

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, OCTOBER 19, 2015
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of September 21, 2015.
2. Architectural Board consideration of an application for the construction of a single-family residence to be located at 478 Park Court in the Sanctuary of Hartland Subdivision.
3. Architectural Board consideration of an application for the construction of a detached garage at the Landwehr residence, 705 Belshire Drive.
4. Architectural Board consideration of an application for the construction of a carport at the Cottrell residence, 1021 Eton Court.
5. Architectural Board consideration of an application for the construction of an addition to the Varhol residence, 1263 Mary Hill Circle.
6. Architectural Board consideration of an application for the construction of a carport at the Klufft residence, 620 Oakwood Drive.
7. Plan Commission review and consideration of a conceptual plan for the Hammer Subdivision located at 1112 Lisbon Avenue.
8. Architectural Board discussion and possible consideration of an Architectural Review Waiver Policy.

9. Discussion and consideration of requests related to conditionally eliminating the requirement for review of single family residences in certain subdivisions in accordance with the Architectural Review Waiver Policy.
 - a. Windrush Subdivision
 - b. The Sanctuary of Hartland

10. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission

FROM: David E. Cox, Village Administrator

DATE: October 16, 2015

SUBJECT: Agenda Information – October 19, 2015

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 7 Related to the proposed Hammer Subdivision.

Background: This subdivision is proposed for conceptual review. The 6.2 acre parcel is proposed as an extension of Eagle Pass and Badger Drive in the Lake Country Meadows subdivision. Under the proposal, seven new lots would be created after separating the existing residence on Lisbon Avenue from the balance of the parcel. As the attached material indicates, the plan is in general conformance with the Village's long range plans as depicted in the Land Use Plan from our 2035 Comprehensive Development Plan. While staff is supportive of the proposed subdivision and would recommend approval of the conceptual plan, it is suggested that the Plan Commission consider the long range impact of implementing the Land Use Plan as it is shown. The Plan shows no secondary entrance/exit for this neighborhood, which currently contains 40 residences and would likely contain in excess of 50 at full development. At some point in the future, the Commission may wish to consider an amendment to the Land Use Plan that shows a second road exiting to Merton Avenue, which could then be considered or enforced if and when additional development occurs in this area.

Recommendation: Recommend approval of the conceptual plan for the Hammer Subdivision.

Item 8 Related to a policy for waiver of Architectural Board review.

Background: This item is returned for third review with the Architectural Board. The Ordinance effecting this change in authority for the Architectural Board was approved by the Village Board at its last meeting in September based on the Plan Commission's recommendation. The policy has been revised based on Architectural Board discussion at its last meeting and has been sent, in draft form, to the current developers to solicit their review and comment. The primary update to the policy is to include a "Method of Waiver" section that outlines a basic process by which a developer or subdivision would be exempted. The section calls for written descriptions and photographic representations of the proposed standards and review process for

approval by the Architectural Board as part of the waiver. Two of the current developers, Siepmann Realty/Windrush and Chris Miller/Sanctuary of Hartland, will be present to discuss the policy and seek waivers from review. The Architectural Board is asked to determine whether the policy is ready for adoption and implementation.

Recommendation: Recommend the proposed ordinance for approval and provide feedback as appropriate on the policy.

DC:PC Agenda Info 10-19

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, SEPTEMBER 21, 2015
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, Jim Schneeberger, Randy Swenson and Jack Wenstrom.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer.

Roll Call

1. Motion (Hallquist/Swenson) to approve the Jt. Architectural Board/Plan Commission Minutes of August 17, 2015. Carried (7-0).
2. Architectural Board consideration of an application for the construction of a single-family residence to be located on Lot 13 in the Sanctuary of Hartland Subdivision.

The site plan meets the zoning requirements and the home is 3,358 s.f. The developer has signed off on the color of the exterior. Mr. Caliendo, President of Kingsway Homes, was not certain of the exact colors.

Motion (deCourcy-Bower/Hallquist) to approve the construction of a single-family residence to be located on Lot 13 in the Sanctuary of Hartland Subdivision. Carried (7-0).

3. Architectural Board consideration of an application for a sign for St. Charles Food Pantry at 229 Lawn Street.

This is a free-standing sign that will be located on the grass between the parking lot and the fence. The applicant isn't sure exactly how tall the sign is, but it should be slightly taller than the fence.

The Board questioned why the sign was set back so far from the building and not very visible. The applicant stated that they have evening hours (Tuesdays from 5:30 – 7:00 PM). There is an existing light on the building that will shine on the sign.

The Board was concerned about cars parking in front of the sign, making the sign not visible from the road and they generally thought the sign should be on the front lawn of the building.

Chairperson Lamerand stated that the Board could approve the sign tonight, but in the future, he felt that they may want to re-site the sign.

The resident at 221 Lawn Street was present. Their house is directly across the alley. She stated that they were having light issues with the new owners of this building. The former dental office did not use lights in the evening. The new owner had lights on every night. The light shines in the resident's bedroom and living room. They asked the building owner to turn off the flood-lights at night and they have done that.

The light around the corner of the building, above the door, is on all night and does shine into the neighbor's yard on Church Street.

Scott Hussinger said that there may be lighting issues, but that is a separate issue and he would deal with the property owner for that. It would be appropriate to have lighting when they are open for business and then turned off after business hours.

The other tenant in the building is an accounting firm and their sign is on the door facing Church Street.

The applicant stated that they would only need the parking lot/flood lights on one night a week from 5:00 PM – 7:30 PM.

Motion (Wenstrom/Hallquist) to accept the application for a sign for St. Charles Food Pantry at 229 Lawn Street, with Scott Hussinger working with the owner of the property to control the lighting of the parking lot. Carried (7-0).

4. Architectural Board consideration of an application for a sign for Lake Country Bed Barn at 122 Cottonwood Avenue.

This is a hanging/projecting sign above the entryway. The Business Improvement Board has approved the sign.

Motion (Hallquist/deCourcy-Bower) to approve an application for a sign for Lake Country Bed Barn at 122 Cottonwood Avenue. Carried (7-0).

5. Architectural Board consideration of an application for a sign for Coda Yoga Studio at 139 E. Capitol Drive.

The sign has been approved by the Business Improvement District Board.

Motion (Hallquist/Schneeberger) to approve the sign for Coda Yoga Studio at 139 E. Capitol Drive. Carried (7-0).

6. Architectural Board consideration of an application for a sign for Hartland Business Improvement District at 135 Cottonwood Avenue.

The sign is 8" x 33" and will hang below the State Farm Insurance sign. The sign has been approved by the BID Board.

Motion (deCourcy-Bower/Hallquist) to approve an application for a sign for the Hartland Business Improvement District at 135 Cottonwood Avenue. Carried (7-0).

7. Architectural Board consideration of an application for outside installation of air compressors, condensers and HVAC units on concrete pads for CL & D Digital at 535 Norton Drive.

This project will be on the west side of the building and is in an area that has some existing equipment. In the last year or two this Board approved an addition that included some large equipment on the west side of the building. Now they are proposing to add two 150 hp air compressors – there are currently two 200 hp air compressors there in a fenced area. The new compressors would be under 6 feet tall, under the fence line.

A representative from the business Durable Controls/Taylor Computer Services at 515 Industrial Drive was present. He was concerned about the additional noise that would be created by the new equipment. He asked if there was a way to eliminate some of the noise.

It was determined that 515 Industrial Drive is two buildings away from CL & D.

The applicant will look into noise canceling fencing to help with the additional noise. The planned fence is a steel fence with some privacy slats. The Board suggested bushes or trees, however, Scott Hussinger mentioned that he thought there were underground WE Energies buried cables in that area.

One of the new compressors fits on the current concrete pad. They are adding a concrete pad adjacent to the existing concrete pad for the other compressor. There are four other concrete pads. The decibel level of the units was not known. The two new units are 150 hp; the two existing units are 200 hp. The Village does have a noise standard and it's based on the decibel range.

The business owner at 515 Industrial Drive was asked if he could hear the noise from C L & D's property from inside his building with the windows closed. He didn't think so, but sometimes they have the doors and windows open on a nice day. He just got the Plan Commission Agenda Notice in the mail Friday and he

didn't have time to get any information together. He did say that it may not be a problem.

Chairperson Lamerand recommended that Scott Hussinger monitor the situation and if there is excess noise, he will suggest additional screening in the way of an additional fence or some landscaping.

Motion (deCourcy-Bower/Schneeberger) to recommend to the Village Board approval of an application for outside installation of air compressors, condensers and HVAC units on concrete pads for CL & D Digital at 535 Norton Drive, noting that Scott Hussinger will follow up on the noise level. Carried (7-0).

8. Architectural Board and Plan Commission review and consideration of an application for modifications to a building addition for light manufacturing for Herbsmith at 455 E. Industrial Drive.

EyeCom/Herbsmith approached the Village in early 2014 and received permission to construct a 56,000 s.f. addition to their facility at 455 E. Industrial Drive. That addition was never constructed. The original approval included:

- All of the new building materials will match the original building materials
- Four loading docks and one at grade door
- The addition of asphalt for additional parking of 15 more vehicles (172 total spaces)
- Upgrade of landscaping and relocation of two lights
- Architectural features of metal panels and block towers on the back of the building to break up the wall
- Relocation of the dumpster
- Upgrade of the retention pond to the current code to serve the new site plan

The current consideration is for two phases and should match the appropriate portions of the previous approval. The time frame for finishing Phase 2 will depend upon the level of business.

Motion (Swenson/Hallquist) to recommend to the Village approval of an application for modifications to a building addition for light manufacturing for Herbsmith at 455 E. Industrial Drive. Carried (7-0).

9. Plan Commission review and consideration of an application for asphalt reconstruction and parking lot addition/expansion for ABC Supply at 550 S. Industrial Drive.

ABC Supply is proposing the addition of two new parking areas of its site including a large parking lot in front of the building (12 spaces) and the addition

of 11 spaces as part of the reconstruction of the south entry drive. The proposed plans call for the removal of five mature trees and the placement of five new trees west of (in front of) the new parking lot. There is no other landscaping proposed.

The Plan Commission considered the sufficiency of the proposed tree plan and considered whether other landscaping should be required either adjacent to the front parking lot or the side (south) parking lot adjacent to the neighboring lot.

The Commission questioned the green space ratio as it appears to be very minimal on the plan. There is no storm water plan with this project.

Scott Hussinger stated that there is a maximum hard surface area that can be exceeded after Plan Commission review and approval, if they would manage storm water, somehow treat it or improve it. The problem is this wasn't submitted by a civil engineer, it was submitted by the paving company. A representative from neither ABC nor the paving company was present.

It was mentioned that the side screening for the adjacent property would be lost if this project moves forward as is. There is about 8,000 – 9,000 s.f. of pavement, so that is less than an acre and they would not need a stormwater management plan or erosion control permit, unless there is a way to prove that this project would negatively impact the stormwater management.

Scott Hussinger said that we have a hard surface limit that can be exceeded if the Plan Commission approves it and they need to make improvements to the runoff quality.

It was decided to table this item until the Village receives more information on the hard surface to green space ratio, a specific landscape plan and inspection for any existing water issues.

Motion (Wenstrom/deCourcy-Bower) to *table* an application for asphalt reconstruction and parking lot addition/expansion for ABC Supply at 550 S. Industrial Drive to allow for additional details to be obtained. Carried (7-0).

10. Plan Commission consideration of an Extraterritorial Preliminary Plat for the Hawks Haven Subdivision on Maple Avenue south of North Shore Drive (CTH KE).

This plat is for 11 lots south of River Reserve Subdivision (the former Klawitter property). It shows a sewer easement connection to River Reserve, which will connect this parcel to sewer. There is no ingress/egress from Maple Avenue – the road will connect to the Hawks Nest Subdivision. The conceptual plan was approved by the Town of Delafield. The final plan will probably go before the Town Board in a month.

The stormwater plan shows the drainage flowing into the Village. Outlot 1 will be the water retention area. The Village will want to see the engineering on the stormwater and the sewer.

Motion (Swenson/deCourcy-Bower) to recommend to the Village Board approval of an Extraterritorial Preliminary Plat for the Hawks Haven Subdivision on Maple Avenue south of North Shore Drive (CTH KE), contingent upon review of the final stormwater retention plan. Carried (7-0).

11. Actions related to conditionally eliminating the requirement for review of single family residences in subdivisions with active homeowners associations.
 - a. Consideration of a motion to recommend an ordinance making Zoning Code and general Code amendments

Motion (deCourcy-Bower/Swenson) to recommend to the Village Board approval of an ordinance making Zoning Code and general Code amendments. Carried (7-0).

- b. Discussion of a draft Plan Commission Policy Statement

The commission had some concern regarding letting a developer act as its own architectural control committee. In this situation, they would prefer to review new homes in a development.

It was brought up that in most developments, at least half of the lots would probably be built before any type of subdivision architectural control committee would be in place.

The concern was that if lot sales slowed down, a developer might decide to accept a sub-standard house plan just for the sale. There are some developers that would change the rules to sell lots.

This idea of this policy comes from two things -- builders want quicker turn-around times, but also the Plan Commission often "rubber stamped" house plans if they were signed off by the development's Architectural Control Board. It was thought that perhaps the Plan Commission doesn't want to be burdened with that.

Chairperson Lamerand stated that it depends upon the developer and their history/reputation. For example, the Windrush Subdivision (Siepmann Development), we have worked with and seen their developments in the area. The current development is out at the Village edge. The Sanctuary is very close to the existing community. Miller-Marriott is an unknown to us and we have had some early problems. The Commission should look at the

plans coming in for the Sanctuary, but it would not be necessary for Windrush.

It was suggested to have the guidelines of reviewing the first 20% of house plans that come in for a development.

Another idea was to put specific requirements for the houses in the deed restrictions. If the developer doesn't provide that, every house would need to come to the Arch Board. However, if we are concerned about the developer, there is nothing that says we have to turn approval over to the developer. We could continue Arch Board approval until the developer relinquishes to a committee. The Siepmann's never give up architectural control, right through the sale of the last lot.

At any given time, the Arch Board could revoke the policy of not reviewing a house plan.

The Sanctuary is being developed in the center of existing developments. That might be how we distinguish development needing Arch Board approval. However, the implication could mean that we don't care what is in the outskirts.

For example, Four Winds West has a 40 acre vacant parcel to the south that the school district owns. To the north you have Vilter's private 20 acres. To the west are a few lake properties and to the east is the road, Swallow School and a WE Energies substation. Four Winds West won't impact the neighborhood as much as the Sanctuary because of the large amount of open land surrounding it.

When was the last time that the Board modified or rejected a house plan? (last month ago they did modify a garage on E. Capitol Drive). Again, that is surrounded by an existing neighborhood.

The Village has minimum standards, but Siepmann's standards are much higher than the Village's. In fact, most developments in the last 10 years have had higher standards than the Village's.

At the onset of the developer coming in, at that point we would determine if the plan is at a certain standard and then the Village could say that we are comfortable with their standards and we could waive the Architectural Board process. Since they have made those statements in their developer's agreement, we would have recourse if they do not follow it.

Chairperson Lamerand stated that the board determines acceptable levels of aesthetics, to prevent the impairments, and to provide stability of the

property values within the community of Hartland. The Board does not make decisions on any zoning or inter-governmental issues that may also affect the property. They are only concerned with the exterior design of the structure or alteration as it relates to the lot and the surrounding area. We have zero surrounding area for Windrush and Four Winds West.

However, for example, if a subdivision has three good homes built to a certain standard, something goes wrong, the developer goes cheap and changes their standards, and they start building substandard homes. It's the duty of the Village to uphold the rest of the buildings in the development to the same standard. We do want to protect the adjacent property owners.

When a developer comes in we should ask them how long they plan on staying around. They might try to sell all the lots quickly and be out of the picture in a short amount of time.

Administrator Cox stated that we want to develop a piece in this policy that, if in fact the developer is going to be the one doing the approval or if there is a developer that wants to get out of going to Architectural Board Review, we are tying to specific standards for the subdivision that is approved specifically by this body.

Administrator Cox will make some revisions to the policy before approval.

The Architectural Board declared that Scott Hussinger and David Cox can tell developers what the Architectural Board is contemplating on this policy.

In the case of the Sanctuary, we have a preconceived notion about what the design elements of the homes should have, which is hard to define in a standard. We would at least expect them to describe what the exterior colors will be.

12. Adjourn

Motion (deCourcy-Bower/Wenstrom) to adjourn. Carried (7-0). Meeting adjourned at 8:20 PM.

Respectfully submitted by

Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 478 Park Court, Hartland, WI			
Lot 20	Block	Subdivision Sanctuary of Hartland	Key No. HAV
Owner Addison Beste / Jessica Fedenia			Phone 414-232-7008
Address 801 Elise Ct., #203	City Waukesha		State WI Zip 53189
Contractor Joe Drendorf	Phone 262-691-2323	FAX 262-691-2998	E-Mail Address joe.drendorf@customhomes.com
Address 812 Rose Dr.	City Hartland		State WI Zip 53029

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION 478 Park court, Hartland, WI
 LOT 20 BLOCK _____ SUBD Sanctuary of Hartland TAX KEY _____
 OWNER Addison Beste, Jessica Fedenia PHONE 414-232-7008 FAX _____
 ADDRESS 801 Elise Ct., #203 CITY, STATE, ZIP Waukesha, WI 53189
 CONTRACTOR Joe Orendorf, Orendorf Custom Homes PHONE 262-691-2323 FAX 262-691-2998
 ADDRESS 812 Rose Drive CITY, STATE, ZIP Hartland, WI 53029

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: Farmhouse Style Single family home.

Current principal use of property Single family residential
 Proposed principal use of property Single family residential
 Width 67'0" Length 48'6" Sq. Ft. 3131 Height _____ Cu. Ft. _____
 Estimated cost of above job(s) \$ 426,770 \$ _____ \$ _____

State Approval _____ Date _____

Class of Construction _____ Sprinkler _____ Stories _____

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant _____ Date _____

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

- See plans for possible conditions/recommendations
-

_____ TOTAL FEES
 _____ Date Paid
 _____ Receipt

Meeting dates plans were approved for building permit:
 Plan Commission _____ Village Board _____ Arch Board _____

APPLICATION APPROVED ON: _____ DATE BY: _____ BUILDING INSPECTOR

SUBMISSION GUIDELINES FOR:



Name(s): Addison Beste / Jess Fedenia Lot # 20
 Builder: Drendorf Custom Homes Plan Name: The Preston
 Current Address: Ø
 New Home Architectural Style Inspired by (circle one):
 Bungalow | **Farmhouse** | Foursquare | Cape Cod | Shingle Style | Cottage | Tudor

All homes must comply with the requirements listed below and submitted with a stamped survey.
 Submit this sheet, with 1 printed full size set of plans including a survey showing trees being removed, one PDF email of the plans.
 Plans must include all exterior materials and colors. Email plans to: lpellegrini@millermarriott.com

MINIMUM HOME SIZE

Single Story - 1500 sq feet
 Two Story - 1650 sq feet

3131 sq ft

EXTERIOR SPECIFICS

- Home exterior style must be consistent with EXHIBIT A
- House must have a front porch that is a prominent architectural feature consistent with the pictures in EXHIBIT A.
- Front facing garage doors must be chosen from selections available in EXHIBIT B n/a
- Roof: 8/12 Pitch
- No Vinyl Siding Allowed (Only brick, stucco, stone, wood, Hardiplank or similar)
- Color of exterior siding and trim must be submitted for approval. SW 6165/trim
- Driveway location must be submitted for approval
- If masonry is used as siding, it must be found on ALL WALLS of the house (exceptions: fireplace/column bases). n/a
- All windows must be trimmed on the exterior using casing that is at least 5 1/2 inches minimum or shutters.
- Roof materials can consist of wood shakes, 30 yr dimensional shingles, slate, or metals.
- Mailbox and lightpost are standard throughout the subdivision and will be paid for by the lot owner, see EXHIBIT C.
- Street trees to be installed by the village after home construction is completed
- Trees within 15 feet of the foundation or in the driveway can be removed, all other tree removal needs approval.
- Outbuildings are allowed as long as the siding and theme match the same materials used on the house n/a

SW 7008

GARAGE, DRIVEWAY & LANDSCAPE

- Minimum 2-Car Attached Garage, location preferred toward back of house & side facing
- Front entry garage permitted if lot conditions do not permit side entry
- A list of front facing approved garage styles can be found in EXHIBIT B.
- Landscape plans should be submitted for approval. Not received
- All driveways, sidewalks and patios paved either with asphalt, concrete or brick.

Not received
 correct driveway

SET BACKS

All setbacks are set per zoning code at the Village of Hartland as indicated on Plat Map.

FINAL YARD GRADE AND TOP OF FOUNDATION TO BE APPROVED BY THE VILLAGE OF HARTLAND AND CONSISTENT WITH MASTER GRADING PLAN.



All submissions to be sent to: Miller Marriott Construction Co. LLC | 301 Pawling Avenue Hartland, VT 53029 | lpellegrini@millermarriott.com | 262.369.0531

Lot # 20 Developer Approval X [Signature] (Chris Miller) Date: 9/15/2015

EDGEWOOD SURVEYING

14195 BEECHWOOD TRAIL • NEW BERLIN • WISCONSIN 53151
(262)366-5749 • fax (262)797-6329

PLAT OF SURVEY

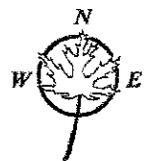
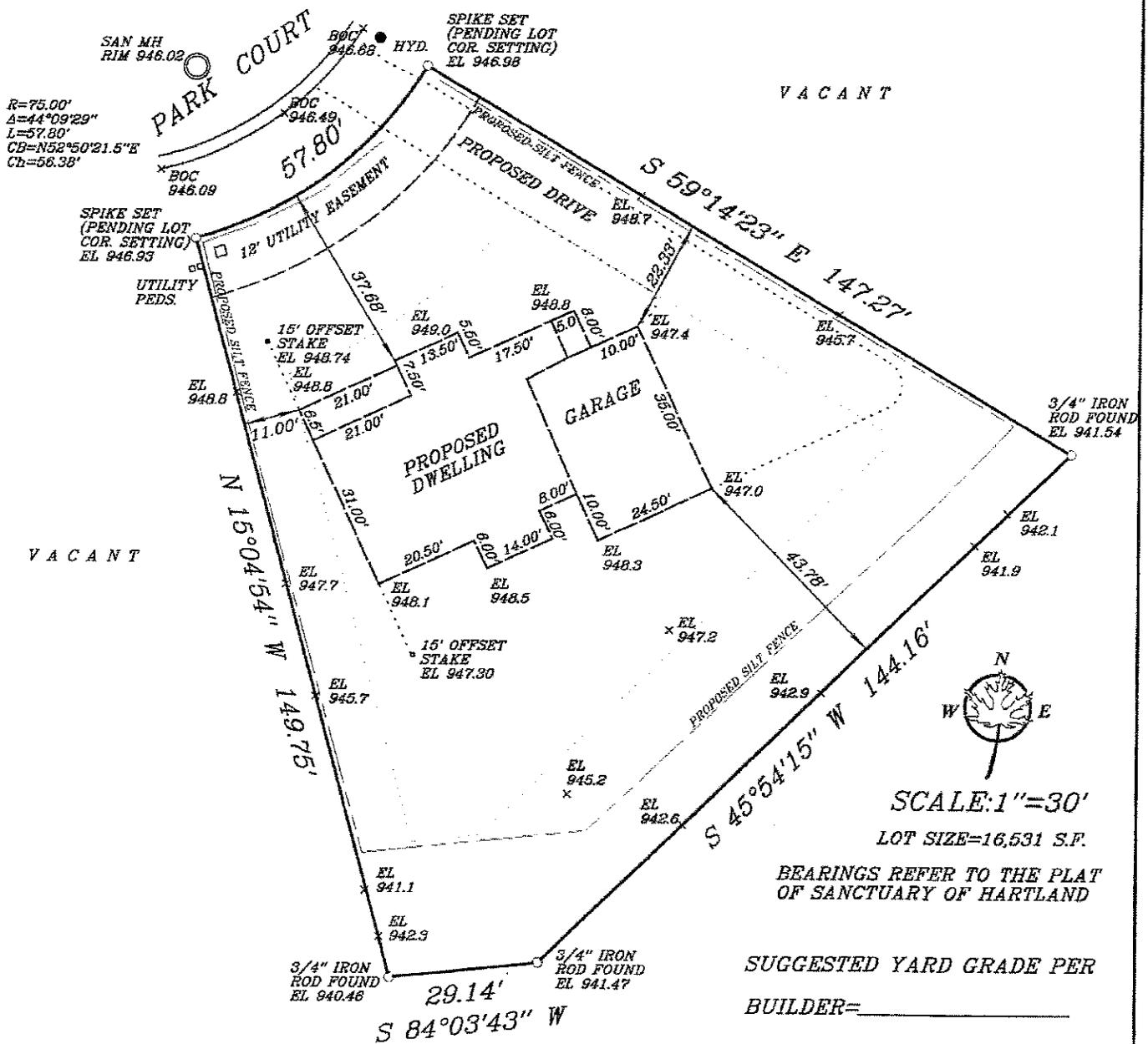
PREPARED FOR: ORENDORF CUSTOM HOMES/BESTE-FEDENIA

LOCATION: PARK COURT, VILLAGE OF HARTLAND

LEGAL DESCRIPTION: LOT 20, SANCTUARY OF HARTLAND, ALL THAT PART OF THE NW 1/4, NE 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 2, TOWN 7 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

SEPTEMBER 9, 2015
STAKED 9/21/15

WAU-1449



SCALE: 1"=30'

LOT SIZE=16,531 S.F.

BEARINGS REFER TO THE PLAT OF SANCTUARY OF HARTLAND

SUGGESTED YARD GRADE PER BUILDER=_____



I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any. This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within one (1) year from date hereof.

Christopher J. Kunkel

Signed CHRISTOPHER J. KUNKEL REGISTERED LAND SURVEYOR S-1755

THIS IS AN ORIGINAL PRINT ONLY IF SEAL IS IMPRINTED IN RED

Beste/Fedenia Residence



APPLICABLE MUNICIPAL CODES	
BUILDING:	STATE OF WISCONSIN BUILDING CODE CHAPTER 20-25
PLUMBING:	STATE OF WISCONSIN BUILDING CODE CHAPTER 81-87
ELECTRICAL:	STATE OF WISCONSIN BUILDING CODE CHAPTER 16
MECHANICAL:	STATE OF WISCONSIN BUILDING CODE CHAPTER 61-25

SQUARE FOOTAGE	
FIRST FLOOR LIVING AREA	1820 SQUARE FEET
SECOND FLOOR LIVING AREA	1511 SQUARE FEET
TOTAL LIVING AREA	3131 SQUARE FEET
UNFINISHED BASEMENT AREA	1493 SQUARE FEET
GARAGE AREA	836 SQUARE FEET
FRONT PORCH AREA	137 SQUARE FEET
SIDE PORCH AREA	40 SQUARE FEET

DESIGN CRITERIA	
FLOOR JOISTS (ALL ROOMS & DECKS)	40 # LL / 15# DL
GAIRD RAILS & HANDRAILS	200# LL
ROOF TRUSSES (TOP CHORD)	30# LL / 7# DL
ROOF TRUSSES (BOTTOM CHORD WITH FINISHED CEILING)	0# LL / 10# DL
ROOF TRUSSES (BOTTOM CHORD WITH LIGHT STORAGE)	20# LL / 10# DL
SNOW	30# LL
WIND	90 MPH
STAIRS	40# LL OR 300# CONCENTRATED LOAD OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES GREATER STRESS

INDEX OF SHEETS	
Sheet Number	Sheet Title
CS	COVERSHEET
Architectural Set	
A1	EXTERIOR ELEVATIONS & ROOF PLAN
A1.1	EXTERIOR ELEVATIONS & ROOF PLAN (CONT.)
A2	FOUNDATION PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
Electrical Set	
E1	ELECTRICAL PLANS
Structural Set	
S1	TYPICAL WALL SECTIONS

K Architectural Design
LLC
1825 LODWATER DRIVE
WEST BEND, WI 53091
920.353.5495
WWW.KARCHITECTURALDESIGN.COM

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THESE PLANS ARE THE LICENSED TO THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER ANY PORTION OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF K ARCHITECTURAL DESIGN, LLC.

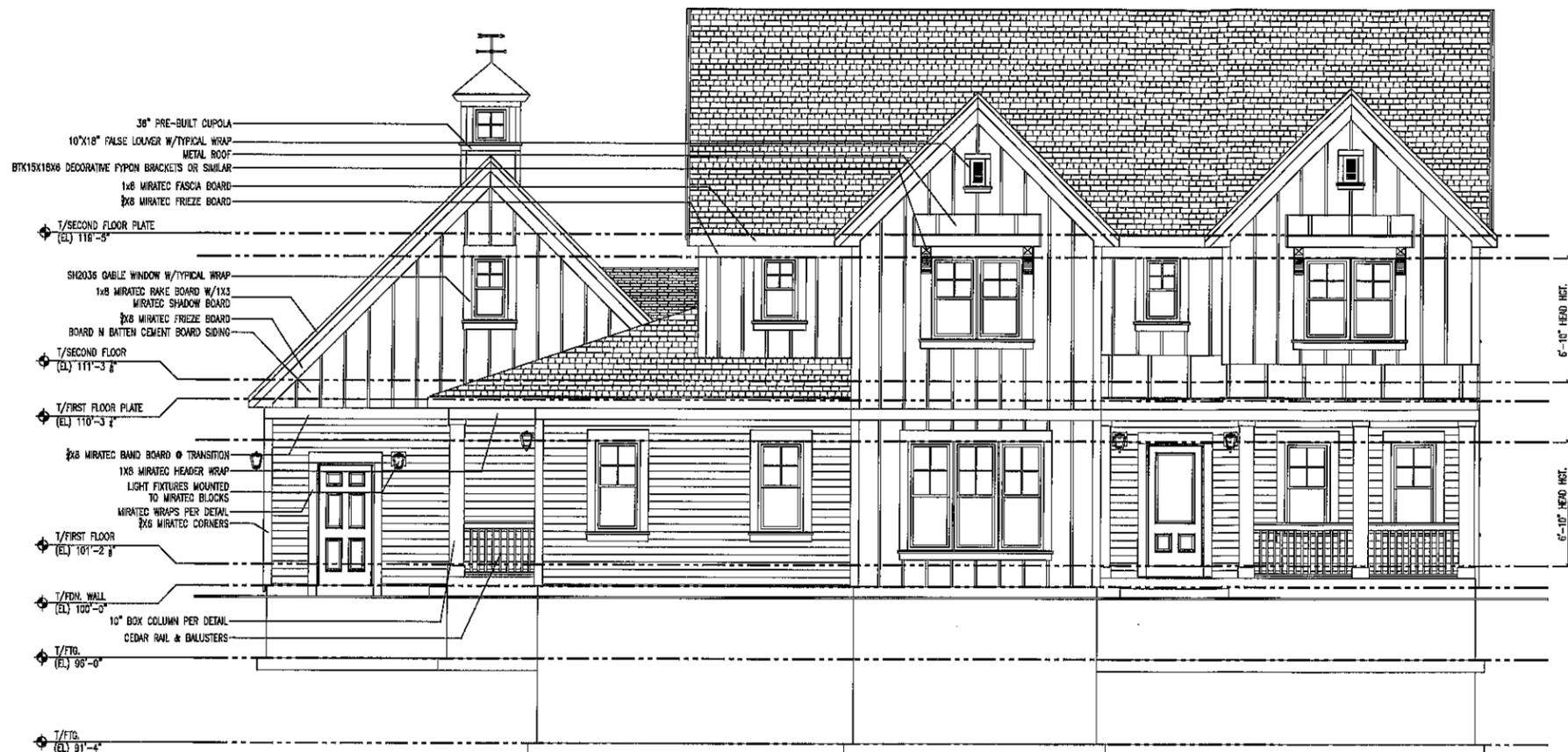
ORENDORF
CUSTOM HOMES
912 ROSE DRIVE
MILWAUKEE, WI 53229
PH 262.691.2321
FAX 262.691.1299

SHEET DESCRIPTION
COVERSHEET

NO.	DATE	DESCRIPTION	BY
01			
02			
03			
04			
05			
06			
07	06.10.15	FIRST ROUND	AKL

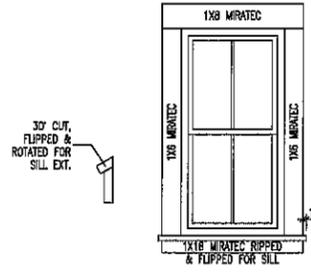
HOMEOWNER INFORMATION
Beste/Fedenia Residence
The Structure of the Home
Handout #1

CS



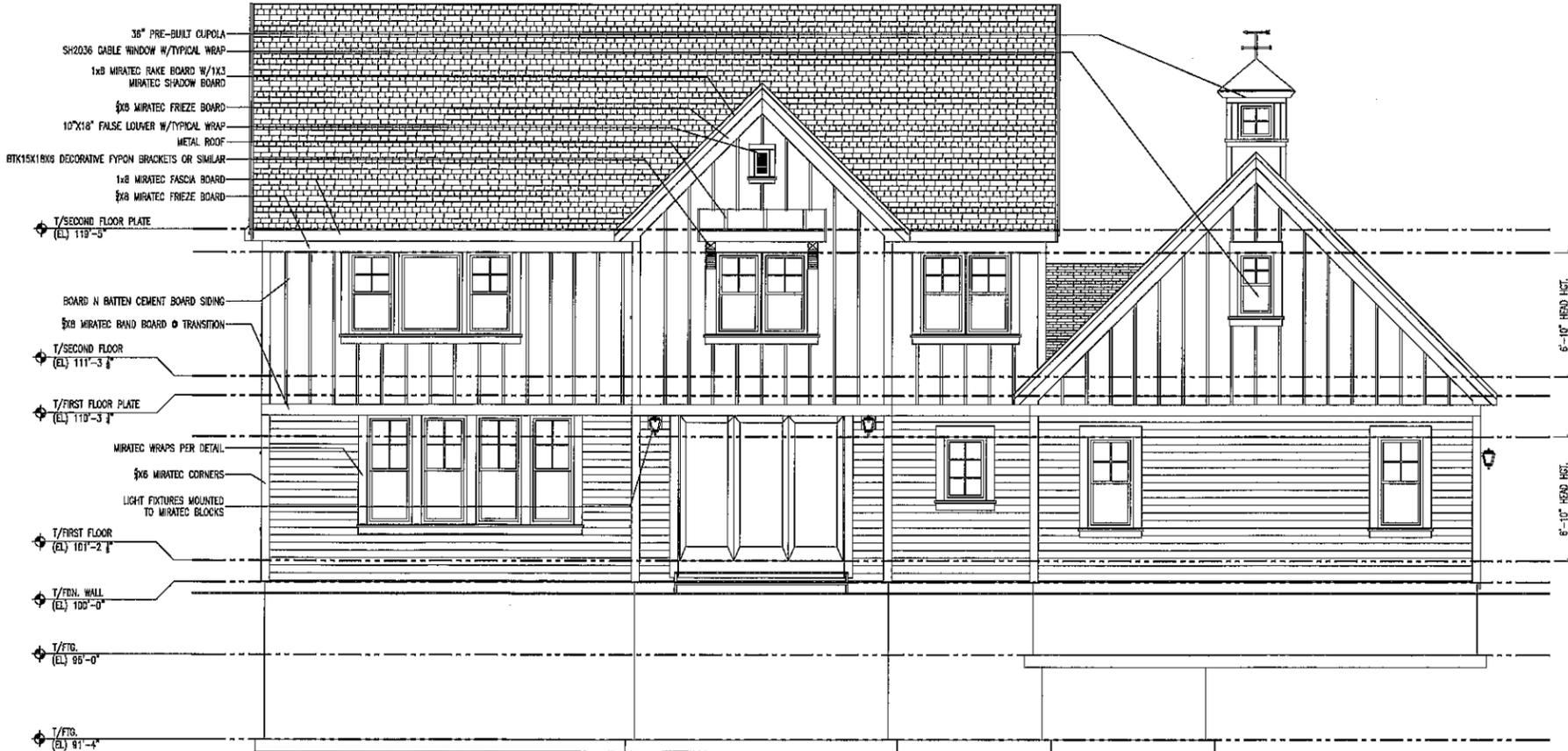
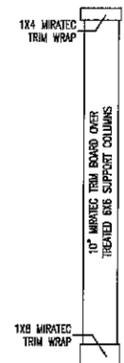
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL WINDOW WRAP
N.T.S.

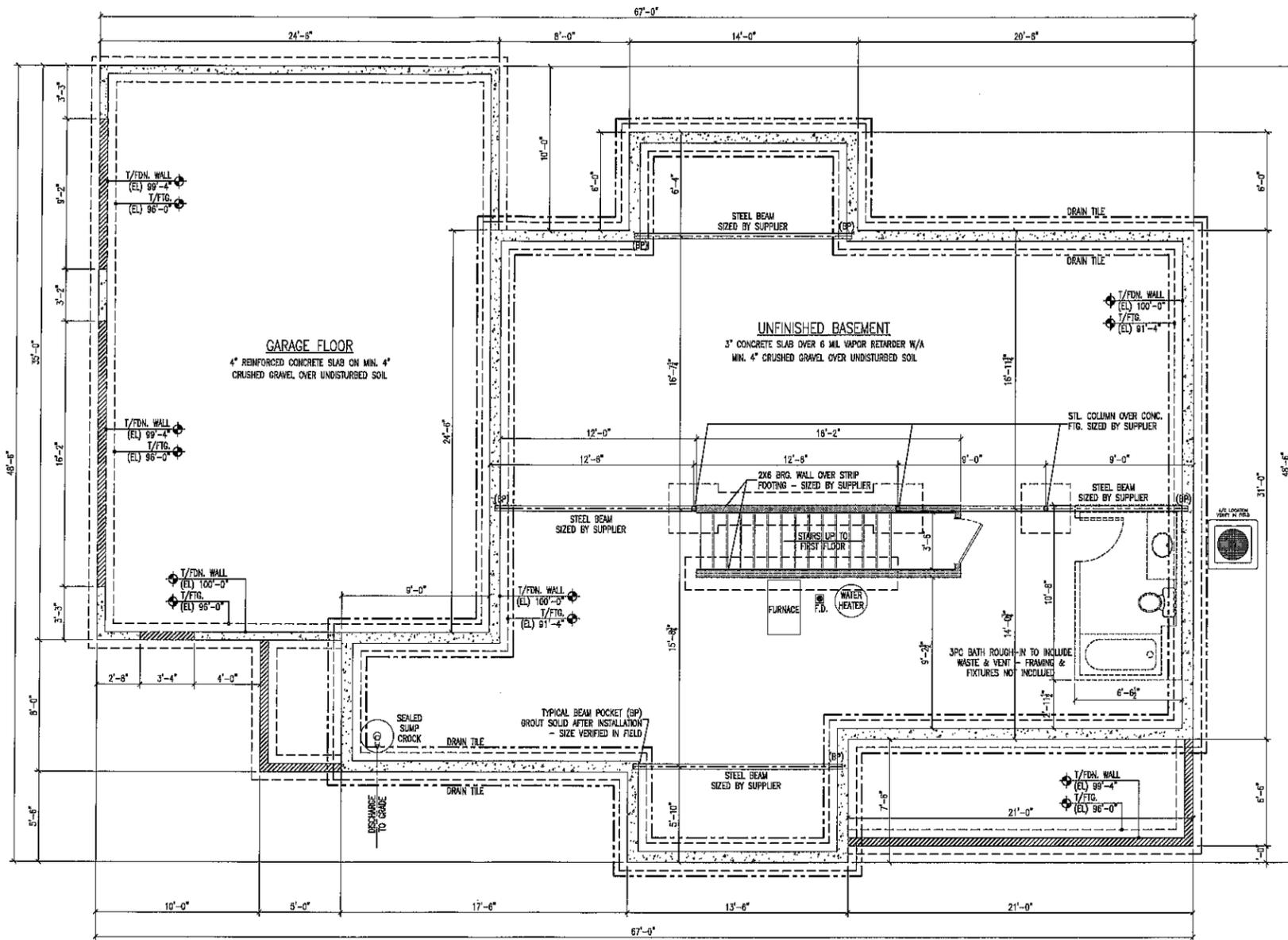
TYPICAL PORCH COLUMN
N.T.S.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY
01	08.10.15	FIRST BOARD	AK
02			BF
03			
04			
05			
06			
07			



FOUNDATION PLAN

SCALE: $\frac{1}{4}'' = 1'-0''$

ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE

WALL INFORMATION:

HOUSE WALLS TO BE 8" X 8'-8" POURED CONCRETE WALLS U.N.O.

GARAGE & STOOP WALLS TO BE 6" X 4'-0" POURED CONCRETE WALLS U.N.O.

STAIR INFORMATION:

REFER TO FIRST FLOOR NOTES FOR STAIR INFORMATION

FRAMING SYSTEM ABOVE

11-7/8" I-JOISTS @ 16" O.C. BRACED PER MANUFACTURER SPECIFICATIONS

NO.	DATE	DESCRIPTION	BY
01		RESULTS FIRST ROUND	AK
02			BF
03			
04			
05			
06			
07			

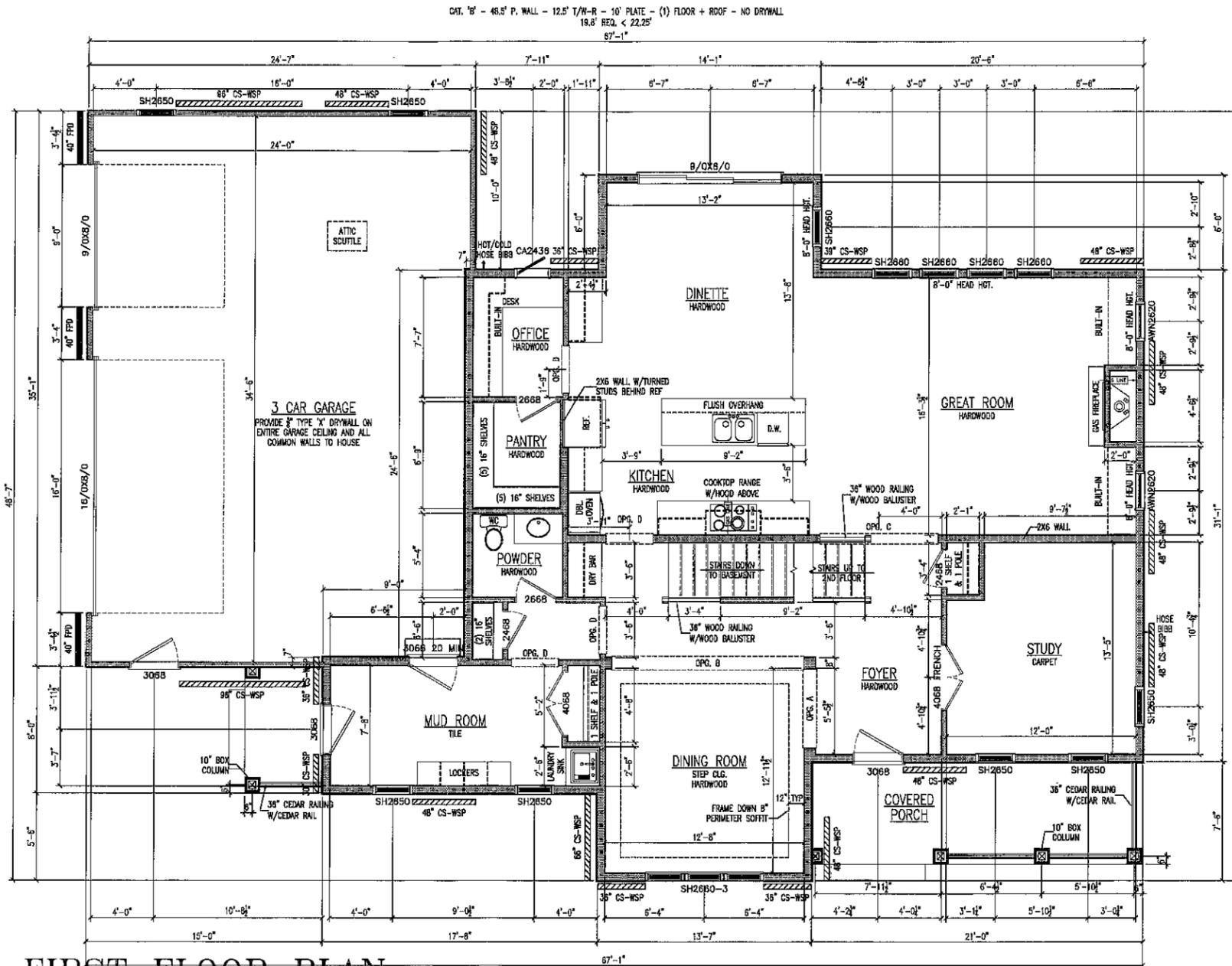
**WOOD STRUCTURAL PANEL
WALL BRACING METHOD**

3/4" WOOD STRUCTURAL PANEL SHEATHING WITH ALL EDGES FASTENED TO FRAMING OR BLOCKING WITH 6d COMMON OR 8d BOX NAILS (24" LONG X 0.113") AT A MIN. SPACING OF 8" O.C. AT ALL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS - OR 1/2" OR 3/4" CROWN 16-GAGE STAPLES, 1 1/2" LONG AT A MIN. SPACING OF 3" O.C. AT ALL EDGES AND 6" O.C. AT ALL INTERMEDIATE SUPPORTS ;

NARROW WALL BRACING METHOD (321.25-A)
SEE DETAIL FOR METHOD INFORMATION

CIRCUMSCRIBED RECTANGLE BRACING REQUIREMENTS

WIND CATEGORY - LENGTH OF PERPENDICULAR WALL - TOP OF WALL TO RIDGE HEIGHT - PLATE HEIGHT - WALLS SUPPORTING
CALCULATIONS FROM TABLE 321.25-J = BRACING LENGTH REQUIRED < AMOUNT OF BRACING ON WALLS



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE

WALL INFORMATION:

HOUSE WALLS TO BE 2X6 WOOD FRAMED WALLS (9'-1 1/2") U.N.O.
GARAGE WALLS TO BE 2X6 WOOD FRAMED WALLS (10'-3 1/2") U.N.O.

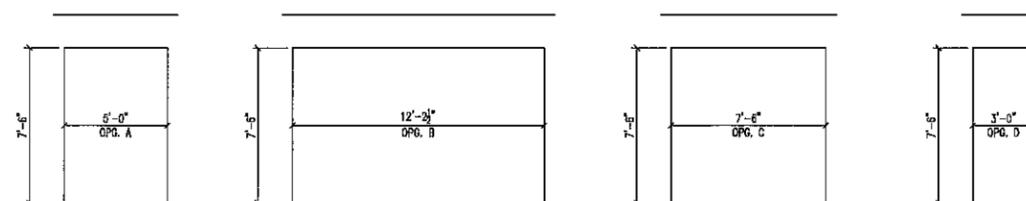
STAIR INFORMATION:

FIRST FLOOR STAIRS TO BASEMENT:
15 RISERS (8" MAX HGT.) & 14 TREADS (10" DEEP) WITH 1" NOSING
STAIRS TO BE A MIN. 3'-6" WIDE FRAMING TO FRAMING

FIRST FLOOR STAIRS TO SECOND FLOOR:
16 RISERS (8" MAX HGT.) & 16 TREADS (10" DEEP) WITH 1" NOSING
STAIRS TO BE A MIN. 3'-6" WIDE FRAMING TO FRAMING

FRAMING SYSTEM ABOVE

11-7/8" I-JOISTS @ 16" O.C. BRACED PER MANUFACTURER SPECIFICATIONS
2X4 ENGINEERED ROOF TRUSSES @ 24" O.C.
ALL TRUSS HANGERS AND TIE DOWNS TO BE SIZED AND SUPPLIED BY TRUSS MANUFACTURER



OPENING DETAILS

SCALE: 1/4" = 1'-0"

K Architectural Design
LLC
1425 DREWATER DRIVE
WEST BEND, WI 53095
202.553.3498
WWW.ARCHITECTURALDESIGN.COM

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ORENDORF
CUSTOM HOMES
612 ROSE DRIVE
HAWAIIAN, WI 53029
PH: 262.681.2323
FAX: 262.681.2298

SHEET DESCRIPTION
FIRST FLOOR PLAN

NO.	DATE	DESCRIPTION
01	08.10.15	FIRST FLOOR PLAN
02		
03		
04		
05		
06		
07		

HOMEOWNER INFORMATION
Brent/Caroline Residence
The Sanctuary at Hedrick
Hawaiian, WI

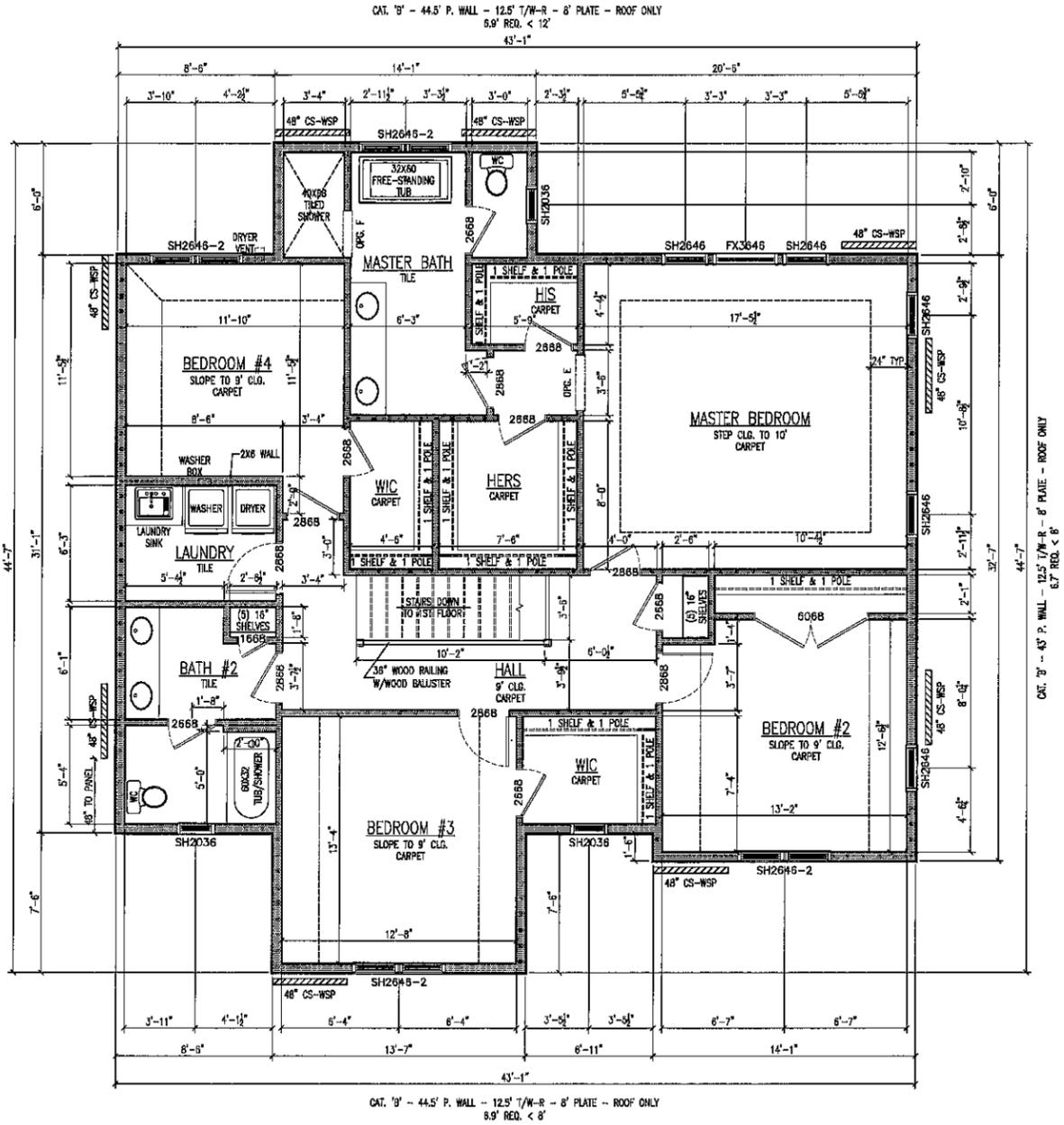
A3

**WOOD STRUCTURAL PANEL
WALL BRACING METHOD**

1/2" WOOD STRUCTURAL PANEL SHEATHING WITH ALL EDGES FASTENED TO FRAMING OR BLOCKING WITH 6d COMMON OR 8d BOX NAILS (24" LONG X 0.113") AT A MIN. SPACING OF 6" O.C. AT ALL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS - OR 1/4" OR 1/2" CROWN 18-GAGE STAPLES, 1 1/2" LONG AT A MIN. SPACING OF 3" O.C. AT ALL EDGES AND 6" O.C. AT ALL INTERMEDIATE SUPPORTS ;

CIRCUMSCRIBED RECTANGLE BRACING REQUIREMENTS

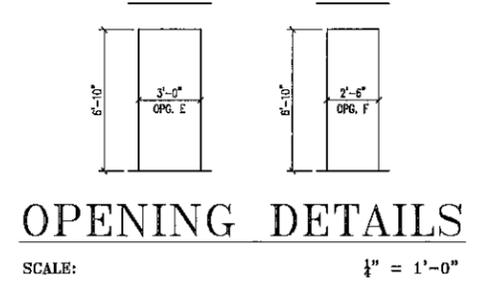
WIND CATEGORY - LENGTH OF PERPENDICULAR WALL - TOP OF WALL TO RIDGE HEIGHT - PLATE HEIGHT - WALLS SUPPORTING CALCULATIONS FROM TABLE 3.21.25-J = BRACING LENGTH REQUIRED < AMOUNT OF BRACING ON WALLS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- WALL INFORMATION:** HOUSE WALLS TO BE 2X6 WOOD FRAMED WALLS (6'-1 1/2") U.N.O.
- STAIR INFORMATION:** REFER TO FIRST FLOOR NOTES FOR STAIR INFORMATION
- FRAMING SYSTEM ABOVE:** 2X4 ENGINEERED ROOF TRUSSES @ 24" O.C. ALL TRUSS HANGERS AND TIE DOWNS TO BE SIZED AND SUPPLIED BY TRUSS MANUFACTURER



OPENING DETAILS

SCALE: 1/4" = 1'-0"

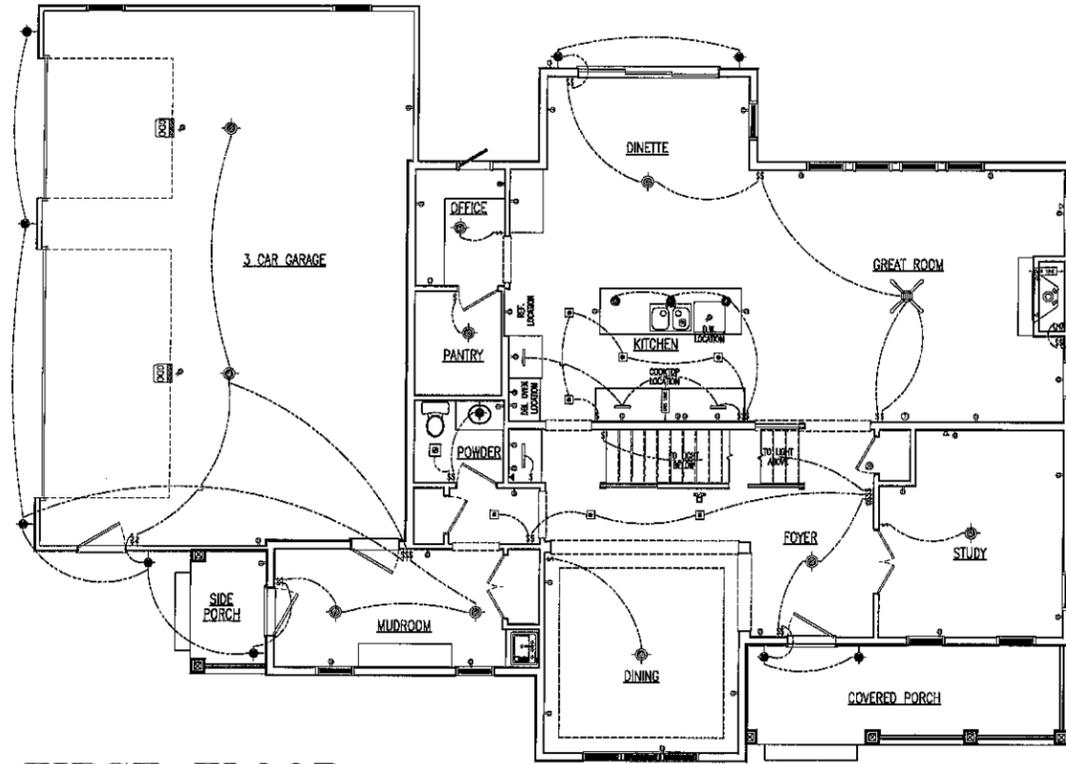
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ORENDORF CUSTOM HOMES
514 ROSE DRIVE
WATKINS, WI 53093
PH 262.691.2323
FX 262.691.1295

SHEET DESCRIPTION
SECOND FLOOR PLAN

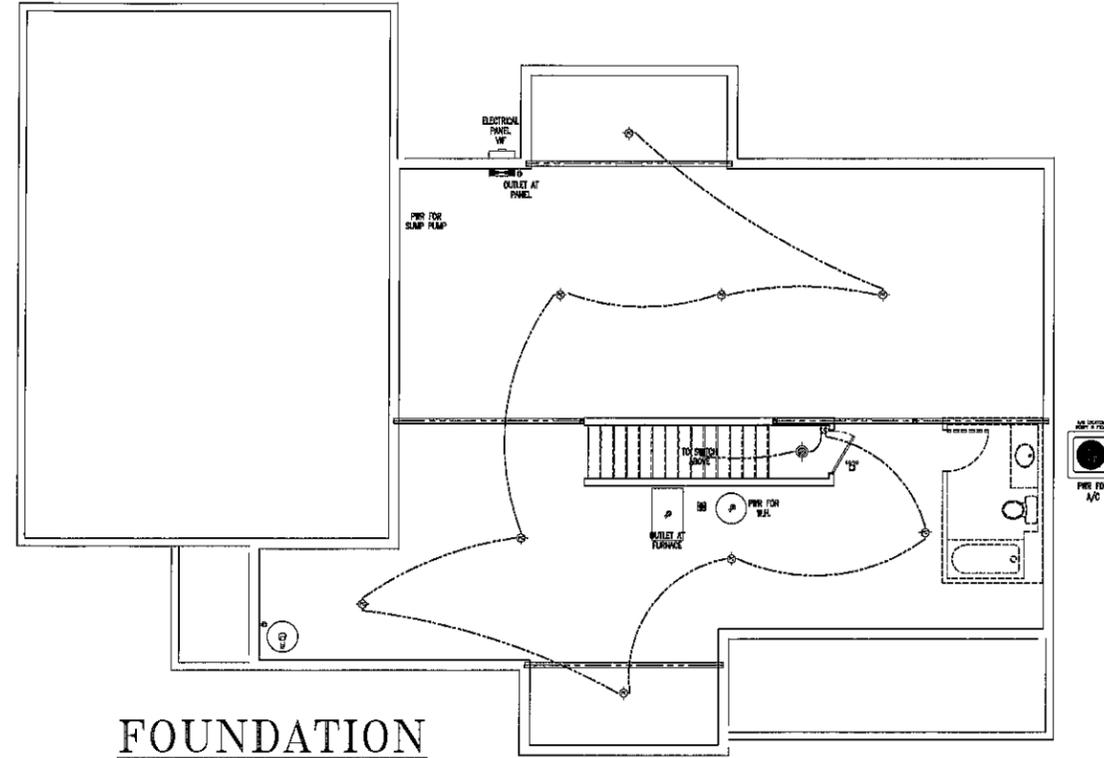
NO.	DATE	DESCRIPTION
01	06.10.15	FIRST BOUND
02		
03		
04		
05		
06		
07		

HOMEOWNER INFORMATION
Boris/Terrika Residence
The Secretary of Historical
Madison, WI



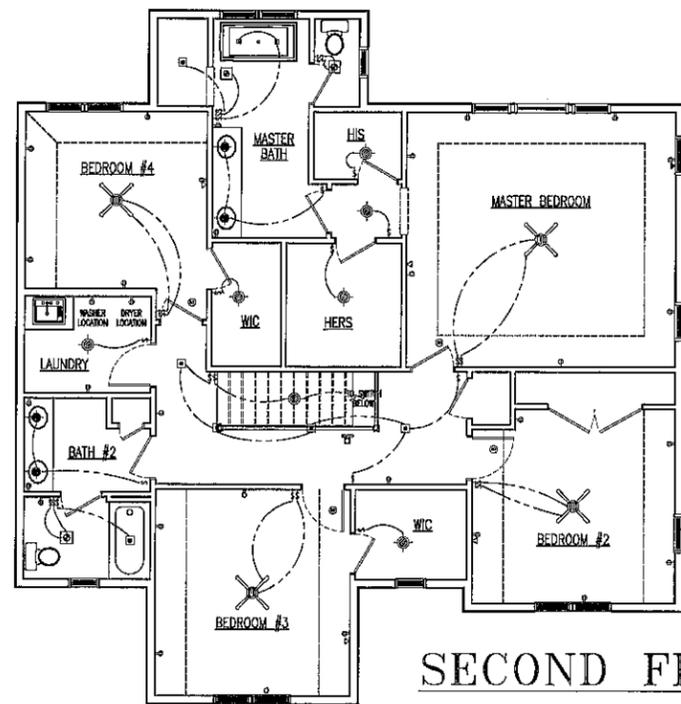
FIRST FLOOR ELECTRICAL PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$



FOUNDATION ELECTRICAL PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$



SECOND FLOOR ELECTRICAL PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$

ELECTRICAL SYMBOLS

	SWITCH		PULL CHAIN LIGHT FIXTURE		CEILING FAN FIXTURE		ELECTRICAL METER
	DUPLEX OUTLET		CAPPED CEILING OUTLET		CEILING FAN WITH LIGHT FIXTURE COMBO		ELECTRICAL BREAKER BOX
	SWITCHED DUPLEX OUTLET		CEILING LIGHT FIXTURE		TYPICAL CAN LIGHT		GARAGE DOOR OPENER
	SMOKE DETECTOR		DIRECTIONAL CAN LIGHT		FLORESCENT FIXTURE		A/C LOCATION
	CARBON MONOXIDE DETECTOR		WALL LIGHT FIXTURE		PENDANT LIGHT FIXTURE		AIR CONDITIONER LOCATION
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO		EXHAUST FAN		EXTERIOR DOUBLE FLOOD LIGHT FIXTURE		
	THERMOSTAT		EXHAUST FAN/CEILING LIGHT FIXTURE COMBO				
	DOORBELL CHIME						
	TELEVISION JACK						
	PHONE JACK						
	GARBAGE DISPOSAL						
	PUCK LIGHT						

NO.	DATE	DESCRIPTION	BY	CHK
01	05.10.15	FIRST ROUND		
02				
03				
04				
05				
06				

ADDISON A BESTE
JESSICA J FEDENIA
801C ELISE CT
WAUKESHA WI 53189-5832

CARLOS CONN
KELLY CONN
309 WOODLANDS CT
HARTLAND WI 53029

DWAYNE E MOSELY
LAURA L MOSELY
301 WOODLANDS CT
HARTLAND WI 53029

INDUSTRIES FOR THE BLIND INC
445 S CURTIS RD
WEST ALLIS WI 53214-1016

JEREMY M THIEDE
SHARON L THIEDE
209 WOODLANDS CT
HARTLAND WI 53029

JOEL S VENTO
SONYA S TRUEBLOOD
303 WOODLANDS CT
HARTLAND WI 53029

MARK & KRISTINE ERICKSON TRUST
305 WOODLANDS CT
HARTLAND WI 53029

SANCTUARY OF HARTLAND LLC
301 PAWLING AVE
HARTLAND WI 53029-2039

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 705 BELSHIRE DRIVE			
Lot 6	Block 2	Subdivision	Key No. HAV
Owner Rich LANDWEHR		Phone 414-349-1266	
Address 705 BELSHIRE DR.	City HARTLAND	State WIS.	Zip 53029
Contractor J. D GRIFFITH	Phone 414-362-7222	E-Mail Address WWW.JDGRIFITH.COM	
Address 8401 W. CALUMET Rd	City MILWAUKEE	State WIS.	Zip 53224

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



0 40.95 Feet



Notes:

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

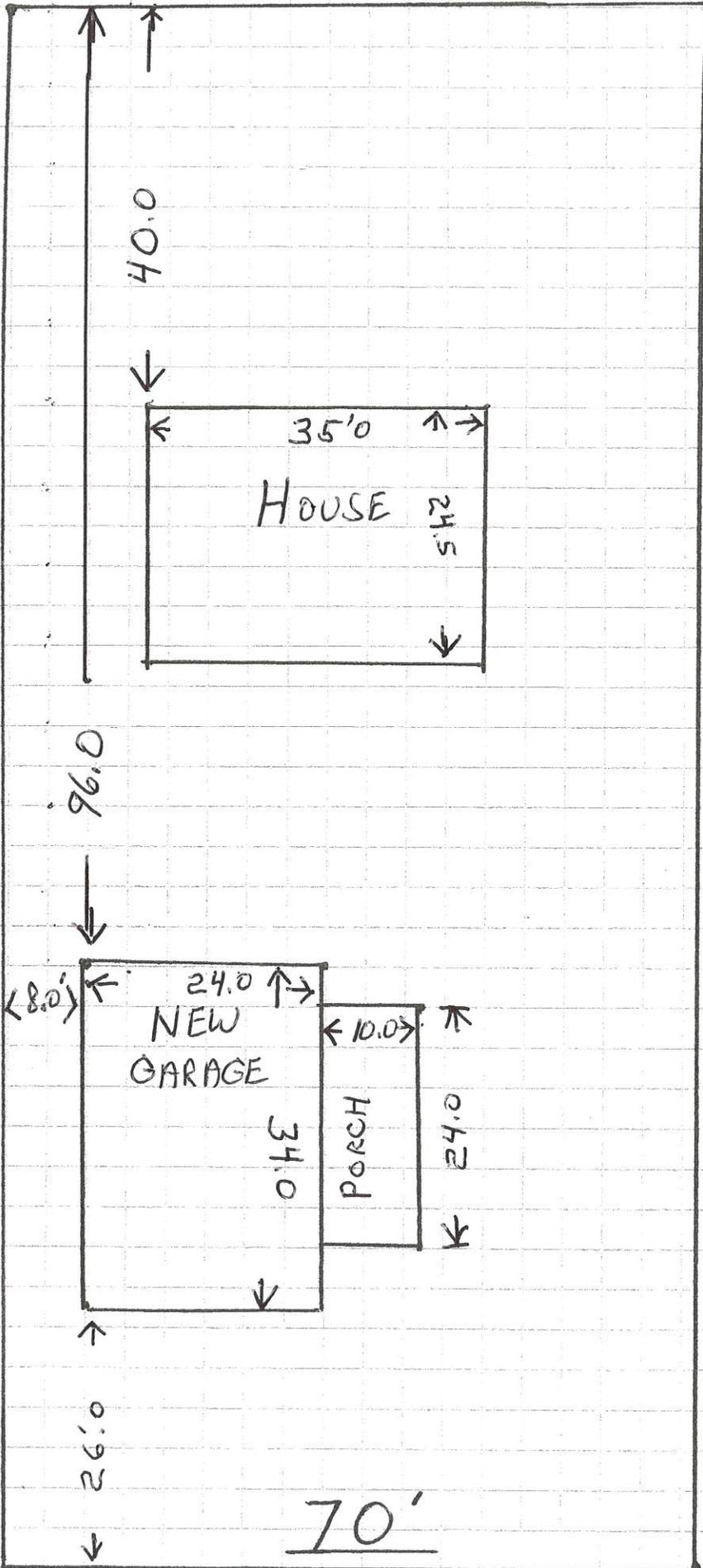


Printed: 9/21/2015

705 BELSHIRE DR.



160'



70'

$\frac{1}{4} = 1.0 \text{ FT}$

9-21-15

170
- 70

40
- 20

20

$\frac{1}{14} = 4$

Rich,

- Proposed detach garage requires Village Arch Bd Approval
- Submit Arch Bd Application
- Submit Survey or site plan
 - show Footprint of Proposed structure
 - show Bldg Dimensions
 - show distance to:
 - side + rear property lines
 - House

We can discuss

Scott

367 4744



Department of Building Inspection

PERMIT # _____

APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION 705 BELSHIRE DRIVE

LOT _____ BLOCK _____ SUBD _____ TAX KEY _____

OWNER RICH LANDWEHR PHONE 414-349-1266 FAX _____

ADDRESS 705 BELSHIRE DR. CITY, STATE, ZIP HARTLAND, WIS.

CONTRACTOR J. D. GRIFFITHS PHONE 414-362-7222 FAX _____

ADDRESS 8401 W. CALUMET RD CITY, STATE, ZIP MILWAUKEE, WIS.

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: NEW GARAGE W/ PORCH

Current principal use of property SINGLE FAMILY

Proposed principal use of property SAME

Width 24 Length 34 Sq. Ft. _____ Height 15.0' Cu. Ft. _____

Estimated cost of above job(s) \$ 35,000 \$ _____ \$ _____

State Approval _____ Date _____

Class of Construction _____ Sprinkler — Stories 1

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Rich Landwehr Date 9/8/2015

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

1. See plans for possible conditions/recommendations
2. _____
- _____
- _____
- _____
- _____

_____ TOTAL FEES

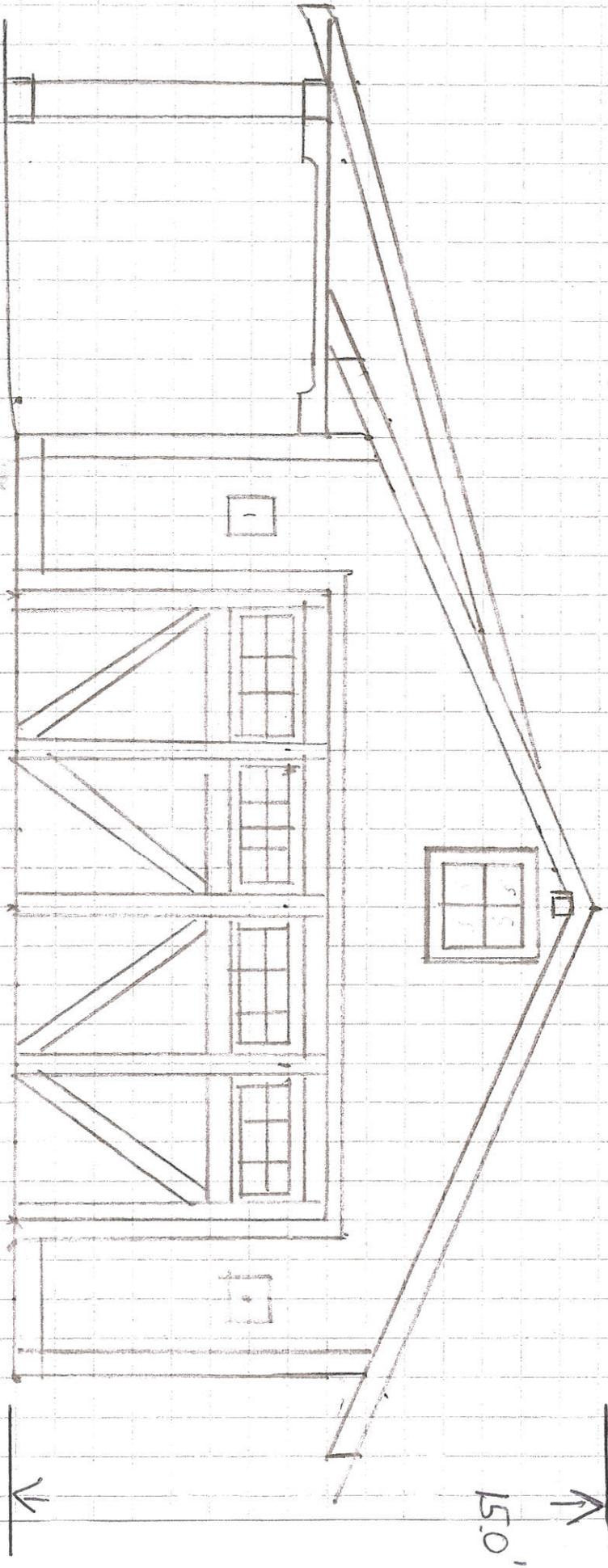
_____ Date Paid

_____ Receipt

Meeting dates plans were approved for building permit:
Plan Commission _____ Village Board _____ Arch Board _____

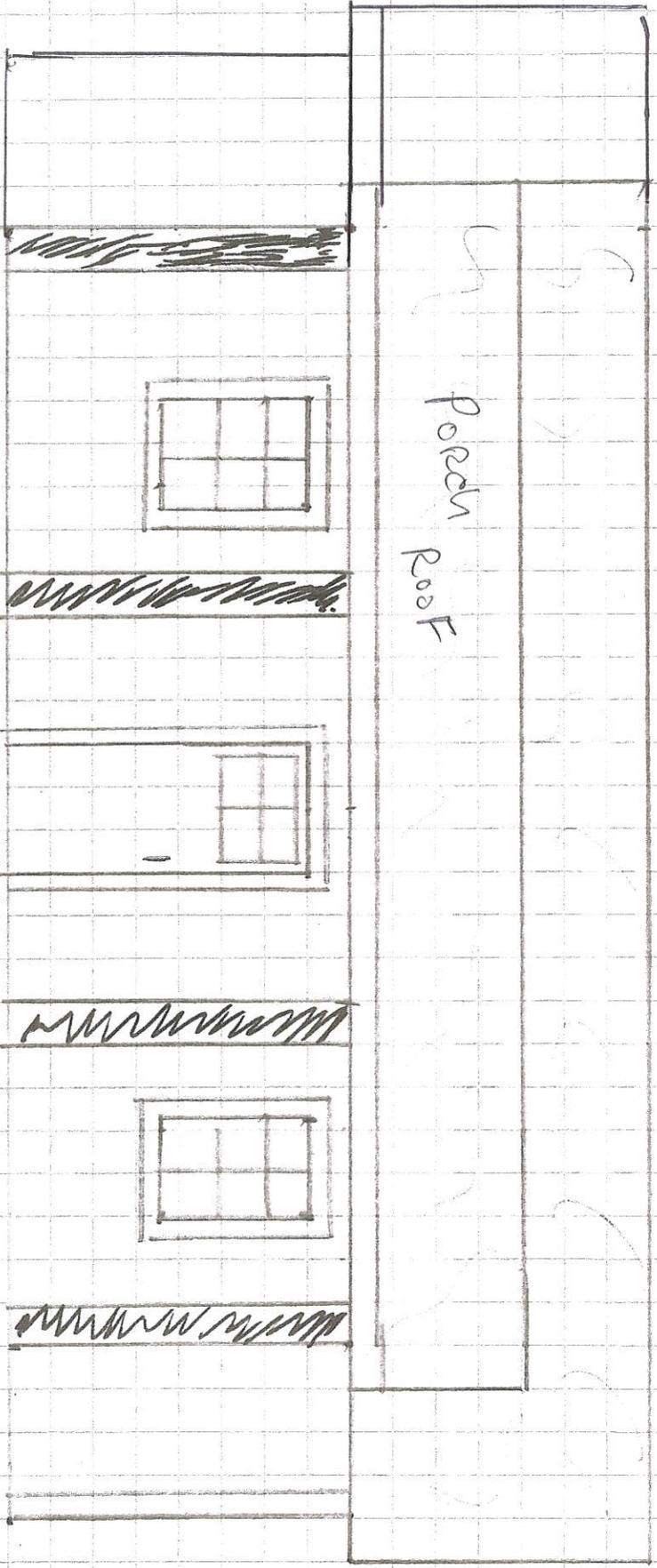
APPLICATION APPROVED ON: _____ BY: _____
DATE BUILDING INSPECTOR

GARAGE NORTH SIDE

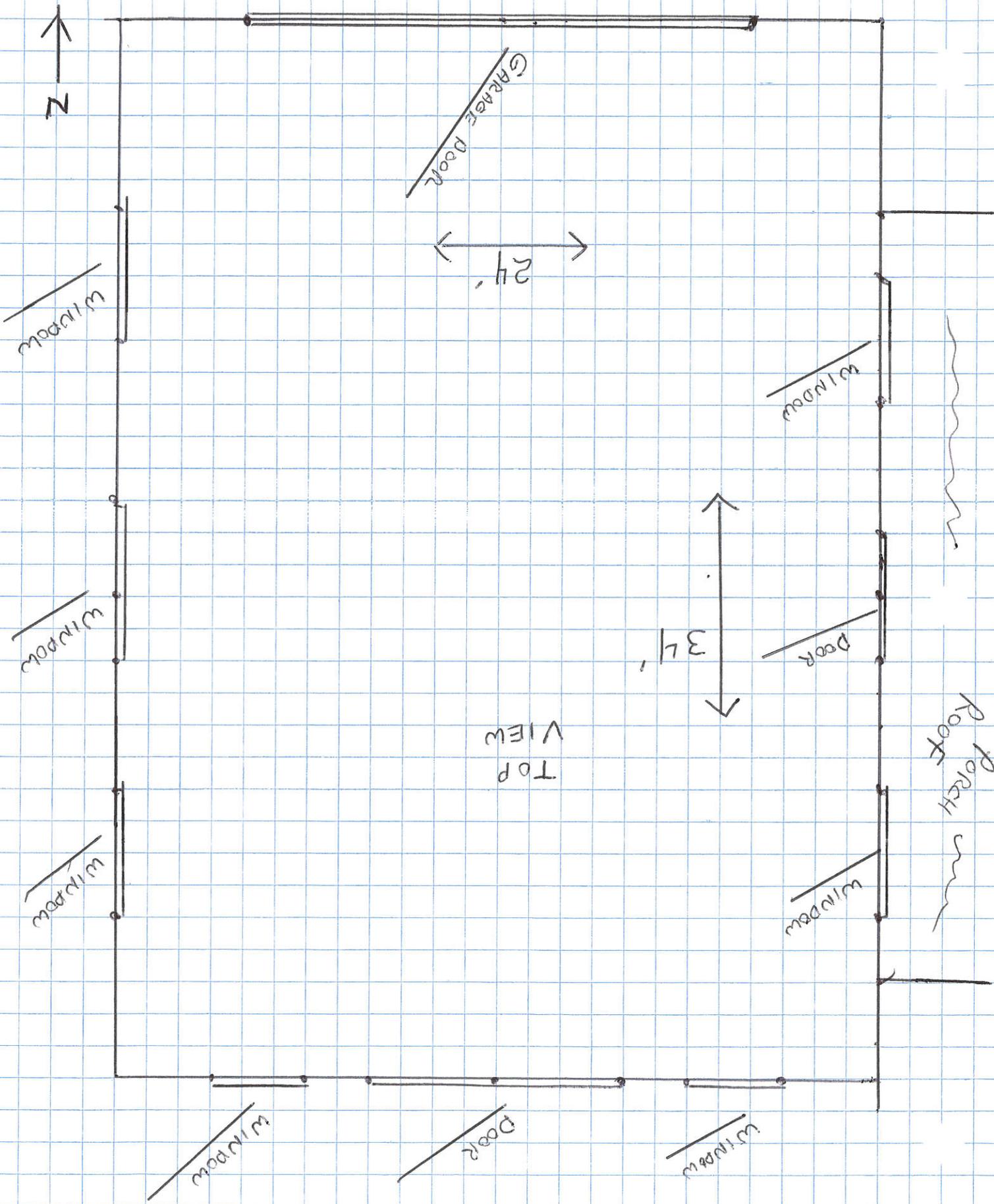


15.0'

EAST VIEW



Porch
Roof



S.E. WISCONSIN'S LARGEST GARAGE BUILDER
J.D. GRIFFITHS CO. - Since 1947
 8401 W. CALUMET RD. • MILWAUKEE, WI 53224
 MODEL OPEN FOR INSPECTION 24/7 **414-362-7222**

J.D. GRIFFITHS CO. - GARAGE ESTIMATE

SALES REP. _____ 414-362-7222

DATE _____ ESTIMATE # _____

NAME _____

ADDRESS _____

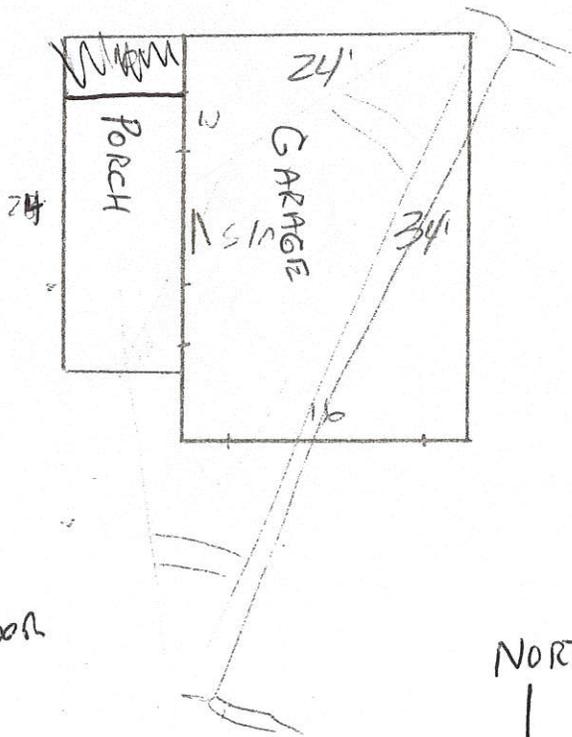
CITY _____

HOME PHONE _____ (0) (c) _____

SIZE **24' x 34'** TYPE _____

BASE	AMT.	DESCRIPTION
SIDING		
18'120		
SITE PREP		
695 290 900		Hourly work 2x6 walls
NEW CONC.		
S.E. CODE		
2170 295		Dimension changes
WHEEL		
No		
BLOCK		
No 325		Class 2/1000
OPTIONAL		
ELECTRIC		OWNER
DOOR OPENER		OWNER
225 GUTTERS		OWNER to supply w/vents <u>JUST IN THE 75' AREA</u>
SPECIAL		
1305 850 4900 135	6/12 0/16x8	15' MAX 5300 ROUNDER PATIO GLAZED 2/0
TOTAL		
GRAVEL		
895		

2911

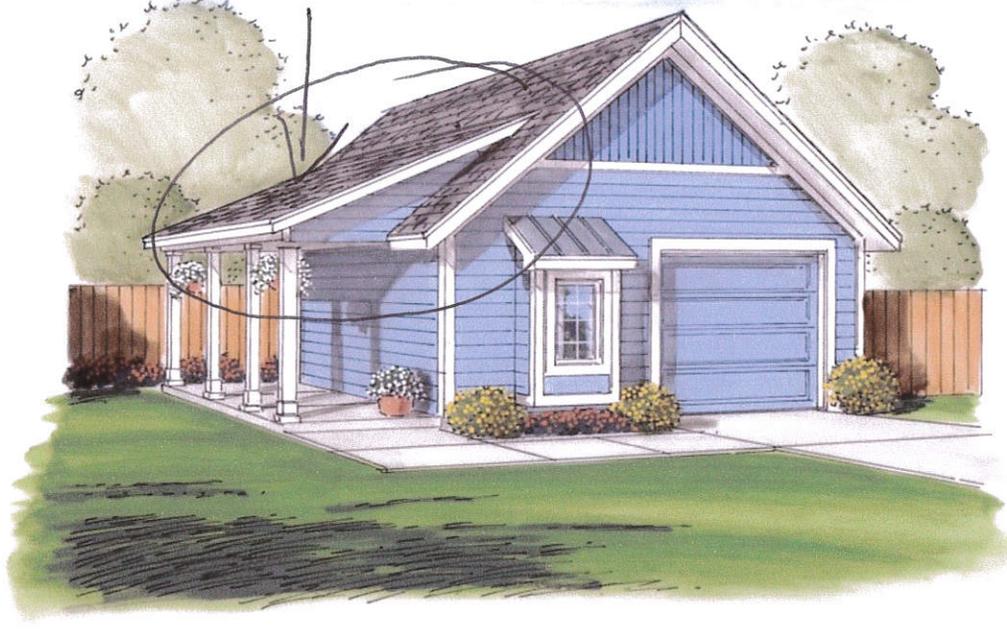


COLOR / POOR

NORTH
↓

770 SL CHANNEL

Porch / TYPE



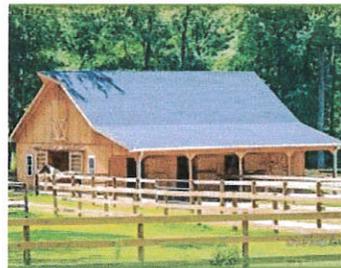
Nuckolls
www.allpl
Nuckolls C

Visit page

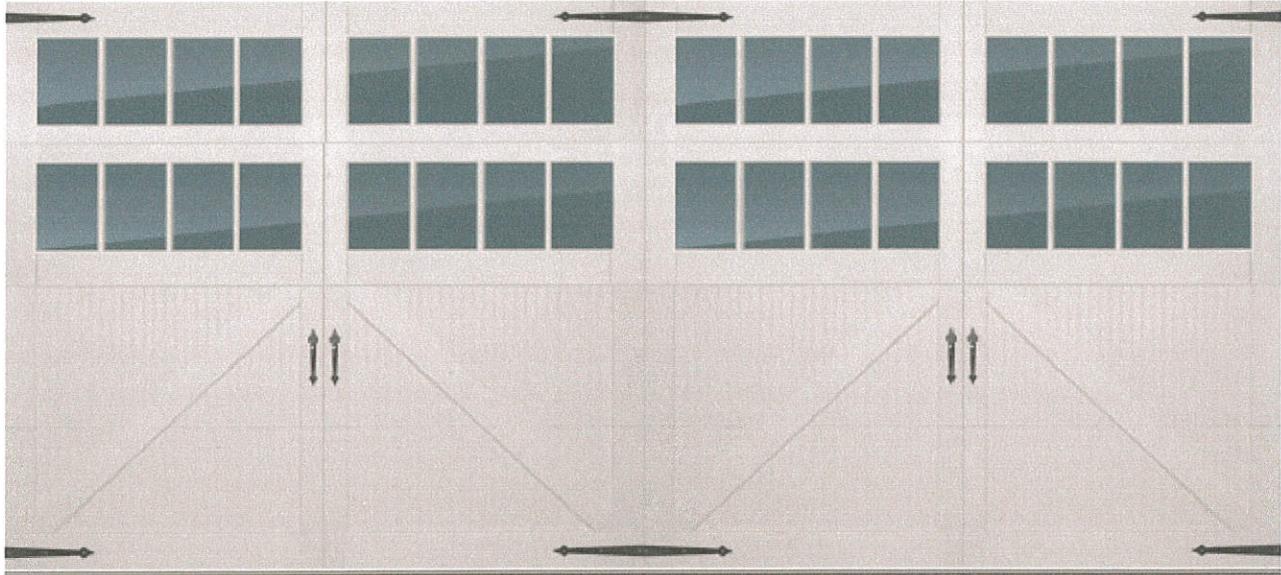
Try these



Images may



My Door



Carriage house doors aren't built. They are carefully crafted, resulting in an exquisite collection of traditional doors available in a wide range of styles and high-grade materials. Whether you prefer the strength of steel, the flexibility of fiberglass or the beauty of rich, natural wood, you'll find the doors you want here with details you won't find anywhere else.

Style **Carriage House**
 Design **Fiberglass Overlay** / *STEEL*
 Color **Almond**
 Window **Double Madison**
 Glass **Tinted**
 Hardware **Spade (2 Sets)**

Your choice of model may limit some options, including color and window selections. See your nearest C.H.I. dealer for details.

C.H.I. door models to consider

model 5513 model 5813	Carriage
--------------------------	-----------------

For more information, or to obtain a free quote for the model you've selected, visit chiohd.com/contact for your nearest authorized C.H.I. dealer.

*HARTLAND OVER HEAD DOOR
966-9811*



DOOR VISIONS



Made in the U.S.A.

www.chiohd.com

The door to quality.

ALAN SLEAPER
DIANE SLEAPER
624 RENSON RD
HARTLAND WI 53029

BRITTANY N SHEEHAN
MEGAN T MCNALLY
304 MEADOW LN
HARTLAND WI 53029-1834

CYNTHIA L CORRIGAN
612 BELSHIRE DR
HARTLAND WI 53029

DALE BORCHARDT
KAREN BORCHARDT
710 RENSON RD
HARTLAND WI 53029

DANIEL A PAVLOVICH
711 RENSON RD
HARTLAND WI 53029

DAVID ACKLEY
CAROL ACKLEY ET AL
633 BELSHIRE DR
HARTLAND WI 53029

DAVID ERICKSON
PAMELA ERICKSON
710 BELSHIRE DR
HARTLAND WI 53029

DAVID GREVENKAMP
ANN GREVENKAMP
618 RENSON RD
HARTLAND WI 53029

DAVID L VODNIK
604 BELSHIRE DR
HARTLAND WI 53029

GARY SCOTT
NANCY SCOTT
310 MEADOW LN
HARTLAND WI 53029

GENE KRUG
MARGARET KRUG
705 RENSON RD
HARTLAND WI 53029

JAMES M SCAFFIDO
711 BELSHIRE DR
HARTLAND WI 53029

JEAN E MAKOWSKI LIVING TRUST
618 BELSHIRE DR
HARTLAND WI 53029

JEFFREY A GERDS
730 BELSHIRE DR
HARTLAND WI 53029

JOAN T DALEY
626 BELSHIRE DR
HARTLAND WI 53029

JOHN LEDZIAN
JENNIFER LEDZIAN
619 BELSHIRE DR
HARTLAND WI 53029

JOSEPH SCHNEIDER
621 RENSON RD
HARTLAND WI 53029

KEVIN LANDERS
ROBIN LANDERS
724 RENSON RD
HARTLAND WI 53029

KRISTIN OLDERMAN
717 BELSHIRE DR
HARTLAND WI 53029

MAX J & JUDITH HORWATICH TRUST
722 BELSHIRE DR
HARTLAND WI 53029

MICHAEL SCHIRMER
SALLY SCHIRMER
718 RENSON RD
HARTLAND WI 53029

NEIL DAUPHIN
CHERYL DAUPHIN
251 CARLIN CT
HARTLAND WI 53029

PAMELA S RICK
716 BELSHIRE DR
HARTLAND WI 53029

PATRICK DECLEENE
CYNTHIA G DECLEENE
627 BELSHIRE DR
HARTLAND WI 53029

PAUL D BIANCUZZO TRUST
632 BELSHIRE DR
HARTLAND WI 53029

PETER J KOWALSKI JR
PETER J KOWALSKI
322 MEADOW LN
HARTLAND WI 53029

RICHARD E LANDWEHR
CAROL L LANDWEHR
705 BELSHIRE DR
HARTLAND WI 53029

RICHARD E LANDWEHR
JANET M LANDWEHR
251 MEADOW LN
HARTLAND WI 53029-1833

RICKY LOW
KELLY LOW
612 RENSON RD
HARTLAND WI 53029

ROBERT FRANZ JR
AMY FRANZ
632 RENSON RD
HARTLAND WI 53029

ROBERT J COMPTON
719 RENSON RD
HARTLAND WI 53029

ROBERT M CLAFFEY
702 RENSON RD
HARTLAND WI 53029

ROSS A & KARLA A BLANK REVOCABLE
LIVING TRUST
611 BELSHIRE DR
HARTLAND WI 53029

SCOTT GOURLEY
LEIGH ANN GOURLEY
316 MEADOW LN
HARTLAND WI 53029

SHERI L ZETTL
328 MEADOW LN
HARTLAND WI 53029

SUSAN M LOPPNOW 2005 LIVING
TRUST
604 RENSON RD
HARTLAND WI 53029

TABETHA A MALECKI
MARK MALECKI ET AL
704 BELSHIRE DR
HARTLAND WI 53029

TIMOTHY J CULHANE
JAMES P CULHANE
723 BELSHIRE DR
HARTLAND WI 53029

VERONICA M MYERS TRUST
603 BELSHIRE DR
HARTLAND WI 53029

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>1021 Eton Ct Hartland WI 53029</u>			
Lot <u>31</u>	Block	Subdivision <u>Hartridge West</u>	Key No. HAV <u>0762148</u>
Owner <u>Mike S. Cottrell</u>			Phone <u>262-391-5501</u>
Address <u>1021 Eton Ct</u>		City <u>Hartland</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>Milani Home Imp.</u>	Phone <u>414-313-1429</u>	FAX	E-Mail Address
Address <u>5636 W. Montana St.</u>		City <u>Milwaukee</u>	State <u>WI</u> Zip <u>53219</u>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 10-9-15 Date of Meeting: 10-22-15 Item No. _____



Department of Building Inspection

PERMIT # _____

APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION 1021 Eton Ct Hartland WI 53029
 LOT 31 BLOCK _____ SUBD Hartridge West TAX KEY HAV 0762148
 OWNER Mike S. Cottrell PHONE 262-391-5501 FAX _____
 ADDRESS 1021 Eton Ct CITY, STATE, ZIP Hartland WI 53029
 CONTRACTOR Milani Home Improv. PHONE 414-313-1429 FAX _____
 ADDRESS 5636 W. Montana St CITY, STATE, ZIP Milwaukee WI 53219

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: Add a 22 x 12 Carport to the East Side of Current Home + Garage.

Current principal use of property Residential Home

Proposed principal use of property Same

Width 12 Length 22 Sq. Ft. _____ Height _____ Cu. Ft. _____

Estimated cost of above job(s) \$ 3100.00 \$ _____ \$ _____

State Approval _____ Date _____

Class of Construction _____ Sprinkler _____ Stories _____

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Michael S Cottrell Date 10-12-15

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

- See plans for possible conditions/recommendations
- _____
- _____
- _____
- _____
- _____

_____ TOTAL FEES

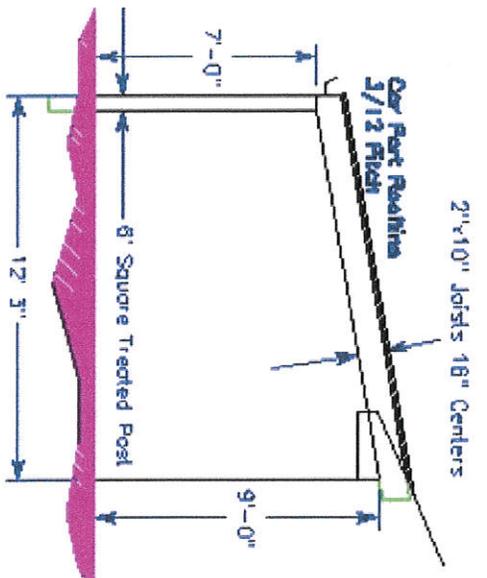
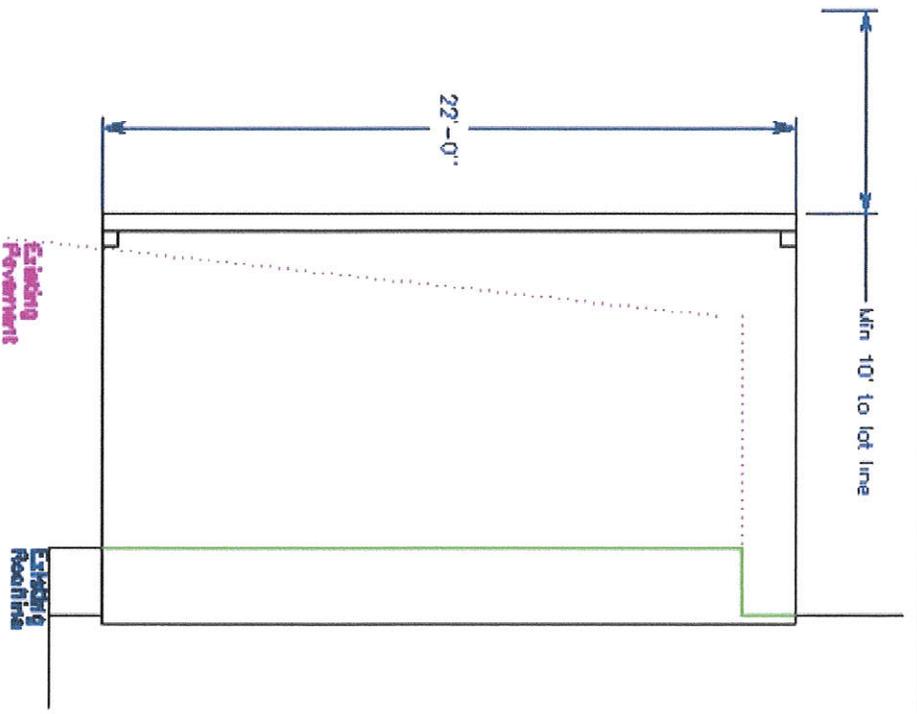
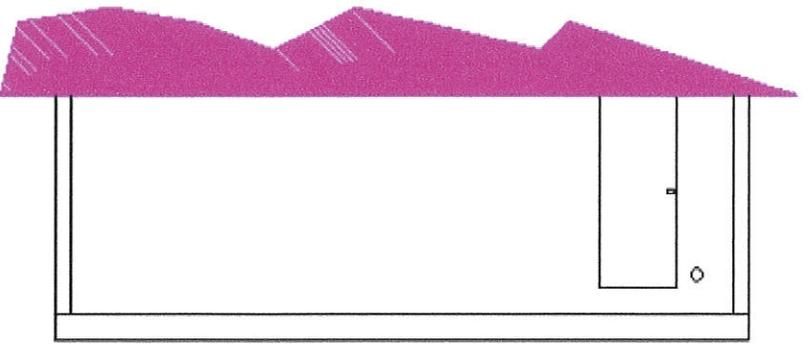
_____ Date Paid

_____ Receipt

Meeting dates plans were approved for building permit:
Plan Commission _____ Village Board _____ Arch Board _____

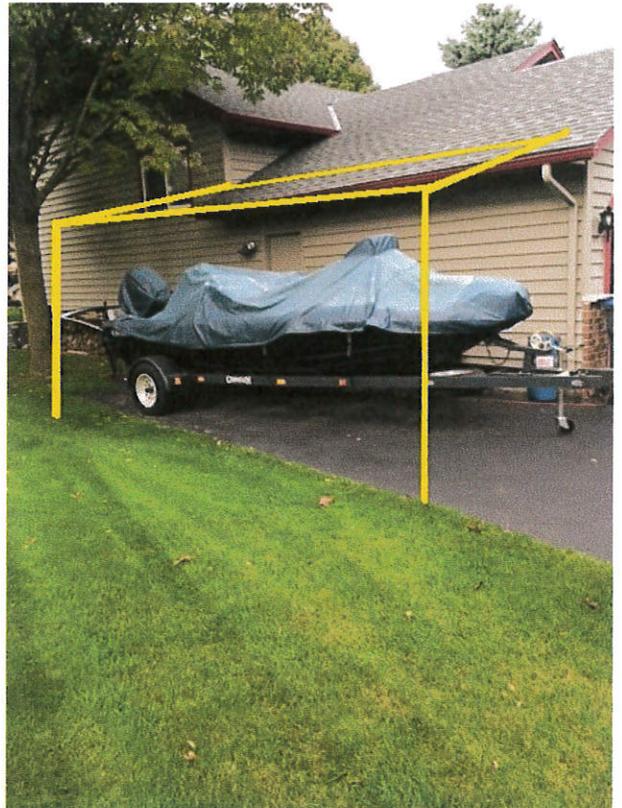
APPLICATION APPROVED ON: _____ DATE _____ BY: _____ BUILDING INSPECTOR

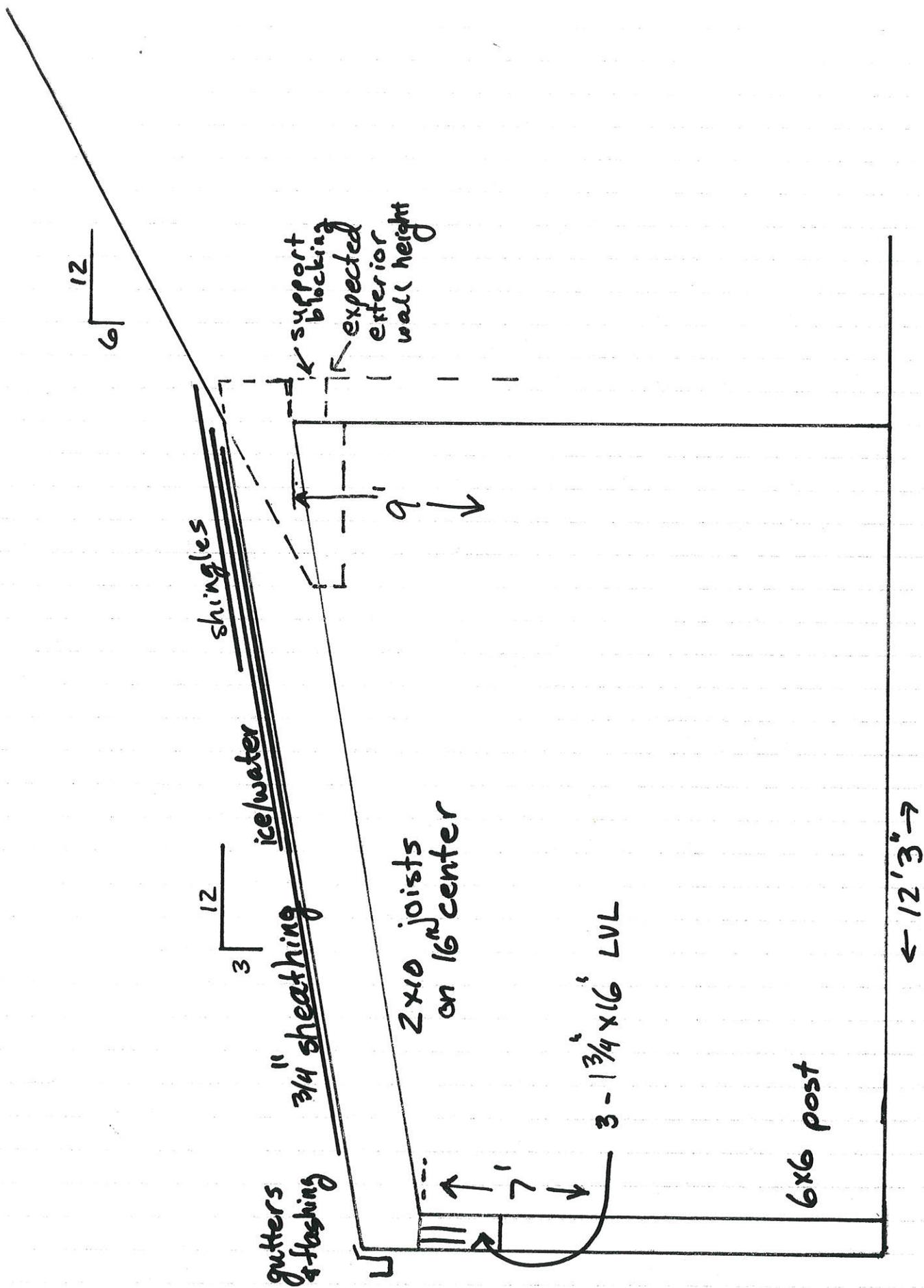
A	Release	9300951
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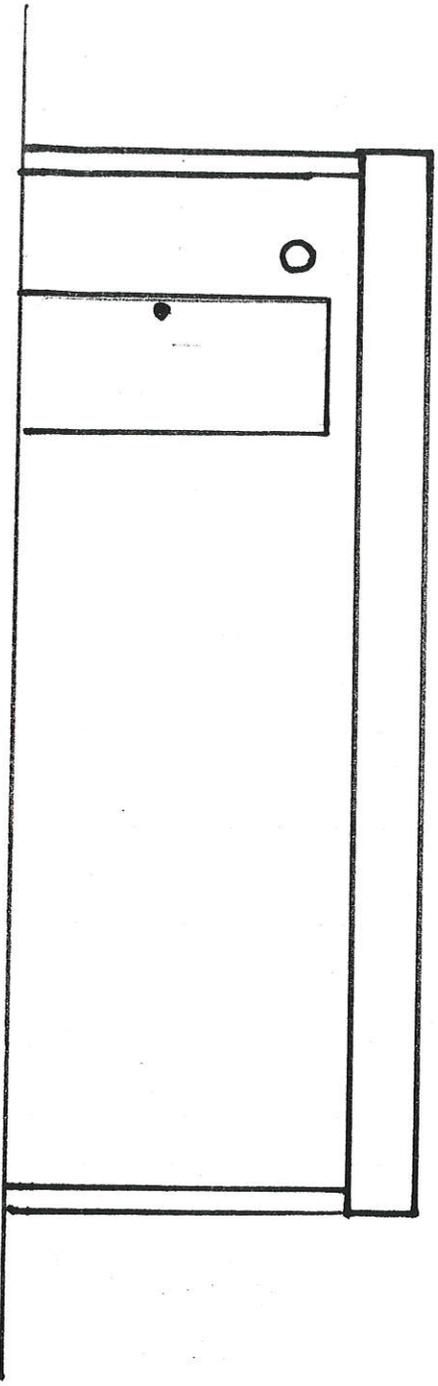
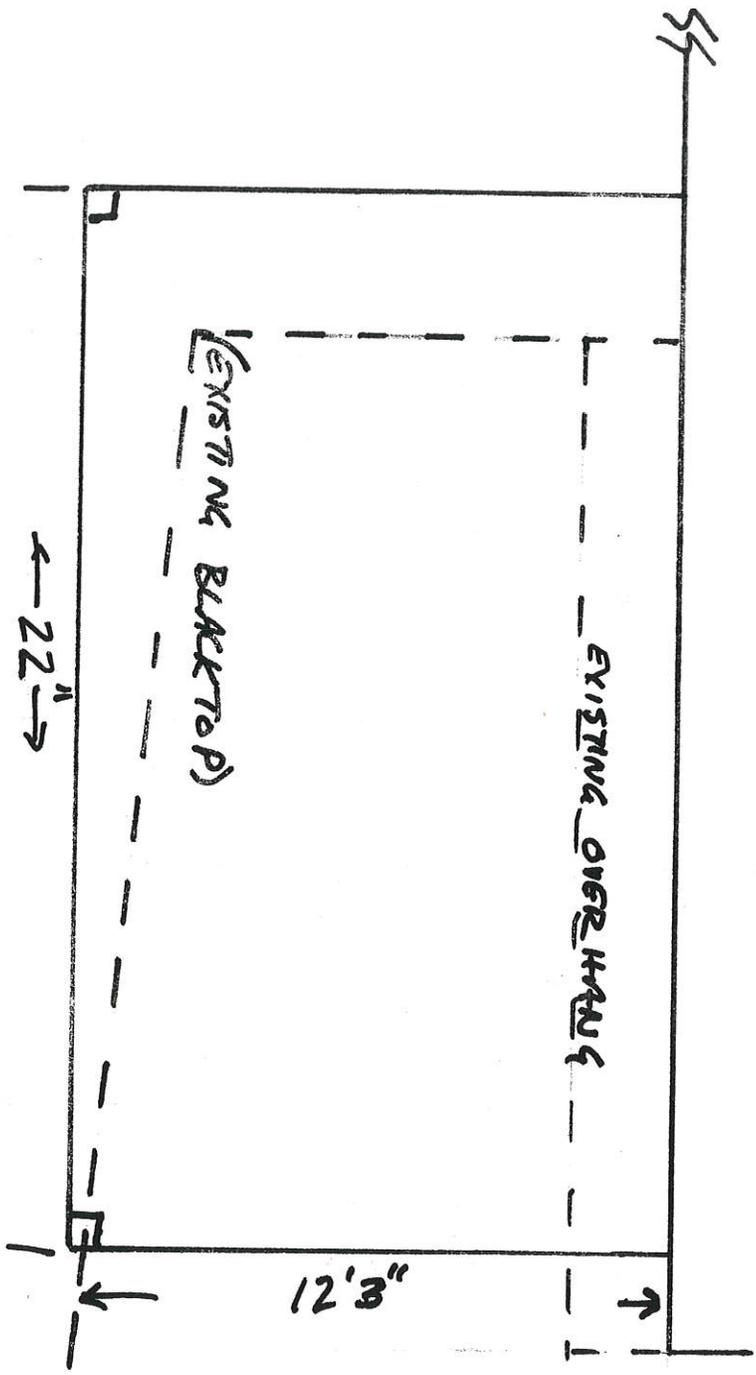


Note:
Supporting document
= 10-9-15 Cottrell Car Port
Version 06/2015

Cottrell Car Port	
Proposal A951	
B	10/10/2015 9300951







PLAT OF SURVEY

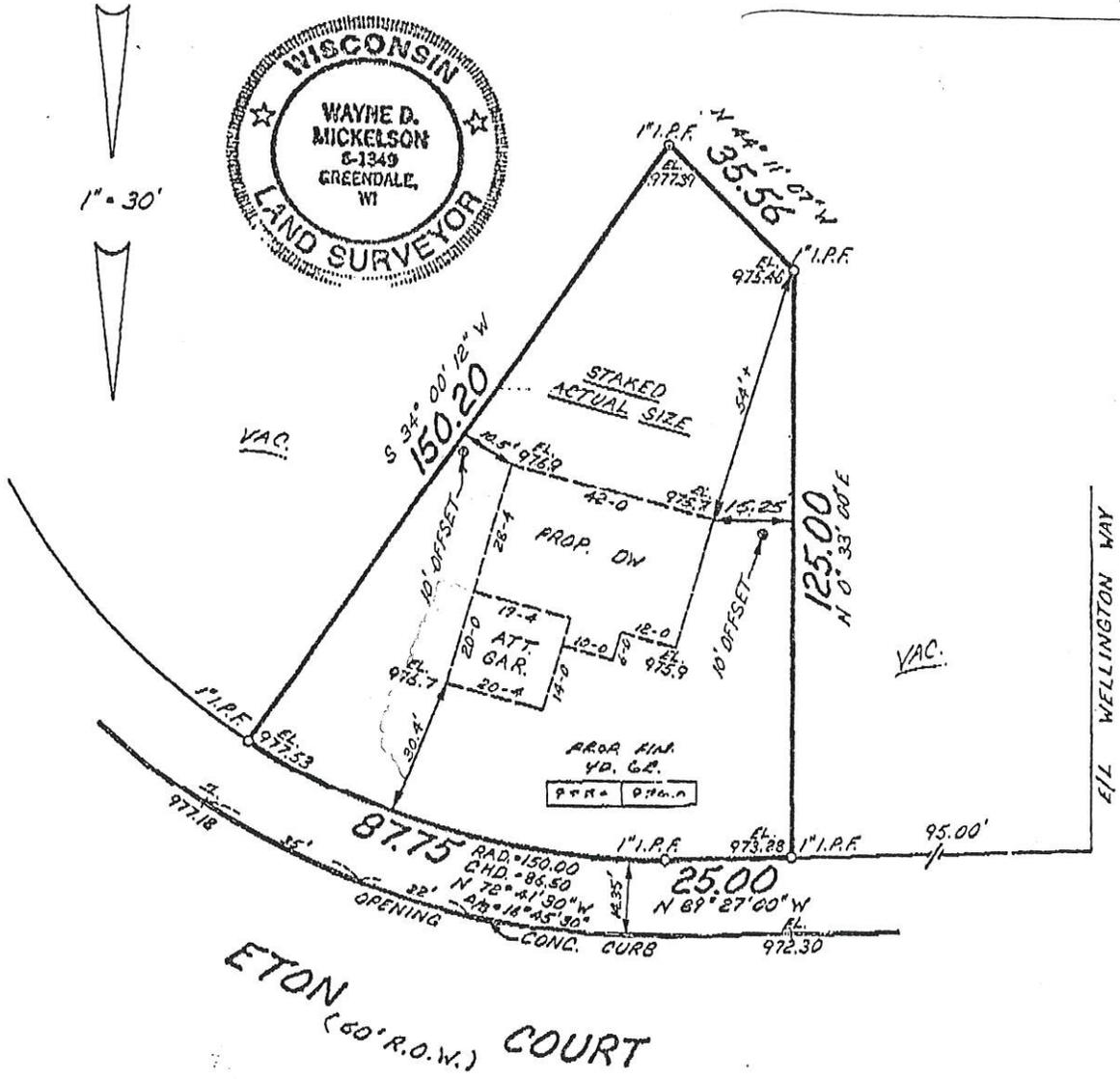
LOCATION: Eton Court, Hartland, Wisconsin

LEGAL DESCRIPTION: Lot 31 in HARTRIDGE WEST, being a part of the SW 1/4 of the NW 1/4 of Section 11, Town 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

March 1, 1990
Tie Added 3/7/90

Survey No. 76350

1021 Eton Ct.



METROPOLITAN SURVEY SERVICE, INC.
 REGISTERED LAND SURVEYORS
 9416 W. FOREST HOME AVE., SUITE 107 HALES CORNERS, WI 53103
 529-5300

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner and/or the builder.

SIGNED *Wayne D. Mickelson*

Wayne D. Mickelson
Registered Land Surveyor 8-1349

ADDITION NO 3 HOMEOWNERS ASSOC
PO BOX 182
HARTLAND WI 53029

ALFRED BALASCH
S BALASCH
1009 S IMPERIAL DR
HARTLAND WI 53029

ARIF ABDIU
SEVDIJE ABDIU
1025 WELLINGTON WAY
HARTLAND WI 53029

CINDY L WALTERS
1040 ETON CT
HARTLAND WI 53029

CYNTHIA A GRIFFIN
BRET J KOHLER
1033 ETON CT
HARTLAND WI 53029

DANIEL FREDRICKSON
LINDA FREDRICKSON
1028 ETON CT
HARTLAND WI 53029

DANIEL L BARNES
JENNIFER L BARNES
1037 ETON CT
HARTLAND WI 53029-2710

DAVID CORNELL
CHRISTINE CORNELL
1029 WELLINGTON WAY
HARTLAND WI 53029

DAVID J ZERA
1008 ETON CT
HARTLAND WI 53029

DENISE DAUGHERTY
JACK DAUGHERTY
W3710 SCOTCH BUSH RD
ELKHORN WI 53121

DENNIS VOGT
JODIE VOGT
1025 ETON CT
HARTLAND WI 53029-2710

DONNA L DORAU
1041 ETON CT
HARTLAND WI 53029

GLEN ADAMS
BARBARA ADAMS
1027 S IMPERIAL DR
HARTLAND WI 53029

HEATHER WHELAN
1021 WELLINGTON WAY
HARTLAND WI 53029

JAMES BECKMAN
MARY ANN BECKMAN
1036 ETON CT
HARTLAND WI 53029

JAMES TENDICK
C TENDICK
1015 IMPERIAL DR
HARTLAND WI 53029

JEFFREY MEISSNER
ANN MARIE MEISSNER
1014 WELLINGTON WAY
HARTLAND WI 53029

JOHN & JULIE MATT FAM TRUST
1016 ETON CT
HARTLAND WI 53029

JOY L BRAUER
1016 WELLINGTON WAY
HARTLAND WI 53029

KENNETH D KUCIK
SARA L KUCIK
1020 ETON CT
HARTLAND WI 53029

KIM L FINTEL
1015 WELLINGTON WAY
HARTLAND WI 53029-2707

LARRY BELLMAN
GAIL BELLMAN
1017 ETON CT
HARTLAND WI 53029

MARK FERGUSON
PRISCILLA FERGUSON
1018 WELLINGTON WAY
HARTLAND WI 53029

MICHAEL & SUSAN BUDISCH LIVING
TRUST
1013 WELLINGTON WAY
HARTLAND WI 53029

MICHAEL BERNHARDT
JILL BERNHARDT
1026 WELLINGTON WAY
HARTLAND WI 53029

MICHAEL COTTRELL
KELLY COTTRELL
1021 ETON CT
HARTLAND WI 53029

MICHAEL DEAN
1024 WELLINGTON WAY
HARTLAND WI 53029

MICHAEL FLAHERTY
LISA FLAHERTY
1023 WELLINGTON WAY
HARTLAND WI 53029

NATHAN M ZAWISLAK
AHSLEY L JOYCE
1030 WELLINGTON WAY
HARTLAND WI 53029-2706

PATRICK COLLINS
LEIGHANN COLLINS
1024 ETON CT
HARTLAND WI 53029

REMY VANNECK
AMY VANNECK
1017 WELLINGTON WAY
HARTLAND WI 53029

RICHARD WESKE
TIFFANY WESKE
1032 WELLINGTON WAY
HARTLAND WI 53029

ROBERT & JACQUELYN GAVIN TRUST
1032 ETON CT
HARTLAND WI 53029

ROBERT KLUWIN
DEANNA KLUWIN
1019 WELLINGTON WAY
HARTLAND WI 53029

ROBERT WOOD
SUSAN WOOD
1021 S IMPERIAL DR
HARTLAND WI 53029

ROBIN ZILLMER
PAULA ZILLMER
1027 WELLINGTON WAY
HARTLAND WI 53029

THOMAS DAHMS
JEANNE DAHMS
1028 WELLINGTON WAY
HARTLAND WI 53029

THOMAS P MANSER
1029 ETON CT
HARTLAND WI 53029

TIMOTHY PILACHOWSKI
CAROL PILACHOWSKI
1012 ETON CT
HARTLAND WI 53029



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430
 www.villageofhartland.com

DEPARTMENT OF BUILDING INSPECTION
 APPLICATION FOR ARCHITECTURAL BOARD

Job Address 1263 Mary Hill Cr			
Lot 56	Block	Subdivision Mary Hill	Key No. HAV
Owner David Vachol			Phone
Address Same		City Hartland	State WI Zip
Contractor GM Building	Phone 2-894-7613	FAX 2-369-5318	E-Mail Address Greg@ManiaciBuilders.com
Address N33 W29285 Millridge Rd		City Pewaukee	State WI Zip 53072

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

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NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 10-6-15 Date of Meeting: _____ Item No. _____

Plat of Survey

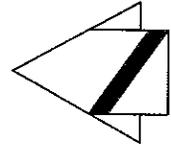
SCALE 1" = 50'

JAHNKE & JAHNKE ASSOCIATES INC.

Consultants in Engineering, Planning, Subdivisions and Surveying

711 W. MORELAND BLVD. WAUKESHA, WISCONSIN 53188

TELEPHONE (262) 542-5797 FAX (262) 542-7698



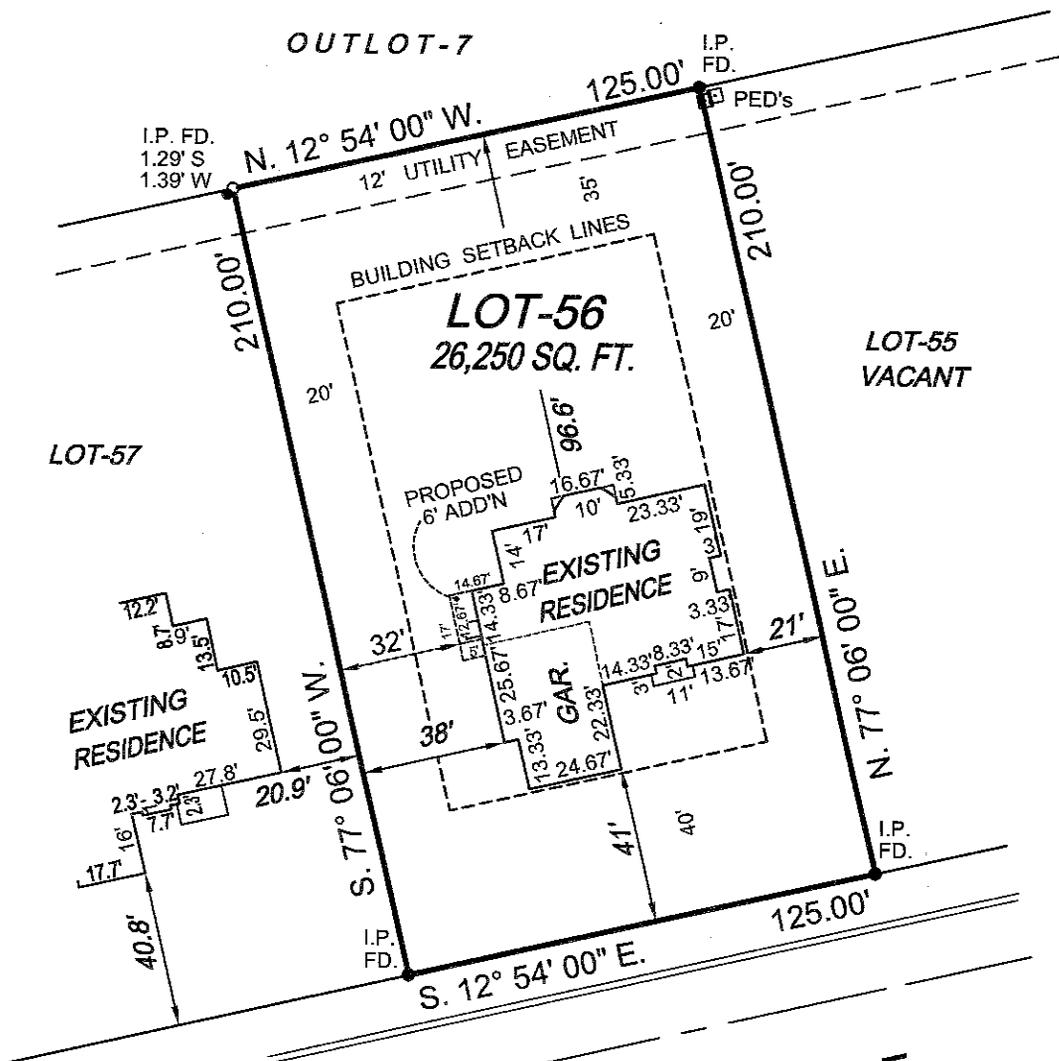
DRAWING ONLY

FOR: G.M. BUILDERS RE: VARHOL

LEGAL DESCRIPTION: Lot 56, MARY HILL, being a part of the SW 1/4 of the NW 1/4, and part of the NW 1/4 and SW 1/4 of the SW 1/4, all in Section 25, T8N, R18E, Village of Hartland, Waukesha County, Wisconsin.

REFERENCE BEARING: Bearings referenced to State Plane Coordinates, (NAD-27) South Zone, on the South line of the SW 1/4 of Section 25-8-18, as bearing S89°09'28"W.

NO TITLE POLICY FURNISHED THEREFORE COMPLETENESS OF EASEMENTS IS NOT WARRANTED.



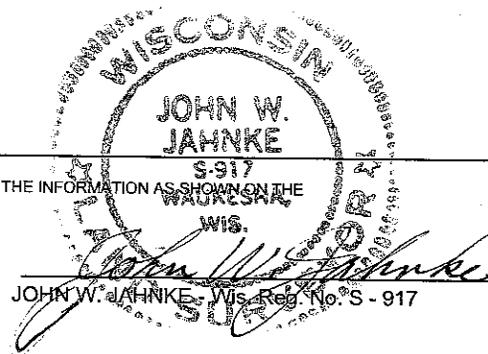
MARY HILL CIRCLE
60' R.O.W. ASPHALT SURFACE

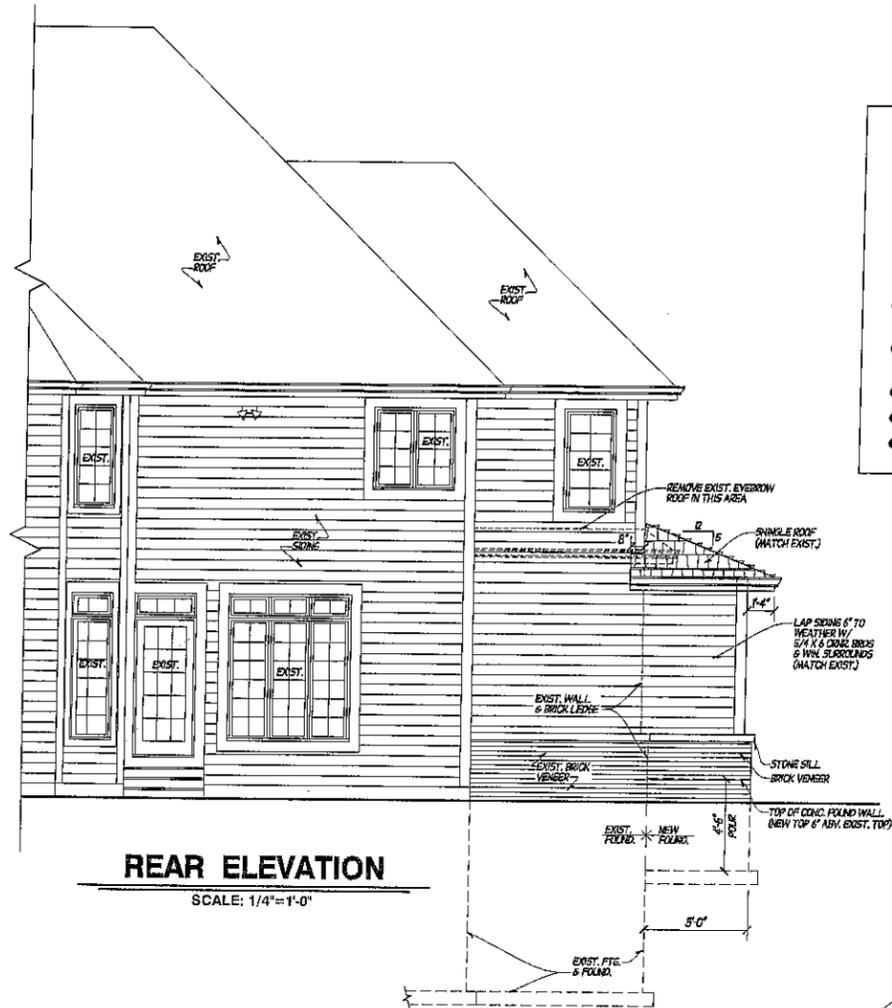
STATE OF WISCONSIN }
COUNTY OF WAUKESHA } ss.

WE, JAHNKE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

DATED THIS 6th DAY OF OCTOBER, 2015

PLAT No. PS MERTON-583A BOOK No. MERTON-31 PAGE No. 65



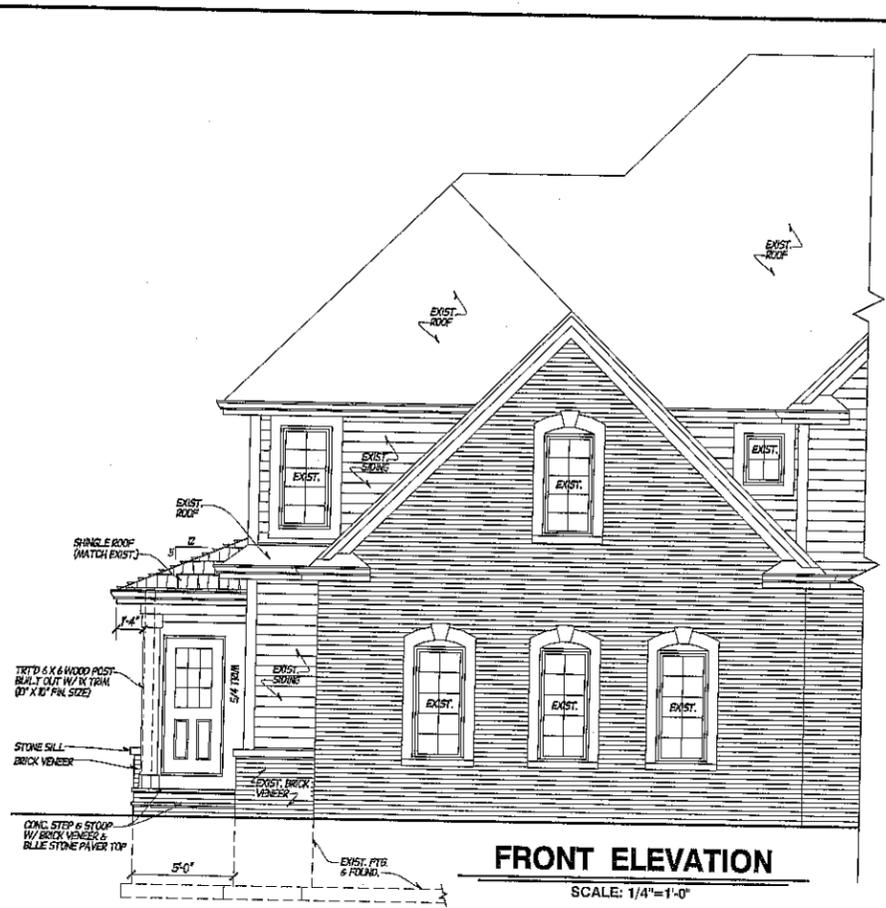


REAR ELEVATION

SCALE: 1/4"=1'-0"

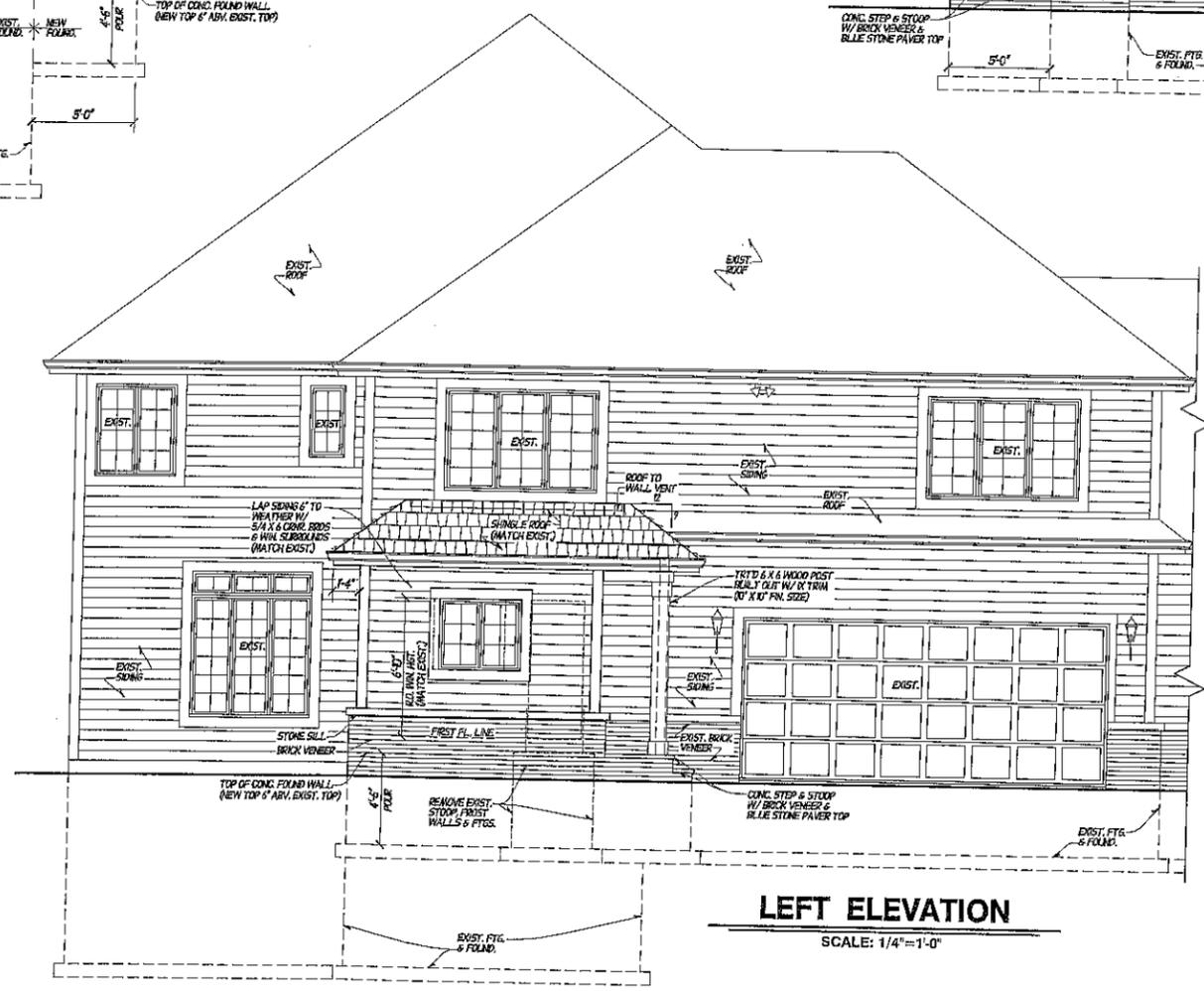
EXTERIOR MATERIAL NOTES:

- ALL HEIGHTS & TRIM DETAILS TO MATCH EXIST.
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- INSTALL METAL FLASHING OVER ALL STONE SILLS.
- ALL LAP SIDING TO BE FIBER CEMENT, 6" TO WEATHER, W/ 5/4 X 6 CORNR. BRDS. TO MATCH EXIST.
- ALL TRIM BRDS. TO BE CEDAR. (MATCH EXIST.)
- ALL SHINGLE ROOF TO BE DIMENSIONAL ASPHALT SHINGLES. (MATCH EXIST.)
- ALL SOFFITS TO BE 3/8" R.S. PLYWOOD W/ EAVE VENTS. (MATCH EXIST.)
- ALL GUTTERS TO BE SEAMLESS ALUMINUM.
- ALL EXTERIOR CEILINGS TO BE 3/8" R.S. PLYWOOD.
- ALL NEW MATERIALS TO MATCH EXIST.



FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

THIS SET OF ARCHITECTURAL DRAWINGS AND ANY REVISIONS THEREON SHALL BE THE PROPERTY OF ARCHITECTURAL DEVELOPMENT SERVICES, INC. AND SHALL REMAIN THE PROPERTY OF ARCHITECTURAL DEVELOPMENT SERVICES, INC. ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY ARCHITECTURAL DEVELOPMENT SERVICES, INC. OR ITS DESIGNATED REPRESENTATIVE. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DEVELOPMENT SERVICES, INC. CONTRACT NO. AD-137115-D

BUILDER
GM BUILDING & REMODELING
 6005 AMARICI
 PHONE: (603) 894-4635

OWNER & PROJECT LOCATION
MR. & MRS. DAVID & MICHELLE VARIOL
 603 HARTY HILL CIRCLE
 HARTLAND, NH

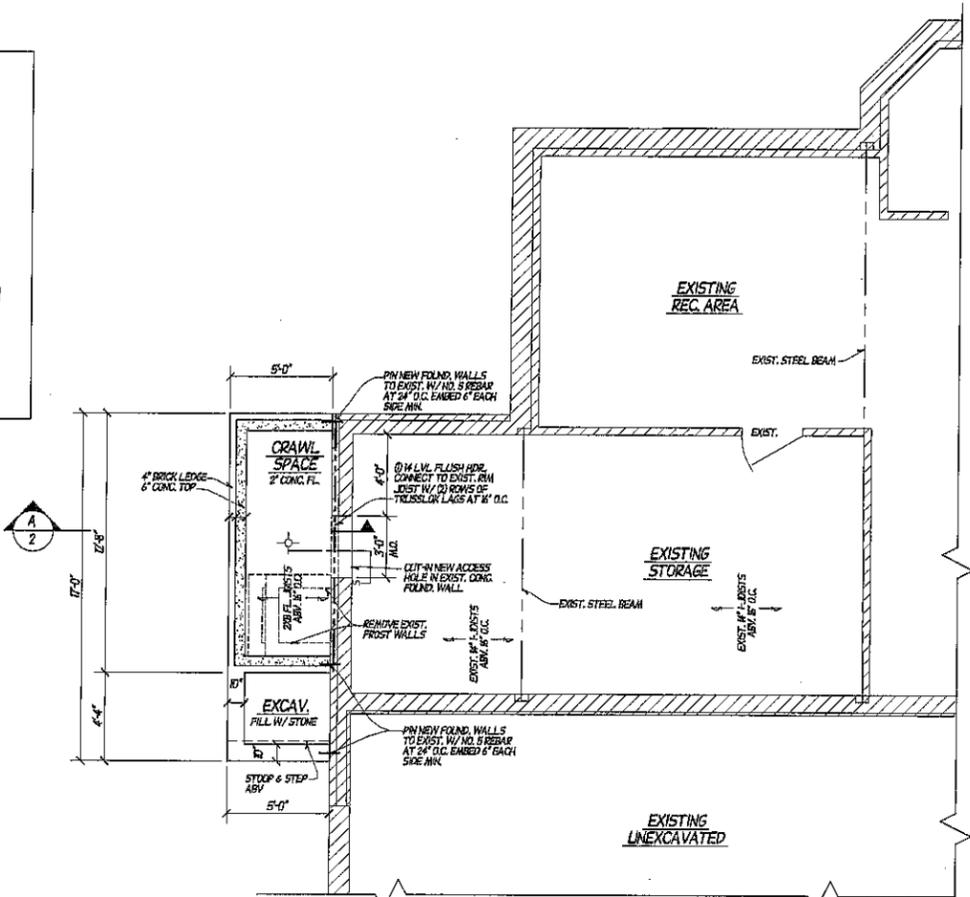
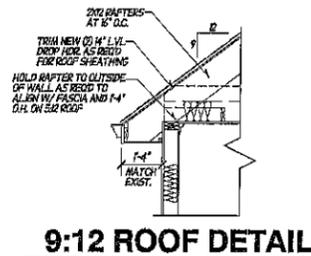
DESIGNED BY	COMPLETION DATE
B. TOM	8/22/15 (D)
DRAWN BY	REVISIONS
T.K.C./J.L.	
CHECKED	
B. TOM	

ADS ARCHITECTURAL DEVELOPMENT SERVICES, INC.
 WWW.ARCHITECTURALDEVELOPMENTSERVICES.COM
 150 NORTH SUNNY SLOPE RD. STE 200
 BROOKFIELD, VT 05605
 (802) 887-1701

JOB NUMBER
137115-D
SHEET NO.
1 OF 2

EXTERIOR MATERIAL NOTES:

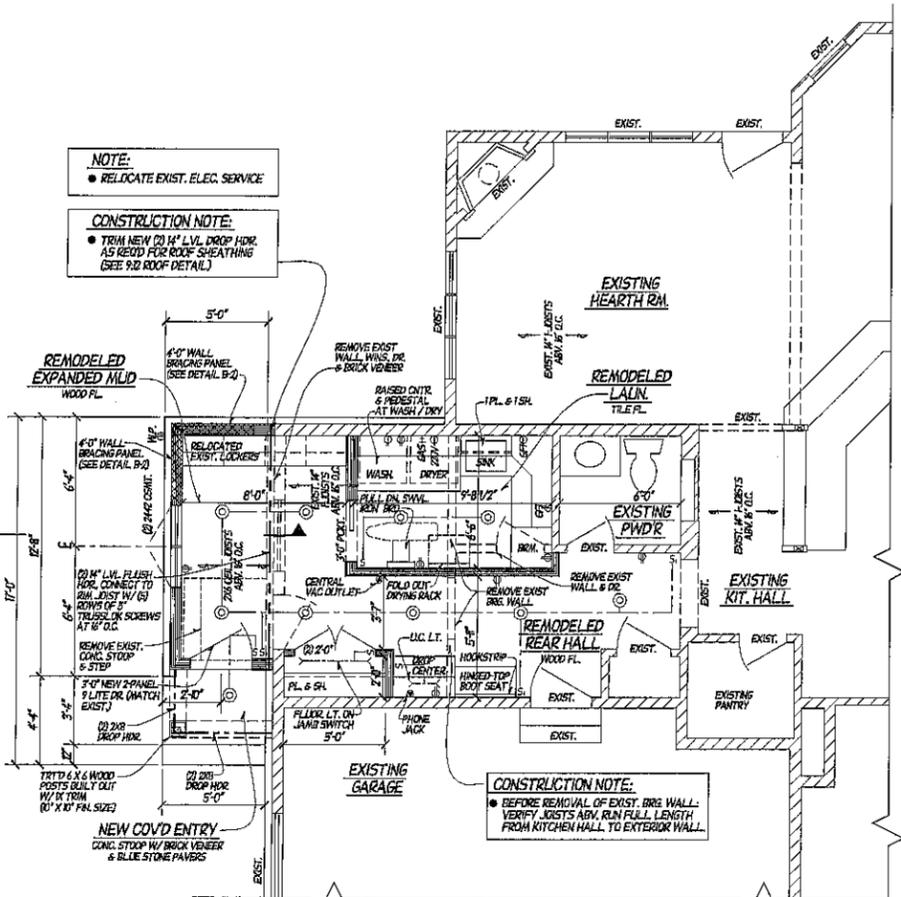
- ALL HEIGHTS & TRIM DETAILS TO MATCH EXIST.
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- INSTALL METAL FLASHING OVER ALL STONE SILLS.
- ALL LAP SIDING TO BE FIBER CEMENT, 6" TO WEATHER, W/ 5/4 X 6 CORNR. BRDS. TO MATCH EXIST.
- ALL TRIM BRDS. TO BE CEDAR. (MATCH EXIST.)
- ALL SHINGLE ROOF TO BE DIMENSIONAL ASPHALT SHINGLES. (MATCH EXIST.)
- ALL SOFFITS TO BE 3/8" R.S. PLYWOOD W/ EAVE VENTS. (MATCH EXIST.)
- ALL GUTTERS TO BE SEAMLESS ALUMINUM.
- ALL EXTERIOR CEILINGS TO BE 3/8" R.S. PLYWOOD.
- ALL NEW MATERIALS TO MATCH EXIST.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

- NOTES:**
- 4'-6" POLYMER CONG. FOUND. WALL. (TOP AT 6" ABV. EXIST. CONG. TOP.)
 - ALL DIMENSIONS ARE +/-, FIELD VERIFY & ADJUST AS NEEDED.
 - NEW FOUND. TO BE POLYMER CONG. W/ STEEL REBAR AS RECD.
 - RELOCATE EXIST. UTILITY SERVICES AS RECD.
- WALL HATCH LEGEND:**
- EXIST. FOUND. WALLS
 - NEW FOUND. WALL (TOP AT 6" ABV. EXIST. CONG. TOP)



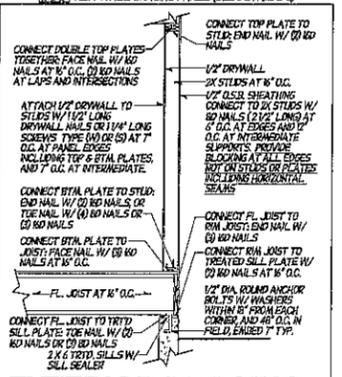
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

- REMODELED AREA:** 214 SQ. FT.
ADDITION FINISHED AREA: 43 SQ. FT.
NEW COVD SERVICE ENTRY W/ STEP: 22 SQ. FT.

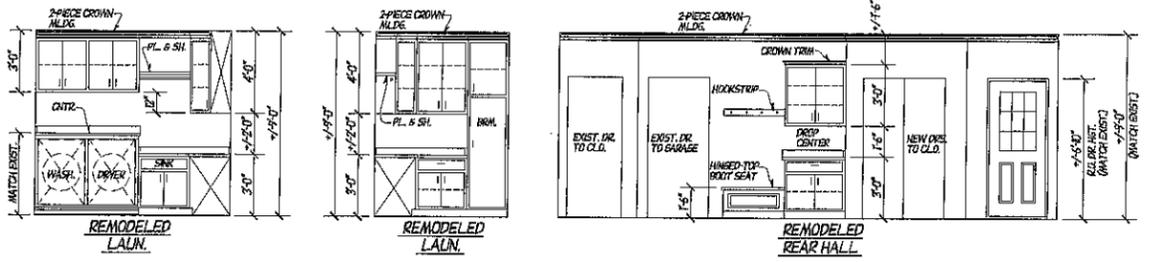
- NOTES:**
- +/- 9'-0" FIRST FL. WALL HGT. MATCH EXIST.
 - ALL DIMENSIONS ARE +/-, FIELD VERIFY & ADJUST AS NEEDED.
 - ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.
 - **WIN. NOTES:**
 - ALL WINDOW NUMBERS INDICATE APPROX. FRAME SIZE IN INCHES. +/- 4" O.D. WIN. HGT. (MATCH EXIST.)
 - ALL WIN. & DR. R.D. HGT'S ARE +/- (MATCH EXIST.)
 - MATCH EXIST. WIN. TYPE & HGT.
 - MATCH EXIST. EXTERIOR HGT'S & TRIM DETAILS.
 - ALL INTERIOR DETAILS TO MATCH EXIST.
 - ALL NEW DOORS TO BE +/- 6'-8" HGT. (MATCH EXIST.)
 - ALL NEW RECESSED L.T.S. TO BE STAND. 6" W/ LED BULBS.
 - RELOCATE EXIST. HVAC VENTS & REGISTERS AS RECD.
 - RELOCATE EXIST. PLUMBING AS RECD.
 - RELOCATE EXIST. ELECTRICAL AS RECD.
 - RELOCATE EXIST. UTILITY SERVICES AS RECD.

- WOODWORK NOTES:**
- INSTALL 3-PIECE CROWN MOLD. IN ALL REMODELED & EXPANDED AREAS.
 - ALL MILLWORK & CABINETS TO BE PAINTED, EXCEPT REUSED LOCKERS.
- REMODELED LAUNDRY RM. NOTES:**
- INSTALL GRANITE COUNTERTOPS W/ BACKSPLASH
 - INSULATE & SOUNDPROOF WALLS IN LAUNDRY.
- WALL HATCH LEGEND:**
- EXIST. WALLS TO BE REMOVED
 - EXIST. STUD WALLS TO REMAIN
 - NEW 2X STUD WALLS
 - NEW WALL BRACING PANEL (SEE DETAIL B-2)



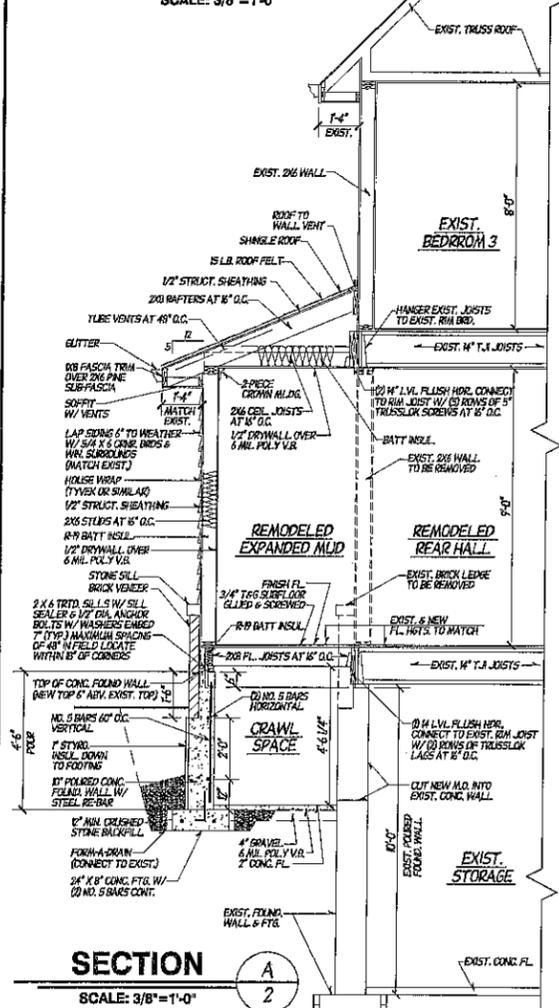
EXTERIOR BRACING PANEL DETAIL

SCALE: 3/8"=1'-0"



CABINET DETAILS & WALL ELEVATIONS

SCALE: 1/4"=1'-0"



SECTION

SCALE: 3/8"=1'-0"

OWNER & PROJECT LOCATION
MR & MRS. DAVID & MICHELLE VARHOL
253 ANNY HILL CIRCLE
HARTLAND, WI

BUILDER

DESIGNED BY R. TOM
ARCHITECTURAL DEVELOPMENT SERVICES
T.K.C./J.L.
CHECKED B. TOM

COMPLETION DATE 8/28/15 (2)
REVISIONS

AD'S ARCHITECTURAL DEVELOPMENT SERVICES
150 NORTH SUNNY SLOPE RD STE 550
BRUNSWICK, WI 53505
(262) 787-1751
www.architecturaldevelopment.com

JOB NUMBER 137115-D
SHEET NO. 2 OF 2

JOHN STAHL
JOSEPHINE STAHL
1235 MARY HILL CIR
HARTLAND WI 53029

STEVE BETH
SARA BETH
1249 MARY HILL CIR
HARTLAND WI 53029

CRAIG SWINEHART
JODY SWINEHART
1259 MARY HILL CIR
HARTLAND WI 53029

DAVID VARHOL
MICHELLE VARHOL
1263 MARY HILL CIR
HARTLAND WI 53029

JAMES BARTHEL
KELLY BARTHEL
1267 MARY HILL CIR
HARTLAND WI 53029

JOSEPH ANDRIETSCH
ABBY P ANDRIETSCH
1270 MARY HILL CIR
HARTLAND WI 53029

LOT OWNERS OF MARY HILL
C/O MARY HILL HOMEOWNERS ASSOC
6255 UNIVERSITY AVE STE 101
MIDDLETON WI 53562

THOMAS O BROCKLEY
LISA D BROCKLEY
1255 MARY HILL CIR
HARTLAND WI 53029

DOUGLAS G HAFEMANN
KALYN R HAFEMANN
1256 MARY HILL CIR
HARTLAND WI 53029-8006

KEVIN R KING
SHELBY L KING
1264 MARY HILL CIR
HARTLAND WI 53029

THOMAS W FRENTZEL
ANNE D FRENTZEL
1187 MARY HILL CIR
HARTLAND WI 53029

TODD T LAMERE
NICOLE L LAMERE
N39W27421 HILLSIDE GRV
PEWAUKEE WI 53072

MARK A DIBLASI
PATTI L DIBLASI
1241 MARY HILL
HARTLAND WI 53029-8006

CHARLES BRAUNSCHWEIG
JACKIE BRAUNSCHWEIG
1207 MARY HILL CIR
HARTLAND WI 53029

HUGGETT LIVING TRUST
1201 MARY HILL CIR
HARTLAND WI 53029-8006

MICHAEL J ROCHE
SUZANNE C DAWSON
1195 MARY HILL CIR
HARTLAND WI 53029

RAJESH SANTHARAM
1269 MARY HILL CIR
HARTLAND WI 53029

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address				
Lot	Block	Subdivision	Key No. HAV	
Owner DAVE KLUET			Phone	
Address 620 OAKWOOD DR		City HARTLAND	State WI	Zip 53029
Contractor		Phone	FAX	E-Mail Address
Address		City	State	Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

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NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 10/6/2015 Date of Meeting: _____ Item No. _____



Department of Building Inspection

PERMIT # _____

APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION _____

LOT _____ BLOCK _____ SUBD _____ TAX KEY _____

OWNER DAVE KLUFF PHONE 262-367-6280 FAX _____

ADDRESS 620 OAKWOOD DRIVE CITY, STATE, ZIP HARTLAND WI 53029

CONTRACTOR Myself PHONE _____ FAX _____

ADDRESS _____ CITY, STATE, ZIP _____

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: 12'x 18' CARPORT OFF SIDE OF GARAGE

Current principal use of property _____

Proposed principal use of property _____

Width _____ Length _____ Sq. Ft. _____ Height _____ Cu. Ft. _____

Estimated cost of above job(s) \$ 500.00 \$ _____ \$ _____

State Approval _____ Date _____

Class of Construction _____ Sprinkler _____ Stories _____

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Dave Kluff Date _____

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

- See plans for possible conditions/recommendations
-

_____ TOTAL FEES

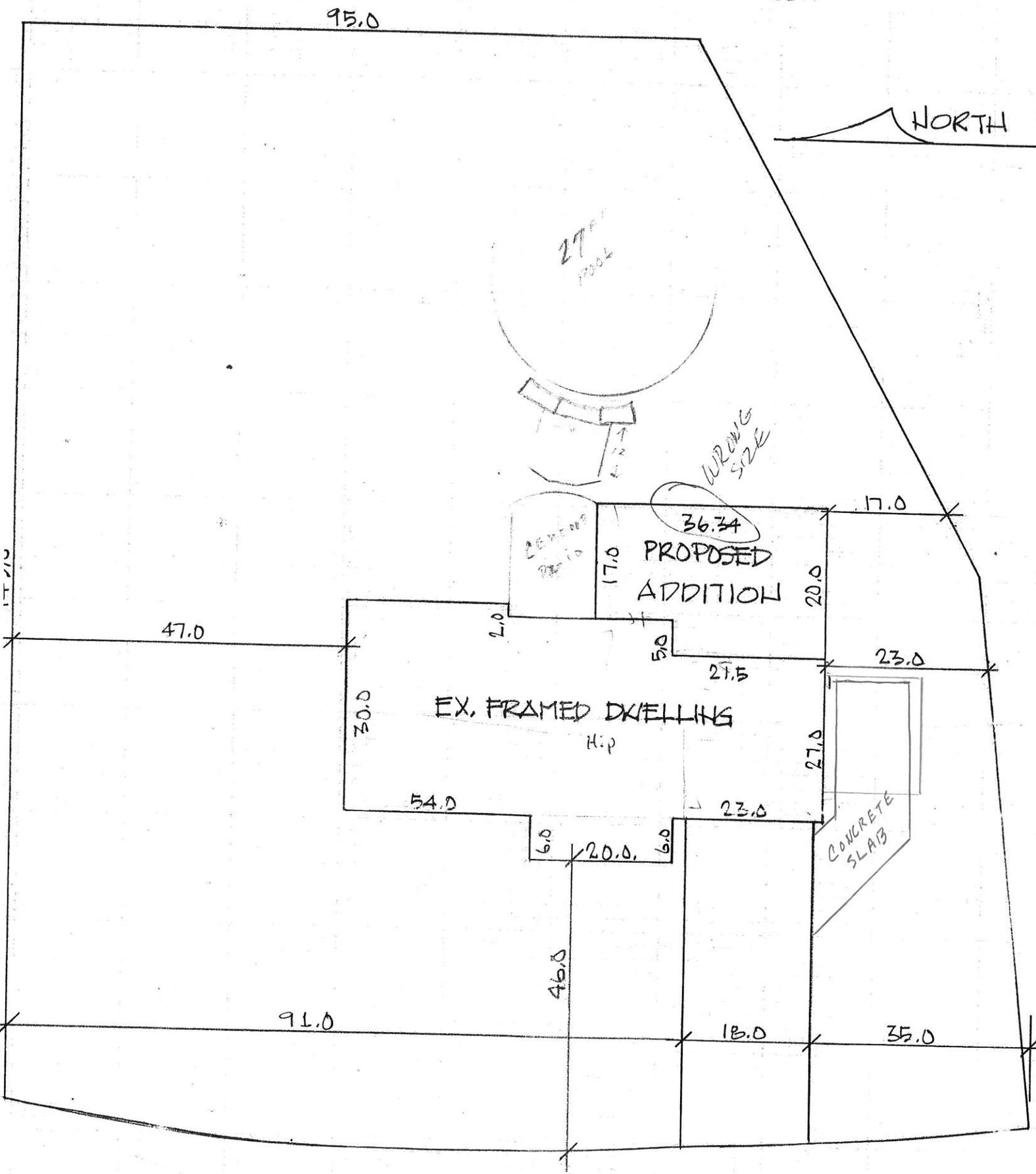
_____ Date Paid

_____ Receipt

Meeting dates plans were approved for building permit:

Plan Commission _____ Village Board _____ Arch Board _____

APPLICATION APPROVED ON: _____ DATE BY: _____ BUILDING INSPECTOR



SITE PLAN

1" = 15.0'



LAND INFORMATION SYSTEMS DIVISION

Waukesha County GIS Map



0 33.33 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

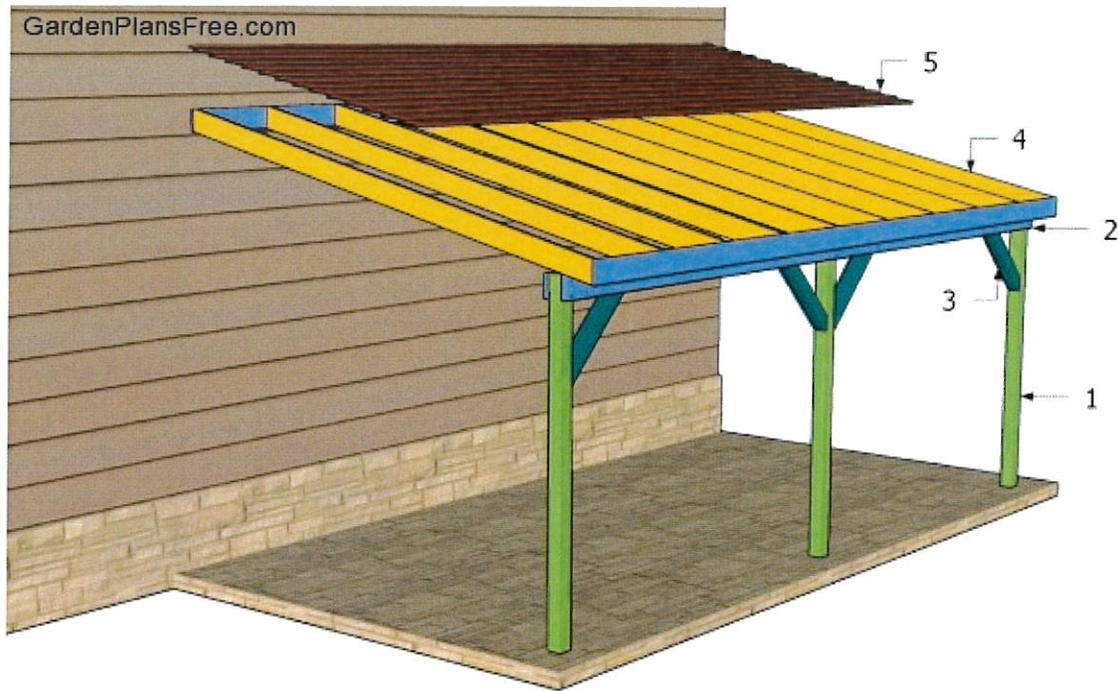
Notes:

Printed: 10/14/2015





789
NKU



Building an attached carport

- 2 – 4 pieces of 2×6 lumber – 2416' **BEAMS**
- 3 – 11 pieces of 4×4 lumber – 34" **BRACES**
- 4 – 10 pieces of 2×4 lumber – 130" **RAFTERS**
- 5 – 25 pieces of 1×8 lumber – 216" **SLATS**

CHARLES N MARTIN
1223 MARQUETTE RD
HARTLAND WI 53029

DANIEL BAKER
VERONICA A LIZALDE
1105 MARQUETTE RD
HARTLAND WI 53029-1225

DAVE KLUFT
KAREN KLUFT
620 OAKWOOD DR
HARTLAND WI 53029

DONALD SCHULTZ
JANICE SCHULTZ
1212 MARQUETTE RD
HARTLAND WI 53029

ERIK R LINDMARK
ALYSSA F LINDMARK
1029 HILGER RD
HARTLAND WI 53029

FRANCIS J GIESE
548 OAKWOOD DR
HARTLAND WI 53029

JAMES E ANDERSON
1028 HILGER RD
HARTLAND WI 53029

JAMES HASLEY
PATRICIA HASLEY
1116 MARQUETTE RD
HARTLAND WI 53029

JAMES LENIUS
JEAN LENIUS
1030 MARQUETTE RD
HARTLAND WI 53029

JERRY W MITTELSTEDT
1117 DONA RD
HARTLAND WI 53029

JOEL T HARTMANN
1029 MARQUETTE RD
HARTLAND WI 53029

JOHN DISCH
DONNA DISCH
724 OAKWOOD DR
HARTLAND WI 53029

JOHN HOTZ
CHRISTIE HOTZ
606 OAKWOOD DR
HARTLAND WI 53029

JOHN K ESKAU
503 MEMORY LN
HARTLAND WI 53029

JOHN W & JOYCE D BARNISH
RECOVABLE LIVING TRUST
1117 MARQUETTE RD
HARTLAND WI 53029

JULIE MERRITT
719 OAKWOOD DR
HARTLAND WI 53029

KATHLEEN A MCCABE
1104 HILGER RD
HARTLAND WI 53029

MICHAEL LECHER
GLORIA LECHER
506 OAKWOOD DR
HARTLAND WI 53029

MICHAEL MUELLER
JUDY MUELLER
707 OAKWOOD DR
HARTLAND WI 53029

MICHELLE MERSCHDORF
C/O ROSE M HANSON MCGILLICK
1106 MARQUETTE RD
HARTLAND WI 53029

NANCY C BLOM
503 OAKWOOD DR
HARTLAND WI 53029

NANCY J PEEBLES
1129 DONA RD
HARTLAND WI 53029

PATRICIA BLAKELY
720 OAKWOOD DR
HARTLAND WI 53029

PETER NEJEDLO
DALE NEJEDLO
520 OAKWOOD DR
HARTLAND WI 53029

PETER RHYNER
SANDRA RHYNER
613 OAKWOOD DR
HARTLAND WI 53029

SARAH J SMITH
LISA L LEMIEUX
1216 SUNNYSLOPE DR
HARTLAND WI 53029

THE LEGEND AT BRISTLECONE PINES
LLC
1 LEGEND WAY
WALES WI 53183

WILLIAM HILGER JR
MARY HILGER
525 OAKWOOD DR
HARTLAND WI 53029



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

pd# 164695

APPLICATION FOR
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description				HAMMER SUBDIVISION CONCEPTUAL PLAN			
Proposed Use			SINGLE FAMILY LOTS			No. of Employees	
Project Location				1112 LISBON AVE. / HAV 042 8959			
Project Name				TBD			
Owner		PATRICIA HAMMER REV. TRUST		Phone		262 784 9527	
Address		C/O DAN HAMMER 960 Golden Meadow Gln		City		BROOKFIELD	
				State		WI	
				Zip		53045	
Engineer/Architect		Keith Kindred, SEH		Phone		714 949 8919	
				FAX			
Address		501 Maple Ave		City		Delafield	
				State		WI	
				Zip		53018	
Contact Person		STEVE VITALE		Phone		262 227 9277	
				FAX		262 782 7590	
				E-mail		SVITALE@Valbridge.com	

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	10/2/15	Date of Meeting:	10/19/15	Return Comments by:
---------------	---------	------------------	----------	---------------------



ENGINEERS • ARCHITECTS
 PLANNERS • SCIENTISTS
 501 MAPLE AVENUE
 DELAFIELD, WISCONSIN 53018
 262-646-6855



HAMMER PROPERTY
 VILLAGE OF HARTLAND, WISCONSIN
 CONCEPTUAL LAYOUT

PROJECT NUMBER	134186
DATE	OCTOBER 2015
DRAWN BY	DJB
CHECKED BY	RD
REVISION HISTORY	

SHEET NUMBER	1
OF	1

###



SITE DATA	
VILLAGE OF HARTLAND LAND USE DESIGNATION	
	Low Density Residential
TOTAL AREA	5.51 Acres
Developable Area	5.51 Acres
Gross Developable Density	1.27 U/AC
Single Family Lot Area	4.31 Acres
Single Family Lots	7
Open Space	0.47 Acres
PUBLIC RIGHT OF WAY	0.73 Acres
PROPOSED ROAD LENGTH	530 LF
EXISTING ZONING (RS-1)	
Minimum Allowed Lot Size	22,000 sf lot (110' Min. Width)
Minimum Lot Size	129' x 189' (24,373 sf)
Average Lot Size	26,820 sf

Date: Bunderson - C:\Users\WVITAS\134186\134186-Planning\134186_Conceptual_Layou_2.2 - Friday, October 02, 2015 9:29:39 AM

AARON F KUPHALL
KELLEY J KUPHALL
318 MERTON AVE
HARTLAND WI 53029

ANDREW S JUSTMAN
ASHLEY L JUSTMAN
1036 E CAPITOL DR
HARTLAND WI 53029

BRUCE R RONKE
1621 FIRST AVE N
GREAT FALLS MT 59401

DAVID VANTHIEL
KATHLEEN VANTHIEL
1221 EAGLE PASS
HARTLAND WI 53029

GARY STROMBECK
DAWN STROMBECK
305 BADGER DR
HARTLAND WI 53029

GREGORY SANDEN
KRISTIN SANDEN
1014 LISBON AVE
HARTLAND WI 53029

JEFFREY A ZEMAN
VICKIE L OTTO
225 BADGER DR
HARTLAND WI 53029

KATHLEEN H SCHERER
1131 EAGLES PASS
HARTLAND WI 53029

LAURNA L SCHLIEPP
1104 E CAPITOL DR
HARTLAND WI 53029

MARCIA MORIARTY
2432 N 89TH ST
WAUWATOSA WI 53226

ALFRED HANSEN
KAY HANSEN
330 BADGER DR
HARTLAND WI 53029

ANGELA CORNELL
CHRISTOPHER CORNELL
1031 LISBON AVE
HARTLAND WI 53029-2229

DANIEL KIMMEL
SHARON KIMMEL
1034 LISBON AVE
HARTLAND WI 53029

DIANE B BRANDES 2007 LIVING TRUST
1018 E CAPITOL DR
HARTLAND WI 53029

GEORGE BUCKLEY
KAREN BUCKLEY
238 MERTON AVE
HARTLAND WI 53029

JAMES T SCHWIND
1209 LISBON AVE
HARTLAND WI 53029

JEFFREY G OTT
NANCY J OTT
265 BADGER DR
HARTLAND WI 53029

KELVIN MAAHS
JANE MAAHS
338 MERTON AVE
HARTLAND WI 53029

LORETTA M GRAMBOW
117 TERRACE LN
HARTLAND WI 53029

MARK J HOLZBAUER
KATHLEEN M SHEAHAN
250 BADGER DR
HARTLAND WI 53029

ANDREW KONOPKA
BRANDICE KONOPKA
1161 EAGLE PASS
HARTLAND WI 53029

BARBARA J HAMILTON
1210 LISBON AVE
HARTLAND WI 53029

DAVID FELDMANN
LINDA FELDMANN
1125 LISBON AVE
HARTLAND WI 53029

FREDERICK S SCHINDLER
MELISSA L SCHINDLER
1210 SHELLY LN
HARTLAND WI 53029

GRAUEL LIVING TRUST
C/O REX OR JO ANNE GRAUEL
103 TERRACE LN
HARTLAND WI 53029

JEAN A DONOVAN
1124 LISBON AVE
HARTLAND WI 53029

JENSEN REVOCABLE TRUST
210 MERTON AVE
HARTLAND WI 53029

KENNETH W MAUTZ
1124 E CAPITOL DR
HARTLAND WI 53029

LYNN C HARTZEL
1101 LISBON AVE
HARTLAND WI 53029

MATTHEW R EVERTS
1021 LISBON AVE
HARTLAND WI 53029

MAUREEN L LAWLER
125 TERRACE LN
HARTLAND WI 53029

MICHAEL DIGIACOMO
MARY DIGIACOMO
1130 EAGLE PASS
HARTLAND WI 53029

PATRICIA A OSTERLING
DOROTHY ALLEN
1135 LISBON AVE
HARTLAND WI 53029

PATRICIA HAMMER REV LIVING TRUST
C/O DANIEL HAMMER
960 GOLDEN MEADOW GLN
BROOKFIELD WI 53045-4614

PHILLIP J DOLESHAL
317 NORTH AVE
HARTLAND WI 53029

S ANDERSON RATTLE
1013 LISBON AVE
HARTLAND WI 53029

TERRENCE J DOLAN
290 BADGER DR
HARTLAND WI 53029

THOM SAFFRON
IMELDA SAFFRON
1132 E CAPITOL DR
HARTLAND WI 53029

TJWK REAL ESTATE LLC
C/O TYLER MORSE
W332N6325 COUNTY ROAD C
NASHOTAH WI 53058-9783

TONY R PINK
SUSAN M PINK
1230 SHELLY LN
HARTLAND WI 53029

HWY 16

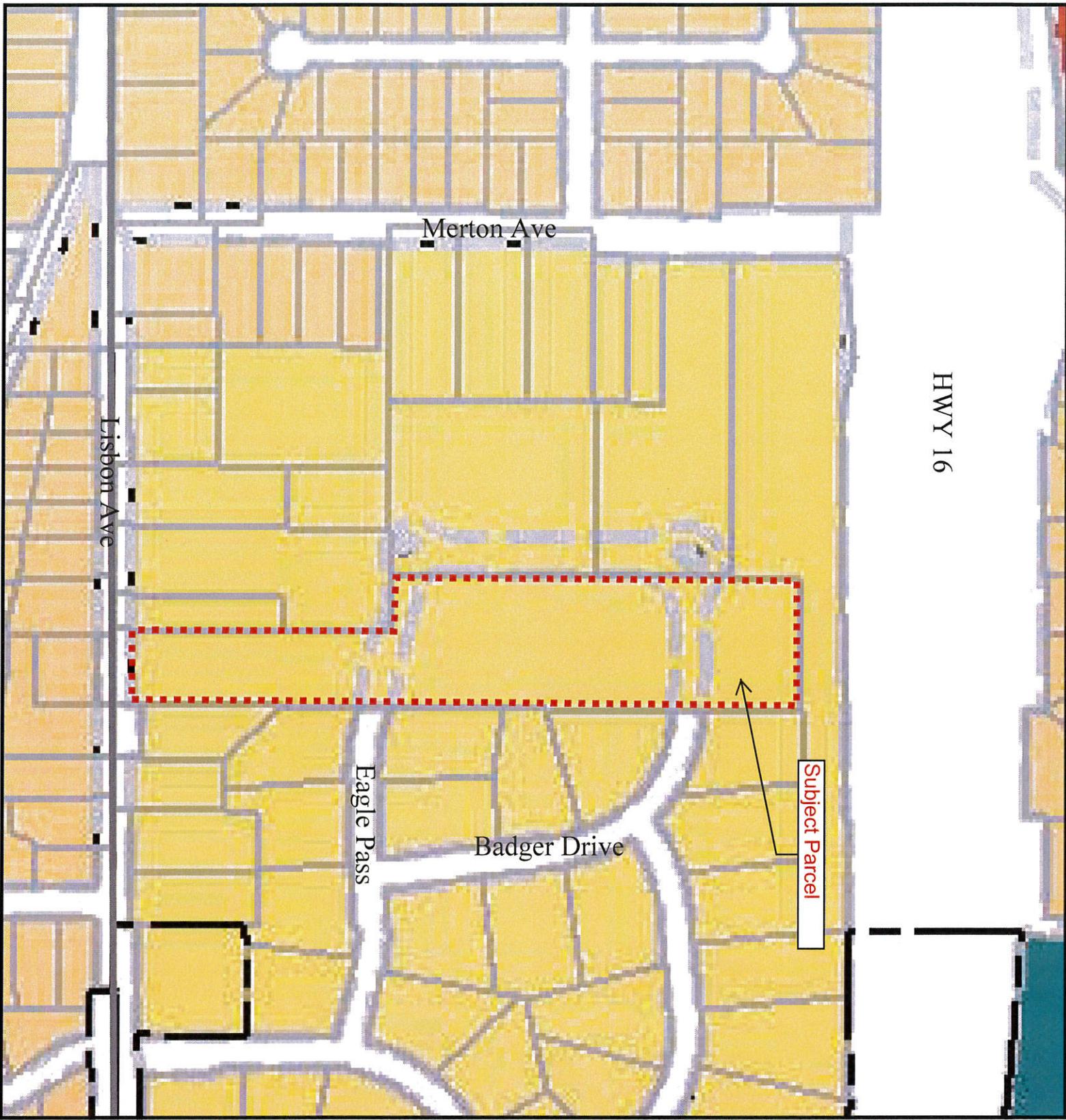
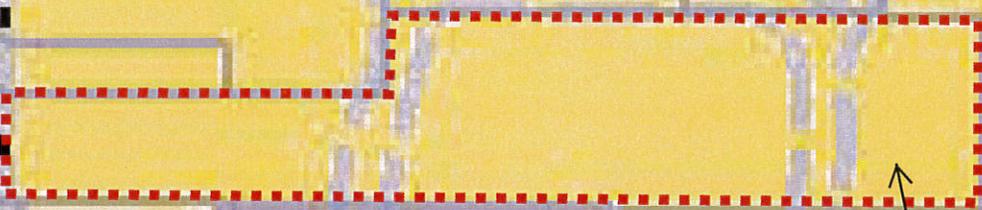
Merton Ave

Lisbon Ave

Eagle Pass

Badger Drive

Subject Parcel



Village of Hartland
Architectural Board
Architectural Review Waiver Policy

DRAFT - October 15, 2015

PURPOSE

To provide a clear process through which certain construction projects will not be required to undergo Architectural Board consideration prior to issuance of permits.

BACKGROUND

The Village Code requires, at Section 18-87 regarding Building Permits in part, that building permits may only be issued by the Building Inspector after a “proposed building or repair or addition” is “approved by the architectural board.” Further, under the Zoning Code section referring to Powers of the Architectural Board (Sec. 46-99, in part), the Architectural Board shall have the power to:

“Hear and decide applications for permission to erect, move, reconstruct, extend, alter or change the exterior of all residential structures except for small accessory structures, decks and minor exterior alterations unless a determination is requested by the building inspector.”

In September 2015, an amendment was made to the Village Code to allow the Architectural Board to waive this requirement in certain circumstances “for applications in subdivisions for which an active homeowners association or architectural review committee has given its approval for said applications.” This policy will outline the process by which such a waiver is automatically granted to those applications.

POLICY

The Architectural Board, as a matter of public policy and in the interest of proper governmental oversight, hereby establishes the following policy.

The Building and Zoning Official or Village official authorized to issue building permits is authorized to issue building permits for activities as delineated in Section 46-99 of the Village of Hartland Zoning Code without review of the activity for which the building permit is issued by the Architectural Board when said activity has been reviewed and approved by an active architectural review committee or other similar committee representing the owners of property in the subdivision in which the single family or two family structure is located and a waiver has been previously granted by the Architectural Board.

An “active architectural review committee or other similar committee” shall be defined as a group of not less than three owners of separate properties in the subject subdivision that have

been given the authority and responsibility via deed restriction and incorporation papers or bylaws to review and approve or disapprove the exterior appearance of structures within the subject subdivision for compliance with the intended overall requirements and thematic appearance elements of structures in the subdivision as described and approved by the Village during the subdivision approval process and that have been properly selected for that purpose. Further, an “active architectural review committee or other similar committee” also includes the original developer of the subject subdivision when a separate committee as described above has not yet been created or established but does not include said developer when such committee previously existed and is no longer functioning.

The METHOD OF WAIVER

Any developer or active architectural review committee or other similar committee who wishes to achieve a waiver from the review requirements of the Village Code shall request said waiver prior to reviewing construction that would require review under the Village Code. Developers or committees seeking waiver shall apply to the Architectural Board in accordance with the normal application process for said Board and shall provide both written and photographic or architectural drawings that shall describe the guidelines under which structures in the subject subdivision must be constructed and describing the standards by which the architectural appearance of those structures will be assessed. Copies of deed restrictions or architectural guidelines prepared by the developer are acceptable in addition to the photographic representation.

The Architectural Review Board will consider the application along with the standards and photographic information to determine whether a waiver will be granted and/or the conditions under which a waiver will be granted.

At any time, the Building and Zoning Official or official authorized to issue building permits is authorized, at his/her sole discretion, to require any application for building permit to be reviewed by the Architectural Board even if said application may comply with this policy or is for a property in a subdivision for which a waiver has been granted.

Nothing contained herein requires the Architectural Board to seek or honor the determination of the subdivision committee or developer in making its determination on an application made under the terms of the Village Code or this policy.

The Architectural Board may in its sole discretion and at any time amend or withdraw this waiver authority either entirely or for one or more specific subdivisions or applications.

Approved by the Architectural Board on this date: _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address WINDRUSH SUBDIVISION			
Lot 1 - 57	Block -	Subdivision WINDRUSH	Key No. HAV
Owner SUNRISE DEVELOPMENT, LLC		Phone 262-650-9700	
Address W240N1221 PEWAUKEE RD		City WAUKESHA	State WI Zip 53188
Contractor STEPMANN REALTY		Phone 262-650-9700	Email Address JIM@STEEPMANNREALTY.COM
Address W240N1221 PEWAUKEE RD		City WAUKESHA	State WI Zip 53188

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

PRELIMINARY
REQUIREMENTS AND GUIDELINES FOR BUILDING,
CONSTRUCTION AND IMPROVEMENTS

FOR
WINDRUSH SUBDIVISION

WINDRUSH Subdivision (“WINDRUSH”) is an innovative plan for a high quality residential community that blends with the countryside while preserving the natural character of the land. It is the intention of Sunrise Development, LLC (“Developer”) to assist lot owners in achieving a compatible arrangement of quality homes. To this end, this document (i) summarizes for lot owners the restrictions and covenants concerning building, construction and improvements provided in the Declaration of Restrictions and Covenants for WINDRUSH Subdivision (the “Declaration”), and (ii) sets forth additional Guidelines for Plan Approval (the “Guidelines”) adopted by the Developer.

I. Restrictions and Covenants in the Declaration.

The Declaration has been recorded with the Register of Deeds for Waukesha County and a copy has been provided to each lot owner. The Declaration **must** be followed by all lot owners in WINDRUSH. Of particular importance to owners of lots in WINDRUSH (“Owners” or, singularly, “Owner”), is the process of designing and constructing a residence and other permitted improvements on their lots. The Declaration contains restrictions and covenants concerning building restrictions (Declaration, Section II); construction (Declaration, Section III); and improvements and owner maintenance (Declaration, Section IV).

Below is a summary of the building restrictions, construction requirements and restrictions relating to improvements and owner maintenance found in the Declaration. Each Owner should refer separately to the Declaration and consider the following list as merely a summary of those provisions. In the event any of the terms or provisions below are different from or conflict with the terms or provisions of the Declaration, the terms or provisions of the Declaration are binding and will control.

A. Building Restrictions (See Declaration, Section II)

1. All lots in WINDRUSH are restricted to the erection of a single one story, story and one-half, or two story single family residence building with a minimum square footage of living space (excluding basement level areas) of two thousand three hundred (2,300) square feet.

2. Each single-family residence in WINDRUSH must have a garage that accommodates at least 2 cars, that is attached to the residence directly or by breezeway or is located in the basement of the residence, and that is constructed at the same time as the residence (such single family residence and garage together shall be referred to herein as the “Building”). The maximum size of the garage portion of the Building shall conform to Village of Hartland (hereinafter referred to as the “Village”) ordinances. Garage entrances may be on the side, front or rear of the Building. Courtyard-style and canted garage entrances conform with this requirement.

3. The exterior walls and fascia of the Building and any permitted improvements must be constructed of brick, stone, stucco, solid wood siding, or Hardiplank siding or its equivalent. Trim boards may also be made of Azek Trim, Miratec Trim or equivalents. Developer may, in its sole discretion, approve the use of artificial stone products. Siding materials such as aluminum, vinyl, steel, pressed board, Masonite or plywood will not be permitted on the exterior of the Building or any permitted improvements, except on soffits. Soffits (but not fascia) may be made of aluminum, vinyl or the siding materials permitted above for exterior walls. Fascia may only be made of the siding materials permitted above for exterior walls (not aluminum or vinyl). Any exposed basement or foundation wall must be covered with masonry veneer, plaster or the siding materials used on the exterior walls above such exposed wall.

4. All two story and story and one-half Building roofs shall have a minimum pitch of eight feet in height for each twelve feet in length (8/12), except for a porch roof, a shed-style roof or rear dormers on story

and one-half Buildings. All one-story Building roofs shall have a minimum pitch of ten feet in height for each twelve feet in length (10/12). All roofs shall be covered with either wood shakes or dimensional shingles in a “weatherwood” color (or similar) or standing-seam metal roof accents (color to be approved by developer)

5. The minimum setback from any abutting street right-of-way is 40 feet. The minimum side yard offset is 20 feet. The minimum rear yard is 35 feet.

6. Each Owner must obtain the **prior written approval** of Developer of all of the design and layout plans listed in subparagraph (a) below prior to application for a building permit. **Each Owner must submit preliminary plans for review by Developer before submitting final plans.** The final plans shall incorporate the plan changes, if any required by Developer, as noted in its review of the preliminary plans. (3 full-size sets and 1 11” x 17” reduction)

(a) Each Owner must submit to Developer in connection with its application for approval of the design/layout plan three complete sets of the following final plans:

- Exterior elevations drawn to scale (1/4” = 1’ minimum)
- Floor plans drawn to scale (1/4” = 1’ minimum)
- Identification of all exterior building materials;
- Stake-out survey showing the proposed location of the Building, existing and proposed yard grades and location of erosion control.
- Grading Plan showing the proposed location of the Building, existing and proposed yard grades and drainageways per the Master Grading Plan.
- Statement of square footage of living area by floor.
- Other things that may be required from time to time as set forth in the Guidelines (Section III, below).

(b) Approval of the design/layout plan shall be based upon the restrictions contained in the Declaration and the WINDRUSH Guidelines for Plan Approval (Section II, below), as may be adopted from time to time by Developer.

(c) Design/layout plan approval may be withheld if the design is too similar in appearance to other Buildings in close proximity.

(d) If in the opinion of Developer the submitted plans do not comply with the WINDRUSH Requirements and Guidelines and the Declaration Developer may, at its option, but only with Owner’s consent, refer the plans to a professional home designer for redesign so that the plans will comply with the WINDRUSH Requirements and Guidelines and Declaration. The Owner will be responsible for the payment of any fees charged by such professional.

(e) In its decision to grant Approval, Developer will take into consideration not only the required minimum setbacks but also the relationship of the location and position of the proposed Building and Permitted Improvements to the street and to the Buildings that have been constructed or that may be constructed on the adjoining lots.

B. Construction (See Declaration, Section III)

1. The Building must be constructed in accordance with the design and layout plan which has been approved by Developer and must be completed within twelve (12) months of the date the building permit is issued by the Village. A sodded or seeded lawn and a driveway paved with concrete, asphalt or brick must be installed within six (6) months of the date that the occupancy permit is issued by the Village.

2. At the time of construction of the Building, the Owner shall install at a location designated by Developer, one approved outdoor electric post lamp with an unswitched photoelectric control. The

design of the post lamp shall be uniform throughout WINDRUSH. The Owner shall maintain the operation and appearance of the post lamp. If the post lamp is not so maintained, and the condition has not been rectified by the Owner within 15 days after receipt of a notice from the Association specifying the violations of this requirement, the Owner shall be subject to a penalty at a per diem rate established in the Rules and Regulations of the WINDRUSH Homeowners Association from the date of notice until the date the condition has been rectified, in addition to all other rights and remedies available to Developer and the Association. The penalty shall be assessed against the Owner and, if not paid, will be enforced as provided in the Declaration.

3. Each Owner must submit to Developer and Village of Hartland, a grading plan which adheres to the Master Grading Plan or any amendment thereto approved by the Village Engineer and on file with the Village ("Master Grading Plan"), and grade such Owner's lot in accordance with the Master Grading Plan. Developer and/or the Village and/or their agents, employees or independent contractors shall have the right to enter upon any lot, at any time, for the purpose of inspection, maintenance and correction of any drainage condition (whether or not Owner complied with the Master Grading Plan), and the Owner is responsible for the cost of the same. Each Owner, at the time of construction of the Building, shall also be responsible for grading its lot so as to direct drainage toward the street or other established drainageway and to prevent an increase in drainage onto neighboring property. This shall be accomplished by creating swales along common lot lines wherever practical. Drainage ways shall be kept free of any obstructions. No plantings other than grass shall be permitted within 3 feet of side or rear lot lines without prior written approval of the Developer. Each Owner must consult with the adjacent lot Owner to agree upon compatible grading of their common lot lines. Due to the varying terrain and drainage conditions on each lot following construction, neither Developer nor the Village shall be responsible for establishing lot line grades. The services of a professional engineer may be required to design a proper grading plan for any lot, the cost of which shall be paid by the lot Owner(s). Final grading of the lot shall be completed within two months after the date that an occupancy permit has been issued for the Building (subject to delays caused by adverse weather conditions).

4. Electric transformers, cable TV and telephone equipment boxes have been placed by Developer to serve each lot. Any subsequent relocation, either horizontally or vertically, or modification of these equipment boxes shall require written authorization from the appropriate utility company or service provider and Developer. The lot Owner shall pay all costs of such relocation or modification.

5. Each Owner shall be responsible for installing and maintaining erosion control measures from the commencement of grading until such time as a lawn or other plantings sufficient to prevent erosion has been established on the Owner's lot. These measures include, but are not limited to: installation of silt fence, hay/straw bales and/or ditch checks; street cleaning following precipitation events or tracking of mud on streets by any vehicle leaving the lot; and sodding or seeding and mulching lawn areas. Steep slopes may require installation of straw mat, jute mat or other materials designed to stabilize steep and highly erodable areas. Any areas where erosion control measures have been compromised by weather, construction or any other event shall be repaired within 7 days of damage. After every rainfall exceeding ½ inch and at least once per week, erosion control measures must be inspected by the Owner or the Owner's contractor, and any necessary maintenance or repairs made. Failure to comply with these requirements may result in sanctions against the Owner by the Village, the Wisconsin Department of Commerce, and/or the Wisconsin Department of Natural Resources. All erosion control measures shall be installed and maintained according to the then current standards and specifications set forth in Wisconsin Department of Natural Resources Conservation Practice Standard and local ordinances.

6. All construction-related activity shall be confined to the Owner's lot unless the adjoining Owners have given permission to use their respective lots or outlots. In the event that landscaping on adjacent lots or outlots is disturbed during construction or grading, all disturbed areas shall be immediately restored with vegetation of like kind. In the event that eroded material is deposited onto a street or neighboring property, the Owner of the lot from which the material came shall be responsible for removing the material and restoring the street or neighboring property to its original condition.

7. Each Owner shall be responsible to Developer and the Village for the costs of repairing and replacing any street pavement, curb and gutter or sidewalks (including restoration of topsoil and lawn abutting the curb, gutter and sidewalks) which have been damaged during the course of constructing the Building and/or any permitted improvements on the Owner's lot. Each Owner shall be responsible for removing the vertical face curb for

their driveway with mountable curb at time of home construction. A permit for this curb replacement must be obtained from the Village of Hartland.

8. Each Owner shall be responsible to the Village for the costs associated with the procurement and installation, by the Village, of street trees per the Landscaping Plan. These costs shall be paid by Owner at the time of Building Permit Application.

C. Improvements/Owner Maintenance (See Declaration, Section IV)

1. No buildings, outbuildings or other structures will be permitted on the Property except the Building, and **except the following exclusive list of permitted improvements, which are subject to the Guidelines and require developer's prior written approval:**

(a) Fences of a decorative style. Chain link fences, privacy fences or fences which enclose an entire yard will not be allowed.

(b) Deck structures constructed of wood or metal. Developer may, in its sole discretion, approve the use of artificial wood products on decks.

(c) Gazebos.

(d) Pool houses, not to exceed 200 square feet in area.

(e) In-ground swimming pools. Above-ground swimming pools are not permitted. All swimming pool related pump, heater, filter and other equipment must be concealed in an enclosure located next to the Building to minimize the noise and visibility to neighboring properties. A different location for such pool equipment (with proper screening) may be allowed in special circumstances with Developer's prior written approval.

(f) Retaining walls and decorative walls: Must be constructed of natural stone or certain artificial modular stone products having a so-called "tumbled stone" effect and variations in the dimensions of the tumbled manufactured stone.

(g) Berms.

(h) The enclosed portion of any children's outdoor playground equipment and play structures. Playground equipment and play structures without enclosures do not require approval.

(i) Dog kennels. Dog kennels shall be located immediately behind the Building, shall be no larger than 200 square feet in area, with any fences screened from view by adequate landscaping. Doghouses may only be made of the siding materials permitted for Buildings.

2. There shall be no outside parking or storage of boats, trailers, buses, commercial trucks, recreational vehicles or other vehicles or items deemed to be unsightly by either Developer or the WINDRUSH Homeowners Association.

3. The design and location of each mailbox/newspaper box shall be uniform throughout WINDRUSH and installed in the location designated by the postmaster.

4. Satellite dish antennas may not exceed 24 inches in diameter. No antenna or satellite dish shall be mounted or installed on any roof. Any antenna or satellite dish should, if possible without interfering with reception, be placed and screened so as to minimize its visibility from roadways and neighboring lots.

5. Each Owner shall perform such periodic maintenance of the Owner's lot, including the adjoining public right-of-way area up to the edge of the road pavement, as may be necessary to keep the lot neat and clean in appearance, including, without limitation, the mowing of grass and removal of weeds and debris. This requirement applies to vacant lots as well as to lots where Buildings have been constructed. Each owner may treat noxious vegetation within the first 10 feet of Common Area abutting their property. Cutting vegetation on Common Areas is prohibited with the exception of a single lateral trail connecting to the Common Area trail system.

II. WINDRUSH Guidelines for Plan Approval.

The Declaration provides that the Developer may establish from time to time Guidelines for Plan Approval. In furtherance of its goals for the development of a high quality residential community, Developer adopts the following Guidelines, which it may amend or revise at its own discretion:

1. **Windows:** Shutters, window casings, window grids and other trim features that are used on the front of the residence and garage must also be used on appropriate windows on the sides and rear. In non-masonry openings casings of at least four inches in width must be used on all windows without shutters, attic vents and on all doors. Windows, doors and attic vents in masonry openings must have stone or brick sills and stone or brick soldier courses or corbels at the top, or other similar appropriate detail. Developer will require the placement of windows or other design features in walls that would otherwise be blank or without architectural feature. (Chimneys, bays, or other projections on a wall are not, by themselves, an architectural feature.) Developer may require grids or muntin bars in all windows. An attractive, balanced exterior design will usually take precedence over concerns about furniture arrangement. Windows may be vinyl or aluminum clad.

2. **Doors:** Garage and service doors may be wood, steel or fiberglass and must have a raised panel or other decorative design.

3. **Masonry:** There is no minimum brick or stone requirement. If masonry material is used on the exterior walls, it should, if possible, terminate only at an inside corner. In the event it is not possible to terminate these materials at an inside corner, the materials must then terminate at a corner board at least six inches in width. If quoins or similar details are used at outside corners it will be acceptable to terminate the masonry by extending it around the corner the full width of the quoin. If stone (not brick) is used on exterior walls it will also be acceptable to terminate the stone by extending it around a corner for a distance of at least one foot. A "beltline" or "apron" of brick or stone may terminate only at either an inside corner or on a wing wall. Other exterior materials such as lap siding must also terminate at an inside corner or at a corner board at least six inches in width.

4. **Bay, Boxed-out Windows and Chimney Chases:** Any bays, bay windows, boxed-out windows and other projections which extend down to the top of the foundation level must have a foundation beneath. "Hung bays" which are at least 12" above the foundation are permitted, supported by brackets if appropriate. All chimney chases must have a foundation beneath.

5. **Sloped Lots:** Developer may require on sloping lots that certain basement walls be exposed to minimize the impact on trees, vegetation and drainage as well as allow for a more natural transition between homes. Garages must be constructed on the high side of the lot unless a special exception is approved by Developer.

6. **Materials and Colors:** The variety of exterior materials should be kept to a minimum and must be used consistently on all elevations. The number of exterior colors should be kept to a minimum. It is recommended that a maximum of two colors be used on the walls and trim and one color for such items as shutters and doors.

7. **Fences:** Fences must be of a decorative style, no more than 5' high and at least 75% open. Chainlink fences, privacy fences and fences which enclose an entire yard are not allowed. Other styles of fence may be allowed if specifically approved by Developer. The area enclosed by the fence shall be no larger than the area that would be devoted to a typical back yard in-ground swimming pool, regardless of whether or not the home has a pool. All fences must be at least 3' from any lot line and the finished side of the fence must face the abutting property. Garden fences that are less than 75% open will be allowed provided that their design and materials are comparable to those of the house and provided that they conform to these guidelines in all other respects. If the municipality has more restrictive fence ordinances, those shall control.

8. Landscape Features: Landscape features must not obstruct or interfere with construction of lot line drainage swales.

9. Post Lamp/Mailbox: The post lamp required by the Declaration to be installed by each Owner shall be a **Hanover Cape Cod Lantern B25430-BLK-C-C4** outdoor electric lamp with a developer-specified post (**Hanover Post 354-8-BLK-B**) and photoelectric control. The location of this lamp shall be 2 feet back from the front lot line, eight feet from the house side of the driveway. The lamp shall be maintained by the lot Owner in a proper operating manner. Each Owner is also required to install a **Hanover Pine Valley M61N-BLK** mailbox and post. The mailbox location will be as directed by the local Postmaster. Maintenance and repair of the mailbox is the responsibility of the lot Owner. The estimated cost of this lamp, post and mailbox is **\$1,450.00** (subject to change prior to closing) and shall be paid at closing.

10. Storage: Lot Owners must make sufficient provisions for storage within the perimeter of the Building. Firewood may be stored in the Owner's rear yard provided it is screened from view of neighboring lots by landscape materials.

11. Professional Home Designer/Architect: In order to properly evaluate a design, Developer may require that design/layout plans submitted for plan approval be drawn by a professional home designer or architect. Submittal of a preliminary plan for review prior to preparation of final plans is required.

DECLARATION OF RESTRICTIONS AND COVENANTS
FOR
WINDRUSH SUBDIVISION

(Revised 9/30/15)

WINDRUSH SUBDIVISION
DECLARATION OF RESTRICTIONS AND COVENANTS
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PRELIMINARY

DECLARATION OF RESTRICTIONS AND COVENANTS

FOR

WINDRUSH SUBDIVISION

KNOW ALL PERSONS BY THESE PRESENTS; that SUNRISE DEVELOPMENT, LLC is a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, located at Waukesha, Wisconsin (herein referred to as the "Developer," which term shall also include the duly authorized agent of Developer). Developer is the owner of WINDRUSH SUBDIVISION, being a part of the NE ¼ and SE ¼ of Section 36, Town 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin, (herein referred to as "WINDRUSH"). Developer intends to establish a general plan for the use, occupancy and enjoyment of WINDRUSH, and in furtherance of the general purpose set forth in Section I, below, does hereby declare for the mutual benefit of present and future owners of lands in WINDRUSH and any future stages of development added pursuant to Section 9.6, below (herein referred to individually as "Owner" and collectively as "Owners"), that WINDRUSH shall be subject to the following restrictions and covenants.

I. GENERAL PURPOSE

1.1. The general purpose of this Declaration of Restrictions and Covenants for WINDRUSH Subdivision (herein referred to as the "Declaration") is (1) to promote the harmonious development of WINDRUSH into a residential community of high quality while protecting the natural beauty and quality of the environment; (2) to help insure that WINDRUSH will become and remain an attractive community; (3) to preserve the open space within WINDRUSH; (4) to guard against the erection of poorly designed or proportioned structures; (5) to require harmonious use of materials; (6) to promote the highest and best residential development of WINDRUSH; (7) to require the erection of attractive homes in appropriate locations on building sites; (8) to require proper setbacks from streets and adequate free spaces between structures; and (9) in general, by such actions to maintain and enhance the value of investments made by purchasers of properties in WINDRUSH.

II. BUILDING RESTRICTIONS

2.1. All lots in WINDRUSH are restricted to the erection of a single one story, story and one-half, or two-story single family residence building with a minimum square footage of living space (excluding basement level areas) of two thousand three hundred (2,300) square feet.

2.2. Each single-family residence in WINDRUSH must have a garage that accommodates at least 2 cars, that is attached to the residence directly or by breezeway or is located in the basement of the residence, and that is constructed at the same time as the residence (such single family residence and garages together shall be referred to herein as the "Building"). The maximum size of the garage portion of the Building shall conform to Village of

Hartland (hereinafter referred to as the “Village”) ordinances. Garage entrances must be on the front, side or rear of the Building. (Canted or Courtyard-style garage entrances conform with this requirement).

2.3. The exterior walls and fascia of the Building and any Permitted Improvements (as defined in Section 4.1, below) must be constructed of brick, stone, stucco, solid wood siding, Hardiplank siding, or its equivalent. Developer may, in its sole discretion, approve the use of artificial stone products. Siding materials such as aluminum, vinyl, steel, pressed board, Masonite or plywood will not be permitted on the exterior of the Building or any Permitted Improvements, except on soffits. Soffits (but not fascia) may be made of aluminum, vinyl or the siding materials permitted above for exterior walls. Fascia may only be made of the siding materials permitted above for exterior walls or Azek, Miratec or their equivalents (not aluminum or vinyl). Any exposed basement or foundation wall must be covered with masonry veneer, plaster or the siding materials used on the exterior walls above such exposed wall.

2.4. All two story and story and one-half Building roofs shall have a minimum pitch of eight feet in height for each twelve feet in length (8/12), except for a porch roof, a shed-style roof or rear dormers on story and one-half Buildings. All one-story Building roofs shall have a minimum pitch of ten feet in height for each twelve feet in length (10/12). All roofs shall be covered with either wood shakes, dimensional shingles in a “Weatherwood” color (or similar) or standing-seam metal roof accents (color to be approved by Developer(?)).

2.5. The minimum setback from any abutting street right-of-way is 40 feet. The minimum side yard offset is 20 feet. The minimum rear yard is 35 feet.

2.6. Each Owner must obtain Approval of the plans and specifications outlined in Section 2.6.2, below (referred to hereinafter as “Design/Layout Plan”), prior to application for a building permit. For purposes of this Declaration, the term “Approval” shall mean the prior written approval of Developer. The Developer may assign its Approval right to the Association (as defined in Section 6.1, below) by a written instrument recorded with the Register of Deeds for Waukesha County, Wisconsin.

2.6.1. Before submitting Final Design/Layout Plans each Owner must submit at least one preliminary plan for review by Developer.

2.6.2. Each Owner must submit to Developer in connection with its application for Approval of the Design/Layout Plan three complete sets of the following final plans (3-full-size sets and 1-11” x 17” reduction) which shall incorporate the plan changes, if any, required by Developer as noted in its review of the preliminary plans:

- (a) Exterior elevations drawn to scale (1/4” = 1’ minimum)
- (b) Floor plans drawn to scale (1/4” = 1’ minimum)
- (c) Identification of all exterior building materials;

(e) Stake-out survey showing the proposed location of the Building, existing and proposed yard grades and location of silt fences.

(f) Grading Plan showing the proposed location of the Building, existing and proposed yard grades and drainageways per the Master Grading Plan.

(g) The square footage of living area by floor.

(h) Other things that may be required from time to time as set forth in the Requirements and Guidelines.

2.6.3. Approval of the Design/Layout Plan shall be based upon the building and use restrictions contained herein and the **Requirements and Guidelines for Building Construction and Improvements for WINDRUSH Subdivision** (herein referred to as the **“Requirements and Guidelines”**), as may be adopted from time to time by Developer. Developer may assign its right to adopt **Requirements and Guidelines** to the Association by a written instrument recorded with the Register of Deeds of Waukesha County, Wisconsin. **Owner shall obtain and review the Requirements and Guidelines from Developer prior to applying for Design/Layout Plan Approval.**

2.6.4. Design/Layout Plan Approval may be withheld if the design is too similar in appearance to other Buildings in close proximity.

2.6.5. If in the opinion of Developer the submitted plans do not comply with the WINDRUSH Requirements and Guidelines and the Declaration Developer may, at its option, but only with Owner’s consent, refer the plans to a professional home designer for redesign so that the plans will comply with the WINDRUSH Requirements and Guidelines and Declaration. The Owner will be responsible for the payment of any fees charged by such professional.

2.7. Developer, and no other, shall have the right and authority to modify the Building Restrictions set forth in this Section II with respect to lot 1 because of the improvements existing on said lot as of the date of this Declaration. No changes to the existing buildings located on lot 1 shall be required by reason of the execution and recording of this Declaration, nor shall any requirement hereof which is inconsistent with the current condition of existing buildings on said lot 1 apply to lot 1. However, any and all changes to, modifications of or remodeling of the exterior of the existing buildings shall be subject to the review and Approval of Developer. In the event that the existing buildings are razed or destroyed, any new Buildings or improvements constructed on lot 1 shall be in compliance with this Declaration.

III. CONSTRUCTION

3.1. The Building must be constructed in accordance with the Design/Layout Plan which has received Approval and must be completed within twelve (12) months of the date the building permit is issued by the Village. A sodded or seeded lawn and a driveway paved with concrete, asphalt

or brick must be installed within six (6) months of the date that the occupancy permit is issued by the Village.

3.2. At the time of construction of the Building, the Owner shall install at a location designated by Developer, one Approved outdoor electric post lamp with an unswitched photoelectric control. The design of the post lamp shall be uniform throughout WINDRUSH. The Owner shall maintain the operation and appearance of the post lamp. If the post lamp is not so maintained, and the condition has not been rectified by the Owner within 15 days after receipt of a notice from the Association specifying the violations of this Paragraph 3.2, the Owner shall be subject to a penalty at a per diem rate established in the Rules and Regulations (as defined in Section 6.3.4, below) from the date of notice until the date the condition has been rectified, in addition to all other rights and remedies available to Developer and the Association. The penalty shall be assessed against the Owner and, if not paid, will be enforced as provided below.

3.3. Each Owner must adhere to the grading plan or any amendment thereto approved by the Village Engineer and on file with the Village ("Master Grading Plan"), and grade such Owner's lot in accordance with the Master Grading Plan. Developer and/or the Village and/or their agents, employees or independent contractors shall have the right to enter upon any lot, at any time, for the purpose of inspection, maintenance and correction of any drainage condition (whether or not Owner complied with the Master Grading Plan), and the Owner is responsible for cost of the same. Each Owner, at the time of construction of the Building, shall also be responsible for grading its lot so as to direct drainage toward the street or other established drainageway and to prevent an increase in drainage onto neighboring property. This shall be accomplished by creating swales along common lot lines wherever practical. Drainage ways shall be kept free of any obstructions. No plantings other than grass shall be permitted within 3 feet of side or rear lot lines without Approval. Each Owner must consult with the adjacent lot Owner to agree upon compatible grading of their common lot lines. Due to the varying terrain and drainage conditions on each lot following construction, neither Developer nor the Village shall be responsible for establishing lot line grades. The services of a professional engineer may be required to design a proper grading plan for any lot, the cost of which shall be paid by the lot Owner(s). Final grading of the lot shall be completed within two months after the date that an occupancy permit has been issued for the Building (subject to delays caused by adverse weather conditions).

3.4. Electric transformers, cable TV and telephone equipment boxes have been placed by Developer to serve each lot. Any subsequent relocation, either horizontally or vertically, or modification of these equipment boxes shall require written authorization from the appropriate utility company or service provider and Approval. The lot Owner shall pay all costs of such relocation or modification.

3.5. Each Owner shall be responsible for installing and maintaining erosion control measures from the commencement of grading until such time as a lawn or other plantings sufficient to prevent erosion has been established on the Owner's lot. These measures include, but are not limited to: installation of silt fence, hay/straw bales, and ditch checks; street cleaning following precipitation events or tracking of mud on streets by any vehicle leaving the lot; and sodding or seeding and mulching lawn areas. Steep slopes may require installation of straw mat, jute mat or other materials designed to stabilize steep and highly erodable areas. Any areas where erosion control

measures have been compromised by weather, construction or any other event, shall be repaired within 7 days of damage. After every rainfall exceeding ½ inch and at least once per week, erosion control measures must be inspected by the Owner or the Owner's contractor, and any necessary maintenance or repairs made. Failure to comply with these requirements may result in sanctions against the Owner by the Village, the Wisconsin Department of Commerce, and/or the Wisconsin Department of Natural Resources. All erosion control measures shall be installed and maintained according to the then current standards and specifications set forth in Wisconsin Department of Natural Resources Conservation Practice Standard and local ordinances.

3.6. All construction-related activity shall be confined to the Owner's lot unless the adjoining Owners have given permission to use their respective lots or outlots. In the event that landscaping on adjacent lots or outlots is disturbed during construction or grading, all disturbed areas shall be immediately restored with vegetation of like kind. In the event that eroded material is deposited onto a street or neighboring property, the Owner of the lot from which the material came shall be responsible for removing the material and restoring the street or neighboring property to its original condition.

3.7. Each Owner shall be responsible to Developer and the Village for the costs of repairing and replacing any street pavement, curb and gutter or sidewalks (including restoration of topsoil and lawn abutting the curb, gutter and sidewalks) which have been damaged during the course of constructing the Building and/or Permitted Improvements on the Owner's lot. In the event that the Village requires Developer to make such repairs or replacements at Developer's expense, the Owner shall be required to reimburse Developer for the cost of the repairs and replacements to the extent that such costs exceed the amount of the curb and gutter damage bond of Owner, if any, held by Developer or the Village. Reimbursements not paid when due shall bear interest at the rate of twelve percent (12%) per annum from the date due until paid, shall constitute a continuing lien on such Owner's lot until paid in full, and shall also be the personal obligation of any current or subsequent Owner of the lot. Developer may record a document with the Register of Deeds in Waukesha County, Wisconsin, giving notice of the lien for any such unpaid reimbursements and, upon payment or satisfaction of the amount due, Developer shall record a document canceling or releasing any such lien. The failure to file any such notice shall not impair the validity of the lien. The affected Owner shall pay or reimburse Developer for all recording and attorney fees relating to any such documents. The lien may be enforced and foreclosed by the Developer in the same manner, and subject to the same requirements, as a foreclosure of mortgages on real property pursuant to the laws of the State of Wisconsin. Such remedy, however, shall not preclude Developer from pursuing all other legal remedies.

3.7.1 Each Owner shall be responsible for replacing the vertical face curb for their driveway with mountable curb at time of home construction. A permit for this curb replacement must be obtained from the Village of Hartland.

IV. IMPROVEMENTS/OWNER MAINTENANCE

4.1. No buildings, outbuildings or other structures will be permitted on the Property except the Building, and except the following exclusive list of permitted improvements (“Permitted Improvements”), which are subject to the **Requirements and Guidelines** and require Approval:

4.1.1. Fences of a decorative style. Chain link fences, privacy fences or fences which enclose an entire yard will not be allowed.

4.1.2. Deck structures constructed of wood or metal. Developer may, in its sole discretion, approve the use of artificial wood products on decks.

4.1.3. Gazebos.

4.1.4. Pool houses, not to exceed 200 square feet in area.

4.1.5. In-ground swimming pools. All swimming pool related pump, heater, filter and other equipment must be concealed in an enclosure located next to the Building to minimize the noise and visibility to neighboring properties. A different location for such pool equipment (with proper screening) may be allowed in special circumstances with Approval. Above-ground swimming pools are not permitted, except for seasonal pools. “Seasonal Pool” means a swimming/wading pool which is stored indoors during the months of October through May, does not exceed 5 feet in diameter or 20 square feet in water surface area and is not more than 18 inches high.

4.1.6. Retaining walls and decorative walls. Retaining walls and decorative walls must be constructed of natural stone or certain artificial modular stone products having a so-called “tumbled stone” effect and variations in the dimensions of the tumbled manufactured stone.

4.1.7. Berms.

4.1.8. The enclosed portion of any children’s outdoor playground equipment and play structures. Playground equipment and play structures without enclosures do not require Approval.

4.1.9. Dog kennels. Dog kennels shall be located immediately behind the Building, shall be no larger than 200 square feet in area with any fences screened from view by adequate landscaping. Doghouses may only be made of the siding materials permitted for Buildings in paragraph 2.3, above.

4.2. There shall be no outside parking or storage of boats, trailers, buses, commercial trucks, recreational vehicles, motor homes or other vehicles or items deemed to be unsightly by either Developer or the Association.

4.3. The design and location of each mailbox/newspaper box shall be uniform throughout WINDRUSH and installed in the location designated by the postmaster.

4.4. Satellite dish antennas may not exceed 24 inches in diameter. No antenna or satellite dish shall be mounted or installed on any roof. Any antenna or satellite dish should, if possible without interfering with reception, be placed and screened so as to minimize its visibility from roadways and neighboring lots.

4.5. Each Owner shall perform such periodic maintenance of the Owner's lot, including the adjoining public right-of-way area up to the edge of the road pavement, as may be necessary to keep the lot neat and clean in appearance, including, without limitation, the mowing of grass and removal of weeds and debris. This requirement applies to vacant lots as well as to lots where Buildings have been constructed.

4.6. Each Owner shall be responsible for the costs associated with the procurement and installation, by the Village, of street trees per the Landscaping Plan. These costs shall be paid by Owner at the time of Building Permit Application

4.7. Outside Irrigation. The Village requires that the use of water for purposes of outside irrigation is limited to the hours of 2:00am through 6:00am only or as otherwise directed by the Village of Hartland from time to time.

COMMON AREA

4.6. The term "Common Area" shall include the following areas, plus any additional areas that may be added in accordance with Section 9.6, below.

4.6.1. Outlots 1,2,3 and 4 of WINDRUSH (herein, "Outlots").

4.6.2. All landscaped courts and boulevards contained within the dedicated streets in WINDRUSH. Any portion of the Common Area within a public street right-of-way may only be improved with the consent of the Village and other appropriate public authorities. Consent to any such improvement shall not be considered or construed as an assumption of liability or responsibility for maintenance, or a release of the Association and/or the Owners of the duty to maintain such improvements.

4.6.3. The grass area up to the edge of the road, curb or pavement and any fencing and landscaping contained within the public rights-of-way of Lisbon Road and the internal streets of WINDRUSH where the streets abut Outlots 1,2,3 and 4.

4.7. No improvements shall be allowed on the Common Area except the following: landscaping; signs installed by the Association, Village or other public entity; entrance monuments; walking trails; a swimming pool and associated building and children's play structures for common use; storm-water management facilities; and sewer, water, gas, electric, telephone and other utility lines and facilities. Each owner may treat noxious vegetation within the first 10 feet of Common Area abutting their property. Except in connection with the foregoing, the following shall be prohibited in or on the Common Area:

4.7.1. The temporary or permanent construction or placing of storage areas, signs, billboards or other structures or materials. Notwithstanding the foregoing, Developer and its duly authorized agents may erect and maintain a marketing sign or signs within the Common Area until such time as Developer is no longer an Owner of any lots in WINDRUSH.

4.7.2. Commercial or industrial activity, including passage across or upon the Common Area.

4.7.3. Filling, grading, excavating, mining or drilling, removal of top soil, sand, gravel, rock, minerals or other materials, or any building of roads.

4.7.4. Removal, destruction or cutting of grass, trees or plants, unless conducted for proper maintenance and management by the Association.

4.7.5. Dumping of trash, garbage or other unsightly or hazardous material.

4.7.6. Hunting or trapping.

4.7.7. Operating of any type of motorized vehicle, except as may be necessary in conjunction with landscape maintenance by the Association.

4.8. The Common Areas shall be maintained in accordance with the Open Space Management Plan dated _____ . The Association shall establish a "Conservation Committee" to supervise the maintenance of the Common Area.

5.4. Each lot shall have an appurtenant undivided fractional interest in the Outlots (including Outlots added in future stages), the numerator of which shall be one and the denominator of which shall be the total number of lots subject to this Declaration (including added future stages). All deeds and any other conveyances of any lot in WINDRUSH shall be deemed to include such undivided interest in the Outlots, whether or not so specifically stated in any such deed or other conveyance.

5.5. By virtue of becoming an Owner of a lot in WINDRUSH, each Owner agrees for itself and on behalf of its respective successors, assigns, heirs and personal representatives to waive, to the fullest extent permitted by law, any and all claims for liability against Developer and the Association and their respective agents, contractors, employees, officers and directors, and to indemnify, defend and hold Developer and the Association and their respective agents, contractors, employees, officers and directors harmless from and against any and all liabilities, claims, demands, costs and expenses of every kind and nature (including attorney fees) resulting from injury or damage to person or property sustained in or about or resulting from the use or existence of the Common Area including but not limited to the stormwater retention basins, swimming pool, clubhouse, playgrounds and recreation trails by such Owner or such Owner's family, guests or invitees.

5.6 Developer has granted an easement, recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on portions of Outlot 2 to the Waukesha County Land Conservancy, Inc. which, among other things, gives the grantee the right to maintain and/or supervise the maintenance of portions of Outlot 2, and requires

that the Association shall reimburse the land conservancy for its costs and expenses incurred in maintaining and supervising the maintenance of the easement area per the easement agreement

5.7. STORMWATER MANAGEMENT

- 5.7.1. The Association shall maintain the stormwater management measures installed on the Common Area in accordance with the Stormwater Management Practices Maintenance Agreement by and between Developer and Village and recorded in the office of the Register of Deeds for Waukesha County, Wisconsin. (the "Maintenance Agreement"). The Association shall establish a "Stormwater Management Committee" to supervise the maintenance of the stormwater management measures.
- 5.7.2. The Association, on an annual basis, shall provide maintenance of each stormwater management measure, including but not limited to, removal of debris, maintenance of vegetative areas, maintenance of structural stormwater management measures, aeration equipment and sediment removal.
- 5.7.3. The Village is authorized to access the Common Area to conduct inspections of stormwater practices as necessary to ascertain that the practices are being maintained and operated in accordance with the Maintenance Agreement.
- 5.7.4. Upon notification of the Association by the Village of maintenance problems that require correction, the specified corrective actions shall be taken within a reasonable timeframe as directed by the Village. The Association annually shall designate a person who will be responsible for the inspection and maintenance of the stormwater management measures and shall provide the Village's Director of Public Works with that person's contact information, as well as the contact information of each member of the Association's board of directors.
- 5.7.5. The Village is authorized to perform corrective actions identified as necessary by the inspection if the Association does not make the required corrections in the timeframe specified by the Village. The costs and expenses shall be levied against the lots as Special Charges for current services, pursuant to 66.0627, Wisconsin Statutes, or as Special Assessments pursuant to 66.0701, et. seq. Wisconsin Statutes. The Village shall collect Special Charges and Special Assessments, including delinquent amounts, as provided in the statutes.
- 5.7.6. The storm water retention basins that have been constructed in WINDRUSH are required by the Village to assist in the removal of sediment from and detention of storm water. The storm water retention basins shall not be used for swimming or as recreational

facilities. Anyone entering or using the storm water retention basins for such prohibited uses does so at their own risk.

5.8 SUBDIVISION ENTRANCE MONUMENTS AND SIGNS. The Association shall be solely responsible for the maintenance, repair and replacement of the Windrush entrance monuments and signage that has been erected by Developer in the Common Area. The Association shall hold harmless the Village, its officials, employees, contractors and agents from and against any and all claims for damage to the entrance monuments and signs that may result from or be caused by Village maintenance activities including, but not limited to, snow clearing and sanitary sewer or water system maintenance and repair.

VI. OWNERS ASSOCIATION

6.1. Developer has created, or will create, a non-stock, nonprofit Wisconsin corporation known as the “WINDRUSH Homeowners Association, Inc.” (herein, the “Association”) for the purpose of managing, maintaining and controlling the Common Area and performing such actions as are authorized by this Declaration. The Association shall operate in accordance with its Articles of Incorporation and Bylaws.

4.9. Membership and Voting.

- 6.2.1. Each Owner shall automatically be a member of the Association and shall be entitled to one membership unit and one vote for each lot owned. Ownership of a lot shall be the sole qualification for membership.
- 6.2.2. Association membership and voting rights shall be appurtenant to each lot and shall not be assigned, conveyed or transferred in any way except to the transferee upon transfer of the ownership interest of the lot. Any attempt to make a prohibited transfer or retention of membership rights shall be null and void.
- 6.2.3. Membership and voting rights shall not be divided between or among multiple Owners of a single lot. The membership in the Association appurtenant to a lot shall be owned jointly and severally by all Owners of any interest in each lot, regardless of the form of tenancy, estate, or interest. The Owners of a lot shall decide between or among themselves how they will exercise their collective right and shall designate one of the Owners to act on their behalf. In the event the Owners of a lot are unable to agree on the exercise of their collective vote by the time a vote is taken, the Owners will be precluded from casting a vote.

- 6.2.4 The owner of Lot 1, shall have the right to elect to become a member of the Windrush Homeowners Association, subject to the following:
- a.) The only purpose of electing to become a member of the Association is to give the owner of Lot 1 the same rights of access to and the use of the Common Areas as Owners of lots 2 through 57. Such election shall not entitle the owner of Lot 1 to any ownership interest in the Common Areas.
 - b.) If the owner of Lot 1 elects to become a member of the Association then the owner of Lot 1 shall be subject to the charges and assessments described in 6.4. of this Declaration, and shall have one vote, and Lot 1 shall be included in determining each Owner's prorata share of the costs incurred or anticipated by the Association.
 - c.) The election to become a member of the Association shall be made in writing to the Association and the Developer. The election may be made at anytime, but once made shall be irrevocable and shall be binding upon the owner of Lot 1, his successors and assigns. Upon electing to become a member of the Association the owner of Lot 1 shall pay one full share of the current year's annual dues.

4.10. The Association shall have the following duties:

- 6.2.4. To provide for the maintenance of the Common Area and all improvements located in the Common Area, including the storm water management and drainage facilities. Common Area maintenance shall be performed in accordance with the Open Space Management Plan described in paragraph 5.3, above. The Association shall be required to retain at all times the services of a professional property manager or managers in order to ensure that the Common Area and the improvements located therein are being properly maintained, and that all aspects of the Association's duties and responsibilities are carried out in a professional manner.
- 6.3.2. To provide for the maintenance, repair and replacement of street signs in WINDRUSH
- 6.3.3. To enforce the provisions of this Declaration.
- 6.3.4. To establish rules and regulations (the "**Rules and Regulations**") governing (i) the use and enjoyment of the Common Area, and (ii) the enforcement of the provisions of this

Declaration. **Owners should obtain a copy of the Rules and Regulations from the Association.**

6.3.5. To discharge the rights of Developer assigned to the Association as provided in this Declaration.

6.4. In addition to those powers bestowed upon the Association in its Articles of Incorporation and Bylaws and by Chapter 181 of the Wisconsin Statutes, the Association shall have the following powers:

6.4.1. To take such action as may be necessary to enforce the **Rules and Regulations**.

6.4.2. To enter into contracts with and/or to employ agents, attorneys or others for purposes of discharging its duties hereunder.

6.4.3. To grant utility and drainage easements in accordance with the provisions of Section 9.3, below; and

6.4.4. To levy and collect assessments in accordance with the provisions of Section 6.5, below.

6.4.5. To take any other actions as may be necessary or incidental to performance of all duties of the Association specified in this Declaration.

6.5. The Association shall levy and collect assessments in accordance with the following:

6.5.1. The Owner of each lot shall be subject to a regular (and special, if required) charge or assessment equal to its pro rata share of the costs incurred or anticipated to be incurred by the Association in performing its duties hereunder. The pro rata share of an Owner of a lot shall be a fraction, the numerator of which shall be one and the denominator of which shall be the total number of lots subject to this Declaration (including lots added by future stages) at the time of the assessment. Said costs shall include, but not be limited to: taxes; insurance; repair, replacement, and additions to the improvements made to the Common Area; equipment; materials; labor and the management and supervision thereof; expenses of the Waukesha County Land Conservancy, Inc. in connection with maintenance of Outlot 2; the establishment of reasonable reserves for capital expenditures; and all costs for the Association reasonably incurred in conducting its affairs and exercising its powers and duties pursuant to this Declaration. Waukesha County shall not be liable for any fees or special assessments in the event that it should become the Owner of any lots in the subdivision by reason of tax delinquency.

6.5.2. Regular assessments shall be approved at the duly convened annual meeting of the Association. Special assessments shall be approved at any duly convened meeting of the Association.

6.5.3. Written notice of an assessment shall be delivered to an Owner either personally or by regular mail addressed to the last known address of an Owner.

- 6.5.4. Assessments shall become due and payable 30 days after the mailing or personal delivery of the notice.
- 6.5.5. Assessments not paid when due shall be subject to a late-payment penalty of fifty dollars \$50.00 and shall bear interest at the rate of eighteen percent (18%) per annum from the date due until paid. Unpaid assessments and the penalties and interest thereon shall constitute a continuing lien on the lot against which it was assessed until they have been paid in full. The assessments, penalties and interest thereon shall also be the continuing personal obligation of any current or subsequent Owner of the lot against which the assessment was made. The lien may be enforced and foreclosed by the Association or any other person specified in the Bylaws of the Association, in the same manner, and subject to the same requirements, as a foreclosure of mortgages on real property pursuant to the laws of the State of Wisconsin. Such remedy, however, shall not preclude the Association from pursuing other legal remedies.
- 6.5.6. The Association may record a document with the Register of Deeds in Waukesha County, Wisconsin, giving notice of a lien for any such unpaid assessment and, upon payment or satisfaction of the amount due, record a document canceling or releasing any such lien. The failure to file any such notice shall not impair the validity of the lien. The affected Owner shall pay directly or reimburse the Association for all recording and attorney fees relating to any such document.
- 6.5.7. Upon application by any Owner, any officer of the Association may, without calling a meeting of the Association, provide to such Owner a statement certifying (1) that the signer is a duly elected or appointed officer of the Association and (2) as to the existence of any unpaid assessments or other amounts due to the Association with respect to the requesting Owner's lot. Such statement shall be binding upon the Association and shall be conclusive evidence to any party relying thereon of the payment of any and all outstanding assessments or other amounts due to the Association for such lot.

6.6. The Association shall not have the power to make improvements to the Common Area in addition to those then in existence from time to time (herein referred to as "Additional Improvements") without Approval if Developer is an Owner (unless Developer has assigned Approval authority to the Association). If Developer is no longer an Owner, the Association shall not have the power to make Additional Improvements having a cost in excess of Twenty-five Thousand dollars (\$25,000.00) without the consent of the Owners of at least seventy-five percent (75%) of the lots subject to this Declaration or any Supplemental Declarations.

6.7. Within 14 days following each annual meeting of the Association, the Association and/or Association Manager shall provide to Developer a list of the Association officers, directors and committee members.

6.8. Directors and officers of the Association shall not be personally liable for any action taken by them in good faith in discharging their duties hereunder, even if such action involved a mistaken judgment or negligence by

the directors, officers, agents or employees of the Association. The Association shall indemnify and hold the directors and officers harmless from and against any and all costs or expenses, including reasonable attorney's fees, in connection with any suit or other action relating to the performance of their duties.

6.9. Failure of the Association to enforce any provisions contained in this Declaration upon the violation thereof shall not be deemed to be a waiver of the rights to do so, or an acquiescence in any subsequent violation.

6.10. If the Association shall fail to discharge its duties under this Section VI within sixty (60) days of written demand by the Village, the Village may discharge the duties on behalf of the Association. The costs of the Village incurred in connection therewith shall be charged to the Owners of the lots affected by such actions of the Village by adding to each Owner's real estate tax statement a charge equal to such Owner's share of such costs, as determined by the Village.

6.11. The Association may not and shall not be dissolved.

V. VIOLATION AND ENFORCEMENT

Developer shall be responsible for the enforcement of this Declaration and for all costs and expenses incurred therefor until such time that Developer has sold or conveyed title to seventy-five percent (75%) of the lots that are subject to this Declaration (including future stages added in accordance with section 9.6 below). Following such time that Developer has sold or conveyed seventy-five percent (75%) of the lots subject to this Declaration, Developer shall continue to have the right to enforce this Declaration but the Association shall pay directly or reimburse Developer for all cost and expenses incurred by Developer in enforcing this Declaration. The Association and Developer may recover their cost and expenses incurred in enforcing this Declaration in accordance with the following paragraph.

Any Owner violating the restrictions contained in this Declaration shall be personally liable for and shall reimburse Developer and the Association for all costs and expenses, including attorneys' fees, incurred by Developer or the Association in enforcing this Declaration. The foregoing shall be in addition to any other rights or remedies that may be available to Developer and the Association. Reimbursements not paid when due shall bear interest at the rate of twelve percent (12%) per annum from the date due until paid, shall constitute a continuing lien on such Owner's lot until paid in full, and shall also be the personal obligation of any current or subsequent Owner of the lot. Developer or the Association may record a document with the Register of Deeds of Waukesha County giving notice of the lien for any such unpaid reimbursements and, upon payment or satisfaction of the amount due, Developer or the Association, as the case may be, shall record a document canceling or releasing any such lien. The failure to file any such notice shall not impair the validity of the lien. The affected Owner shall pay or reimburse Developer and the Association for all recording and attorney fees relating to any such documents. The lien may be enforced and foreclosed by the Developer or the Association in the same manner, and subject to the same requirements, as a foreclosure of mortgages on real property pursuant to the laws of the State of Wisconsin. Such remedy, however, shall not preclude Developer and the Association from pursuing all other legal remedies.

VIII. AGENT

Siepmann Realty Corporation is the duly authorized agent of Developer as of the date of this Declaration and may act in that capacity until such time as a notice is recorded in the office of the Register of Deeds for Waukesha County by Developer, its successors or assigns, which terminates the authority of said agent.

IX. MISCELLANEOUS

9.1. **Amendment of Declaration.** Any of the provisions of this Declaration may be annulled, waived, changed, modified or amended at any time by written document setting forth such annulment, waiver, change, modification or amendment, executed by the Owners of at least seventy-five percent (75%) of the lots subject to this Declaration or any Supplemental Declarations; provided, however, that any such action must also be approved in writing by (i) the Village; (ii) and ii Developer so long as it shall be an Owner, including as an Owner any lands which may potentially become a future stage of WINDRUSH as provided in Section 9.6 , below. This Declaration and all amendments shall be executed as required by law so as to entitle it to be recorded, and shall be effective upon recording in the office of the Register of Deeds for Waukesha County, Wisconsin.

9.2. **Variances.** Developer, and no other unless Developer shall assign its rights hereunder to the Association by written instrument recorded with the Register of Deeds of Waukesha County, Wisconsin, shall have the right and authority to permit variances from the application of the Declaration, if such modification or variance is consistent and compatible with the overall scheme of development of WINDRUSH, provided that no such modification shall be in violation of applicable laws or ordinances, or have the effect of revoking an Approval previously granted in writing hereunder. Notwithstanding the foregoing, any such modifications or variances shall be at the sole and absolute discretion, aesthetic interpretation and business judgment of Developer (or the Association after assignment), and this paragraph and any modifications or variances granted hereunder shall not in any way be interpreted (i) as thereafter preventing or excusing strict compliance with the Declaration, or (ii) as entitling any other person to such modification or variance.

9.3. **Reservation of Right to Grant Easements.** Developer reserves the right to grant and convey easements to the Village and/or to any public or private utility company or service provider, upon, over, through or across those portions of any lot within 10 feet of any lot line and upon, over, through or across any portion of the Common Area for purposes of allowing the Village, utility company or service provider to furnish gas, electric, water, sewer, cable television or other utility service to any lot or the Common Area. Developer reserves the right to grant and create easements through any portions of WINDRUSH (including added future stages) for purposes of facilitating drainage of storm or surface water within or through WINDRUSH (and any added future stages). Developer may grant such easements without the consent or approval of any lot Owner, so long as Developer or a successor developer to Developer owns any lots in WINDRUSH (or any added future stages). After that time, or at such time as Developer shall assign such power to the Association, the Association shall have the power to grant easements upon, over, through or across any portion of the Common Area reserved to Developer hereunder.

9.4. **Assignment to Association.** Developer may assign to the Association, in whole or in part, the right to grant Approval pursuant to this Declaration. Following such assignment Developer shall no longer be

responsible for the enforcement of the provisions of this Declaration that pertain to the Approval authority which has been assigned to the Association.

9.5. **Parade of Homes.** Developer may arrange for WINDRUSH or any stage thereof to be included in a "Parade of Homes" or similarly titled event in which members of the public are invited to inspect a number of lots improved by Buildings constructed by one or more contractors. Such events will result in significant construction activity and periods of traffic slow-downs and large crowds, which may continue for a period of several weeks. An Owner who has purchased a lot notwithstanding the possibility of such event waives any objection to the issuance of any municipal permits required for such event. Developer is not, however, required to include WINDRUSH in any such event.

9.6. **Future Stages of Development of WINDRUSH.** Developer, its successors and assigns shall have the right to bring within this Declaration future stages of the development of WINDRUSH, provided such future stages are or become adjacent to the real estate which is or becomes subject to this Declaration or any Supplemental Declaration. The future stages authorized under this Section shall be added by recording a Supplemental Declaration of Restrictions relating to each future stage (the "Supplemental Declaration"). A Supplemental Declaration will extend the provisions of this Declaration to such future stages, indicate any provisions which differ from the provisions of this Declaration or any prior Supplemental Declaration, and indicate the modification to this Declaration or any prior Supplemental Declaration resulting from such addition. Except with respect to increasing the number of Owners and adding to the Common Area, any such Supplemental Declarations shall not revoke, modify or add to the covenants established by this Declaration or any prior Supplemental Declaration.

9.7. **Severability.** The invalidity or unenforceability of any term, provision or condition of this Declaration for any reason shall not affect the validity or enforceability of any other term, provision, or condition hereof, all of which shall remain in full force and effect for the term of this Declaration.

9.8. **Duration of Restrictions.** These restrictions and covenants and any amendments thereto shall be in force for a term of thirty (30) years from the date this Declaration is recorded. Any Supplemental Declarations, whenever executed, shall have a term which coincides with the term of this Declaration and shall expire upon the expiration of this Declaration. Upon the expiration of such initial 30 year term or any extended term as provided herein, this Declaration, as amended, and any Supplemental Declarations shall be automatically extended for successive terms of 10 years each, unless prior to the end of the then-current term a notice of termination is executed by the Owners of at least seventy-five percent (75%) of all lots subject to this Declaration or any Supplemental Declaration and is recorded in the office of the Register of Deeds of Waukesha County. These restrictions shall be deemed to be covenants running with the land and shall bind the Owners and their heirs, successors and assigns and be enforceable by any Owner, and by the Village, to the extent permitted by Sections 5.7.5 and 6.10, above.

IN WITNESS WHEREOF, the undersigned have executed this Declaration of Restrictions and Covenants this ____ day of _____, 2015.

SUNRISE DEVELOPMENT, LLC

BY: SIEPMANN DEVELOPMENT COMPANY LIMITED
PARTNERSHIP, Member

BY: SIEPMANN REALTY CORP., General Partner

BY: _____
James P. Siepmann, President

STATE OF WISCONSIN)
) SS
WAUKESHA COUNTY)

Personally came before me this ___ day of _____, 2015, the above-named James P. Siepmann, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Waukesha County, State of Wisconsin
My Commission: _____

STATE OF WISCONSIN)
) SS
WAUKESHA COUNTY)

Personally came before me this ___ day of _____, 2015, the above-named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Waukesha County, State of Wisconsin
My Commission: _____

CONSENT OF MORTGAGEE

_____ Bank as mortgagee of any present or future mortgage on the lands subject to the foregoing Declaration of Restrictions and Covenants, hereby consents to and agrees that its mortgages shall be subject to the foregoing Declaration of Restrictions and Covenants.

_____ BANK

BY: _____
(Title)

BY: _____

(Title)

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

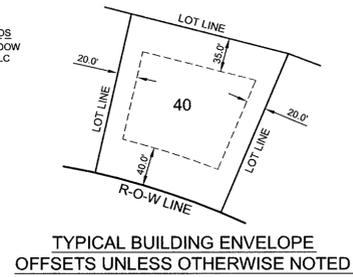
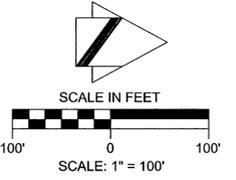
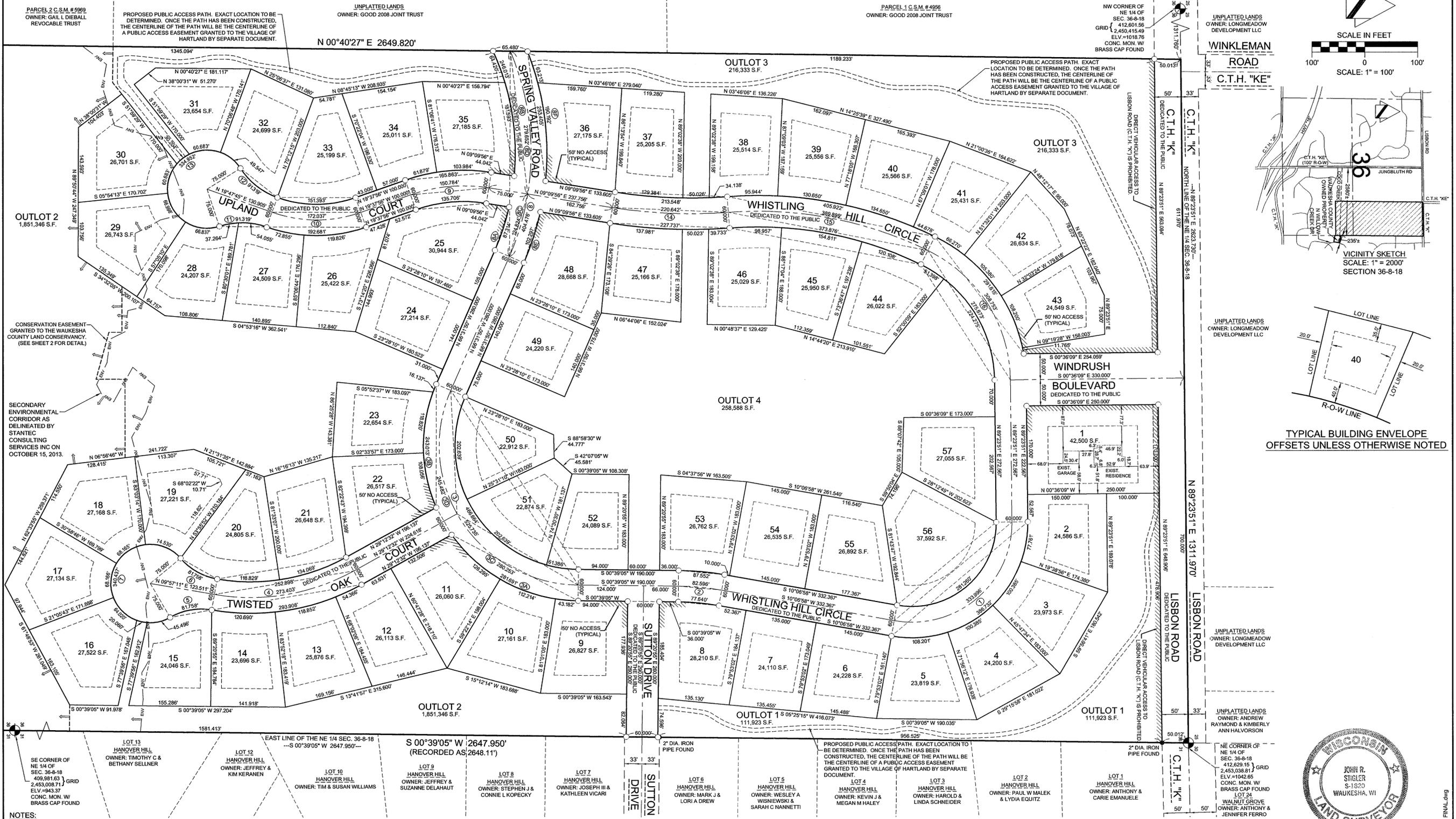
Personally came before me this ____ day of _____, 2015, the above-named
_____ and _____ to me known to be the
_____ and _____ respectively of _____ Bank
and to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, County of _____
State of Wisconsin
My Commission: _____

This instrument was drafted by
SUNRISE DEVELOPMENT, LLC

WINDRUSH

BEING A SUBDIVISION OF PART OF THE NE 1/4 AND SE 1/4 OF THE NE 1/4 AND NE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN



- NOTES:**
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDREDTH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
 - THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
 - NO DIRECT VEHICULAR ACCESS TO CTH "K" (LISBON ROAD) OR WINDRUSH BOULEVARD FROM ANY LOTS OR OUTLOTS OF THE SUBDIVISION SHALL BE PERMITTED. ON CORNER LOTS, THERE SHALL BE NO ACCESS WITHIN FIFTY FEET OF THE RIGHT-OF-WAY LINE INTERSECTION AND DRIVEWAYS FOR CORNER LOTS CAN ONLY ACCESS ONE STREET.
 - OUTLOT STATEMENT: EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDABLE FRACTIONAL OWNERSHIP IN OUTLOT 1 THRU 4. WAUKESHA COUNTY AND THE VILLAGE OF HARTLAND SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY.
 - SEE SHEET 2 FOR CURVE TABLE.
 - SEE SHEET 3 FOR EASEMENT DETAILS.
 - SEE SHEET 4 FOR ADDITIONAL NOTES.

REFERENCE BEARING: THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 89°23'51" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK: 1042.65 (USGS) THE TOP OF A CONCRETE MONUMENT WITH BRASS CAP MARKING THE NORTHEAST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST.

- LEGEND:**
- — INDICATES IRON PIPE 18" LONG BY 2" OUTSIDE DIA.-3.65 LBS. PER LINEAL FOOT. ALL OTHER LOT AND OUTLOTS MARKED BY IRON PIPE 18" LONG BY 1" OUTSIDE DIA.-1.13 LBS. PER LINEAL FOOT.
 - — INDICATES IRON PIPE FOUND. (DIAMETER NOTED AT EACH PIPE)
 - ⊙ — INDICATES CONCRETE MONUMENT WITH BRASS CAP FOUND.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20

Department of Administration

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
Dated this 22nd Day of May, 2015
Revised this 16th Day of July, 2015
Revised this 22nd Day of September, 2015

THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 1 OF 4 SHEETS

FILE NAME: S:\PROJECTS\7650\DWG\7656 FINAL.DWG

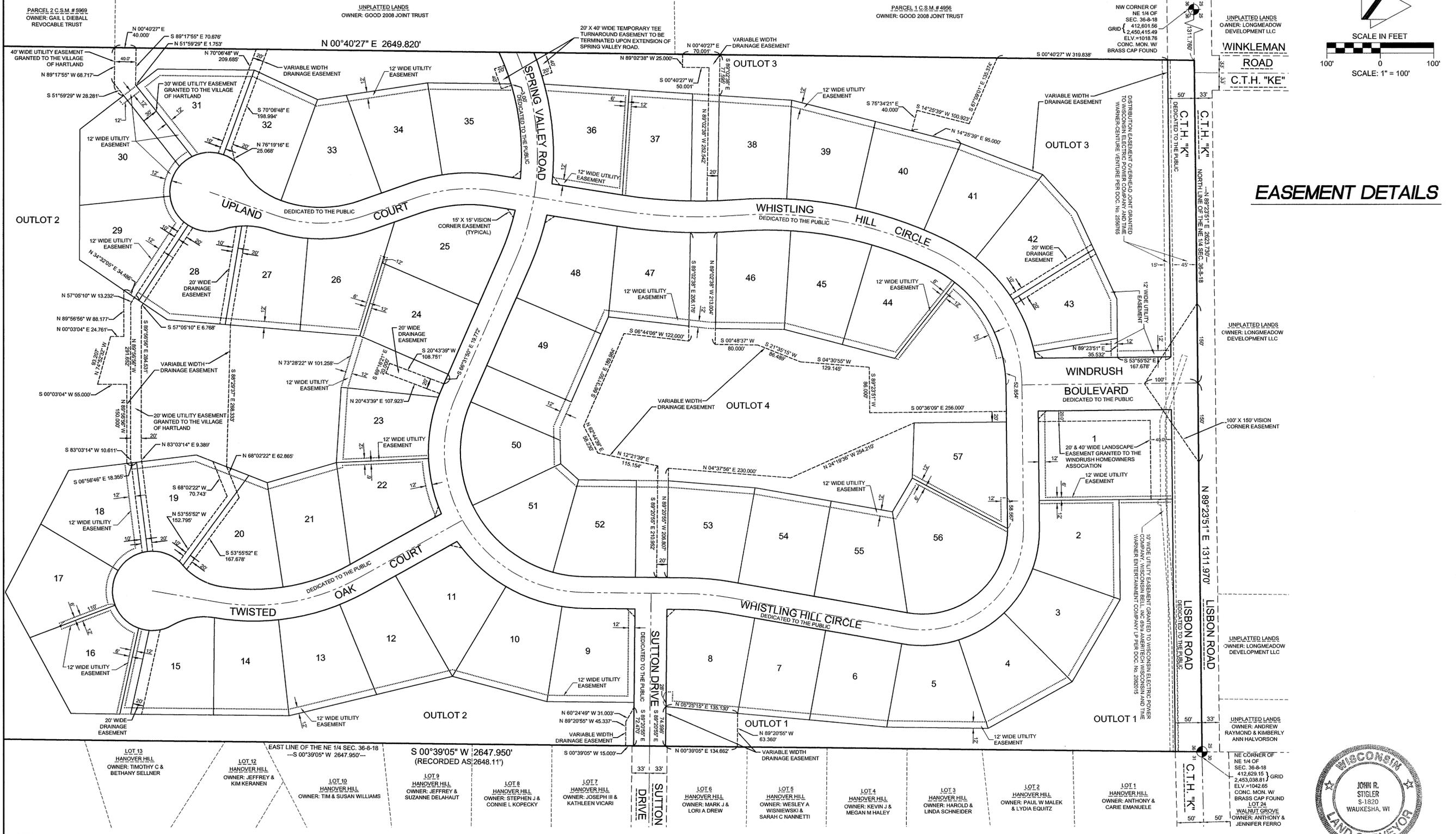
WINDRUSH

BEING A SUBDIVISION OF PART OF THE NE 1/4 AND SE 1/4 OF THE NE 1/4 AND NE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

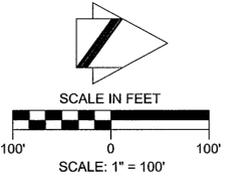
CURVE	LOT	ARC	RADIUS	CHORD	CURVE TABLE		TAN BEARING	TAN BEARING
					BEARING	CEN ANGLE	DEF ANGLE	
1 EAST	-	386.732'	220.000'	338.827'	N 40°14'35.5" W	100°43'07"	50°21'33.5"	S 89°23'51" W N 10°06'58" E
-	2	77.761'	220.000'	77.366'	N 80°28'36.5" W	20°15'05"	10°07'32.5"	S 89°23'51" W N 70°21'04" W
-	3	100.385'	220.000'	99.517'	N 57°16'45" W	26°08'38"	13°04'19"	N 70°21'04" W N 44°12'26" W
-	4	100.385'	220.000'	99.517'	N 31°08'07" W	26°08'38"	13°04'19"	N 44°12'26" W N 18°03'48" W
-	5	108.201'	220.000'	107.114'	N 03°58'25" W	28°10'46"	14°05'23"	N 18°03'48" W N 10°06'58" E
1 CIL	-	333.996'	190.000'	292.623'	N 40°14'35.5" W	100°43'07"	50°21'33.5"	S 89°23'51" W N 10°06'58" E
1 WEST	56	281.260'	160.000'	246.419'	N 40°14'35.5" W	100°43'07"	50°21'33.5"	S 89°23'51" W N 10°06'58" E
2 EAST	8	77.640'	470.000'	77.552'	S 05°23'01.5" W	9°27'53"	4°43'56.5"	S 00°39'05" W S 10°06'58" W
2 CIL	-	82.596'	500.000'	82.502'	S 05°23'01.5" W	9°27'53"	4°43'56.5"	S 00°39'05" W S 10°06'58" W
2 WEST	53	87.552'	530.000'	87.452'	S 05°23'01.5" W	9°27'53"	4°43'56.5"	S 00°39'05" W S 10°06'58" W
3 A	-	281.691'	297.000'	271.250'	N 27°49'21" E	54°20'32"	27°10'16"	N 00°39'05" E N 54°59'37" E
-	9	43.182'	297.000'	43.144'	N 04°49'00" E	8°19'50"	4°09'55"	N 00°39'05" E N 08°58'55" E
-	10	112.214'	297.000'	111.547'	N 19°48'20.5" E	21°38'51"	10°49'25.5"	N 08°58'55" E N 30°37'46" E
-	11	126.295'	297.000'	125.346'	N 42°48'41.5" E	24°21'51"	12°10'55.5"	N 30°37'46" E N 54°59'37" E
3 B	-	243.013'	297.000'	236.291'	S 89°58'16" E	46°52'52"	23°26'26"	N 66°35'18" E S 66°31'50" E
-	22	108.056'	297.000'	107.462'	N 77°00'40.5" E	20°50'45"	10°25'22.5"	N 66°35'18" E N 87°26'03" E
-	23	118.820'	297.000'	118.029'	S 81°06'17" E	118.029'	11°27'40"	N 87°26'03" E S 69°38'37" E
OUTLOT 2	16.137'	297.000'	16.135'	S 08°05'13.5" E	3°06'47"	133'23.5"	S 69°38'37" E S 66°31'50" E	
3 C	-	283.733'	287.000'	267.563'	N 57°43'37.5" E	112°43'08"	58°24'32.5"	N 00°39'05" E S 66°31'50" E
3 D	-	245.482'	267.000'	236.927'	N 30°43'16.5" E	60°08'23"	30°04'11.5"	N 00°39'05" E N 60°41'28" E
3 NORTH	-	468.664'	237.000'	394.846'	N 87°07'49" E	52°40'42"	26°20'21"	N 60°41'28" E S 66°31'50" E
-	52	61.386'	237.000'	61.214'	N 57°03'37.5" E	112°49'05"	56°24'32.5"	N 00°39'05" E S 66°31'50" E
-	51	202.639'	237.000'	196.523'	N 39°59'10" E	48°59'20"	24°29'40"	N 15°29'30" E N 64°28'50" W
-	50	202.639'	237.000'	196.523'	N 88°58'30" E	48°59'20"	24°29'40"	N 64°28'50" W S 66°31'50" E
4 EAST	-	293.908'	430.000'	288.220'	N 09°37'40.5" W	39°09'43"	19°34'51.5"	N 29°12'32" W N 09°57'11" E
-	12	54.366'	430.000'	54.330'	N 25°35'13" W	7°14'38"	3°37'19"	N 29°12'32" W N 21°57'54" W
-	13	118.852'	430.000'	118.474'	N 14°02'48" W	15°50'12"	7°59'06"	N 21°57'54" W N 08°07'42" W
-	14	120.690'	430.000'	120.294'	N 01°54'44.5" E	16°04'53"	8°02'26.5"	N 06°07'42" W N 09°57'11" E
4 CIL	-	273.403'	400.000'	268.112'	N 09°37'40.5" W	39°09'43"	19°34'51.5"	N 29°12'32" W N 09°57'11" E
4 WEST	-	252.898'	370.000'	248.004'	N 09°37'40.5" W	39°09'43"	19°34'51.5"	N 29°12'32" W N 09°57'11" E
-	21	134.069'	370.000'	133.337'	N 18°49'42.5" W	20°45'39"	10°22'49.5"	N 29°12'32" W N 08°26'53" W
-	20	118.829'	370.000'	118.319'	N 00°46'09" E	18°24'04"	9°12'02"	N 08°26'53" W N 09°57'11" E
5	15	81.758'	117.000'	80.104'	S 10°03'56" E	40°02'14"	20°01'07"	S 30°05'03" E S 09°57'11" W
6	20	81.758'	117.000'	80.104'	N 29°58'18.5" E	40°02'15"	20°01'07.5"	N 09°57'11" E N 49°59'26" W
7	-	340.437'	75.000'	114.844'	S 80°02'48.5" E	260°04'29"	130°02'14.5"	N 30°05'03" W S 49°59'26" W
-	15	45.496'	75.000'	44.802'	N 12°42'21.5" W	34°45'23"	17°22'41.5"	N 30°05'03" W N 04°40'20" E
OUTLOT 2	20.060'	75.000'	20.000'	N 12°20'04" E	15°19'28"	7°39'44"	N 04°40'20" E N 19°59'48" E	
-	16	64.020'	75.000'	62.094'	N 44°27'02.5" E	48°54'29"	24°27'14.5"	N 19°59'48" E N 68°54'17" E
-	17	68.166'	75.000'	65.843'	S 85°03'28.5" E	62°04'29"	26°02'14.5"	N 68°54'17" E S 59°01'14" E
-	18	68.166'	75.000'	65.843'	S 32°59'00" E	62°04'28"	26°02'14"	S 59°01'14" E S 06°56'46" W
-	19	74.530'	75.000'	71.501'	S 21°31'20" W	66°56'12"	28°28'06"	S 06°56'46" E S 49°59'26" W
8 A	25	87.314'	470.000'	87.189'	N 71°51'08.5" W	10°38'39"	5°19'19.5"	N 77°10'29" W N 66°31'50" W
8 B	-	246.013'	470.000'	243.214'	S 80°30'38.5" W	29°59'25"	14°59'12.5"	S 65°30'56" W N 84°29'39" W
-	35	181.593'	470.000'	160.466'	S 84°28'14" W	22°08'14"	11°04'07"	S 73°22'07" W N 84°29'39" W
OUTLOT 2	64.429'	470.000'	64.389'	S 69°26'31.5" W	7°51'11"	3°55'35.5"	S 65°30'56" W S 73°22'07" W	
8 CIL	-	404.476'	500.000'	393.637'	N 89°42'19.5" W	46°20'59"	23°10'28.5"	S 67°07'11" W N 66°31'50" W
8 C	-	124.824'	500.000'	124.500'	N 73°40'57" W	14°18'14"	7°09'07"	N 80°50'04" W N 66°31'50" W
8 D	-	279.652'	500.000'	276.021'	S 83°08'33.5" W	32°02'45"	16°01'22.5"	S 67°07'11" W N 80°50'04" W
8 E	48	102.297'	530.000'	102.139'	N 72°03'38" W	11°03'32"	5°31'46"	N 77°35'22" W N 66°31'50" W
8 F	-	253.405'	530.000'	250.998'	S 82°13'24" W	27°23'40"	13°41'50"	S 68°31'34" W N 84°04'46" W
-	36	190.192'	530.000'	189.174'	S 85°38'25" W	20°33'38"	10°16'49"	S 75°21'36" W N 84°04'46" W
OUTLOT 3	63.213'	530.000'	63.175'	S 71°56'35" W	6°50'02"	3°25'01"	S 68°31'34" W S 75°21'36" W	
9 EAST	25	135.706'	270.000'	134.282'	S 05°14'00" E	28°47'52"	14°23'56"	S 19°37'56" E S 09°09'56" W
9 CIL	-	150.784'	300.000'	149.202'	S 05°14'00" E	28°47'52"	14°23'56"	S 19°37'56" E S 09°09'56" W
9 WEST	-	166.863'	330.000'	164.123'	S 05°14'00" E	28°47'52"	14°23'56"	S 19°37'56" E S 09°09'56" W
-	35	103.984'	330.000'	103.555'	S 00°08'18.5" W	18°03'15"	9°01'37.5"	S 08°53'19" E S 09°09'56" W
-	34	61.879'	330.000'	61.788'	S 14°15'37.5" E	10°44'37"	5°22'18.5"	S 19°37'56" E S 08°53'19" E
10 EAST	-	192.681'	280.000'	188.902'	N 00°04'54.5" E	39°25'41"	19°42'50.5"	N 19°37'56" W N 19°47'45" E
-	26	119.826'	280.000'	118.914'	N 07°22'20" W	24°31'12"	12°15'36"	N 19°37'56" W N 04°53'16" E
-	27	72.855'	280.000'	72.650'	N 12°20'30.5" E	14°54'29"	7°27'14.5"	N 04°53'16" E N 19°47'45" E
10 CIL	-	172.037'	250.000'	168.662'	N 00°04'54.5" E	39°25'41"	19°42'50.5"	N 19°37'56" W N 19°47'45" E
10 WEST	33	151.393'	220.000'	148.423'	N 00°04'54.5" E	39°25'41"	19°42'50.5"	N 19°37'56" W N 19°47'45" E
-	11	91.319'	137.900'	89.660'	S 00°49'26.5" W	37°56'31"	18°58'15.5"	S 18°08'46" E S 19°47'45" W
-	27	54.055'	137.900'	53.710'	S 08°33'58" W	22°27'34"	11°13'47"	S 02°39'49" E S 19°47'45" W
-	28	37.264'	137.900'	37.151'	S 10°24'17.5" E	15°28'57"	7°44'26.5"	S 18°08'46" E S 02°39'49" E
12	32	91.319'	137.900'	89.660'	N 38°46'00.5" E	37°56'31"	18°58'15.5"	N 19°47'45" E S 7°44'16" E
-	13	334.952'	75.000'	118.295'	S 70°12'15" E	255°53'02"	127°56'31"	N 18°08'46" E S 57°44'16" W
-	28	66.837'	75.000'	64.648'	N 07°23'02" E	51°03'36"	25°31'48"	N 18°08'46" W N 32°54'50" E
-	29	66.998'	75.000'	64.792'	N 59°30'18.5" E	51°03'36"	25°31'48"	N 32°54'50" E N 84°04'46" W
-	30	60.683'	75.000'	59.041'	S 72°43'28.5" E	46°21'29"	23°10'44.5"	N 84°04'46" W S 49°32'44" E
OUTLOT 2	30.204'	75.000'	30.000'	S 38°00'30.5" E	23°04'27"	11°32'13.5"	S 49°32'44" E S 28°28'17" E	
-	31	60.683'	75.000'	59.041'	S 03°17'32.5" E	46°21'29"	23°10'44.5"	S 28°28'17" E S 19°53'12" W
-	32	49.547'	75.000'	48.651'	S 38°48'44" W	37°51'04"	18°58'32"	S 19°53'12" W S 57°44'16" W
14 EAST	-	227.737'	963.000'	227.207'	N 02°23'26.5" E	13°32'59"	6°46'29.5"	N 04°23'03" W N 09°09'56" E
-	47	137.981'	963.000'	137.863'	N 06°03'39" E	8°12'34"	4°06'17"	N 00°57'22" E N 09°09'56" W
OUTLOT 4	50.023'	963.000'	50.017'	N 00°31'55" W	2°58'34"	1°29'17"	N 02°01'12" W N 00°57'22" E	
-	46	39.733'	963.000'	39.731'	N 03°12'07.5" W	2°21'51"	1°10'55.5"	N 04°23'03" W N 02°01'12" W
14 WEST	-	220.642'	933.000'	220.129'	N 02°23'26.5" E	13°32'59"	6°46'29.5"	N 04°23'03" W N 09°09'56" E
-	37	129.348'	903.000'	129.273'	N 05°03'39" E	8°12'34"	4°06'17"	N 00°57'22" E N 09°09'56" W
OUTLOT 3	50.026'	903.000'	50.019'	N 00°37'51.5" W	3°10'27"	1°35'13.5"	N 02°13'05" W N 00°57'22" E	
-	38	34.138'	903.000'	34.136'	N 03°18'04" W	2°09'58"	1°04'59"	N 04°23'03" W N 02°13'05" W
-	45	154.811'	700.000'	154.496'	S 00°20'03.5" E	8°05'59"	4°02'59.5"	S 04°23'03" E S 03°42'56" W
-	44	120.108'	700.000'	119.960'	S 10°03'04.5" W	12°40'17"	6°20'08.5"	S 03°42'56" W S 16°23'13" W
15 CIL	-	389.899'	730.000'	385.281'	S 10°55'01" W	30°36'08"	15°18'04"	S 04°23'03" E S 26°13'05" W
-	38	95.944'	760.000'	95.881'	S 00°46'03" E	7°14'00"	3°37'00"	S 04°23'03" E S 26°13'05" W
-	39	130.650'	760.000'	130.489'	S 07°46'26" W	9°50'58"	4°59'29"	S 02°50'57" W S 12°41'55" W
-	40	134.650'	760.000'	134.474'	S 17°46'27" W	10°09'04"	5°04'32"	S 12°41'55" W S 22°50'59" W
-	41	44.678'	760.000'	44.672'	S 24°32'02" W	3°22'06"	1°41'03"	S 22°50'59" W S 26°13'05" W
16 SOUTH	-	275.673'	250.000'	261.917'	S 57°48'28" W	63°10'46"	31°35'23"	S 26°13'05" W S 89°23'51" W
-	44	51.398'	250.000'	51.307'	S 32°06'28" W</			

WINDRUSH

BEING A SUBDIVISION OF PART OF THE NE 1/4 AND SE 1/4 OF THE NE 1/4 AND NE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN



EASEMENT DETAILS



- NOTES:**
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDREDTH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
 - THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
 - ALL OF THE DRAINAGE EASEMENTS SHOWN ARE GRANTED TO THE WINDRUSH HOMEOWNERS ASSOCIATION AND THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN SAID EASEMENTS AREAS. THE DRAINAGE EASEMENTS ARE ALSO GRANTED TO THE VILLAGE OF HARTLAND SO THAT THE VILLAGE OF HARTLAND CAN ACCESS THESE AREAS TO MAINTAIN THEM IF THE HOMEOWNERS ASSOCIATION DOES NOT FULFILL THEIR MAINTENANCE OBLIGATION. IF THE VILLAGE OF HARTLAND MAINTAINS THE DRAINAGE EASEMENTS, THE VILLAGE HAS THE RIGHT TO BILL EACH INDIVIDUAL LOT OWNER AN EQUAL PERCENTAGE OF THE BILL.
 - SEE SHEET 4 FOR ADDITIONAL NOTES.

REFERENCE BEARING: THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 89°23'51" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK: 1042.65 (USGS) THE TOP OF A CONCRETE MONUMENT WITH BRASS CAP MARKING THE NORTHEAST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

John R. Stigler
 JOHN R. STIGLER - Wis. Reg. No. S - 1820
 Dated this 22nd Day of May, 2015
 Revised this 16th Day of July, 2015
 Revised this 22nd Day of September, 2015

THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
 SHEET NO. 3 OF 4 SHEETS



FILE NAME: S:\PROJECTS\157656\DWG\157656_FINAL.DWG

WINDRUSH

BEING A SUBDIVISION OF PART OF THE NE 1/4 AND SE 1/4 OF THE NE 1/4 AND NE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 8 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, John R. Stigler, Professional Land Surveyor, being first duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped WINDRUSH being a subdivision of part of the Northeast Quarter (NE 1/4) and Southeast Quarter (SE 1/4) of the Northeast Quarter (NE 1/4) and the Northeast Quarter (NE 1/4) of the Southeast Quarter (SE 1/4) of Section 36, Town 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin bounded and described as follows:

Beginning at the northeast corner of said Northeast Quarter (NE 1/4); thence South 00°39'05" West along the east line of said Northeast Quarter (NE 1/4) and the west line of Hanover Hill, a recorded subdivision, 2647.950 feet to the southeast corner of said Northeast Quarter (NE 1/4); thence South 00°09'44" West along the east line of said Southeast Quarter (SE 1/4) and the west line of Lynndale Farms, a recorded subdivision, 660.110 feet to the northeast corner of Lot 17, Block 3 Certified Survey Map No. 8493 as recorded in Volume 74 on pages 248 through 251 as Document No. 2295019 Waukesha County Register of Deeds; thence South 89°15'40" West along the north line of said Lot 17, 1316.200 feet to the northwest corner of said Lot 17, said northwest corner on the east line of Mae's Walke Addition No. 1, a recorded subdivision; thence North 00°25'56" East along said east line and east line extended 661.446 feet to a point on the south line of said Northeast Quarter (NE 1/4); thence North 00°40'27" East 2649.820 feet to the north line of said Northeast Quarter (NE 1/4) and the centerline of CTH K (Lisbon Road); thence North 89°23'51" East along said north line and centerline 1311.970 feet to the place of beginning. Containing 4,344,347 square feet (99.7325 acres) of land.

I further certify that I have made such survey, land division, and plat by the direction of the owners of said land; that such plat is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Hartland in surveying, dividing and mapping the same.

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820

Dated this 22nd day of May, 2015.
Revised this 16th day of July, 2015.
Revised this 22nd day of September, 2015.



STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

The above certificate subscribed and sworn to me this 22nd day of September, 2015.

My commission expires July 25, 2017.

Anthony S. Zanon
ANTHONY S. ZANON - NOTARY PUBLIC

OWNER'S CERTIFICATE OF DEDICATION

SUNRISE DEVELOPMENT, LLC, as owners, do hereby certify that we caused the land described on the plat of WINDRUSH to be surveyed, divided, mapped and dedicated as represented on this plat. SUNRISE DEVELOPMENT, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Village of Hartland, Department of Administration, and Waukesha County Parks and Land Use Department.

IN WITNESS WHEREOF, the said SUNRISE DEVELOPMENT, LLC has caused these presents to be signed by, JAMES P. SIEPMANN, its MANAGING MEMBER this _____ day of _____, 2015.

SUNRISE DEVELOPMENT, LLC

JAMES P. SIEPMANN
JAMES P. SIEPMANN - MANAGING MEMBER

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2015 the above named JAMES P. SIEPMANN, to me known to be a MANAGING MEMBER of SUNRISE DEVELOPMENT, LLC and the person who executed the above certificate and acknowledged the same.

My commission expires _____.

NOTARY PUBLIC -

CONSENT OF CORPORATE MORTGAGEE

PARK BANK, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this plat, and does hereby consent to the above certificate of SUNRISE DEVELOPMENT, LLC, owners of said land.

IN WITNESS THEREOF, PARK BANK has caused these presents to be signed by, _____, its _____ and its corporate seal to be hereunto affixed this _____ day of _____, 2015.

PARK BANK

BY: _____

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2015 _____, of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such officer of said corporation, and acknowledged that he executed the foregoing instrument as the deed of said corporation, by its authority.

My commission expires _____.

NOTARY PUBLIC -

WAUKESHA COUNTY TREASURER CERTIFICATE

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

I, PAMELA F. REEVES, being the duly elected, qualified and acting Waukesha County Treasurer, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2015, on any land included in the plat of WINDRUSH.

Dated _____, 2015

PAMELA F. REEVES
PAMELA F. REEVES - COUNTY TREASURER

VILLAGE OF HARTLAND APPROVAL

Resolved that the plat of WINDRUSH, in the Village of Hartland, which has been filed for approval, be and hereby is approved as required by Chapter 236 of the Wisconsin State Statutes on this day ____ of _____, 2015.

DAVID C. LAMERAND - VILLAGE PRESIDENT

I hereby certify that the foregoing is a true and correct copy of the resolution passed and adopted by the Village Board of the Village of Hartland on this _____ day of _____, 2015. Which action becomes effective upon receipt of approval of all other review agencies.

DARLENE IGL - VILLAGE CLERK

VILLAGE OF HARTLAND FINANCE DIRECTOR/TREASURER CERTIFICATE

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

I, RYAN BAILEY, being the duly elected, qualified and acting Village of Hartland Finance Director/Treasurer, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2015, on any land included in the plat of WINDRUSH.

Dated _____, 2015

RYAN BAILEY - VILLAGE OF HARTLAND FINANCE DIRECTOR/TREASURER

SECONDARY ENVIRONMENTAL CORRIDOR PRESERVATION RESTRICTIONS

Those areas of land identified as a Secondary Environmental Corridor Preservation Area on Sheet 1 and 2 of 4 of this Subdivision Plat shall be subject to the following restrictions:

1. Grading and filling are prohibited, except in connection with the construction of a residence in a designated pre-approved building envelope or with the specific approval of the Village of Hartland.
2. The removal of topsoil or other earthen materials is prohibited.
3. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the Village of Hartland. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Village of Hartland shall also be permitted. The removal of any vegetative cover that is necessitated by the approved construction of a residence or accessory building within a designated pre-approved building envelope, shall be permitted. The removal of any vegetative cover outside of the designated pre-approved building envelope, but within the Secondary Environmental Corridor, that is necessitated to provide access or service to an approved residence or accessory building, shall be permitted only when the access or service cannot be located outside of the Secondary Environmental Corridor and with approval from the Village of Hartland.
4. Grazing by domesticated animals, i.e., horses, cows, etc., shall be discouraged to the greatest extent possible.
5. The introduction of plant material not indigenous to the existing environmental of the Secondary Environmental Corridor Preservation Area is prohibited.
6. Ponds may be permitted subject to the approval of the Village of Hartland and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
7. The construction of buildings within the Secondary Environmental Corridor Preservation Area is prohibited, except as may be specifically provided for by a building envelope on the Subdivision Plat. Any alterations to such a designated pre-approved building envelope will require the approval of the Village of Hartland.

CONSERVANCY/WETLAND/FLOODPLAIN PRESERVATION RESTRICTIONS

Those areas of land identified as a Conservancy/Wetland/Floodplain Preservation Area on Sheet 2 of 4 on this Subdivision Plat shall be subject to the following restrictions:

1. Grading and filling are prohibited, unless specifically authorized by the Village of Hartland and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal of topsoil or other earthen materials is prohibited.
3. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the Village of Hartland. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Village of Hartland shall also be permitted. The removal of any vegetative cover that is necessitated to provide access or service to an approved lot or necessitated for the maintenance of stormwater facilities, shall be permitted only when the access or service cannot be located outside of the Conservancy/Wetland/Floodplain Preservation Area with approval from the Village of Hartland.
4. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
5. The introduction of plant material not indigenous to the existing environment of the Conservancy/Wetland/Floodplain Preservation Area is prohibited.
6. Ponds may be permitted subject to the approval of the Village of Hartland and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
7. The construction of buildings is prohibited.

BASEMENT RESTRICTION - GROUNDWATER

Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions or basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications services is hereby granted by

SUNRISE DEVELOPMENT, LLC, Grantor, to WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee, WISCONSIN BELL INC, d/b/a AT&T, a Wisconsin Corporation, Grantee, and TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee, and their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

NOTE:

THERE WILL BE A PUBLIC ASPHALT PATH WITHIN THE SUBDIVISION AS SHOWN ON SHEET 1 OF THIS PLAT. THE EXACT LOCATION OF THE PATH WILL TO BE DETERMINED. ONCE THE PATH HAS BEEN CONSTRUCTED, THE CENTERLINE OF THE PATH WILL BE THE CENTERLINE OF A PUBLIC ACCESS EASEMENT GRANTED TO THE VILLAGE OF HARTLAND BY SEPARATE DOCUMENT. THE WINDRUSH HOMEOWNERS ASSOCIATION SHALL MAINTAIN, REPAIR AND REPLACE SAID PATH. THE EASEMENT ALLOWS FOR PUBLIC ACCESS AND FOR THE VILLAGE OF HARTLAND TO INSPECT SAID PATH AND TO ORDER THE HOMEOWNERS ASSOCIATION OR ITS DESIGNEE TO MAKE NECESSARY REPAIRS. IF SAID REPAIRS ARE NOT MADE IN A TIMELY MANNER, THE VILLAGE RESERVES THE RIGHT TO HAVE SAID REPAIRS MADE AND ASSESS THE INDIVIDUAL LOT OWNERS THE COST OF SAID REPAIRS AND PLACE SAID COSTS ON THE TAX ROLL OF SAID LOT OWNERS AND COLLECTED AS A SPECIAL CHARGE OR ASSESSMENT BY THE VILLAGE.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20____
Department of Administration

THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 4 OF 4 SHEETS

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address The Sanctuary of Hartland Development				
Lot	Block	Subdivision Sanctuary of Hartland	Key No. HAV	
Owner Miller Marriott Construction Co. LLC			Phone 262-369-0531	
Address 301 Pawling Ave.		City Hartland	State WI	Zip 53029
Contractor	Phone	FAX	E-Mail Address	
Address	City	State	Zip	

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17"). One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 10-6-2015 Date of Meeting: 10-19-2015 Item No. _____