).

## Microchannel coils

The microchannel type condenser coil is standard for the T/YCD 12.5-25 ton standard efficiency models.

Due to flat streamlined tubes with small ports, and metallurgical tube-to-fin bond, microchannel coil has better heat transfer performance. Microchannel condenser coil can reduce system refrigerant charge by up to 50% because of smaller internal volume, which leads to better compressor reliability. Compact all-aluminum microchannel coils also help to reduce the unit weight. All-aluminum construction improves recyclability. Galvanic corrosion is also minimized due to all aluminum construction. Strong aluminum brazed structure provides better fin



protection. In addition, flat streamlined tubes also make microchannel coils more dust resistant and easier to clean. Coils shall be leak tested at the factory to ensure the pressure integrity. The evaporator coil and condenser coil shall be leak tested to 600 psig. The assembled unit shall be leak tested to 465 psig.

### **Outdoor Fans**

The outdoor fan shall be direct-drive, statically and dynamically balanced, draw-through in the vertical discharge position. The fan motor(s) shall be permanently lubricated and shall have built-in thermal overload protection.

### **Indoor Fan**

Units above shall have belt driven, FC centrifugal fans with adjustable motor sheaves. Units with standard motors shall have an adjustable idler-arm assembly for quick-adjustment of fan belts and motor sheaves. All motors shall be thermally protected. Oversized motors shall be available for high static application. All indoor fan motors meet the U.S. Energy Policy Act of 1992 (EPACT).

### **Controls**

Unit shall be completely factory wired with necessary controls and contactor pressure lugs or terminal block for power wiring. Unit shall provide an external location for mounting a fused disconnect device. ReliaTel controls shall be provided for all 24 volt control functions. The resident control algorithms shall make all heating, cooling, and/or ventilating decisions in response to electronic signals from sensors measuring indoor and outdoor temperatures. The control algorithm maintains accurate temperature control, minimizes drift from set point, and provides better building comfort. A centralized control shall provide anti-short cycle timing and time delay between compressors to provide a higher level of machine protection.

### **High Pressure Cutout**

This option is offered for units that do not have High Pressure cutout as standard.

### **Discharge Line Thermostat**

A bi-metal element discharge line thermostat is installed as a standard option on the discharge line of each system. This standard option provides extra protection to the compressors against high discharge temperatures in case of loss of charge, extremely high ambient and other conditions which could drive the discharge temperature higher. Discharge line thermostat is wired in series with high pressure control. When the discharge temperature rises above the protection limit, the bi-metal disc in the thermostat switches to the off position, opening the 24 VAC circuit. When the temperature on the discharge line cools down, the bi-metal disc closes the contactor circuit, providing power to the compressor. When the thermostat opens the fourth time, the ReliaTel control must be manually reset to resume operation on that stage.



3-D REAL ESTATE INVESTMENTS LLC  
540 NORTON DR  
HARTLAND WI 53029

AUSTIN REAL ESTATE COMPANY LLC  
7847 ALLEN ROBERTSON PL  
SARASOTA FL 34240

ILLINOIS TOOL WORKS INC  
PO BOX 110  
HARTLAND WI 53029-0110

JEROME D SULLIVAN  
2108A SILVERNAIL RD STE 316  
PEWAUKEE WI 53072

LEE M BLEEKER  
DBA SANFORD ENTERPRISES  
169 HIGHWAY 67 APT A  
DOUSMAN WI 53118-9664

LINDSAY REAL ESTATE HOLDINGS LLC  
2222 N 111TH ST  
OMAHA NE 68164-3817

MGD INVESTMENTS LLC  
1101 W 2ND ST  
PO BOX 644  
OCONOMOWOC WI 53066-0644

MGM PROPERTIES LLP  
3787 CAMPBELL TRCE  
HARTLAND WI 53029-8826

MIDWEST SHRC LLC  
N56W35574 LISBON RD  
OCONOMOWOC WI 53066

MYRA PROPERTIES LLC  
C/O NEIL KOPINSKI  
1795 LINCOLN PARK CIR  
SARASOTA FL 34236

S&M RABAY LLC  
550 PROGRESS DR  
HARTLAND WI 53029-2304

SCI INVESTMENT HOLDINGS LLC  
540 PROGRESS DR  
HARTLAND WI 53029-2304

STELLAR V LLC  
C/O ALAN G HAUBNER  
N28W29721 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

SULLIVAN LEASING LLC  
2108 SILVERNAIL RD UNIT 316A  
PEWAUKEE WI 53072-5526

Z&Z REALTY LLC  
C/O DARYL ZIGAN/UNITED PRESS &  
GRAPHICS INC  
PO BOX 320  
HARTLAND WI 53029-0320

Pd. 8/31/15  
 # 164423  
 \$300

**DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 455 East Industrial Dr			
Lot	Block	Subdivision	Key No. HAV
Owner BILL NEEMAN		EMAIL BILLN@ETECOMI.COM	Phone (262) 367-1360
Address 455 East Industrial Dr		City HARTLAND	State WI Zip 53029
Contractor MSI GENERAL		Phone 367-3661 FAX	EMAIL TIMK@MSIGENERAL.COM
Address PO Box 7		City OLGOMOHOE	State WI Zip 53066

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is on the SECOND MONDAY of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:**

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 8-31-15 Date of Meeting: 9-21-15 Item No. \_\_\_\_\_



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

APPLICATION FOR  
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <b>BUILDING ADDITION</b>			
Proposed Use <b>LIGHT MFG</b>		No. of Employees	
Project Location <b>455 EAST INDUSTRIAL DR</b>			
Project Name <b>HERBSMITH</b>			
Owner <b>BILL NEEMAN</b>		Phone <b>(262) 367-1360</b>	
Address <b>455 EAST INDUSTRIAL DR</b>		City <b>HARTLAND</b>	State <b>WI</b> Zip <b>53029</b>
Engineer/Architect <b>MSI GENERAL</b>		Phone <b>(262) 367-3661</b>	FAX <b>(262) 367-7390</b>
Address <b>Po Box 7</b>		City <b>OSHTONOWOC</b>	State <b>WI</b> Zip <b>53066</b>
Contact Person <b>TIM KNEPFRATH</b>	Phone <b>(414) 550-9400</b>	FAX <b>-</b>	E-mail <b>TIMIK@MSIGENERAL.COM</b>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

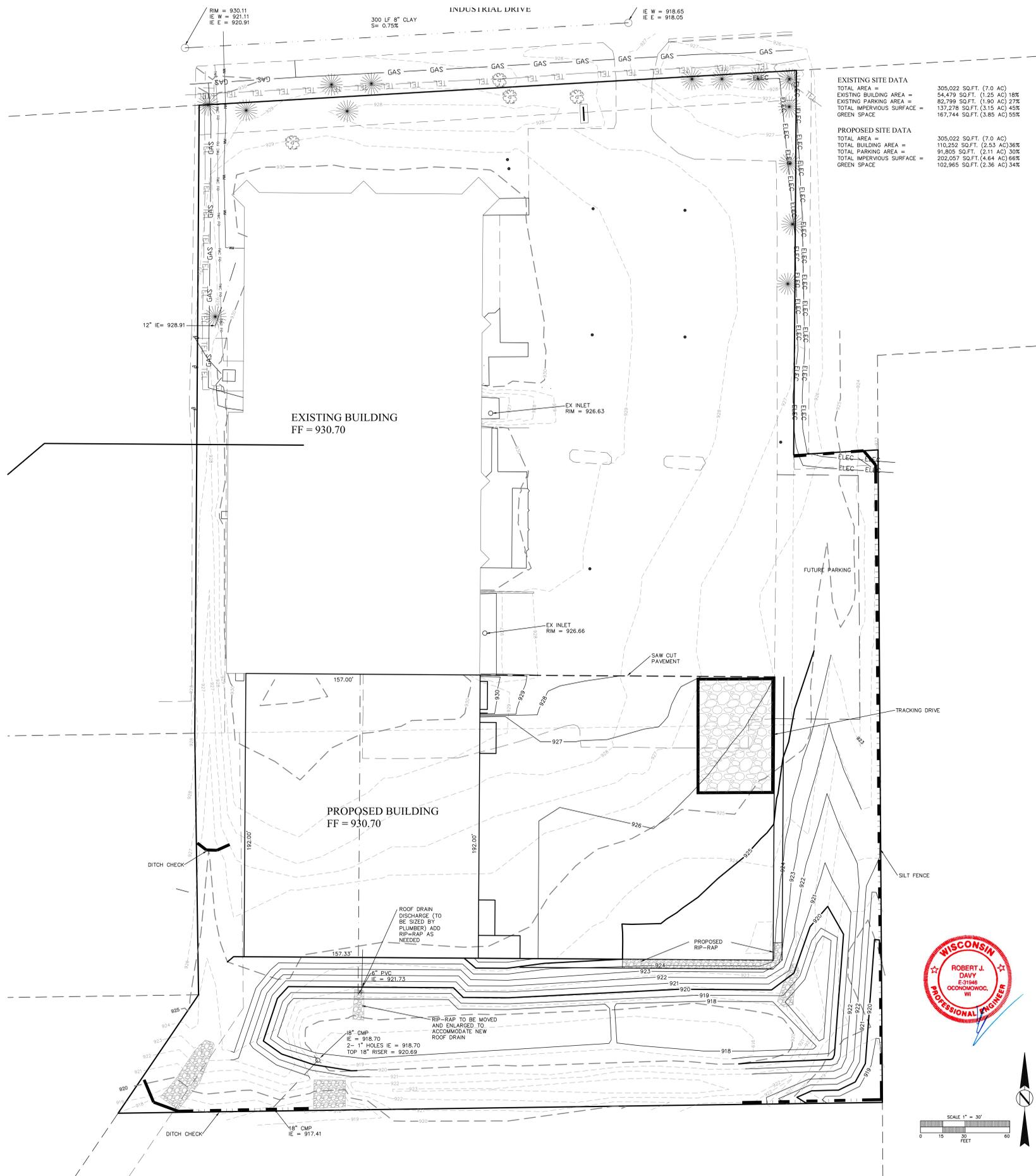
Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: <b>8-31-15</b>	Date of Meeting: <b>9-21-15</b>	Return Comments by:
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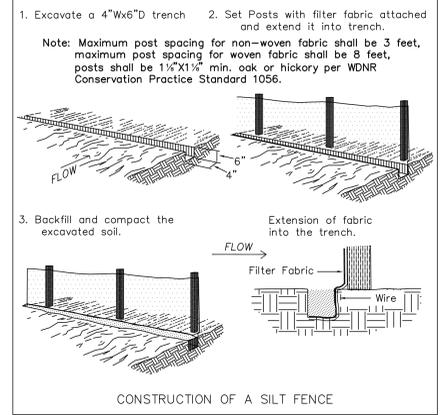


**EXISTING SITE DATA**

TOTAL AREA	305,022 SQ.FT. (7.0 AC)
EXISTING BUILDING AREA	54,479 SQ.FT. (1.25 AC) 18%
EXISTING PARKING AREA	82,799 SQ.FT. (1.90 AC) 27%
TOTAL IMPERVIOUS SURFACE	137,278 SQ.FT. (3.15 AC) 45%
GREEN SPACE	167,744 SQ.FT. (3.85 AC) 55%

**PROPOSED SITE DATA**

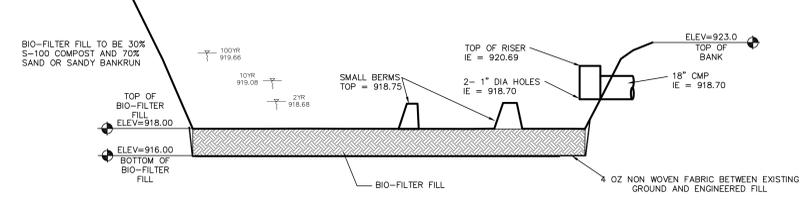
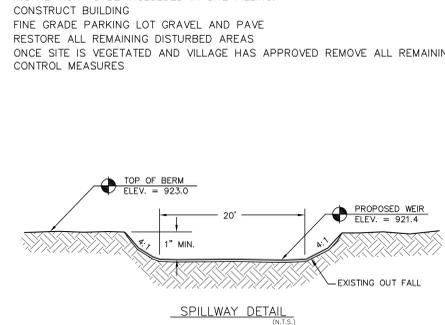
TOTAL AREA	305,022 SQ.FT. (7.0 AC)
TOTAL BUILDING AREA	110,252 SQ.FT. (2.53 AC) 36%
TOTAL PARKING AREA	91,805 SQ.FT. (2.11 AC) 30%
TOTAL IMPERVIOUS SURFACE	202,057 SQ.FT. (4.64 AC) 66%
GREEN SPACE	102,965 SQ.FT. (2.36 AC) 34%



- CONSTRUCTION SEQUENCE**
- 1) INSTALL ALL EROSION CONTROL MEASURES
  - 2) ROUGH GRADE SITE, INCLUDING INSTALLATION OF BIO-FILTER (PER DESIGN NOTE), FOOTING INSTALLATION TO BE INCLUDED IN SITE FILLING.
  - 3) CONSTRUCT BUILDING
  - 4) FINE GRADE PARKING LOT GRAVEL AND PAVE
  - 5) RESTORE ALL REMAINING DISTURBED AREAS
  - 6) ONCE SITE IS VEGETATED AND VILLAGE HAS APPROVED REMOVE ALL REMAINING EROSION CONTROL MEASURES

**LEGEND**

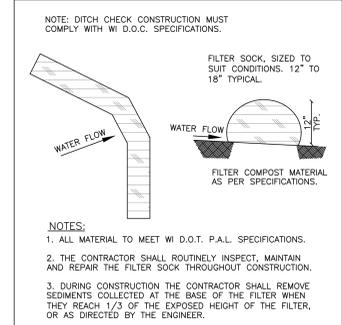
- EXISTING WATER MAIN, GATE VALVE, HYDRANT
- PROPOSED WATER MAIN, GATE VALVE, HYDRANT
- EXISTING SANITARY SEWER, MANHOLE
- PROPOSED SANITARY SEWER, MANHOLE
- EXISTING STORM SEWER, MANHOLE, CURB INLET
- PROPOSED STORM SEWER, MANHOLE, CURB INLET
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE, POLE W/GUY WIRE
- EXISTING BURIED ELECTRIC LINE, TRANSFORMER BOX
- EXISTING TELEPHONE LINE, UTILITY BOX
- EXISTING CABLE TV LINE, UTILITY BOX
- EXISTING FIBER OPTIC LINE
- EXISTING FENCE LINE
- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- PROPOSED 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROTECTION BERM / SILT FENCE
- LOT LINES
- TREE LINES
- XXX.XX x TOP OF CURB ELEVATIONS
- XXX.XX x SPOT GRADE ELEVATIONS
- XXX.XX x TOP OF RETAINING WALL ELEVATIONS
- XXX.XX x BOTTOM OF RETAINING WALL ELEVATIONS



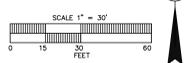
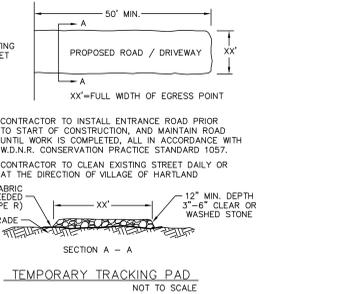
**BIO-FILTER NOTES**

ROUGH GRADE BASIN ALONG WITH ROUGH GRADING SITE. DIG BOTTOM OF BASIN (LAST 2' WITH A BACKHOE TO MINIMIZE COMPACTION) TO AN ELEVATION OF 916.00. ONCE BASIN IS ROUGH GRADED, TOPSOIL, SEED AND EROSION MAT SIDE SLOPES. (TOPSOIL 6" MIN. SIDE SLOPES EROSION MAT TO BE CLASS I TYPE B (WISDOT PAL)) ONCE SIDE SLOPES ARE RESTORED AND MATTED, CLEAN BOTTOM OF FILTER AND PLACE 2.2' OF BIO-FILTER FILL TO ALLOW FOR SETTLEMENT AND COMPOST DECAY). RESTORE BOTTOM OF BASIN WITH PRAIRIE NURSERY LAND RESTORATION MIX (OR EQUAL) 1.5LBS/5000 SQ.FT. AND 1 LBS/ 1000 SQ.FT OF AN ANNUAL RYE

- Mix to Contains at least 15 wildflowers & 5 or more grasses.
- Wildflowers:**  
 Nodding Pink Onion / Smooth Aster / Blue False Indigo / White False Indigo / Pale Indian Plantain / Wild Senna / Lanceleaf Coreopsis / Purple Prairie Clover / Canada Tick Trefoil / Pale Purple Coneflower / Purple Coneflower / Showy Sunflower / Ox Eye Sunflower / Bergamot / Smooth Penstemon / Yellow Coneflower / Black Eyed Susan / Sweet Black Eyed Susan / Brown Eyed Susan / Rosinweed / Compassplant / Prairie Dock / Stiff Goldenrod
- Grasses:**  
 Big Bluestem / Sideoats Grama / Canada Wild Rye / Switchgrass / Little Bluestem / Indiangrass



- NOTES:**
1. ALL MATERIAL TO MEET WI D.O.T. P.A.L. SPECIFICATIONS.
  2. THE CONTRACTOR SHALL ROUTINELY INSPECT, MAINTAIN AND REPAIR THE FILTER SOCK THROUGHOUT CONSTRUCTION.
  3. DURING CONSTRUCTION THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE FILTER, OR AS DIRECTED BY THE ENGINEER.



CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE WISCONSIN DNR'S STORM WATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION AT LEAST ONCE PER WEEK AND FOLLOWING EVERY 0.5" RAINFALL.

ALL INLET PROTECTION TO CONFORM TO EITHER WDOT PAL LIST OR WDNR T.S. 1060

ALL RESTORATION TO BE IN ACCORDANCE WITH WDNR'S CONSERVATION PRACTICE STD 1059. CUT AND FILL SLOPES WILL BE 3:1 OR FLATTER OUTSIDE ROAD RIGHT OF WAY & 4:1 OR FLATTER WITHIN ROAD RIGHT OF WAY.

RESTORATION TO BE TOP SOILED (6" MIN), (IF GRADED), SEED, FERTILIZED, AND MULCHED UNLESS OTHERWISE NOTED ON PLANS. FOR SLOPES 4:1 OR STEEPER CLASS I TYPE B (WISDOT PAL) EROSION MAT REQUIRED.

IF THE SITE OR PORTIONS OF THE SITE ARE TO REMAIN INACTIVE FOR GREATER THAN 14 DAYS TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING OR MULCHING SHALL BE TAKEN WITHIN 7 DAYS FROM THE SITE BEING LEFT INACTIVE.

**LATE SEASON AND TEMPORARY SEEDING**

IN ACCORDANCE WITH THE WDNR'S CONSERVATION PRACTICE STANDARD 1059 ANIONIC POLYACRYLAMIDE (WISDOT PAL CLASS B) (DNR T.S. 1050) MUST BE APPLIED WITHIN 7 DAYS OF FINAL GRADING OR BY NOVEMBER 15, 2016

SEED TYPE TO BE TURF TYPE. (UNLESS NOTED ON PLANS) RATE TO BE APPLIED PER MANUFACTURERS RECOMMENDATIONS.

ALL UTILITY WORK TO BE INSTALLED THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION, AND VILLAGE OF HARTLAND STANDARD SPECIFICATIONS

GRADING AND PAVING PER STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION LATEST EDITION

PROOF-ROLLING SHALL BE COMPLETED IN PARKING LOT AND DRIVES PRIOR TO PLACING SUB-BASE

TRACKING DRIVE TO BE EXISTING PARKING LOT. CONTRACTOR TO KEEP INDUSTRIAL DRIVE CLEAN IF SEDIMENT REACHES THE ROAD

REVISION DATE	05-16-04	REMARKS	PER VILLAGE COMMENTS
	05-16-04		ADD SITE DATA
SCALE: 1" = 30'	DRAFTED BY: R.J.D.		
	CHECKED BY: F. J. DAVY		
	DATE: AUGUST 27, 2015		

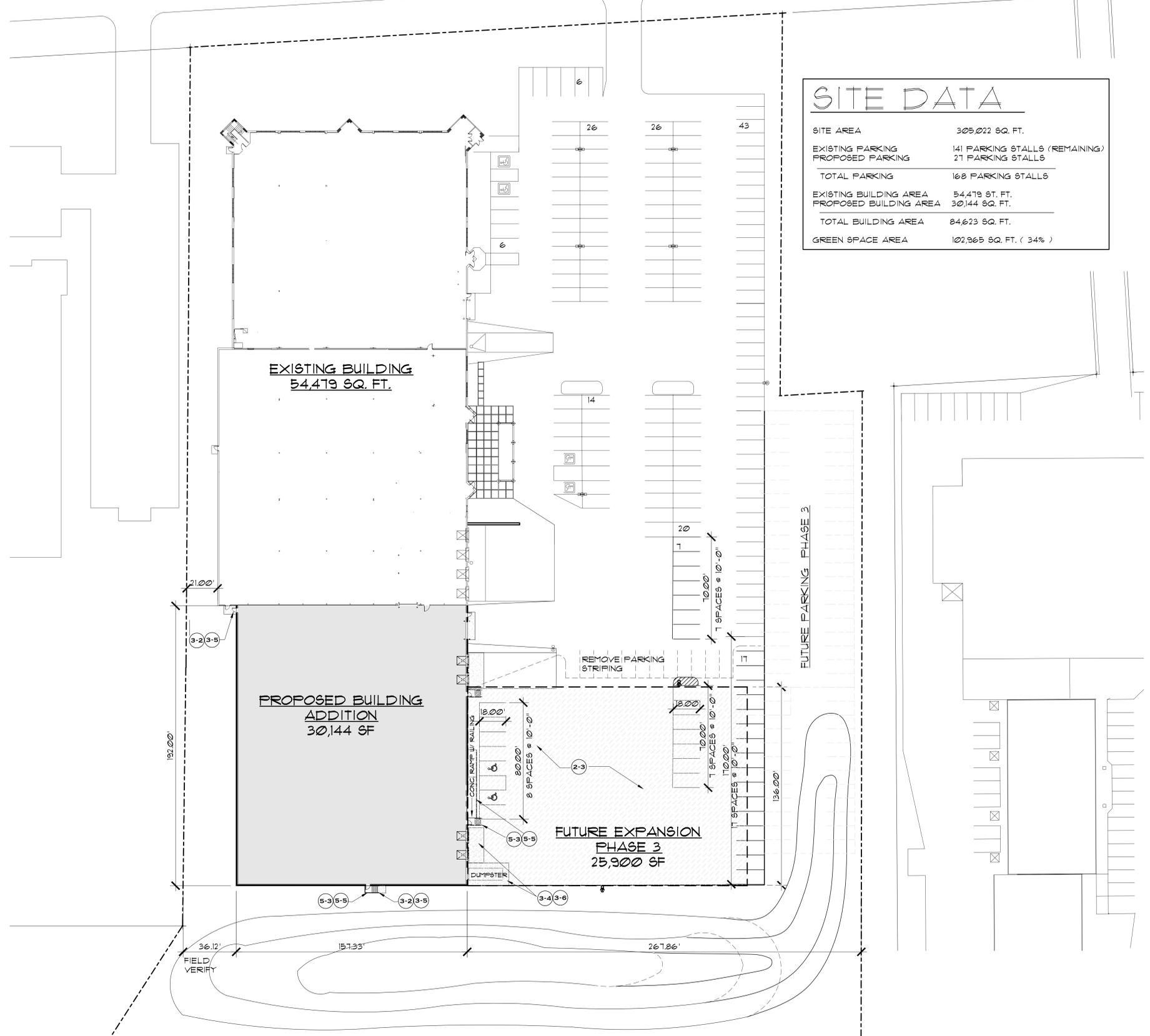
**Lake Country Engineering, Inc.**  
 Consulting Engineers - Surveyors  
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066  
 Phone (262) 569-8831 Fax (262) 569-9916

**GRADING & EROSION CONTROL PLAN**

HERBSMITH - MSI  
 455 E. INDUSTRIAL DRIVE  
 VILLAGE OF HARTLAND

PROJ. # 14-2661  
 SHEET # 2 OF 2

INDUSTRIAL DRIVE



SITE DATA	
SITE AREA	305,022 SQ. FT.
EXISTING PARKING	141 PARKING STALLS (REMAINING)
PROPOSED PARKING	21 PARKING STALLS
TOTAL PARKING	168 PARKING STALLS
EXISTING BUILDING AREA	54,479 SQ. FT.
PROPOSED BUILDING AREA	30,144 SQ. FT.
TOTAL BUILDING AREA	84,623 SQ. FT.
GREEN SPACE AREA	102,365 SQ. FT. ( 34% )

REFERENCE KEYNOTES	
Division 01- General	(1) 1/4" PRECAST LIME CONCRETE
Division 02- Site	(1) 1/2" ASPHALT OVER 1" STONE BASE
Division 03- Concrete	(1) CONCRETE OVER POLYMER HOLLOW FOUNDATION WALL
Division 04- Masonry	(1) STANDARD CONCRETE MASONRY UNIT
Division 05- Metals	(1) 1/2" DIA. CONCRETE FILLER
Division 06- Woods and Plastics	(1) PLASTIC LAMINATE WINDOW SILL
Division 07- Thermal/Moisture Protection	(1) POLYMER INSULATION
Division 08- Doors and Windows	(1) BRONZESTONE INSULATED LOW E GLASS
Division 09- Finishes	(1) SUSPENDED CEILING SYSTEM
Division 10- Misc	(1) PLUG POLE



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PROJECT ADDRESS:  
PROJECT NAME  
Herbsmith  
STREET ADDRESS  
455 E. Industrial Drive  
CITY STATE / ZIP  
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 08.31.2015 Drawn By: TONY ZULLI  
Sheet Title: SITE PLAN  
Sheet Number: C-101  
Project Number: P11070

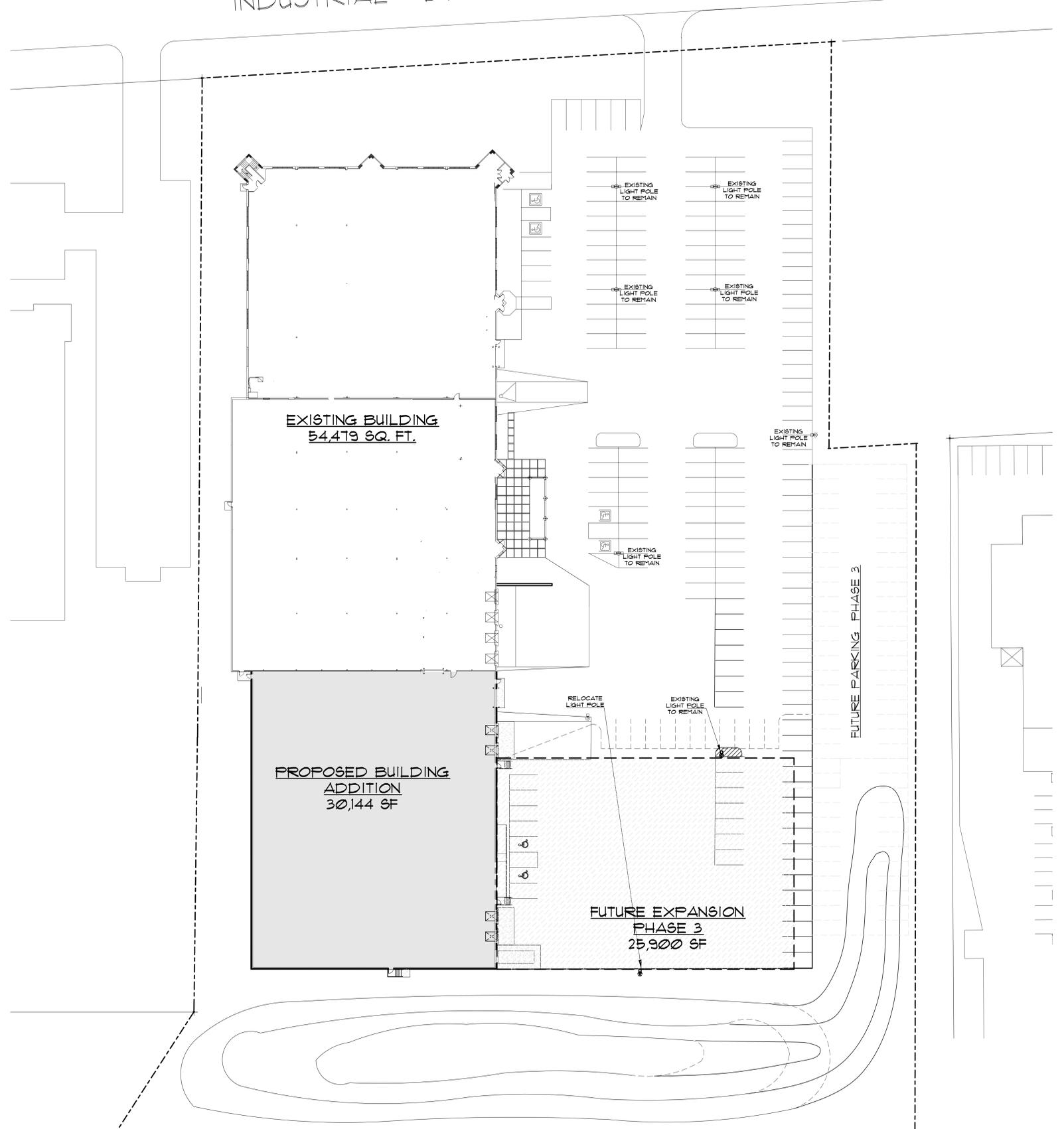
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

INDUSTRIAL DRIVE



REFERENCE KEYNOTES	
<b>Division 01- General</b>	
(1)	1/4" PRECAST LIME CONCRETE
(2)	1/2" PRECAST LIME CONCRETE
<b>Division 02- Site</b>	
(1)	3/4" x 1/2" x 1/2" ASPHALT OVER 4" STONE BASE(02020)
(2)	1/2" x 1/2" x 1/2" ASPHALT OVER 4" STONE BASE(02020)
(3)	1/2" x 1/2" ASPHALT OVER 4" STONE BASE(02020)
(4)	HANDICAPPED PARKING STALL SIGN
<b>Division 03- Concrete</b>	
(1)	CONCRETE OVER/UPON HOLD FOUNDATION WALL w/ FLOOR FINISH(03030)
(2)	4" FORMED CONCRETE FLOOR w/ 4" STONE & 1" F.B. LIFT(03030)
(3)	4" FORMED CONCRETE FLOOR w/ 4" STONE & 1" F.B. LIFT(03030)
(4)	4" FORMED CONCRETE FLOOR w/ 4" STONE & 1" F.B. LIFT(03030)
(5)	CONCRETE REIN. w/ 100 #10 @ 12" O.C. w/ F. 03030
(6)	CONCRETE REIN. w/ 100 #10 @ 12" O.C. w/ F. 03030
(7)	CONCRETE REIN. w/ FIBERMESH REINFORCING(03030)
(8)	1" EXPANSION JOINT MATERIAL(03030)
(9)	CONCRETE TOPPING REIN. w/ FIBER MESH REINFORCING(03030)
<b>Division 04- Masonry</b>	
(1)	2" STANDARD CONCRETE MASONRY UNIT(0400)
(2)	4" STANDARD CONCRETE MASONRY UNIT(0400)
(3)	4" STANDARD CONCRETE MASONRY UNIT(0400)
(4)	4" DECORATIVE CONCRETE MASONRY UNIT(0400)
(5)	4" DECORATIVE CONCRETE MASONRY UNIT(0400)
(6)	4" DECORATIVE CONCRETE MASONRY UNIT(0400)
(7)	CONCRETE BRICK UNIT(0400)
(8)	CONCRETE BRICK UNIT(0400)
(9)	CONCRETE BRICK UNIT(0400)
(10)	FACE BRICK(0400)
(11)	1" PRECAST PLANK(0400)
(12)	1" PRECAST PLANK(0400)
(13)	1" PRECAST PLANK(0400)
(14)	CONCRETE FILLED BOND BEAM REIN. w/ 2 #4 BARS CONT. AND LAPPED BOND RODS
(15)	CONCRETE FILLED BOND BEAM REIN. w/ 2 #4 BARS CONT. AND LAPPED BOND RODS
<b>Division 05- Metals</b>	
(1)	24" CONCRETE FILLED PIPE ROLLER SET IN 3/4" DIA. CONC. BASE(05050)
(2)	24" GAGE METAL DECK, BARS, JOISTS AND TRUSS GIRDERS, BRIMS, BEAMS, BIRDS
(3)	METAL STAIR W/ WIPER STRIP TREADS CLOSED RISERS(05050)
(4)	CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(05050)
(5)	1 1/2" DIA. METAL RAILING(05050)
<b>Division 06- Woods and Plastics</b>	
(1)	PLASTIC LAMINATE WINDOW SILL(0600)
(2)	PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(0600)
(3)	PLASTIC LAMINATE WALL CABINET(0600)
(4)	SHELF AND POLYMER(0600)
<b>Division 07- Thermal/Moisture Protection</b>	
(1)	PERIMETER INSULATION(0700)
(2)	PERIMETER INSULATION IN CORES OF BLOCK(0700)
(3)	1/2" POLYURETHANE FILL INSULATION IN CORES OF BLOCK(0700)
(4)	1/2" POLYURETHANE FILL INSULATION IN CORES OF BLOCK(0700)
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(53)	1/2" POLYURETHANE FILL INSULATION IN CORES OF BLOCK(0700)
<b>Division 08- Doors and Windows</b>	
(1)	BRONZESTONE INSULATED LOW E GLASS(0800)
(2)	BRONZESTONE INSULATED LOW E GLASS(0800)
(3)	BRONZESTONE INSULATED LOW E GLASS(0800)
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<b>Division 09- Finishes</b>	
(1)	SUSPENDED CEILING SYSTEM(0900)
(2)	METAL SCOFF PANEL
<b>Division 10- Misc</b>	
(1)	PLUG POLE
(2)	MONUMENT SIGN
(3)	BUMPER ENCLOSURE
(4)	ROOF HATCH AND LADDER



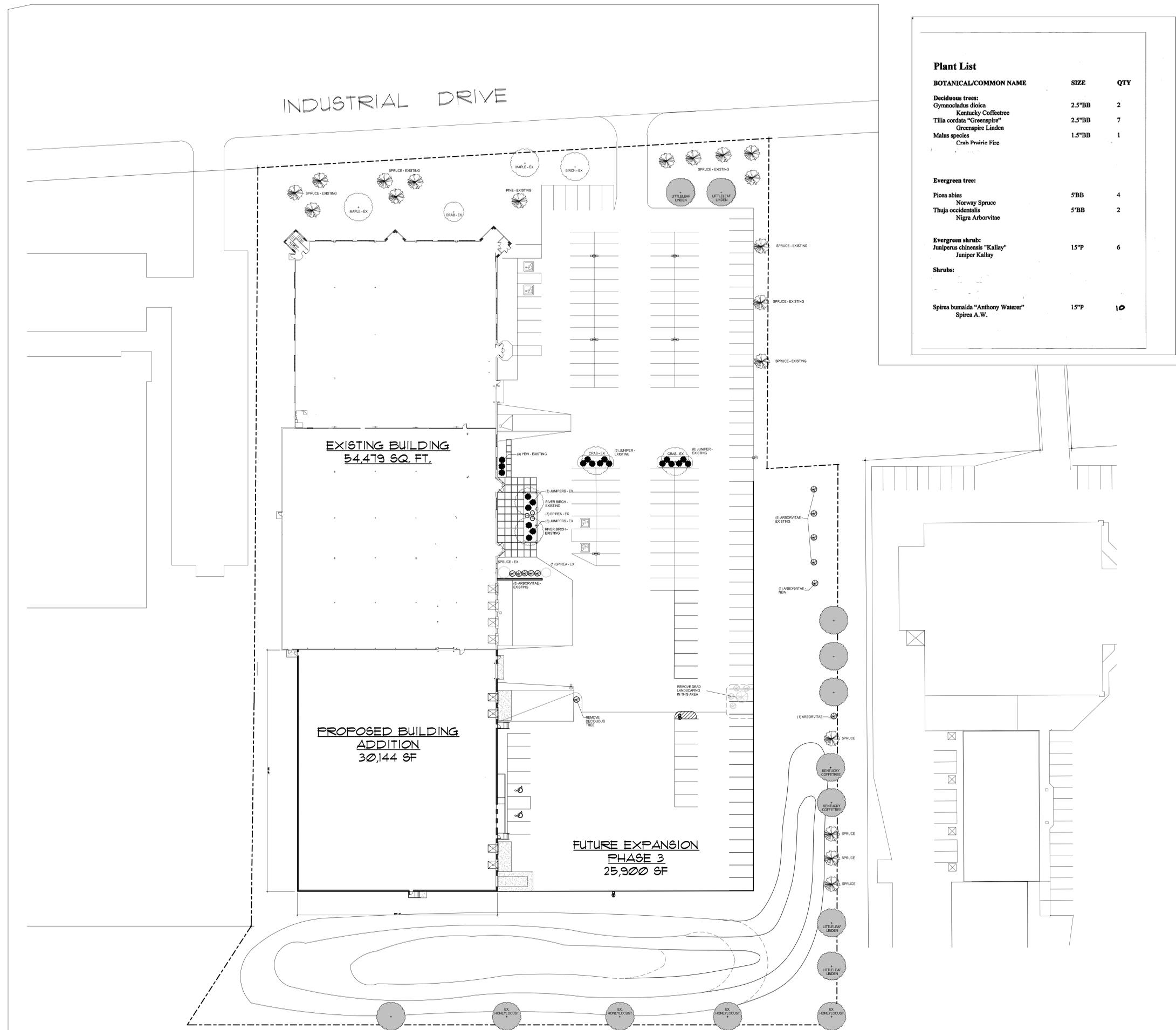
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PROJECT ADDRESS:  
PROJECT NAME  
Herbsmith  
STREET ADDRESS  
455 E. Industrial Drive  
CITY STATE / ZIP  
Hartland, WI 53029  
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 08.31.2015 Drawn By: TONY ZULLI  
Sheet Title: SITE LIGHTING PLAN  
Sheet Number: C-101-3  
Project Number: P11070

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



**Plant List**

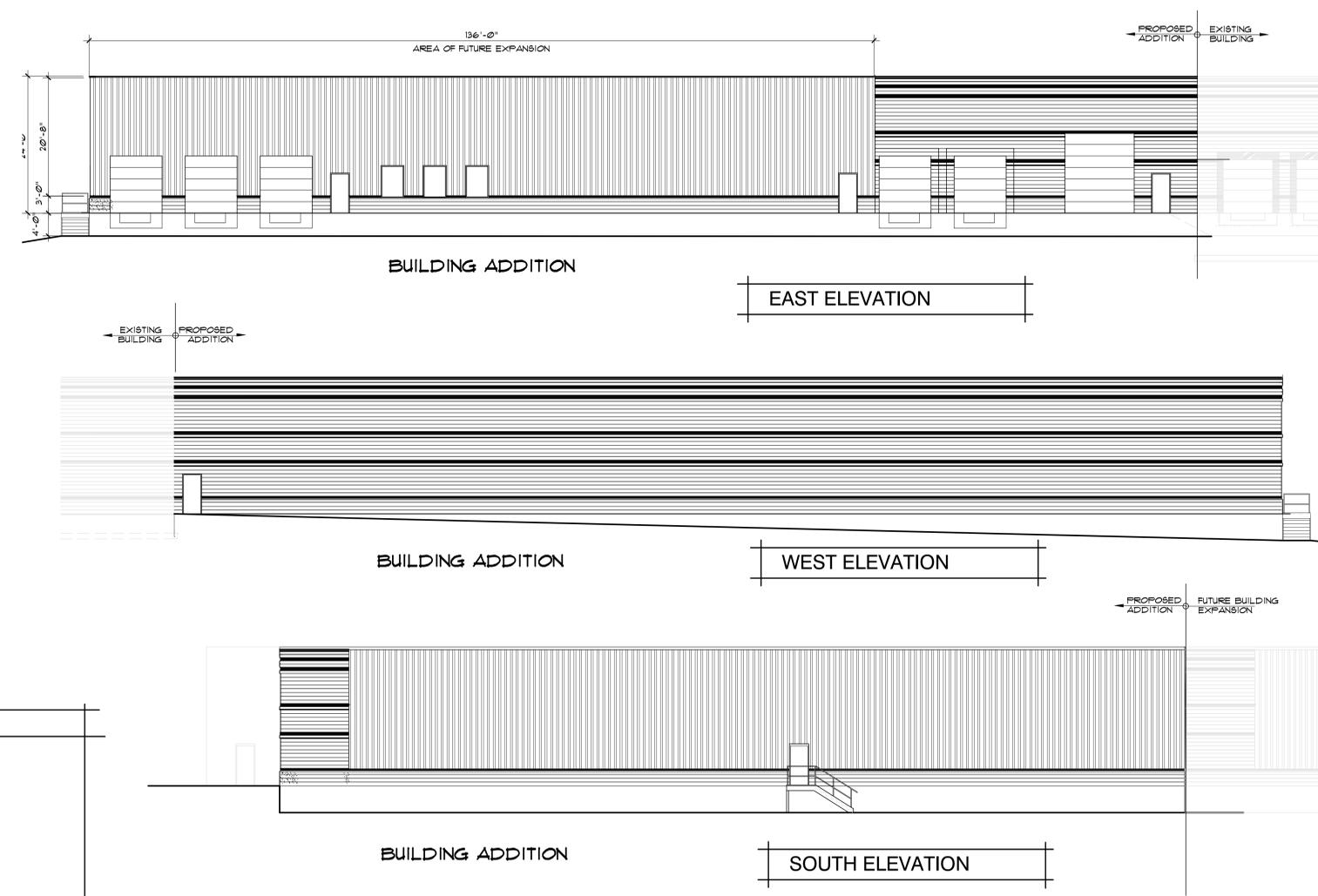
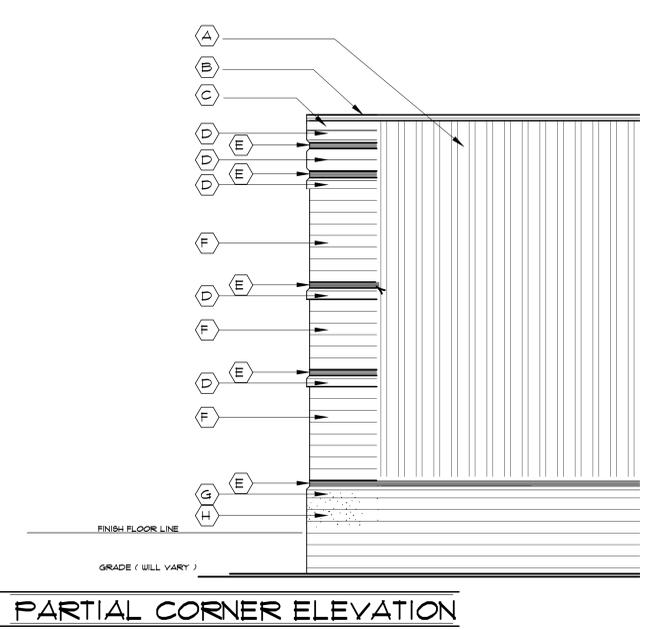
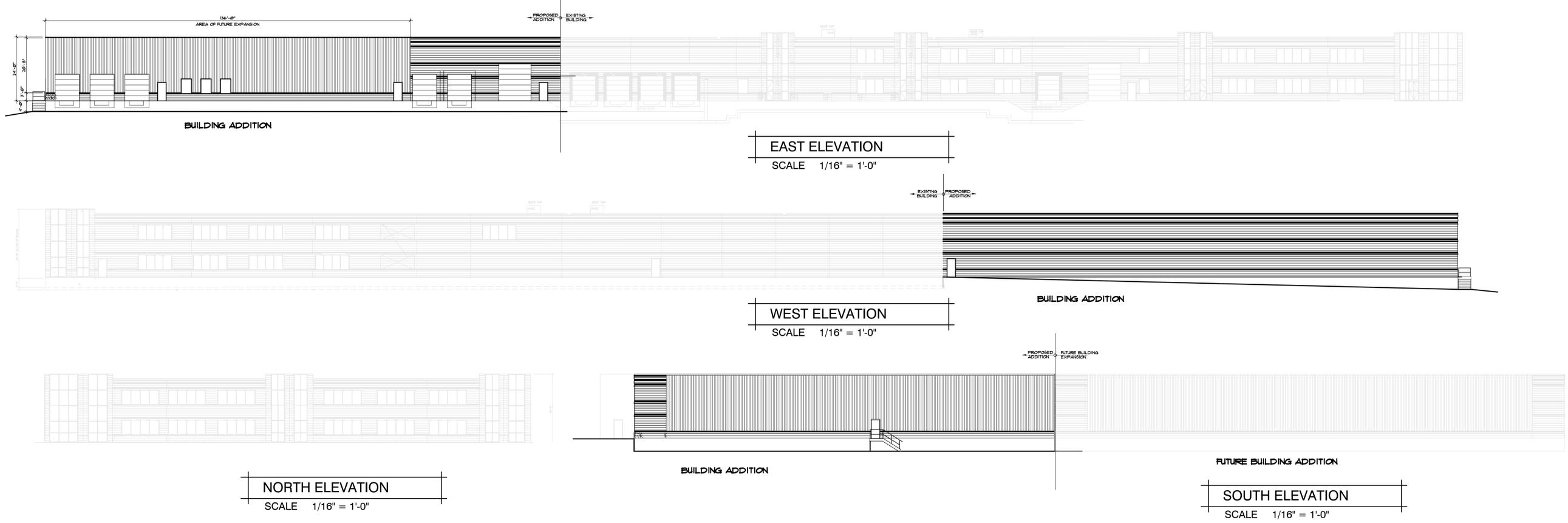
BOTANICAL/Common Name	Size	Qty
<b>Deciduous trees:</b>		
Gymnocladus dioica Kentucky Coffeetree	2.5"BB	2
Tilia cordata "Greenspire" Greenspire Linden	2.5"BB	7
Malus species Crab Prairie Fire	1.5"BB	1
<b>Evergreen tree:</b>		
Picea abies Norway Spruce	5"BB	4
Thuja occidentalis Nigra Arborvitae	5"BB	2
<b>Evergreen shrub:</b>		
Juniperus chinensis "Kallay" Juniper Kallay	15"P	6
<b>Shrubs:</b>		
Spirea bumalda "Anthony Waterer" Spirea A.W.	15"P	10

This plan is the property of Hawks Landscape and cannot be used without written permission.

STEVE HYLAND  
Designed By  
4/30/2014  
Date  
1" = 30'  
Scale

Revisions:

Date:	By:	Description:
5/6/14		



EXTERIOR MATERIAL KEY NOTES	
<b>A</b> BLUE METAL WALL PANEL MATCH EXISTING COLOR AND PANEL TYPE	<b>E</b> 1/4" HIGH SPLIT FACE CUM PAINTED EYECOM BLUE TO MATCH EXISTING COLOR
<b>B</b> COLOR-KLAD METAL CAP FLASHING MATCH EXISTING COLOR, SIZE AND PROFILE	<b>F</b> 1/2" SPLIT FACE HORIZON CUM PAINTED WHITE TO MATCH EXISTING COLOR
<b>C</b> TOP COURSE TO BE STANDARD 4" HIGH BLOCK PAINTED WHITE MATCH EXISTING	<b>G</b> 1/4" GROUND FACE HORIZON CUM PRE-COLOR # 29 BLACK W/ BLACK MORTAR MATCH EXISTING COLOR CUM IS TO BE SEALED WITH AN APPROVED SEALER
<b>D</b> 1/4" SPLIT FACE HORIZON CUM PAINTED WHITE TO MATCH EXISTING COLOR	<b>H</b> 1/4" GROUND FACE CUM PRE-COLOR # 29 BLACK WITH BLACK MORTAR MATCH EXISTING COLOR CUM IS TO BE SEALED WITH AN APPROVED SEALER

ELEVATIONS 3/32" = 1'-0"



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**PROJECT ADDRESS:**  
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Date: 08.31.2015 Drawn By: TONY ZULLI  
Sheet Title: EXTERIOR ELEVATIONS  
Sheet Number: A-201  
Project Number: P11070

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



*Pd. 8-18-15  
#164283*

ADMINISTRATION  
210 COTTONWOOD AVENUE  
HARTLAND, WI 53029  
PHONE (262) 367-2714  
FAX (262) 367-2430

**APPLICATION FOR  
PLAN COMMISSION**

**\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description				Asphalt Reconstruction of South Drive and Parking Lot Addition and Expansion						
Proposed Use			Commercial Parking Lot		No. of Employees					
Project Location				550 South Industrial Drive, Hartland, WI						
Project Name				ABC Supply						
Owner		James/Kristin Ordway		Phone						
Address		N45 W29221 Forseth Drive		City		Hartland	State	WI	Zip	53029
Engineer/Architect				Phone		FAX				
Address				City		State		Zip		
Contact Person		Phone		FAX		E-mail				
Greg Kastenholz or Kyle Gottschlich		414:322-7691 or 414:881-6843		414:476-9132		gkastenholz@poblockipaving.com kgottschlich@poblockipaving.com				

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: <i>8-18-15</i>	Date of Meeting: <i>9-21-15</i>	Return Comments by:
------------------------------	---------------------------------	---------------------

4 3 2 1

D C B A



 Proposed Parking Lot Expansion

**POBLOCKI  
PAVING CORP.**

525 South 116th Street  
West Allis, Wisconsin 53214  
Phone (414) 476-9130 Fax (414) 476-9132  
Website: WWW.POBLOCKIPAVING.COM  
Email: INFO@POBLOCKIPAVING.COM

COMPANY: ABC Supply Co  
ADDRESS: 550 S Industrial Dr  
Hartland, WI

CONTACT INFORMATION:  
Name  
DRAWN BY: Kyle Gotschlich  
DATE: DATE  
DRAWING: 1 of 1  
SALESMAN: Greg Kastenholz  
FILE NAME: Address  
Phone ()  
Fax ()

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- Remove Total of 5 Trees
  - 3 at 26" diameter (Evergreens)
  - 1 at 8" diameter (Cherry Tree)
  - 1 at 16" diameter (Maple)

- Replace Total of 5 Trees  
In Kind with the Trees we Removed

**POBLOCKI PAVING CORP.**  
 525 South 116th Street  
 West Allis, Wisconsin 53214  
 Phone (414) 476-9130 Fax (414) 476-9132  
 Website: WWW.POBLOCKIPAVING.COM  
 Email: INFO@POBLOCKIPAVING.COM

COMPANY: ABC Supply Co  
 ADDRESS: 550 S Industrial Dr  
 Hartland, WI  
 CONTACT INFORMATION:  
 Name \_\_\_\_\_ Phone ()  
 Drawn By: Kyle Gottschlich DATE: \_\_\_\_\_ Fax ()  
 1 of 1  
 SALESMAN: Greg Kastenholtz  
 FILE NAME: Address

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D | C | B | A

D | C | B | A

4 | 3 | 2 | 1

GARDENBOV LLC  
13205 W VAN NORMAN AVE  
NEW BERLIN WI 53151

ADV LLC  
1366 WATERS EDGE DR  
OCONOMOWOC WI 53066-4191

HERAEUS ELECTRO-NITE CO LLC  
RICHARD A FALK  
541 S INDUSTRIAL DR  
HARTLAND WI 53029-2323

MWE LLC  
520 INDUSTRIAL DR  
HARTLAND WI 53029-2324

BUSKE FAMILY LIMITED PARTNERSHIP  
PO BOX 116  
HARTLAND WI 53029-0116

JAMES ORDWAY  
KRISTIN ORDWAY  
N45W29221 FORSETH DR  
HARTLAND WI 53029

SUPERIOR OF WISCONSIN INC  
PO BOX 168  
HARTLAND WI 53029

LAKE COUNTRY RACQUET & ATHLETIC  
CLUB INC  
560 INDUSTRIAL DR  
PO BOX 76  
HARTLAND WI 53029

EXPERT DISPOSAL SERVICES INC  
559 PROGRESS DR  
HARTLAND WI 53029-2327

JOHN GEBHARD  
TRUDY GEBHARD  
N56W28754 CTH K  
HARTLAND WI 53029

LINDSAY REAL ESTATE HOLDINGS LLC  
2222 N 111TH ST  
OMAHA NE 68164-3817

HM INVESTMENT PARTNERS LLC  
581 S INDUSTRIAL DR  
HARTLAND WI 53029

VILLAGE OF HARTLAND  
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit  
or  
 PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00  
Six to Fourteen Parcels - \$300.00  
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary  
Plat Requiring Review \$50.00 (Minimum)  
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat  
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 9-17-15	Fee Paid: 9-18-15
Date Filed: 9-17-15	Receipt No.: 164569

1. Name: DALE BERGMAN -  
Address of Owner/Agent: W 300 N 3317 MAPLE AVE  
POWAUKEE, WI 53072  
Phone Number of Owner/Agent: 262-255-5565
2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
3. State present use of property and intended use.  
Homestead -> 11 Lot Subdivision

Dale Bergman  
Signature of Petitioner

W 300 N 3317 MAPLE AVE, POWAUKEE, WI 53072  
Address

262-255-5565  
Phone



PRELIMINARY PLAT OF  
**HAWKS HAVEN**

BEING A PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 10,  
T.7N., R.18E., TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

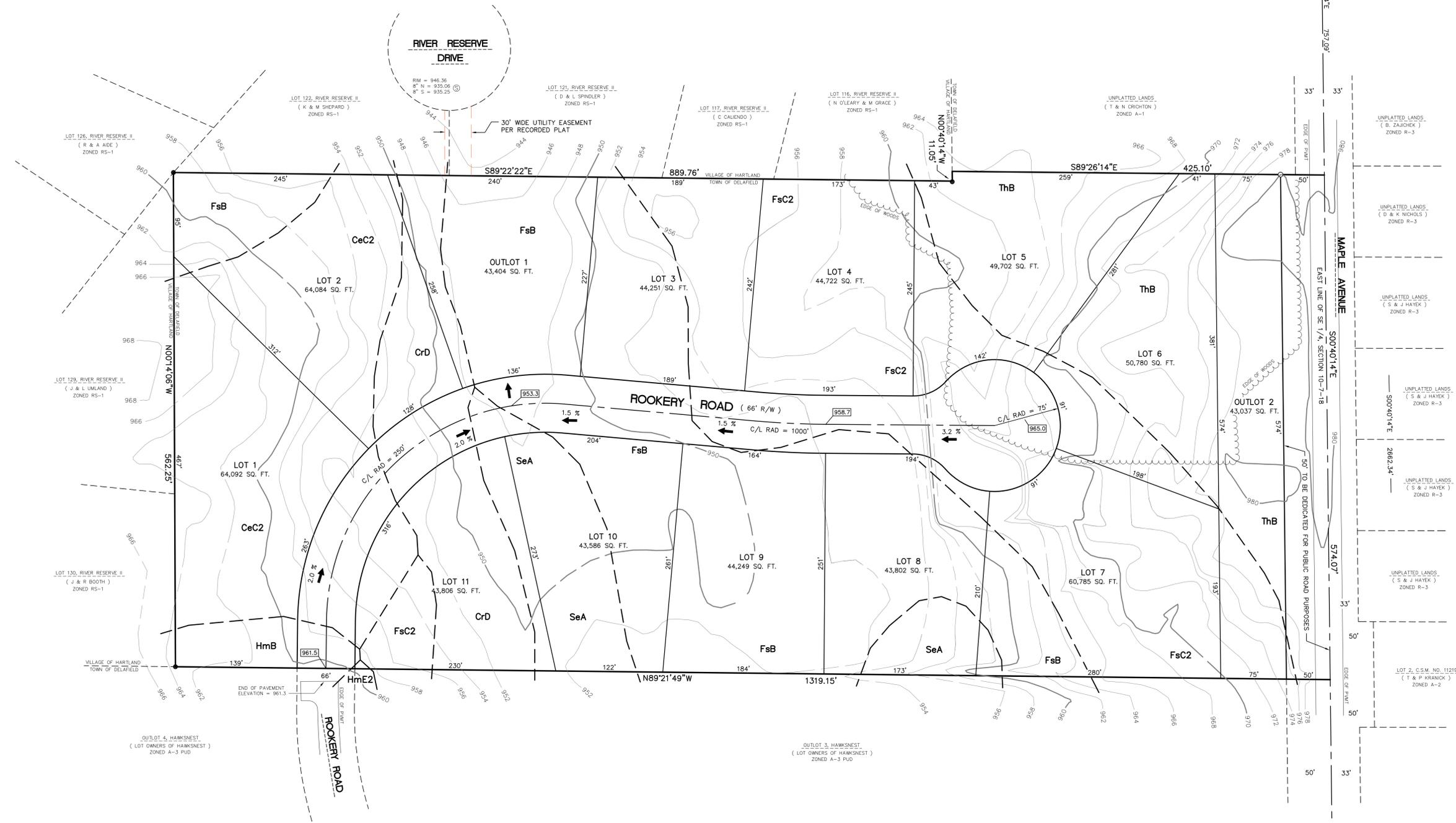
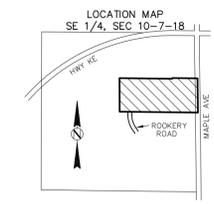
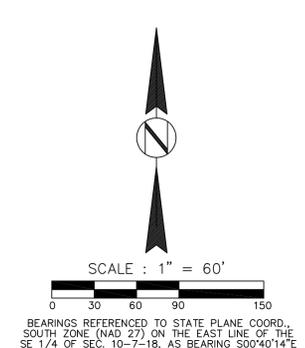
GENERAL NOTES :

- 1) TOTAL LAND AREA OF DEVELOPMENT = 745,340 SQ. FT. ( 17.11 ACRES )
- 2) CURRENT ZONING OF DEVELOPMENT IS A-1; PROPOSED ZONING IS R-1A
- 3) OUTLOTS 1 AND 2 WILL BE OWNED BY ALL ELEVEN LOT OWNERS ON AN EQUAL AND UNDIVIDED BASIS.
- 4) OUTLOT 1 TO BE USED FOR SANITARY SEWER AND PEDESTRIAN EASEMENTS AND A STORM WATER BASIN.
- 5) OUTLOT 2 IS A LANDSCAPED OUTLOT, TO BE USED AS A BUFFER FROM MAPLE AVENUE.
- 6) THIS DEVELOPMENT WILL BE SERVED BY PUBLIC SANITARY SEWER. SERVICE WILL BE EXTENDED FROM THE EXISTING SEWER IN RIVER RESERVE DRIVE TO THE NORTH.
- 7) THERE ARE EXISTING GAS, ELECTRIC, TELEPHONE AND CABLE SERVICES ADJACENT TO THE DEVELOPMENT.
- 8) THERE IS EXISTING WATERMAIN IN RIVER RESERVE DRIVE, BUT WILL NOT BE EXTENDED TO THE DEVELOPMENT.
- 9) ALL LOTS HAVE A MINIMUM WIDTH OF 150.0' OR GREATER AT THE 50' BUILDING SETBACK LINE.

**SURVEYOR**  
MARK A. POWERS, PLS 1701  
LAKE COUNTRY ENGINEERING, INC.  
970 S. SILVER LAKE ST., SUITE 105  
OCONOMOWOC, WI. 53066  
(262)569-9331

**OWNER/SUBDIVIDER**  
DALE BERGMAN  
155 E. CAPITOL DRIVE  
HARTLAND, WI. 53029

- LEGEND**
- - CONC MON W/ BRASS CAP
  - - 1.25" DIA. IRON PIPE FOUND
  - - 2.0" DIA. IRON PIPE FOUND
  - ⊙ - EXISTING SANITARY MANHOLE
  - 961.5 - PROPOSED STREET ELEVATION



I, MARK A. POWERS, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PRELIMINARY PLAT IS A CORRECT REPRESENTATION OF ALL EXISTING LAND DIVISION FEATURES, AND THAT I HAVE COMPLIED WITH ALL APPLICABLE ORDINANCES IN PREPARING THE SAME.

LAKE COUNTRY ENGINEERING, INC.  
970 S. SILVER LAKE STREET, SUITE 105  
OCONOMOWOC, WI. 53066  
PHONE : (262)569-9331 FAX : (262)569-9316

REVISION DATE	COMMENTS

PRELIMINARY PLAT OF  
**HAWKS HAVEN**

SCALE : 1" = 60'	PROJECT NO. : 15-2823
DRAFTED BY : M.A.P.	DATE : JULY, 2015
CHECKED BY : M.A.P.	SHEET NUMBER : 1 OF 1

VILLAGE OF HARTLAND

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE TO AMEND CHAPTER 46 AND CHAPTER 18  
OF THE VILLAGE OF HARTLAND MUNICIPAL CODE  
PERTAINING TO ARCHITECTURAL BOARD AND BUILDING PERMITS

THE VILLAGE BOARD OF THE VILLAGE OF HARTLAND DO ORDAIN AS FOLLOWS:

**Section 1:** Chapter 46, Article II, paragraph 46-99 (1) of the Village of Hartland Municipal Code of Ordinances pertaining to Powers of the Architectural Board is hereby amended to read as follows.

**Sec. 46-99. Powers.**

(1) Hear and decide applications for permission to erect, move, reconstruct, extend, alter or change the exterior of all residential structures except for small accessory structures, decks and minor exterior alterations unless a determination is requested by the building inspector. Further, the architectural board is empowered to waive, or conditionally waive, its authority under this paragraph for applications in subdivisions for which an active homeowners association or architectural review committee has given its approval for said applications.

**Section 1:** Chapter 18, paragraph 18-87 (d) of the Village of Hartland Municipal Code of Ordinances pertaining to Building Permits is hereby amended to read as follows.

**Sec. 18-87. Building permits.**

(d) *Issuance of permit.* All applicable fees shall be paid at the time of application for a building permit. If the plans are approved by the architectural board, as such approval may be necessary in accordance with section 46-99, and the building inspector finds that the proposed building or repair or addition complies with all village ordinances and the uniform dwelling code, the inspector shall officially approve the application and a building permit shall be subsequently issued to the applicant. The issued building permit shall be posted in a conspicuous place at the building site. A copy of any issued building permit shall be kept on file with the building inspector.

**Section 3:** If any section, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of such ordinance.

**Section 4:** This Ordinance shall take effect and be in full force after adoption and proper publication.

[SIGNATURES FOLLOW]

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

VILLAGE OF HARTLAND

By: \_\_\_\_\_  
David C. Lamerand, Village President

ATTEST:

\_\_\_\_\_  
Darlene Igl, MMC, WCPC, Village Clerk

Village of Hartland  
Architectural Board  
Architectural Review Waiver Policy

DRAFT - September 18, 2015

PURPOSE

To provide a clear process through which certain construction projects will not be required to undergo Architectural Board consideration prior to issuance of permits.

BACKGROUND

The Village Code requires, at Section 18-87 regarding Building Permits in part, that building permits may only be issued by the Building Inspector after a “proposed building or repair or addition” is “approved by the architectural board.” Further, under the Zoning Code section referring to Powers of the Architectural Board (Sec. 46-99, in part), the Architectural Board shall have the power to:

“Hear and decide applications for permission to erect, move, reconstruct, extend, alter or change the exterior of all residential structures except for small accessory structures, decks and minor exterior alterations unless a determination is requested by the building inspector.”

In September 2015, an amendment was made to the Village Code to allow the Architectural Board to waive this requirement in certain circumstances “for applications in subdivisions for which an active homeowners association or architectural review committee has given its approval for said applications.” This policy will outline the process by which such a waiver is automatically granted to those applications.

POLICY

The Architectural Board, as a matter of public policy and in the interest of proper governmental oversight, hereby establishes the following policy.

The Building and Zoning Official or Village official authorized to issue building permits is authorized to issue building permits for activities as delineated in Section 46-99 of the Village of Hartland Zoning Code without review of the activity for which the building permit is issued by the Architectural Board when said activity has been reviewed and approved by an active architectural review committee or other similar committee representing the owners of property in the subdivision in which the single family or two family structure is located.

An “active architectural review committee or other similar committee” shall be defined as a group of not less than three owners of separate properties in the subject subdivision that have been given the authority and responsibility via deed restriction and incorporation papers or

bylaws to review and approve or disapprove the exterior appearance of structures within the subject subdivision for compliance with the intended overall requirements and thematic appearance elements of structures in the subdivision as described and approved by the Village during the subdivision approval process and that have been properly selected for that purpose. Further, an “active architectural review committee or other similar committee” also includes the original developer of the subject subdivision when a separate committee as described above has not yet been created or established but does not include said developer when such committee previously existed and is no longer functioning.

The Building and Zoning Official or official authorized to issue building permits is authorized, at his/her sole discretion, to require any application for building permit to be reviewed by the Architectural Board even if said application may comply with this policy.

Nothing contained herein requires the Architectural Board to seek or honor the determination of the subdivision committee or developer in making its determination on an application made under the terms of the Village Code.

The Architectural Board may in its sole discretion and at any time amend or withdraw this waiver authority either entirely or for one or more specific subdivisions or applications.

Approved by the Architectural Board on this date: \_\_\_\_\_