

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, MARCH 21, 2016
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of December 21, 2015.
2. Architectural Board consideration of an application for an addition on the Moede residence, 416 River Grove Lane.
3. Items related to Architectural Board and Plan Commission consideration of the site and architectural design of the proposed Lift Station building, the Entry Monument Sign and the Final Plat for the Four Winds West Subdivision.
 - a. Consideration of the site and plans for the proposed Lift Station.
 - b. Consideration of the Subdivision Monument Entry Sign.
 - c. Consideration of a motion to recommend approval of the Final Plat for the Four Winds West Subdivision.
4. Architectural Board and Plan Commission review and consideration of site and building plans, CSM and Conditional Use Permit for the construction of two small office buildings on property located on Pawling Ave. owned by Hartland Station, LLC and Motion to set Public Hearing on the proposed Conditional Use Permit for Monday, April 18, 2016.
5. Plan Commission consideration of a request for a Conditional Use Permit for Heritage House of Hartland located at 444 Merton Ave. to allow a community living arrangement with a capacity of greater than 16 (32 unit memory care facility) and Motion to set Public Hearing on the proposed Conditional Use Permit for Monday, April 18, 2016.
6. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: March 18, 2016
SUBJECT: Agenda Information – March 21, 2016

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 3 Related to various matters at the Four Winds West Subdivision.

Background: The Four Winds West developer has presented the site, building and sign plans for the Lift Station and subdivision entry signage for the subdivision. Additionally, he has submitted the Final Plat for consideration. Of note for the Final Plat is the reduction of lots by one. The identification of an additional wetland on the property has caused a lot on Hemlock Ct. to be eliminated. The subdivision now includes 47 lots instead of 48. Staff has reviewed all of the items and has provided the following comments to the developer. It is anticipated that the developer will address these items at the meeting and will modify the plans and plat prior to Village Board consideration. Staff had no comments on the subdivision entrance sign feature itself.

LIFT STATION

1. Shorten the median island in Four Winds Ct. to accommodate the turning radii of Village vehicles entering the site.
2. Add downspouts to the roof drainage system.
3. Extend landscaping elements of the entrance sign farther west to soften the appearance of the north face of the lift station.
4. Add a concrete stoop at the door.
5. Add an LED light over the door, which light may be operated by either photo eye or motion detection.

FINAL PLAT

1. Standardize the nomenclature for storm easements to prevent confusion.
2. Develop appropriate standards and restrictions related to the unique “Stormwater Storage Easement Area” around Outlot 3, which is an internally draining area with an overflow swale designed to outlet this area west toward the pond in Outlot 2. The newly developed restrictions will be included on sheet 6.
3. The entrance Outlot 6 will be eliminated. Rather, this landscape median area along with similar landscaped median areas within cul-de-sacs will be set up with a “landscape easement” dedicated to the homeowners association for their use in landscape maintenance in these ROW areas.
4. Language for Outlot 1 will be clarified as being “Reserved roadway right-of-way for the Village of Hartland” with maintenance responsibilities going to the property owners of the two adjacent lots.

5. The private utility easement shown partially on Outlot 1 will be eliminated. There will be a new private utility easement access shown along the northerly limit of Outlot 1.
6. There were a few other minor items and typos throughout the plat that have been identified for update.

Recommendation: Recommend approval of the Lift Station and Entrance Sign with modifications. Recommend approval of the Final Plat conditioned on proper update before final action by the Village Board.

Item 4 Related to the Hartland Station buildings.

Background: The owner of the Hartland Station on Pawling Avenue is interested in dividing his property and originally proposed constructing two new buildings for use as professional offices. The enclosed original proposal calls for construction of two similar buildings containing nine offices each plus a large conference room and appropriate restrooms and entry lobbies. The proposal anticipates a single parking lot between the two buildings that provides 13 parking spaces plus two handicapped accessible spaces. After review of the proposal, staff had the following comments, which were shared with the developer.

1. Staff is concerned about the 6-inch proximity of the buildings to the railroad right of way. The roof eave extends over and doors open onto the railroad right of way. With the doors opening to the south, an access sidewalk of some width would be required on the south side of the buildings. Options for these items would include:
 - a. Coordinating with the railroad to get permission for the eaves to encroach and doors to have pedestrian ingress/egress access on the railroad right of way
 - b. Move the building(s) north by an appropriate distance
 - c. Redesign the building to eliminate the south exits and, perhaps, the eaves/overhang
2. If the buildings move, it is not likely that the westerly building would be impacted by the 60 inch storm sewer. The easterly building would conflict with the storm sewer if moved.
3. The option of a single building site plan was suggested.

After consideration of staff comments, the developer has indicated that he will propose an alternative plan at the Plan Commission on Monday. The plan will call for a single building generally located on the site of the originally proposed western building. The new building will be about 26 feet wide by about 140 feet long and would be offset from the south (railroad) property line by three feet. In all, it would move five feet closer to the street. Under the revised plan, approximately 16 private offices will be proposed (two fewer than the original proposal) along with a slightly larger parking lot. It is expected that the characteristics of the exterior design will remain a railroad theme.

Based on the anticipated revised proposal, one or two items will require special attention and determination by the Plan Commission and, ultimately, the Village Board. First, due to the narrow nature of the lot, the plan will contemplate a three-foot rear yard instead of the Code-required 25 feet. Second, it is not known whether the redesigned site will be able to address the technical parking deficiency originally proposed. The original proposal was short about 5 spaces from the conservative estimate of required parking spaces under the Zoning Code of 18. The reduction in offices and an anticipated increase in the parking lot size may bring the number into compliance. Nonetheless, both the rear yard setback and any parking deficiency can be allowed using the Conditional Use Permit process. The Plan Commission is asked to give initial consideration to the plan and the proposed Plan of Operation and site plan to determine whether the proposal is acceptable. If so, a public hearing and final review would be scheduled for April at which time a Conditional Use Permit and final plans would be considered.

Recommendation: Give consideration to the one-building proposal and set a public hearing for the April meeting to consider an appropriate Conditional Use Permit.

Item 5 Related to the Heritage House on Merton Ave.

Background: The Plan Commission will recall the recent granting of a Conditional Use Permit to Jay Schnorenberg/JPS Limited, LLC for the operation of a memory care facility at 444 Merton Ave (Hartland Senior Living). While Mr. Schnorenberg will retain ownership of the building, it is proposed that the business will be owned and operated by the Matthews Senior Living organization as Heritage House of Hartland, LLC d/b/a Hartland Place. The proposed Plan of Operation is very similar to the one proposed by JPS except that the residents will not be limited to those with memory issues. The site will serve “frail elders” and, it is suggested, many of the same considerations apply. The original Conditional Use Permit was granted to allow a community living arrangement in excess of 16 (32) units and included conditions related to reduced parking, among other items. The Plan Commission is asked to consider a similar Conditional Use Permit for Heritage House.

Recommendation: Give consideration to granting the CUP with similar conditions as the original and set a public hearing for the April meeting to consider a final Conditional Use Permit.

DC:PC Agenda Info 3-21

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, DECEMBER 21, 2015
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, Dave Lamerand, James Schneeberger, Randy Swenson and Jack Wenstrom.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of November 16, 2015.

Motion (Hallquist/Swenson) to approve the Jt. Architectural Board/Plan Commission Minutes of November 16, 2015. Carried (6-0-1). Wenstrom abstained.

2. Architectural Board and Plan Commission review and consideration of an application for a 19,800 sq. ft. warehouse addition for Holt Electric at 1515 Walnut Ridge Drive.

Grant Reginato and Dennis Spindler of PDC Midwest presented plans for the first of two anticipated warehouse expansions for the facility at the southeast corner of the southern intersection of Walnut Ridge Drive and STH 83.

Mr. Reginato pointed out a few changes since the initial submittal. The area for semi truck turning was expanded so that the trucks can back into the bays. With the revised design, the trees in the area are preserved. They will be adding an additional hydrant, using the existing water lateral. No additional sewer lateral is needed. Insulation will have to be installed beneath the storm sewer lateral and above the existing water main where they cross in the road.

Storm water calculations will be finalized and submitted to the engineer. They are waiting for the soil borings to confirm the infiltration rate.

Per Village zoning code, 56 parking spaces would be required. An informal count of 56 cars in the parking lot was taken on two days last week. The site plan is calling for 97 spaces total. Once all the new bays are active, they may take the existing bay, abandon it and stripe it for extra parking. The expansion is not creating more employees, it is storage space. Holt has 72 employees now, and they intend on moving eight off site. A number of employees do outside sales or

work from home, therefore, it is estimated there will be a need for 66 parking spaces on a daily basis.

There is a small retail store, but the walk-in business is negligible. Holt Electric is owned by Revere Electric, from the Chicago-land area. A number of management and sales people travel between the different locations. Years ago Holt's business included mostly new construction-type electrical supplies -- now they supply electrical components to the manufacturing industry.

The existing dumpster and enclosure will stay.

All building lights and parking lot lights will be LED. They will add some additional parking lot lights, which are shown on the photo-metrics plan.

The building plan shows a repeating element on the structure which breaks up the look of the exterior. Staff and the Plan Commission originally thought the idea of adding a window or windows would be in order. However, they were satisfied with the repeating architectural element shown on the larger plan that was brought to the Plan Commission meeting by the applicant.

No landscaping will be removed. Evergreen and deciduous trees will be added where previously there were none. Corner accents and dock screening will also be included.

The owner has not mentioned if additional signage will be needed.

Motion (Swenson/Wenstrom) to recommend approval to the Village Board for an application for a 19,800 sq. ft. warehouse addition for Holt Electric at 1515 Walnut Ridge Drive, contingent upon meeting staff and the Village Engineer recommendations before the January 11 or 25th, 2016 meeting. Carried (7-0).

3. Adjourn

Motion (deCourcy-Bower/Swenson) to adjourn. Carried (7-0).

Meeting adjourned at 7:20 PM.

Respectfully submitted by
Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 416 River Grove Lane			
Lot 62	Block	Subdivision Four Winds	Key No. HAV 0391062
Owner Aaron & Peggy Moede			Phone (262) 574-6983
Address 416 River Grove Lane		City Hartland	State WI Zip 53029
Contractor William Schumacher	Phone (414) 510-1358	FAX	E-Mail Address wdsjls@aol.com
Address 1271 Connolly Circle		City Hartford	State WI Zip 53027

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is **THREE WEEKS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

One & Two Family

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

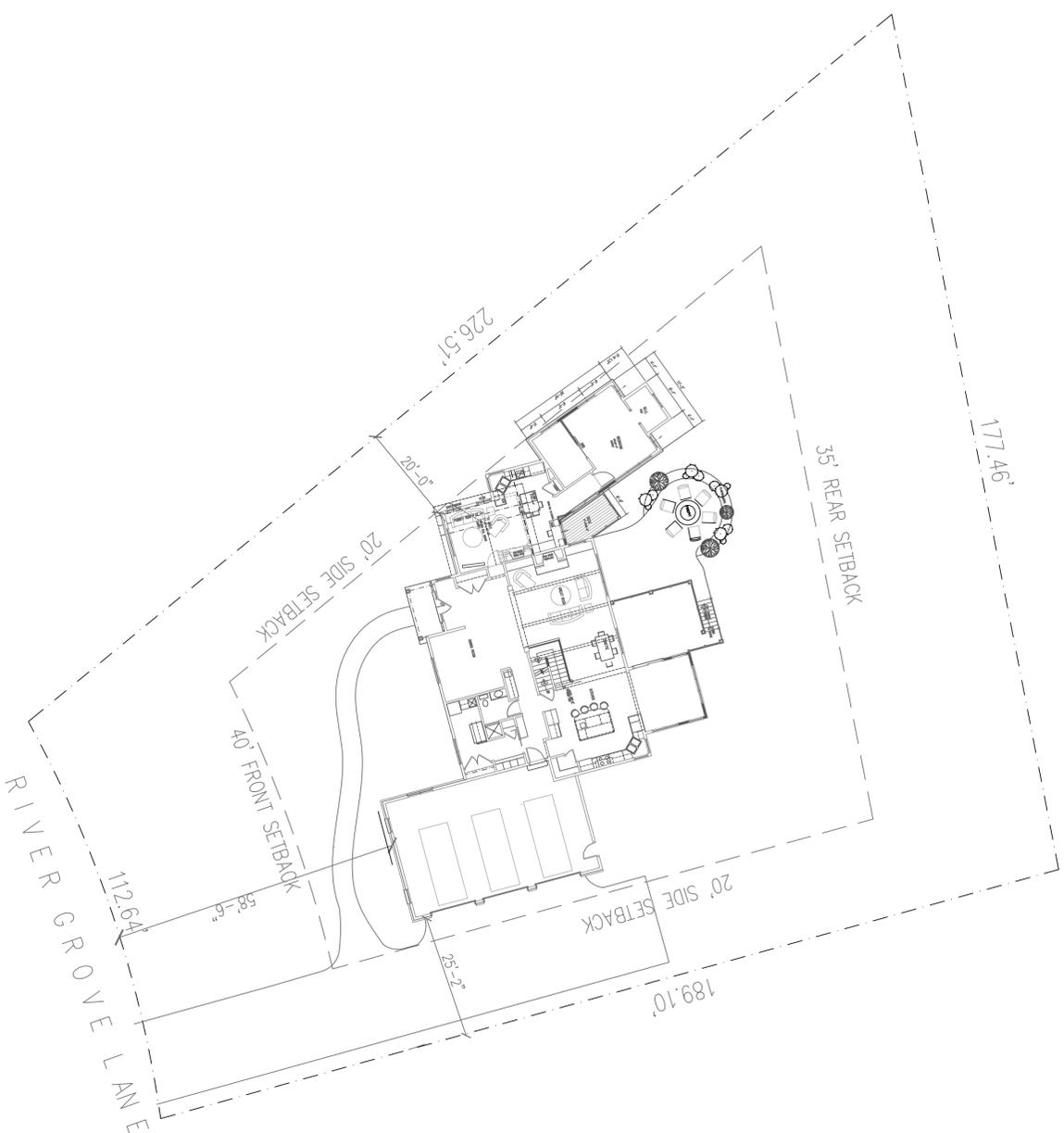
NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: March 10, 2016 Date of Meeting: March 21, 2016 Item No. _____

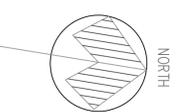
SHEET INDEX

- A-1 SITE PLAN
- A-2 BASEMENT/FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 EXTERIOR ELEVATIONS
- A-6 BUILDING SECTION

EL-1 FIRST FLOOR ELECTRICAL PLAN

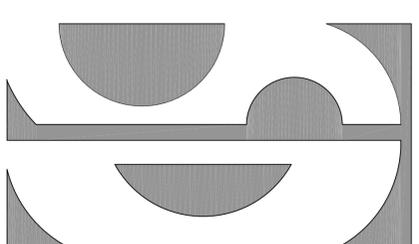


SITE PLAN
25,750 SQ.FT. LOT SCALE 1/16" = 1'-0"



ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY AND REMAIN THE PROPERTY OF SWEET DESIGNS. NO REPRODUCTIONS ALLOWED WITHOUT ARCHITECTS CONSENT.

BID SET



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JOAN M. SWEET
ARCHITECT

1435 STONEFIELD COURT
WAUKESHA, WISCONSIN
53186
(262) 896-0388

PROJECT:

Addition to
Residence

FOR

The Moede
Family
Aaron & Peggy

Four Winds
LOT 62

River Grove LN

Hartland
Wisconsin

SITE PLAN

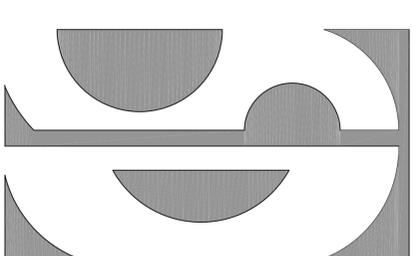
DATE :

03/08/16

SHEET NO.

A-1

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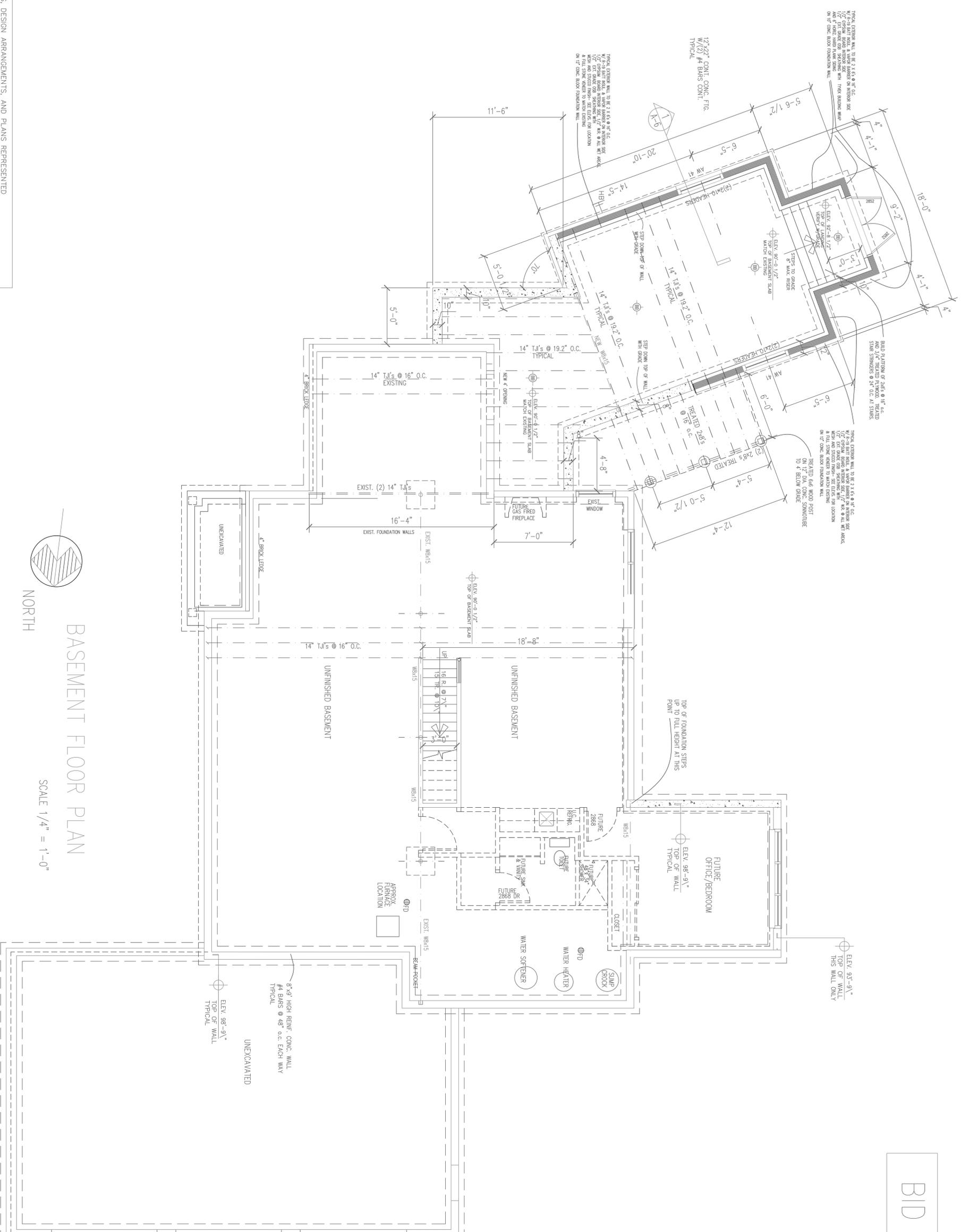
Hartland
Wisconsin

BASEMENT
FOUND PLAN

DATE :
03/08/16

SHEET NO.

A-2



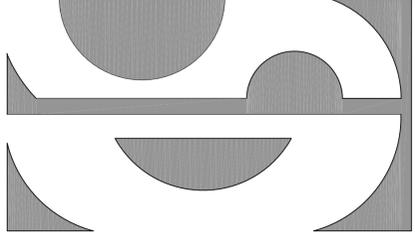
BASEMENT FLOOR PLAN



NORTH

SCALE 1/4" = 1'-0"

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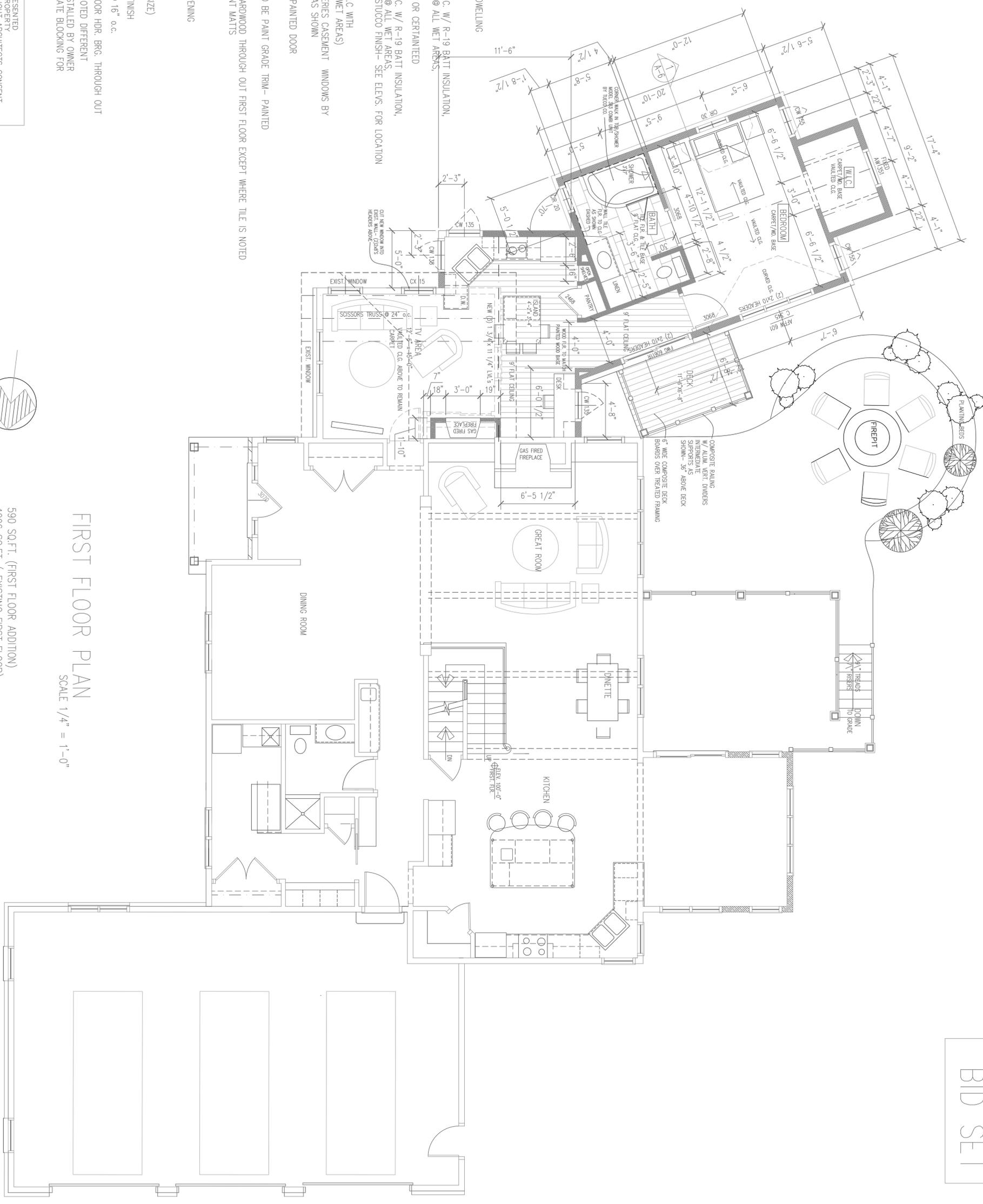
Hartland
Wisconsin

FIRST
FLOOR PLAN

DATE :
03/08/16

SHEET NO.

A-3



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

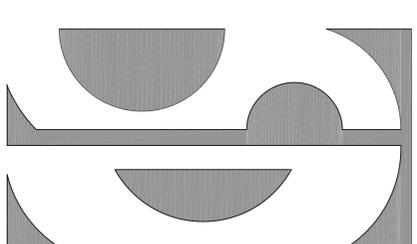
590 SQ.FT. (FIRST FLOOR ADDITION)
1996 SQ.FT. (EXISTING FIRST FLOOR)
950 SQ.FT. GARAGE



NORTH

- NOTES:
- ALL WORK TO CONFORM TO WISCONSIN UNIFORM DWELLING CODE AND ALL PREVAILING LOCAL CODES.
 - TYPICAL EXTERIOR WALL TO BE 2 X 6'S @ 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYPSUM BOARD INTERIOR SIDE, 1/2" W.R. @ ALL WET AREAS, 1/2" OSB SHEATHING, TYEK HOUSINGKAP AND 6" EXP. HORIZ. CONC. SIDING- HARDPLANK OR CERTAINTED
 - TYPICAL EXTERIOR WALL TO BE 2 X 6'S @ 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYPSUM BOARD INTERIOR SIDE, 1/2" W.R. @ ALL WET AREAS, 1/2" OSB PLYWOOD SHEATHING WITH MESH AND STUCCO FINISH- SEE ELEVS. FOR LOCATION AIR SPACE, BRICK TIES & 4" STONE VENEER
 - TYPICAL INTERIOR WALL TO BE 2 X 4'S AT 16" O.C WITH 1/2" GYP. BOARD (1/2" W.R. GYP. BRD. AT ALL WET AREAS)
 - ALL NEW WINDOWS NOTED ARE ANDERSEN 400 SERIES CASMENT WINDOWS BY WITH HIGH PERFORMANCE GLASS AND MULLIONS AS SHOWN
 - ALL NEW INTERIOR DOORS TO BE SOLID WOOD - PAINTED DOOR
 - 2 PANEL DOOR WITH ARCH TOP ON TOP PANEL
 - ALL BASEBOARDS AND CASINGS THROUGH OUT TO BE PAINT GRADE TRIM- PAINTED
 - PROVIDE 3/4" x 5" WIDE DARK BLACK CHERRY HARDWOOD THROUGH OUT FIRST FLOOR EXCEPT WHERE TILE IS NOTED WHERE TILE IS NOTED PROVIDE TILE UNDERLAYMENT MATTS
 - DOOR KEY--
3070 CO = 3'-0" WIDE x 7'-0" HIGH CASSED OPENING
2870 = 2'-8" WIDE x 7'-0" HIGH DOOR
 - WINDOW KEY--
2860 = 28" x 60" WINDOW FRAME (NOT GLASS SIZE)
 - ALL NEW DRYWALL SURFACE TO HAVE SMOOTH FINISH
 - ALL FLOOR FRAMING THROUGH OUT IS 14" TJI'S @ 16" o.c.
 - USE (2)2x6'S OR (3) 2x4 STUDS UNDER BEAM/FLOOR HDR. BRG. THROUGH OUT
 - USE (2)2x6'S AT ALL WINDOW HEADERS UNLESS NOTED DIFFERENT
 - ALL CLOSETS SYSTEMS TO BE FURNISHED AND INSTALLED BY OWNER
 - ROUGH FRAMING CONTRACTOR TO PROVIDE ADEQUATE BLOCKING FOR CLOSETS SYSTEMS.

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PROJ ECT:
 Addition to
 Residence
 FOR
 The Moede
 Family
 Aaron & Peggy

Four Winds
 LOT 62
 River Grove LN

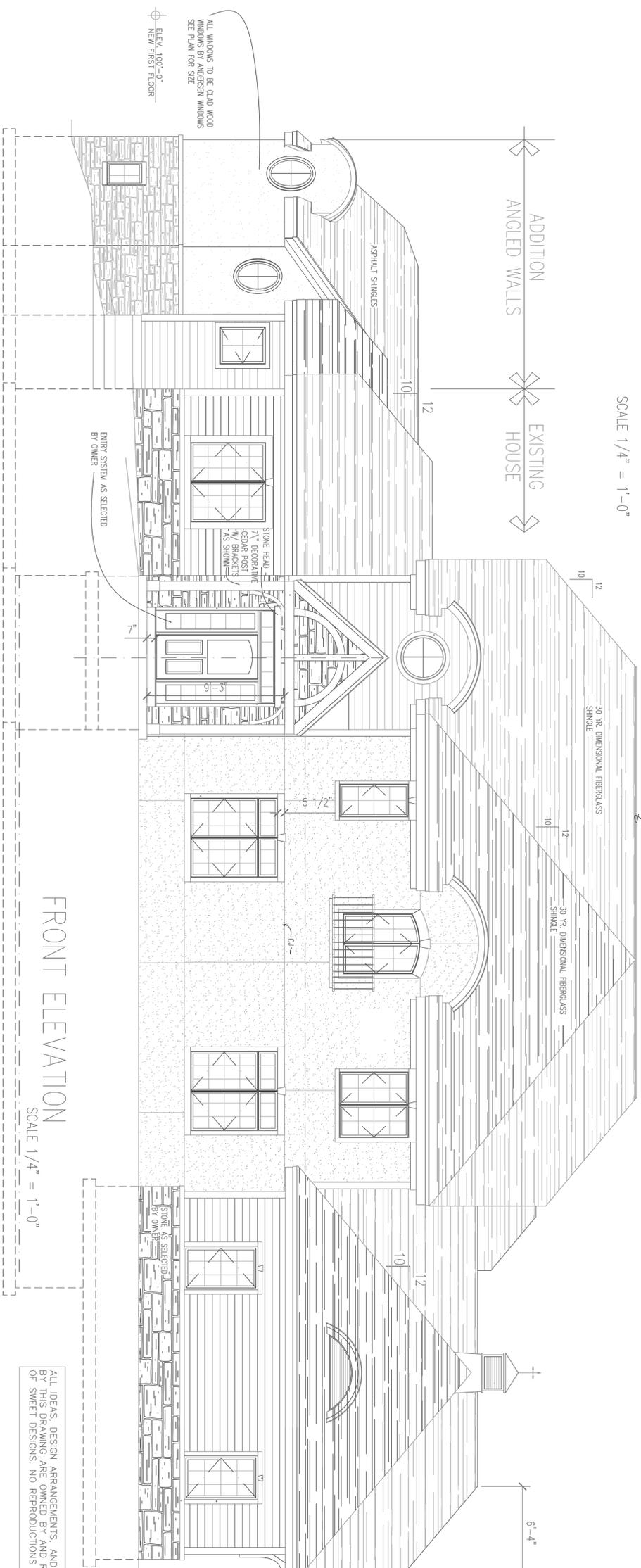
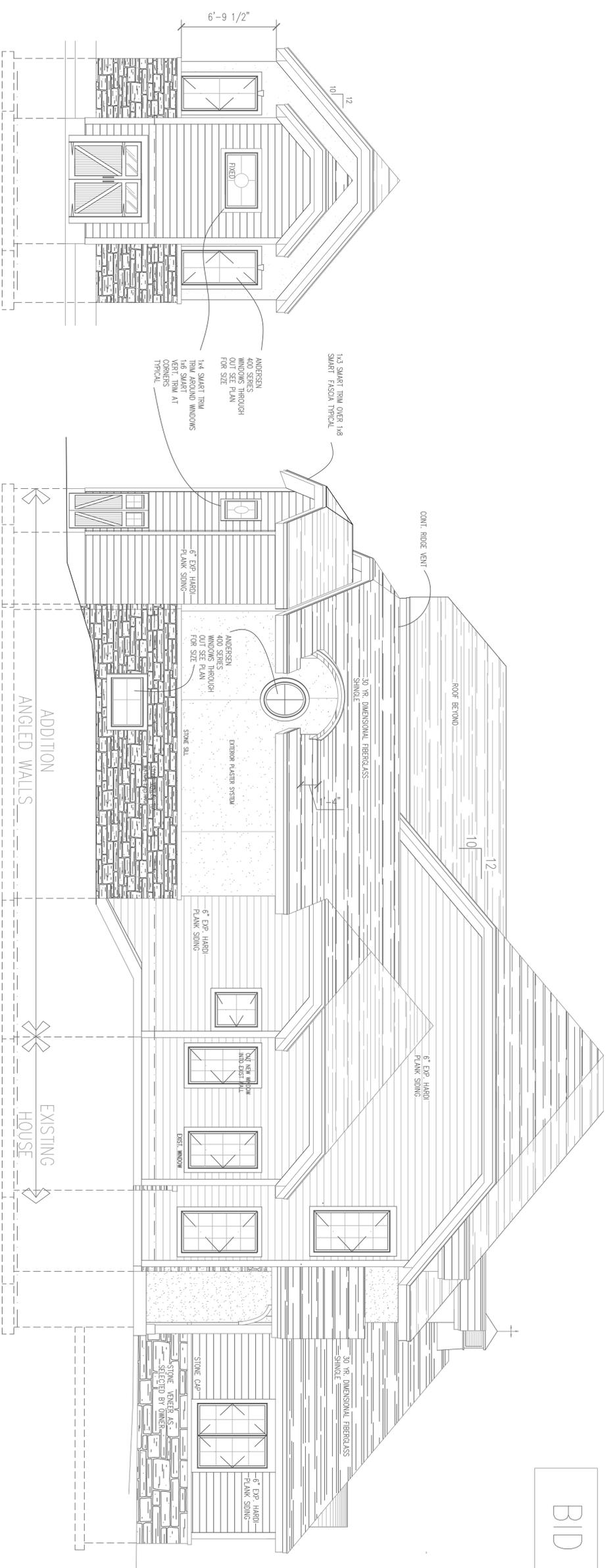
Hartland
 Wisconsin

EXTERIOR
 ELEVATIONS

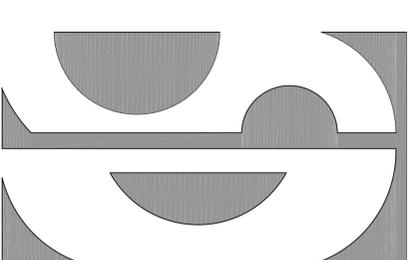
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 03/08/16

S H E E T N O .

A — 4



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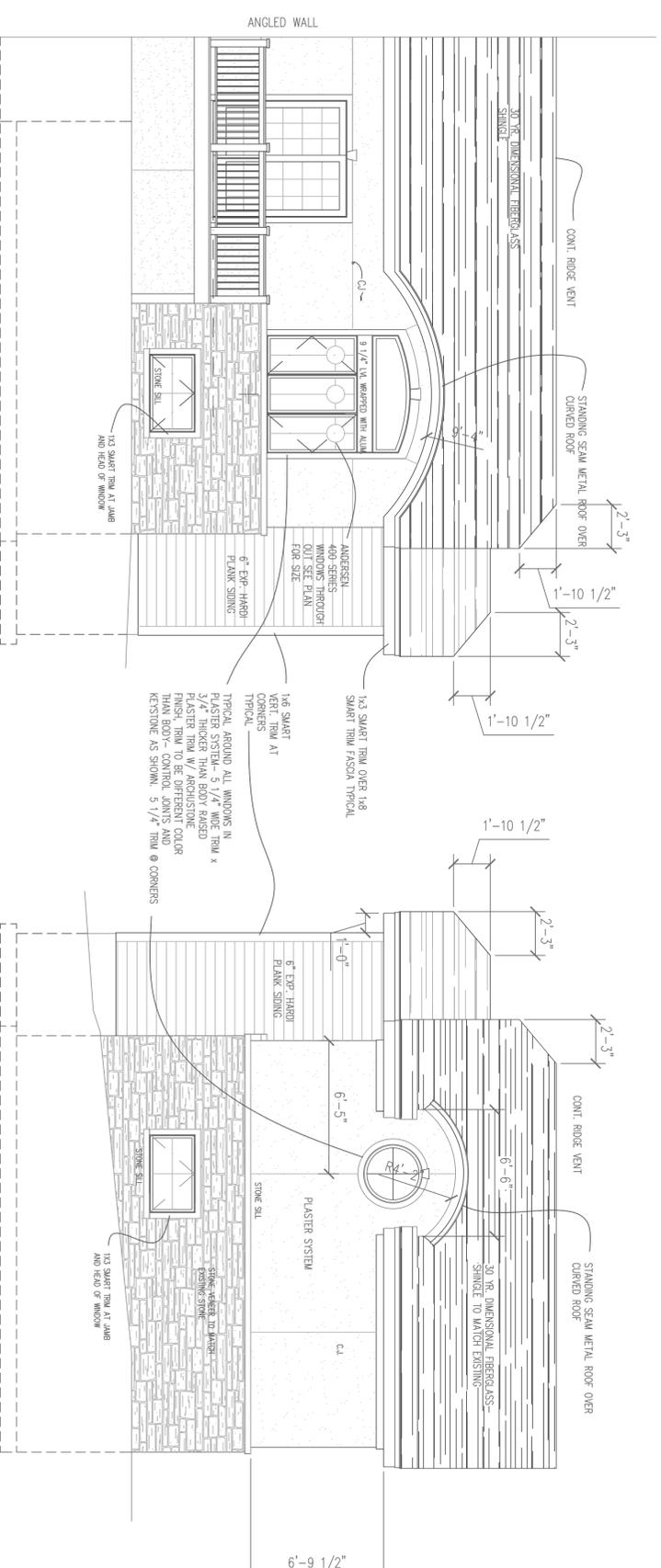
EXTERIOR
 ELEVATIONS

DATE :

03/08/16

SHEET NO.

A-5

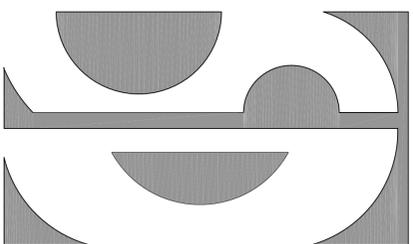


SIDE ELEVATION FACING PATIO

SCALE 1/4" = 1'-0"

SIDE ELEVATION FACING ROAD

SCALE 1/4" = 1'-0"



SWEET DESIGNS
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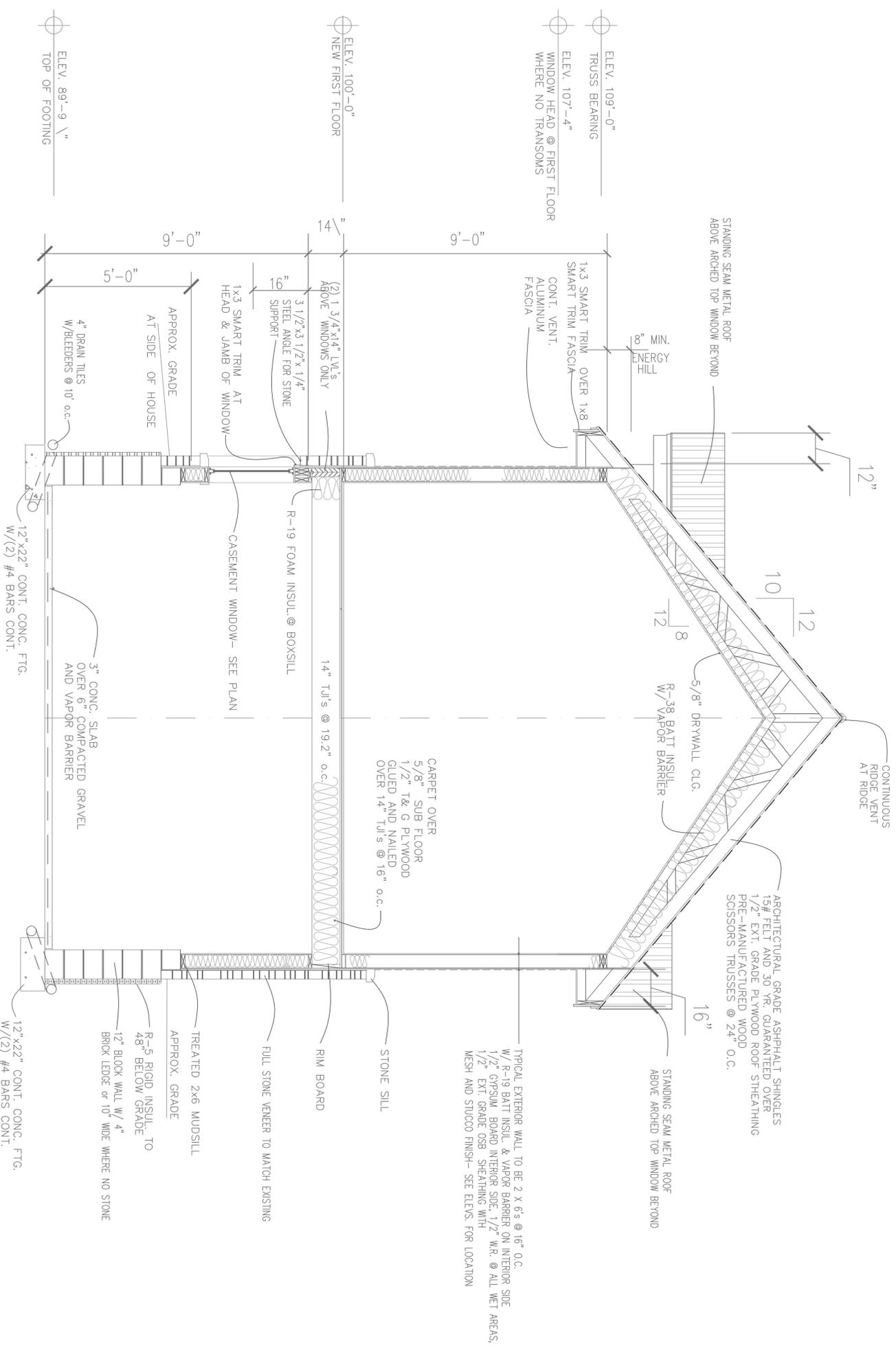
Hartland
Wisconsin

BUILDING
SECTION

DATE :
03/08/16

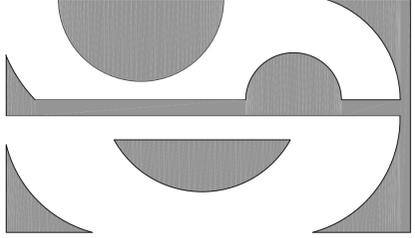
SHEET NO.

A-6



1 CROSS SECTION
A-6
SCALE 1/2" = 1'-0"

BID SET



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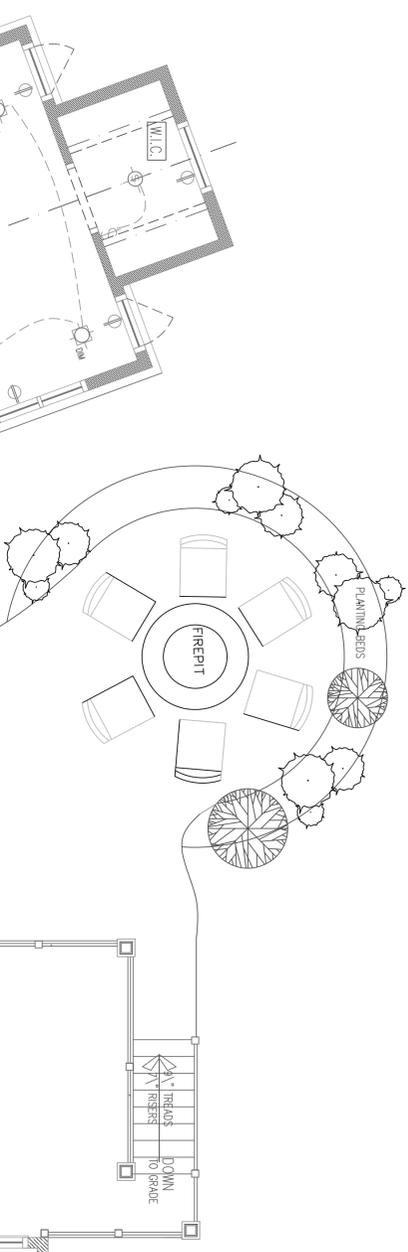
FIRST FLOOR
ELECT. PLAN

DATE :

03/08/16

SHEET NO.

ELECT 1



ELECTRICAL SYMBOLS

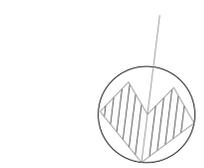
VERIFY LOCATION OF ALL FIXTURES WITH OWNER AFTER FRAMING IS ROUGHED IN

- ⊕ DUPLEX OUTLET
- ⊕ DUPLEX OUTLET - BOTTOM HALF SWITCHED
- ⊕ DUPLEX OUTLET WITH GROUND FAULT INTERRUPTOR
- ⊕ PENDANT MOUNTED LIGHT FIXTURE
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ 5" RECESSED INCANDESCANT LIGHT FIXTURE
- ⊕ 5" RECESSED INCANDESCANT LIGHT FIXTURE WITH DIMMER
- ⊕ WALL MOUNTED EXTERIOR LIGHT FIXTURE
- ⊕ INTERIOR LIGHT SCENCE
- ⊕ DUPLEX FLOOR OUTLET - VERIFY LOCATION W/OWNER
- ⊕ CABLE TV OUTLET - VERIFY LOCATION WITH OWNER
- ⊕ TELEPHONE JACK - VERIFY LOCATION WITH OWNER
- ⊕ SMOKE DETECTOR
- ⊕ COMBO LIGHT/BATHROOM EXHAUST FAN
- ⊕ CEILING FAN
- ⊕ CEILING FAN WITH LIGHT
- ⊕ GARBAGE DISPOSAL
- ⊕ OUTLET FOR EXHAUST FAN OVER STOVE
- ⊕ ELECTRIC TILE FLOOR WARNER
- ⊕ EXHAUST OVER STOVE
- ⊕ XENON UNDERCABINET LOW VOLTAGE LIGHT
- ⊕ HOSE BIB
- ⊕ H8FI DUPLEX OUTLET IN SOFFIT ABOVE
- ⊕ 4" RECESSED CAN LIGHTS IN ARCHED SOFFIT OF BUILT INS.

FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

NORTH



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AARON J MOEDE
PEGGY J PARTENFELDER-MOEDE
416 RIVER GROVE LN
HARTLAND WI 53029

AARON T KOWAL
LAURA C KOWAL
1217 FOUR WINDS WAY
HARTLAND WI 53029

BRANDON L JACKSON
SARA JACKSON
1205 FOUR WINDS WAY
HARTLAND WI 53029-8561

DAVID F OURY
DEBORAH E OURY
1216 FOUR WINDS WAY
HARTLAND WI 53029

ERIN ENNIS
TAMMY ENNIS
422 RIVER GROVE LN
HARTLAND WI 53029-8565

JEFFREY KALSCHEUR
LAURA KALSCHEUR
1221 FOUR WINDS WAY
HARTLAND WI 53029

LUKE B SZAFRANSKI
GWENDOLYN SZAFRANSKI
1206 FOUR WINDS WAY
HARTLAND WI 53029

MARK G SIEBOLD
SARA L SIEBOLD
1220 FOUR WINDS WAY
HARTLAND WI 53029-8561

PETER SCHLEICHER
MARY SCHLEICHER
1213 FOUR WINDS WAY
HARTLAND WI 53029

ROBERT N YOUNG
PATRICIA A YOUNG
1226 FOUR WINDS WAY
HARTLAND WI 53029

THOMAS TRUST DATED MARCH 27, 2007
1212 FOUR WINDS
HARTLAND WI 53029-8561

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or
 PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: March 14, 2016	Fee Paid: \$64.00
Date Filed: March 14, 2016	Receipt No.:

1. Name: Four Winds West Development, LLC
Address of Owner/Agent: 5429 N. 118th Ct., James Sileno
Milwaukee, WI 53225
Phone Number of Owner/Agent: 414-466-0111
2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
3. State present use of property and intended use.
Present Use Agricultural Grazing - Proposed Use Single Family
Residential Use

John R. Stigler
Signature of Petitioner

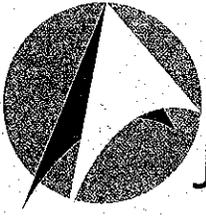
711 W. Moreland Blvd, Waukesha, WI 53188
Address

262-542-5797

Phone

2007 Forms/Petition for Land Division
Revised 10/07





FOUR WINDS WEST – LEGAL DESCRIPTION

I, John R. Stigler, Professional Land Surveyor, being first duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped FOUR WINDS WEST being a subdivision of part of the Northeast Quarter (NE 1/4), Southeast Quarter (SE 1/4), Southwest Quarter (SW 1/4), and Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) of Section 27 Township 8 North, Range 18 East Village of Hartland, Waukesha County, Wisconsin bounded and described as follows:

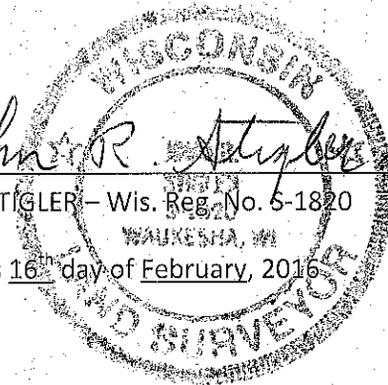
All that part of the Southwest Quarter (SW 1/4), Southeast Quarter (SE 1/4), Northeast Quarter (NE 1/4) and Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) of Section 27, Town 8 North, Range 18 East, Town of Merton, Waukesha County, Wisconsin bounded and described as follows: Commencing at the southwest corner of the Southeast Quarter (SE 1/4) of said Section 27 being marked by a concrete monument with brass cap; thence North 89°45'33" East along the south line of said Southeast Quarter (SE 1/4) 273.90 feet; thence North 00°44'19" East 784.30 feet along the easterly line of lands described in Volume 110 of Deeds on Page 261 to the place of beginning of the lands to be annexed; thence continuing North 00°44'19" East along said east line 917.87 feet; thence North 89°59'11" East 1781.84 feet; thence North 00°00'49" West 255.55 feet; thence North 89°59'11" East 596.58 feet to the east line of above said Southeast Quarter (SE 1/4) of said Section 27 being the centerline of North Ave (C.T.H. "E"); thence South 00°48'57" West along said east line and centerline 1164.07 feet; thence South 89°45'34" West 2373.64 feet along the north line of Warranty Deed recorded as Document No. 2805021 in the Waukesha County Register of Deeds Office to the place of beginning. This parcel contains 2,319,755 square feet or 53.2542 acres of land.

John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820

WAUKESHA, WI

Dated this 16th day of February, 2016



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <i>Four Winds West Subdivision</i>				
Lot	Block	Subdivision	Key No. HAV	
Owner <i>Four Winds West Development, LLC</i>			Phone <i>414-466-0111</i>	
Address <i>5429 N. 118th CT</i>		City <i>Milwaukee</i>	State <i>WI</i>	Zip <i>53225</i>
Contractor		Phone	FAX	E-Mail Address
Address		City	State	Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



1663

Four Winds West Subdivision Entrance Material Selections:

Stone: Halquist Stone – Carbondale with gray mortar.

Shingles: GAF Timberline Ultra HD series color “Pewter Gray”

Trim and all exterior metal: Sherwin Williams 6003 Proper Gray

Fencing: Kentucky Black Posts and Boards: Four Horizontal Boards = 1-1/8” x 6” x 16’; Posts = 6” x 8’

ALLEN SCHMITZ
MICHELLE SCHMITZ
320 HOLLYHOCK LN
HARTLAND WI 53029

HELMUT W WITTBECKER TRUST
1277 FOUR WINDS WAY
HARTLAND WI 53029

THOMAS J SMITH
JEAN M SMITH
324 HOLLYHOCK LN
HARTLAND WI 53029

GLENN QUISLER
CYNTHIA QUISLER
322 HOLLYHOCK LN
HARTLAND WI 53029

FOUR WINDS DEVELOPMENT LLC
5429 N 118TH CT
MILWAUKEE WI 53225

THOMAS PASTOR
MELANIE PASTOR
W299N6034 COUNTY RD E
HARTLAND WI 53029

SIEPMAN HOLDING CO INC
W240N1221 PEWAUKEE RD
WAUKESHA WI 53188-1659

CHARLES A GUTENKUNST
W305N5710 STEVENS RD
HARTLAND WI 53029

ARROWHEAD SCHOOL DISTRICT
700 NORTH AVE
HARTLAND WI 53029

THOMAS J DUNHAM
JULIE B DUNHAM
W303N5945 MONCLAIRE RD
HARTLAND WI 53029

MICHAEL FLEMING
DIANE FLEMING
N60W30240 SPENCE RD
HARTLAND WI 53029

WISCONSIN TELEPHONE CO
722 N BROADWAY
MILWAUKEE WI 53202

ERIC A DERMOND
757 N WATER ST #200
MILWAUKEE WI 53202

ERIC HAERTLE
DAWN HAERTLE
W303N5888 MONCLAIRE RD
HARTLAND WI 53029-9301

NANCY E BRINK
W303N5975 SETTLERS LN
HARTLAND WI 53029

MILLER 2000 JOINT REVOCABLE TRUST
W303N5985 SETTLERS LN
HARTLAND WI 53029

W CLARK VILTER
JOY VILTER
N56W30020 COUNTY ROAD K
HARTLAND WI 53029

RUSSELL J TRIMBLE
N57W30504 STEVENS RD
HARTLAND WI 53029

JOHN MIGLAUTSCH
SUSAN MIGLAUTSCH
N57W30470 COUNTY ROAD K
HARTLAND WI 53029

OUR SAVIOUR'S EVANGELICAL
LUTHERAN
CHURCH OF HARTLAND
W299N5782 CTY E
HARTLAND WI 53029-9501

KRISTINE A JOERS
N57W30529 STEVENS RD
HARTLAND WI 53029

NICK W TURKAL
KATHLEEN H TURKAL
4514 N LAKE DR
WHITEFISH BAY WI 53211

TODD MCDONALD
CHRISTINA MCDONALD
W303N5995 SPENCE RD
HARTLAND WI 53029

JAMES NOLAN
PATRICIA NOLAN
W305N5690 STEVENS RD
HARTLAND WI 53029

ERIC HAERTLE
DAWN HAERTLE
W303N5888 MONCLAIRE RD
HARTLAND WI 53029

WILLIAM PUCHNER
KAREN PUCHNER
W302N6015 SPENCE RD
HARTLAND WI 53029

F J MIGLAUTSCH
ANNA MIGLAUTSCH
N58W30480 COUNTY ROAD K
HARTLAND WI 53029

APRIL M LOPEZ
318 HOLLYHOCK LN
HARTLAND WI 53029

DAVID T GOODWILL
MICHELLE D GOODWILL
316 HOLLYHOCK LN
HARTLAND WI 53029

MICHAEL HIPPI
SHARON HIPPI
W302N6045 SPENCE RD
HARTLAND WI 53029

JOINT SCHOOL DISTRICT NO 8
W299N5614 COUNTY RD E
HARTLAND WI 53029

JASON M WIESELMAN
ERIN M WIESELMAN
W302N6036 SPENCE RD
HARTLAND WI 53029

GRAVES 2003 TRUST
W302N6029 SPENCE RD
HARTLAND WI 53029

KEVIN R SMITH
CAROLINE K SMITH
3 HIGHLAND AVE
MADISON NJ 07940

JAMES BARANY
SYLVIA BARANY
N58W30460 COUNTY ROAD K
HARTLAND WI 53029

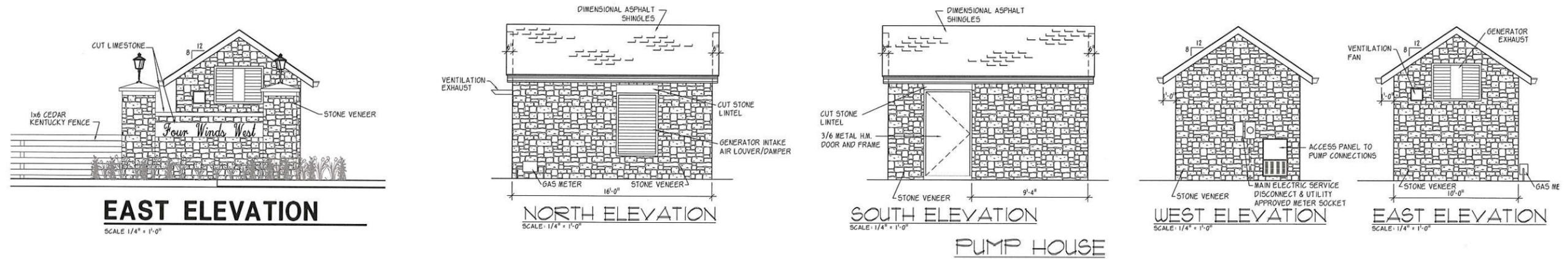
RICHARD & BARBARA SCHMIDT
REVOCABLE TRUST
P O BOX 377
HARTLAND WI 53029

SUBDIVISION ENTRANCE FOR:

FOUR WINDS WEST
HARTLAND, WI 53029

CONTACT:

JIM SILENO
SCI REAL ESTATE INC.
5429 N. 118th CT.
MILWAUKEE, WI 53225
OFFICE: (414) 466-0111
FAX: (414) 466-9984
EMAIL: jim@scirealestate.com



EAST ELEVATION

SCALE: 1/4" = 1'-0"

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

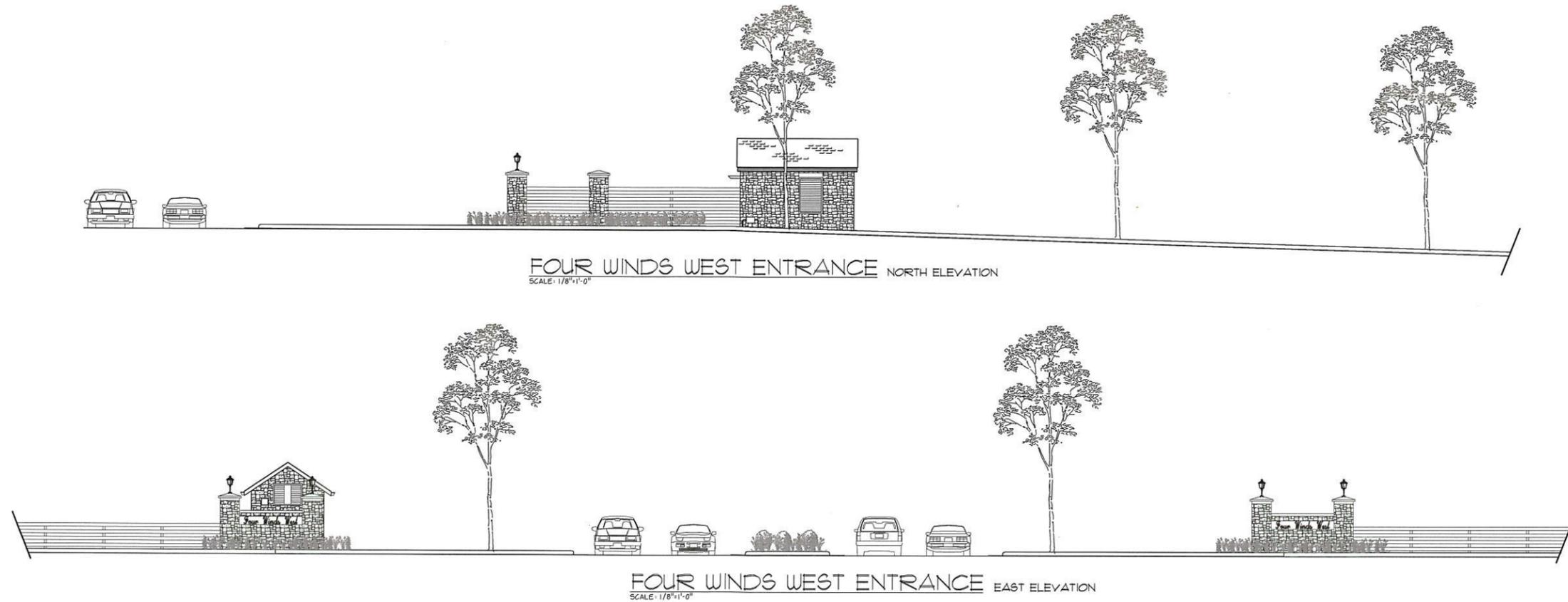
WEST ELEVATION

SCALE: 1/4" = 1'-0"

EAST ELEVATION

SCALE: 1/4" = 1'-0"

PUMP HOUSE



FOUR WINDS WEST ENTRANCE NORTH ELEVATION

SCALE: 1/8" = 1'-0"

FOUR WINDS WEST ENTRANCE EAST ELEVATION

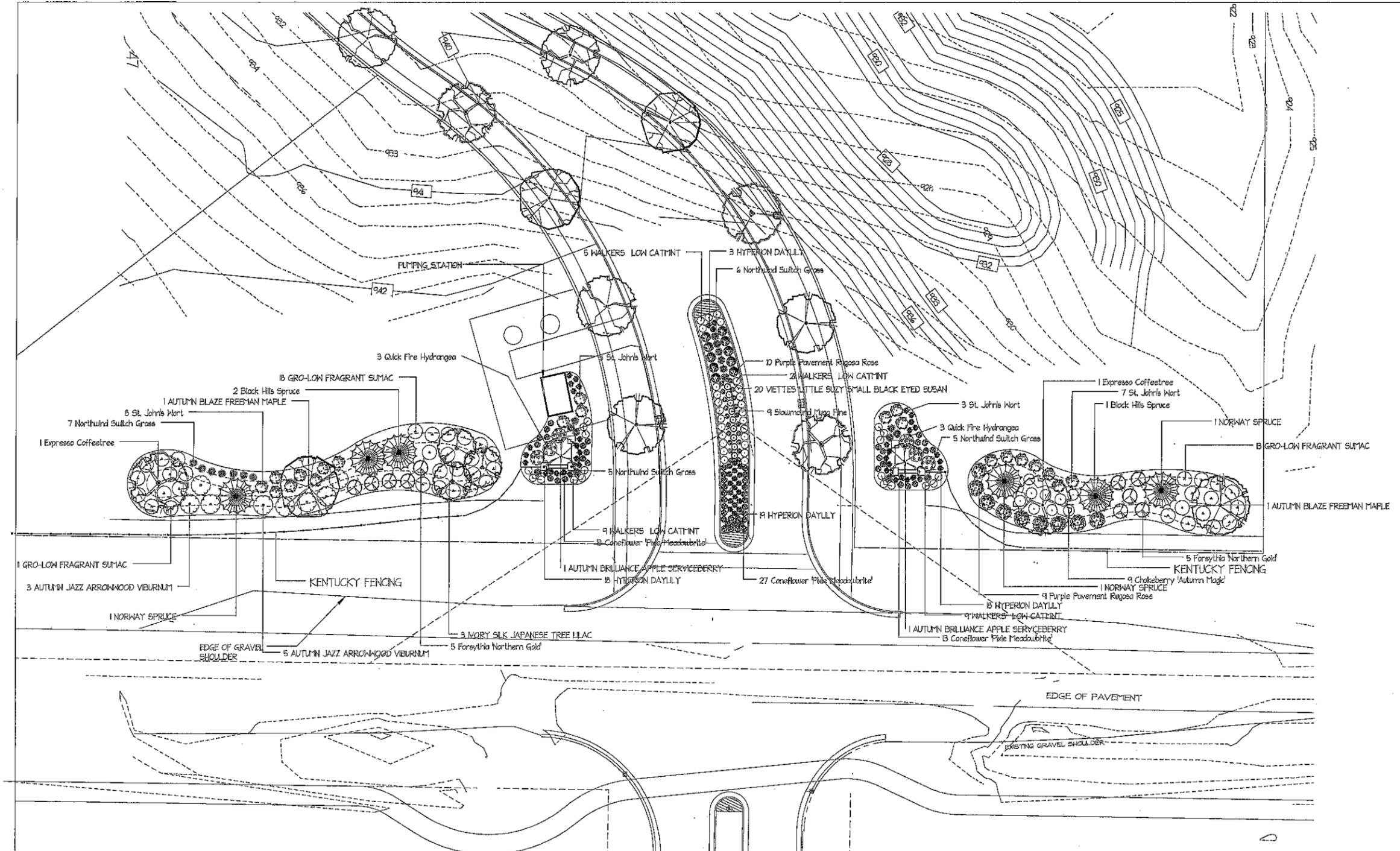
SCALE: 1/8" = 1'-0"

PROJECT
SUBDIVISION ENTRANCE FOR:
FOUR WINDS WEST
HARTLAND, WI
FOUR WINDS DEVELOPER:
SCI REAL ESTATE, INC.
5429 N. 118th CT.
MILWAUKEE, WI 53225

**NEW HORIZON
VENTURES, L.L.C.**
ARCHITECTS/PLANNERS
P.O. BOX 292, GRAFTON, WI 53024
<http://www.nhv-arch.com/>
262-377-4730 or 262-375-2397

JOB NUMBER
SIL-2607-116
DATE
01/12/2016
REVISIONS:

SHEET
A-1
CHECKED BY:
TLB
DRAWN BY:
TLB



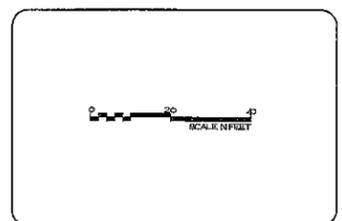
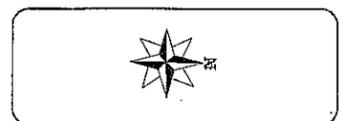
NOTES

FOUR WINDS WEST HARTLAND, WI

No.	Date	Description

LYNNSCAPE DESIGN, LLC

262-306-8728 P.O. Box 240575
lynne@lynnscape-design.com Ellsworth, WI 53224
lynnscape-design.com

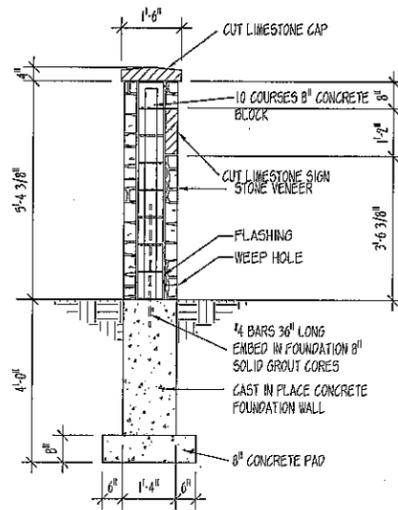


SCALE: 1" = 20'	PROJECT:
DRAWN BY: B. NIELSEN	BERTHA BERM PLANTINGS LC-8
CREATED BY: L. HINCH	DESIGNED BY: L. HINCH
DATE: 1/4/2015	REVISED: 2/29/2016

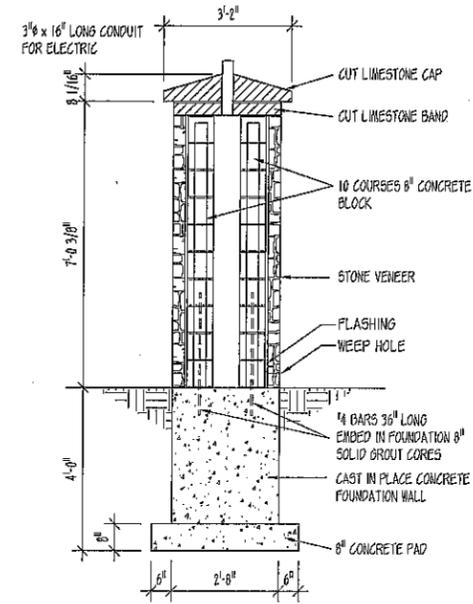
Qty	Botanical Name	Common Name	Size/Condition
Trees			
2	<i>Acer x freemanii</i> 'Jeffersred'	AUTUMN BLAZE FREEMAN MAPLE	2 1/2" CALIPER B&B
2	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	6" TALL B&B
2	<i>Gymnocladia dioica</i> 'Espresso'	Espresso Coffeetree	2 1/2" CALIPER B&B
3	<i>Syringa reticulata</i> 'Nory Silk'	NORY SILK JAPANESE TREE LLAC	2" CALIPER B&B
Conifers			
3	<i>PICEA glauca</i> 'densata'	Black Hills Spruce	5' TALL B&B
3	<i>Picea abies</i>	NORWAY SPRUCE	5' TALL B&B
Shrubs			
9	<i>Anonla melanocarpa</i> 'Autumn Magic'	Chokeberry 'Autumn Magic'	18" CONTAINER
10	<i>Forsythia x Northern Gold</i>	Forsythia Northern Gold	18" CONTAINER
6	<i>Hydrangea paniculata</i> 'Quick Fire'	Quick Fire Hydrangea	18" CONTAINER
21	<i>Hypericum kalimianum</i>	St. John's Wort	18" CONTAINER
9	<i>Pinus mugo</i> 'Stoumound'	Stoumound Mugo Pine	18" CONTAINER
42	<i>Rhus aromatica</i> 'Gro-low'	GRO-LOW FRAGRANT SUMAC	18" CONTAINER
11	<i>Rosa rugosa</i> 'Purple Pavement'	Purple Pavement Rugosa Rose	18" CONTAINER
8	<i>Viburnum dentatum</i> 'Ralph Senior'	AUTUMN JAZZ ARROWWOOD VIBURNUM	3" TALL B&B
Ornamental Grasses			
23	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 GALLON
Perennials and Annuals			
53	<i>Echinacea</i> 'CBG Cone 2'	Coneflower 'Felix Meadowbrite'	4 1/2" POTS
58	<i>Hemerocallis</i> 'Hyperion'	HYPERION DAYLILY	4 1/2" POTS
44	<i>Nepeta x faassenii</i> 'Walkers Low'	WALKERS LOW CATMINT	4 1/2" POTS
20	<i>Rudbeckia fulgida</i> 'Vettes Little Suzy'	VETTES LITTLE SUZY SMALL BLACK EYED SUSAN	4 1/2" POTS

1 FOUR WINDS WEST ENTRY
LC-8 SCALE: 1" = 20'

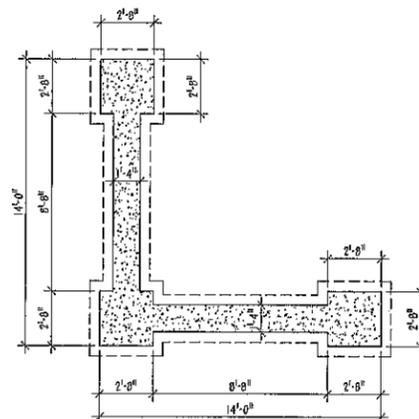
THIS LANDSCAPE PLAN IS A CONCEPTUAL TOOL AND NOT A CONTRACT. INSTALLATION MAY BE POSSIBLE ONLY UNDER IDEAL CONDITIONS. LYNNSCAPE DESIGN, LLC WILL NOT BE HELD ACCOUNTABLE FOR ANY PROBLEMS THAT MAY OCCUR DURING OR AFTER INSTALLATION OF LANDSCAPE PROJECT. VERIFICATION FOR CODE COMPLIANCE, ZONING, SETBACKS, PROPERTY LINES AND BUILDING PERMITS MAY BE REQUIRED PRIOR TO INSTALLATION.



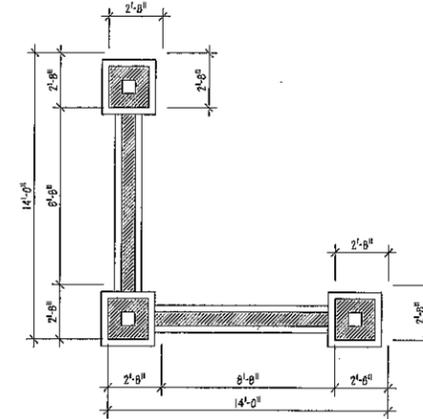
SECTION 1
SCALE: 1/2" = 1'-0"



SECTION 2
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"

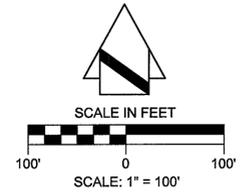
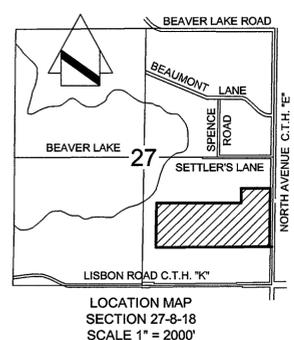
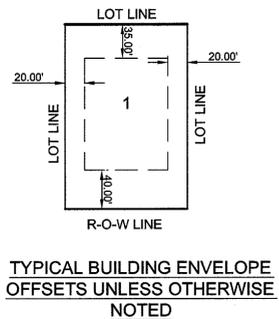
PROJECT
SUBDIVISION ENTRANCE FOR:
FOUR WINDS WEST
HARTLAND, WI
OWNER/DEVELOPER:
FOUR WINDS DEVELOPMENT LLC
5403 S. 18TH CT.
MILWAUKEE, WI 53225

NEW HORIZON
VENTURES, L.L.C.
ARCHITECTS/PLANNERS
P.O. BOX 292, GRAFTON, WI 53024
http://www.nhv-arch.com/
262-377-4730 or 262-375-2397

JOB NUMBER SIL-2807-116	DATE 01/12/2016	REVISIONS:
SHEET A-2	CHECKED BY: T.L.B.	DRAWN BY: T.L.B.

FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN



NOTES:

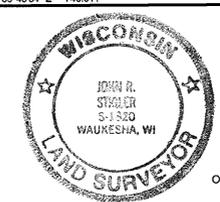
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDRETH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
- THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
- OUTLOT STATEMENT: EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDABLE FRACTIONAL OWNERSHIP IN OUTLOT 2 THRU 4 & 7. WAUKESHA COUNTY AND THE VILLAGE OF HARTLAND SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY.
- SEE SHEET 4 FOR CURVE TABLE.
- SEE SHEET 2 FOR EASEMENT DETAILS.
- SEE SHEET 3 FOR WETLAND DELINEATION.
- SEE SHEET 5 FOR ADDITIONAL NOTES.
- OUTLOTS 1, 5, AND 6 ARE DEDICATED TO THE VILLAGE OF HARTLAND BY THIS PLAT.
- OUTLOT 5 & 6 ARE SUBJECT TO LANDSCAPE MAINTENANCE EASEMENT GRANTED TO THE FOUR WINDS WEST HOMEOWNERS ASSOCIATION.

LEGEND:

- INDICATES IRON PIPE 18" LONG BY 2" OUTSIDE DIA.-3.65 LBS. PER LINEAL FOOT. ALL OTHER LOT AND OUTLOTS MARKED BY IRON PIPE 18" LONG BY 1" OUTSIDE DIA.-1.13 LBS. PER LINEAL FOOT.
- INDICATES IRON PIPE FOUND. (DIAMETER NOTED AT EACH PIPE)
- ⊕ INDICATES CONCRETE MONUMENT WITH BRASS CAP FOUND.

REFERENCE BEARING: THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 00°48'57" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK:



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

John R. Stigler
 JOHN R. STIGLER - Wis. Reg. No. S - 1820
 Dated this 23rd Day of February, 2016

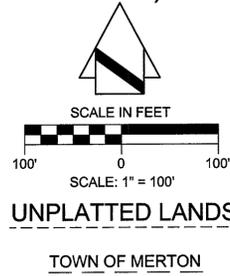
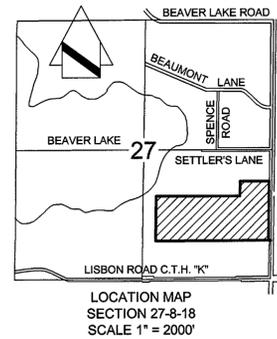
THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
 SHEET NO. 1 OF 6 SHEETS

FILE NAME: S:\PROJECTS\56976\DWG\56976_FINAL.DWG

FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

(EASEMENTS EXHIBIT)



NE CORNER, SE 1/4
SEC. 27, T8N, R18E
N 415,183.34
E 2,442,515.28
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

TOWN OF MERTON

N 89°59'11" E 596.580'
546.575'

50.005'

S 00°48'57" W
468.941'

219.865'

10'

10'

50'

50'

50'

50'

50'

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OUTLOT 3, FOUR WINDS

FOUR WINDS WAY

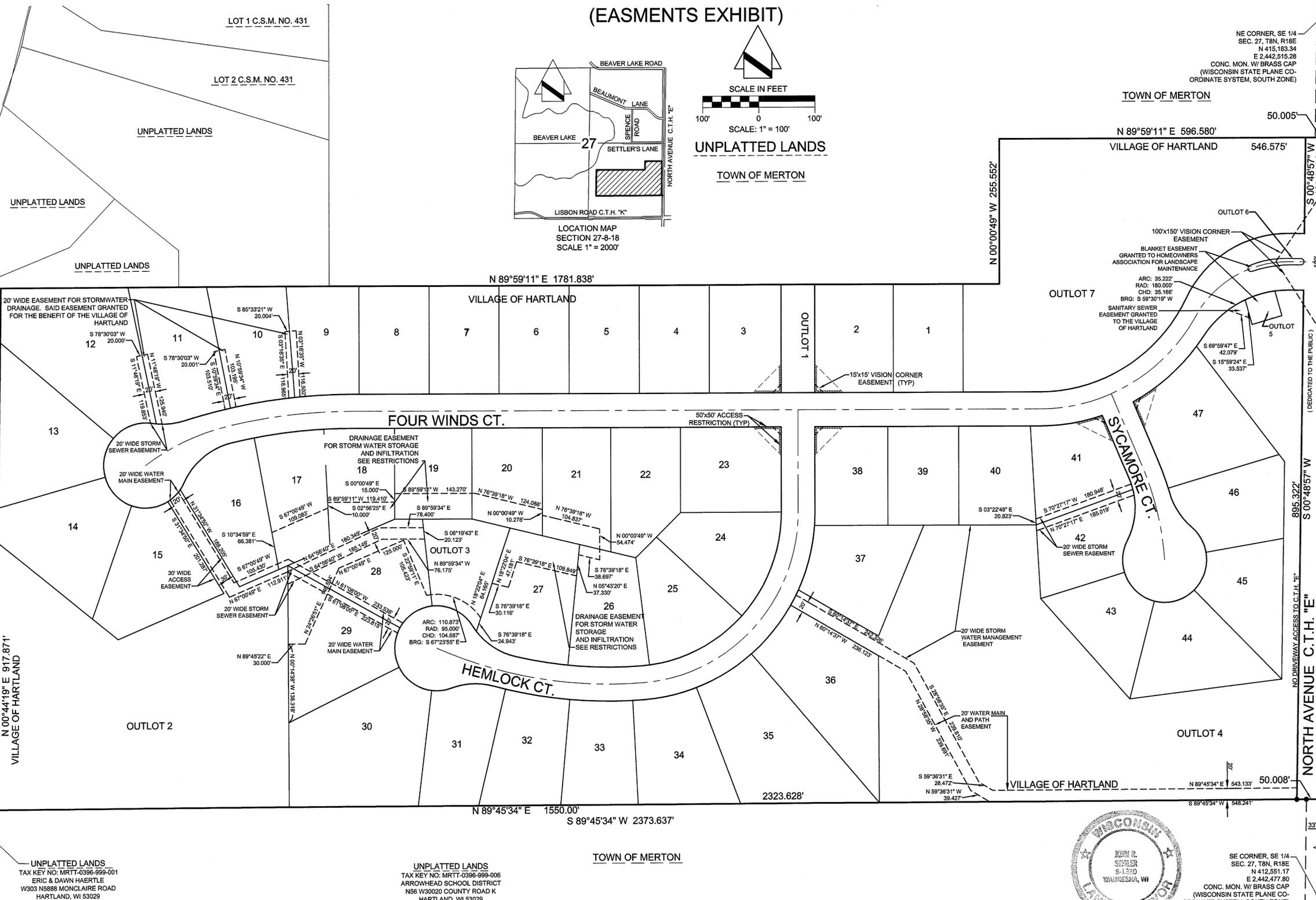
OUTLOT 1, FOUR WINDS

VILLAGE OF HARTLAND

TOWN OF MERTON

C.S.M. NO. 8903

PARCEL 1 C.S.M. NO. 8596



SE CORNER, SE 1/4
SEC. 27, T8N, R18E
N 412,551.17
E 2,442,477.80
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820
Dated this 23rd Day of February, 2016

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20
Department of Administration

THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 2 OF 6 SHEETS

- NOTES:
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDREDTH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
 - THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
 - OUTLOT STATEMENT: EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDABLE FRACTIONAL OWNERSHIP IN OUTLOT 1 THRU 4. WAUKESHA COUNTY AND THE VILLAGE OF HARTLAND SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY.
 - SEE SHEET 5 FOR ADDITIONAL NOTES.

REFERENCE BEARING: THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 00°48'57" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK:

- LEGEND:
- — INDICATES IRON PIPE 18" LONG BY 2" OUTSIDE DIA.-3.65 LBS. PER LINEAL FOOT. ALL OTHER LOT AND OUTLOTS MARKED BY IRON PIPE 18" LONG BY 1" OUTSIDE DIA.-1.13 LBS. PER LINEAL FOOT.
 - — INDICATES IRON PIPE FOUND. (DIAMETER NOTED AT EACH PIPE)
 - ⊕ — INDICATES CONCRETE MONUMENT WITH BRASS CAP FOUND.

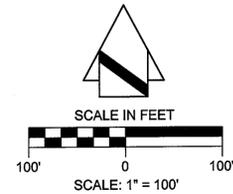
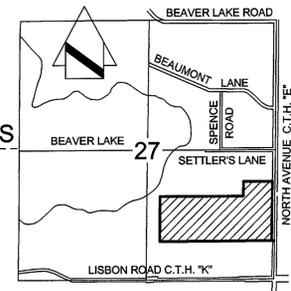
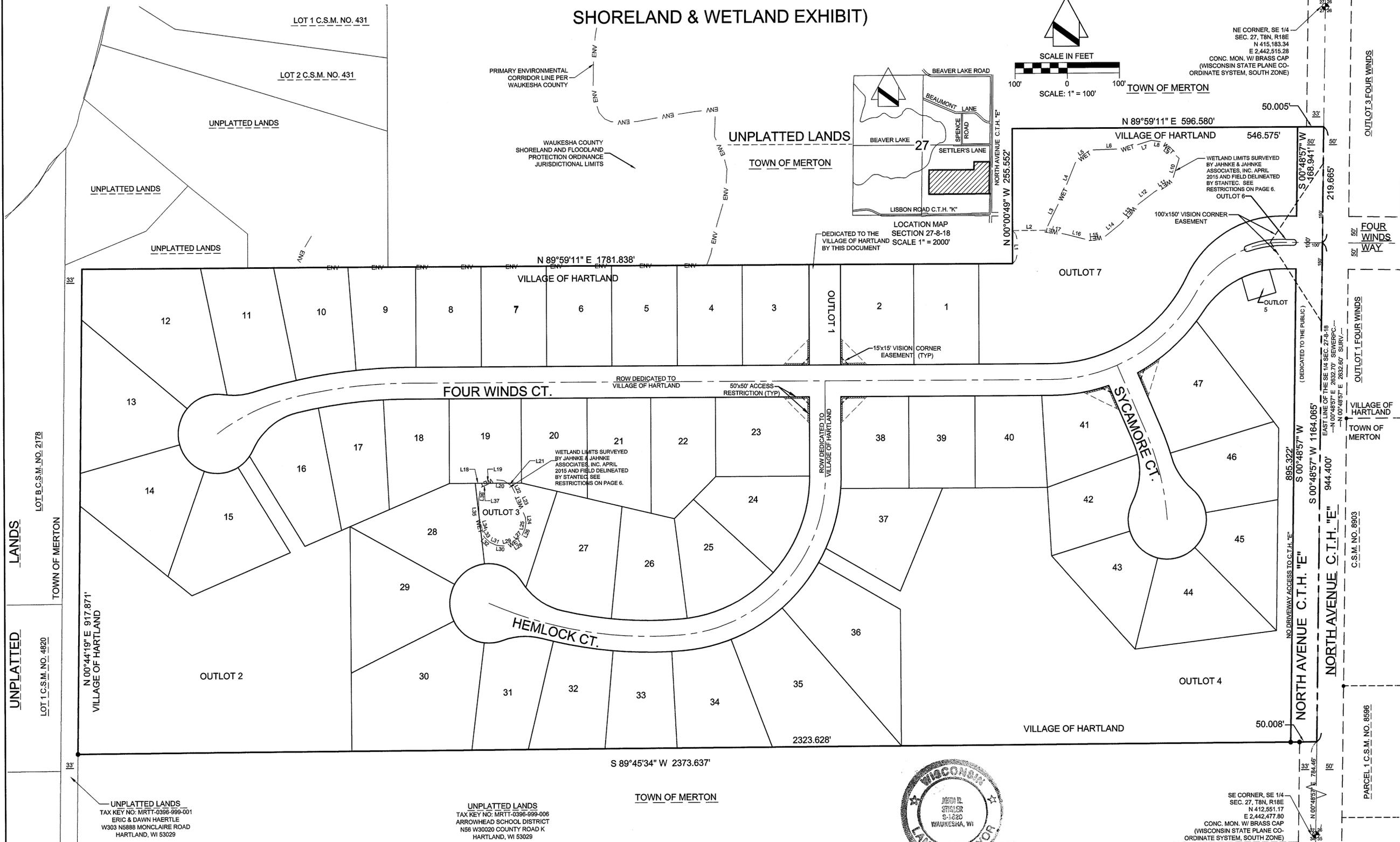
UNPLATTED LANDS
TAX KEY NO: MRTT-0396-999-001
ERIC & DAWN HAERTLE
W303 N5888 MONCLAIRE ROAD
HARTLAND, WI 53029

UNPLATTED LANDS
TAX KEY NO: MRTT-0396-999-006
ARROWHEAD SCHOOL DISTRICT
N56 W30020 COUNTY ROAD K
HARTLAND, WI 53029

FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

SHORELAND & WETLAND EXHIBIT)



NE CORNER, SE 1/4 SEC. 27, T8N, R18E
N 415.183.24
E 2,442.515.28
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)

EAST LINE OF THE SE 1/4 SEC. 27-3-18
N 00°48'57" E 2632.70'
N 00°48'57" E 2632.80' SURV...

SE CORNER, SE 1/4 SEC. 27, T8N, R18E
N 412.551.17
E 2,442.477.80
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)



- NOTES:**
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDREDTH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
 - THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
 - SEE SHEET 5 FOR ADDITIONAL NOTES.

REFERENCE BEARING: THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 00°48'57" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK:

- LEGEND:**
- — INDICATES IRON PIPE 18" LONG BY 2" OUTSIDE DIA., 3.65 LBS. PER LINEAL FOOT. ALL OTHER LOT AND OUTLOTS MARKED BY IRON PIPE 18" LONG BY 1" OUTSIDE DIA., 1.13 LBS. PER LINEAL FOOT.
 - — INDICATES IRON PIPE FOUND. (DIAMETER NOTED AT EACH PIPE)
 - 27 28 34 35 — INDICATES CONCRETE MONUMENT WITH BRASS CAP FOUND.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
Dated this 23rd Day of February, 2016

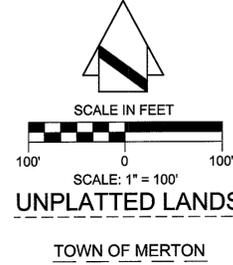
THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 3 OF 6 SHEETS

FILE NAME: S:\PROJECTS\SS876\DWG\SS876_FINAL.DWG

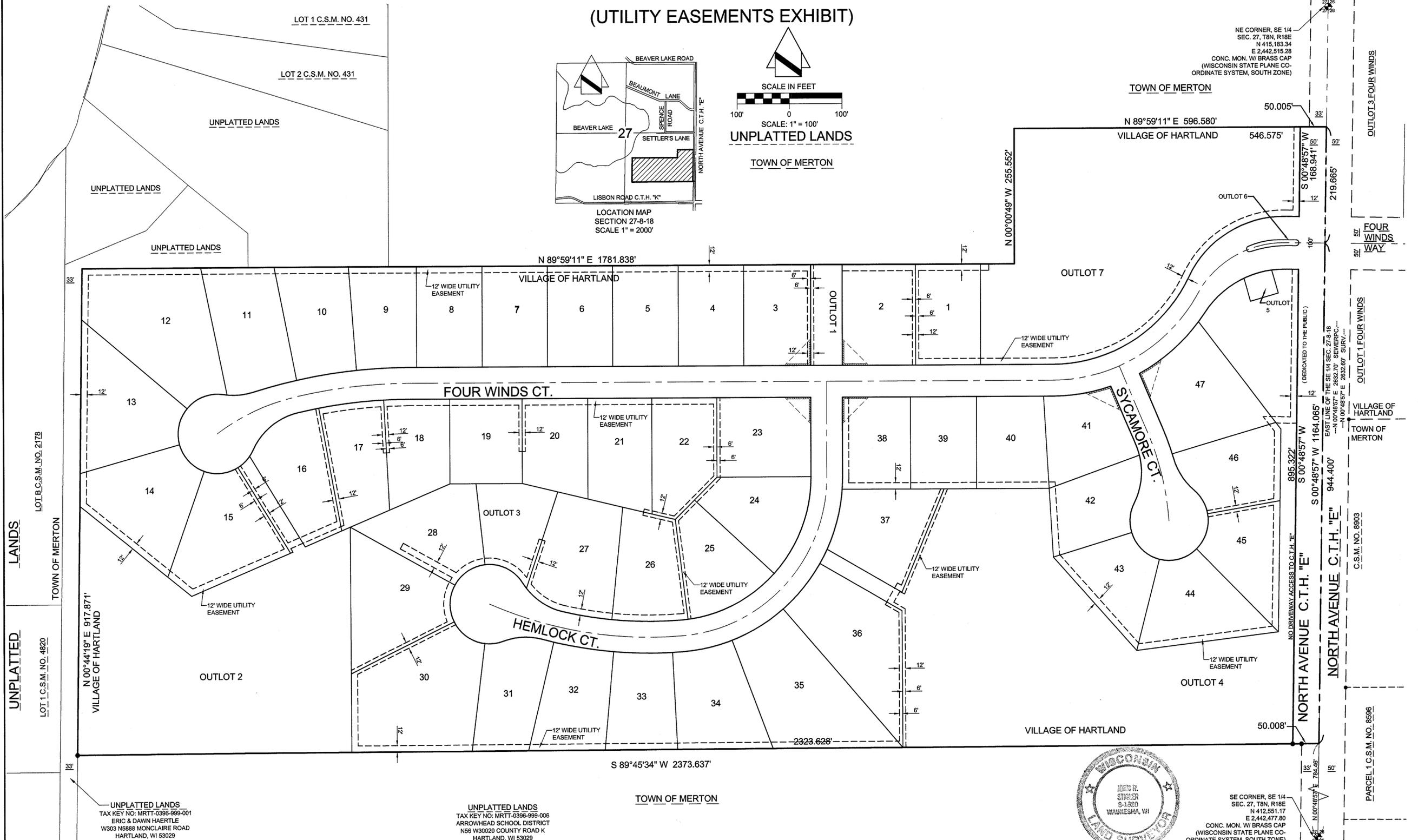
FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

(UTILITY EASEMENTS EXHIBIT)



NE CORNER, SE 1/4
SEC. 27, T8N, R18E
N 415.183.34
E 2.442.515.28
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)



SE CORNER, SE 1/4
SEC. 27, T8N, R18E
N 412.551.17
E 2.442.477.90
CONC. MON. W/ BRASS CAP
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

- NOTES:**
- ALL DISTANCES HAVE BEEN MEASURED TO THE NEAREST HUNDREDTH OF A FOOT AND COMPUTED TO THOUSANDTHS OF A FOOT. ANGLES HAVE BEEN MEASURED TO THE NEAREST 3 SECONDS AND COMPUTED TO THE NEAREST HALF-SECOND.
 - THE HEIGHT OF ALL PLANTINGS, BERMS, FENCES, SIGNS OR OTHER STRUCTURES WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE INTERSECTION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENTS.
 - OUTLOT STATEMENT: EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVISIBLE FRACTIONAL OWNERSHIP IN OUTLOT 1 THRU 4. WAUKESHA COUNTY AND THE VILLAGE OF HARTLAND SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY.
 - SEE SHEET 5 FOR ADDITIONAL NOTES.

REFERENCE BEARING: THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWN 8 NORTH, RANGE 18 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 00°48'57" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27).

REFERENCE BENCHMARK:

- LEGEND:**
- INDICATES IRON PIPE 18" LONG BY 2" OUTSIDE DIA.-3.65 LBS. PER LINEAL FOOT. ALL OTHER LOT AND OUTLOTS MARKED BY IRON PIPE 18" LONG BY 1" OUTSIDE DIA.-1.13 LBS. PER LINEAL FOOT.
 - INDICATES IRON PIPE FOUND. (DIAMETER NOTED AT EACH PIPE)
 - ⊕ INDICATES CONCRETE MONUMENT WITH BRASS CAP FOUND.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
Dated this 16th Day of February, 2016

THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 4 OF 6 SHEETS

FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

CURVE TABLE									
MAIN CURVE	LOT	ARC	RADIUS	CHORD	BEARING	CEN ANGLE	DEF ANGLE	TAN BEARING	TAN BEARING
1 NORTH	OUTLOT 1	227.135'	200.000'	215.124'	S 58°16'52" W	65°04'10"	32°32'05"	S 25°44'47" W	N 89°11'03" W
1 C/L	-	187.631'	189.115'	180.029'	S 62°10'14" W	56°50'46"	28°25'23"	S 33°44'51" W	N 89°24'23" W
1 SOUTH	-	179.925'	180.000'	172.528'	S 62°10'47.5" W	57°16'19"	28°38'9.5"	S 33°32'38" W	N 89°11'03" W
-	OUTLOT 4	25.537'	180.000'	25.516'	S 86°45'05" W	8°07'44"	4°03'52"	S 82°41'13" W	N 89°11'03" W
-	OUTLOT 5	55.216'	180.000'	55.000'	S 73°53'56.5" W	17°34'33"	8°47'16.5"	S 65°06'40" W	S 82°41'13" W
-	OUTLOT 4	99.172'	180.000'	97.922'	S 49°19'39" W	31°34'02"	15°47'01"	S 33°32'38" W	S 65°06'40" W
2 NORTH	OUTLOT 1	325.148'	290.000'	308.382'	N 57°51'59" E	64°14'24"	32°07'12"	N 25°44'47" E	N 89°59'11" E
2 C/L	-	349.946'	320.000'	332.767'	N 58°39'27.5" E	62°39'27"	31°19'43.5"	N 27°19'44" E	N 89°59'11" E
2A	-	172.023'	350.000'	170.297'	N 47°37'27" E	28°09'38"	14°04'49"	N 33°32'38" E	N 61°42'16" E
-	OUTLOT 4	21.594'	350.000'	21.591'	N 35°18'41" E	3°32'06"	1°46'03"	N 33°32'38" E	N 37°04'44" E
-	47	150.429'	350.000'	149.274'	N 49°23'30" E	24°37'32"	12°18'46"	N 37°04'44" E	N 61°42'16" E
2B	41	112.691'	350.000'	112.205'	N 80°45'45" E	18°26'52"	9°13'26"	N 71°32'19" E	N 89°59'11" E
2C	-	219.452'	320.000'	215.176'	N 46°58'31" E	39°17'34"	19°38'47"	N 27°19'44" E	N 66°37'17" E
2D	-	130.494'	320.000'	129.592'	N 78°18'14" E	23°21'54"	11°40'57"	N 66°37'17" E	N 89°59'11" E
3 EAST	-	63.625'	530.000'	63.587'	N 19°56'22" W	6°52'42"	3°26'21"	N 23°22'43" W	N 16°30'01" W
-	47	54.624'	530.000'	54.600'	N 20°25'33.5" W	5°54'19"	2°57'09.5"	N 23°22'43" W	N 17°28'24" W
-	46	9.000'	530.000'	9.000'	N 16°59'12.5" W	0°58'23"	0°29'11.5"	N 17°28'24" W	N 16°30'01" W
4 C/L	-	170.679'	500.000'	169.851'	N 13°35'58" W	19°33'30"	9°46'45"	N 23°22'43" W	N 03°49'13" W
5 WEST	41	16.851'	470.000'	16.850'	N 22°21'05" W	2°03'16"	1°01'38"	N 23°22'43" W	N 21°19'27" W
6	-	106.374'	125.000'	103.193'	N 03°03'17.5" E	48°45'29"	24°22'44.5"	N 21°19'27" W	N 27°26'02" E
-	41	14.605'	125.000'	14.597'	N 17°58'37" W	6°41'40"	3°20'50"	N 21°19'27" W	N 14°37'47" W
-	42	91.769'	125.000'	89.721'	N 06°24'07.5" E	42°03'49"	21°01'54.5"	N 14°37'47" W	N 27°26'02" E
7	-	336.696'	75.000'	117.214'	N 78°49'31.5" E	257°13'01"	128°36'30.5"	N 49°46'59" W	S 27°26'02" W
-	42	58.048'	75.000'	56.610'	S 05°15'41" W	44°20'42"	22°10'21"	S 16°54'40" E	S 27°26'02" W
-	43	76.907'	75.000'	73.582'	S 46°17'15" E	58°45'10"	29°22'35"	S 75°39'50" E	S 16°54'40" E
-	44	77.191'	75.000'	73.829'	N 74°51'04.5" E	58°58'11"	29°29'05.5"	N 45°21'59" E	S 75°39'50" E
-	45	72.262'	75.000'	69.499'	N 17°45'51.5" E	55°12'15"	27°36'07.5"	N 09°50'16" W	N 45°21'59" E
-	46	52.288'	75.000'	51.236'	N 29°48'37.5" W	39°56'43"	19°58'21.5"	N 49°46'59" W	N 09°50'16" W
8	46	72.612'	125.000'	71.595'	S 33°08'30" E	33°16'58"	16°38'29"	S 49°46'59" E	S 16°30'01" E
9 EAST	-	492.224'	330.000'	447.846'	N 42°43'02" E	85°27'42"	42°43'51"	N 00°00'49" W	N 85°26'53" E
-	38	23.894'	330.000'	23.889'	N 02°03'38.5" E	4°08'55"	2°04'27.5"	N 00°00'49" W	N 04°08'06" E
-	37	117.528'	330.000'	116.907'	N 14°20'16" E	20°24'20"	10°12'10"	N 04°08'06" E	N 24°32'26" E
-	OUTLOT 4	30.041'	330.000'	30.031'	N 27°08'54.5" E	5°12'57"	2°36'28.5"	N 24°32'26" E	N 29°45'23" E
-	36	111.112'	330.000'	110.587'	N 39°24'08" E	19°17'30"	9°38'45"	N 29°45'23" E	N 49°02'53" E
-	35	115.000'	330.000'	114.419'	N 59°01'53" E	19°58'00"	9°59'00"	N 49°02'53" E	N 69°00'53" E
-	34	94.649'	330.000'	94.325'	N 77°13'53" E	16°26'00"	8°13'00"	N 69°00'53" E	N 85°26'53" E
9 C/L	-	447.476'	300.000'	407.133'	N 42°43'02" E	85°27'42"	42°43'51"	N 00°00'49" W	N 85°26'53" E
9 WEST	-	402.729'	270.000'	366.420'	N 42°43'02" E	85°27'42"	42°43'51"	N 00°00'49" W	N 85°26'53" E
-	24	200.000'	270.000'	195.459'	N 21°12'25.5" E	42°26'29"	21°13'14.5"	N 00°00'49" W	N 42°25'40" E
-	25	190.002'	270.000'	186.106'	N 62°35'15" E	40°19'10"	20°09'35"	N 42°25'40" E	N 82°44'50" E
-	26	12.727'	270.000'	12.725'	N 84°05'51.5" E	2°42'03"	1°21'01.5"	N 82°44'50" E	N 85°26'53" E
10 NORTH	-	227.482'	740.000'	226.588'	S 85°44'43.5" E	17°36'47"	8°48'23.5"	N 85°26'53" E	S 76°56'20" E
-	26	132.695'	740.000'	132.517'	S 89°24'53.5" E	10°16'27"	5°08'13.5"	N 85°26'53" E	S 84°16'40" E
-	27	94.787'	740.000'	94.723'	S 80°36'30" E	7°20'20"	3°40'10"	S 84°16'40" E	S 76°56'20" E
10 C/L	-	378.006'	770.000'	374.222'	S 80°29'17.5" E	28°07'39"	14°03'49.5"	N 85°26'53" E	S 66°25'28" E
10 SOUTH	-	272.752'	800.000'	271.435'	S 84°47'05" E	19°32'04"	9°46'02"	N 85°26'53" E	S 75°01'03" E
-	34	21.808'	800.000'	21.807'	N 86°13'44.5" E	1°33'43"	0°46'51.5"	N 87°00'36" E	N 87°00'36" E
-	33	112.329'	800.000'	112.239'	S 88°58'03" E	8°02'42"	4°01'21"	N 87°00'36" E	S 84°56'42" E
-	32	116.127'	800.000'	116.026'	S 80°47'11.5" E	8°19'01"	4°09'30.5"	S 84°56'42" E	S 76°37'41" E
-	31	22.488'	800.000'	22.487'	S 75°49'22" E	1°36'38"	0°48'19"	S 76°37'41" E	S 75°01'03" E
11 NORTH	-	97.484'	125.000'	95.033'	S 54°35'49.5" E	44°41'01"	22°20'30.5"	S 76°56'20" E	S 32°15'19" E
-	27	84.469'	125.000'	82.871'	S 57°34'48" E	38°43'04"	19°21'32"	S 76°56'20" E	S 38°13'16" E
-	OUTLOT 3	13.015'	125.000'	13.009'	S 35°14'17.5" E	5°57'57"	2°58'58.5"	S 38°13'16" E	S 32°15'19" E
12	-	337.619'	75.000'	116.636'	S 18°47'01.5" W	257°55'19"	128°57'39.5"	N 69°49'22" E	N 32°15'19" W
-	OUTLOT 3	83.872'	75.000'	79.569'	N 64°17'31" W	64°04'24"	32°02'12"	S 83°40'17" W	N 32°15'19" W
-	28	71.739'	75.000'	69.035'	S 56°16'08.5" W	54°48'17"	27°24'08.5"	S 28°52'00" W	S 83°40'17" W
-	29	72.164'	75.000'	69.412'	S 01°18'07.5" W	55°07'45"	27°33'52.5"	S 26°15'45" E	S 28°52'00" W
-	30	74.320'	75.000'	71.316'	S 54°39'02" E	56°46'34"	28°23'17"	S 83°02'19" E	S 26°15'45" E
-	31	35.524'	75.000'	35.193'	N 83°23'31.5" E	27°08'19"	13°34'09.5"	N 69°49'22" E	S 83°02'19" E
13	31	76.707'	125.000'	75.509'	S 87°24'09.5" W	35°09'35"	17°34'47.5"	S 69°49'22" W	N 75°01'03" W
14 NORTH	-	301.992'	1000.000'	300.846'	S 81°20'06" W	17°18'10"	8°39'05"	S 72°41'01" W	S 89°59'11" W
-	9	100.058'	1000.000'	100.016'	S 87°07'12" W	5°43'58"	2°51'59"	S 84°15'13" W	S 89°59'11" W
-	10	116.065'	1000.000'	116.000'	S 80°55'42.5" W	6°39'01"	3°19'30.5"	S 77°36'12" W	S 84°15'13" W
-	11	85.869'	1000.000'	85.843'	S 75°08'36.5" W	4°55'11"	2°27'35.5"	S 72°41'01" W	S 77°36'12" W
14 C/L	-	220.905'	970.000'	220.428'	S 83°27'44" W	13°02'54"	6°31'27"	S 76°56'17" W	S 89°59'11" W
14 SOUTH	-	214.072'	940.000'	213.610'	S 83°27'44" W	13°02'54"	6°31'27"	S 76°56'17" W	S 89°59'11" W
-	18	48.017'	940.000'	48.012'	S 88°31'23" W	2°55'36"	1°27'48"	S 87°03'35" W	S 89°59'11" W
-	17	125.387'	940.000'	125.294'	S 83°14'18" W	7°38'34"	3°49'17"	S 79°25'01" W	S 87°03'35" W
-	16	40.668'	940.000'	40.665'	S 78°10'39" W	2°28'44"	1°14'22"	S 76°56'17" W	S 79°25'01" W
15 C/L	-	163.409'	394.297'	162.242'	S 65°03'55.5" W	23°44'43"	11°52'21.5"	S 53°11'34" W	S 76°56'17" W
16 NORTH	-	57.541'	125.000'	57.034'	N 85°52'15.5" E	26°22'29"	13°11'14.5"	N 72°41'01" E	S 80°56'30" E
-	11	50.064'	125.000'	49.730'	N 84°09'26.5" E	22°56'51"	11°28'25.5"	N 72°41'01" E	S 84°22'08" E
-	12	7.477'	125.000'	7.476'	S 82°39'19" E	3°25'38"	1°42'49"	S 84°22'08" E	S 80°56'30" E
-	17	333.359'	75.000'	119.267'	S 28°16'32" E	254°40'04"	127°20'02"	N 24°23'26" E	N 80°56'30" W
-	12	77.329'	75.000'	73.949'	S 69°31'15" W	59°04'30"	29°32'15"	S 39°59'00" W	N 80°56'30" W
-	13	72.666'	75.000'	69.857'	S 12°13'36.5" W	55°30'47"	27°45'23.5"	S 15°31'47" E	S 39°59'00" W
-	14	71.904'	75.000'	69.182'	S 42°59'42.5" E	54°55'51"	27°27'55.5"	S 70°27'38" E	S 15°31'47" E
-	15	66.916'	75.000'	64.718'	N 83°58'46" E	51°07'12"	25°33'36"	N 58°25'10" E	S 70°27'38" E
-	OUTLOT 2	30.864'	75.000'	30.646'	N 46°37'49.5" E	23°34'41"	11°47'20.5"	N 34°50'29" E	N 58°25'10" E
-	16	13.680'	75.000'	13.661'	N 29°36'57.5" E	10°27'03"	5°13'31.5"	N 24°23'26" E	N 34°50'29" E
18	OUTLOT 6	114.641'	125.000'	110.685'	S 50°39'51.5" W	52°32'51"	26°16'25.5"	S 24°23'26" W	S 76°56'17" W
19	OUTLOT 6	17.523'	5.578'	11.156'	N 00°48'57" E	180°00'00"	90°00'00"	N 89°11'03" W	S 89°11'03" E
20	OUTLOT 6	63.863'	153.000'	63.401'	S 78°51'29" W	23°54'56"	11°57'28"	S 66°54'01" W	N 89°11'03" W
21	OUTLOT 6	16.799'	5.500'	10.990'	S 20°36'08" E	175°00'16"	87°30'08"	N 71°53'44" E	S 66°54'01" W
22	OUTLOT 6	74.630'	226.000'	74.291'	S 81°21'21" W	18°55'13"	9°27'36"	S 71°53'44" W	N 89°11'03" W

LINE TABLE		
LINE	LENGTH	BEARING
L1	62.481'	N 00°00'49" W
L2	63.474'	N 89°59'11" E
L3	73.480'	N 26°05'43" E

FOUR WINDS WEST

BEING A SUBDIVISION OF PART OF THE NE 1/4, SE 1/4, SW 1/4, AND NW 1/4 OF THE SE 1/4 SECTION 27 TOWNSHIP 8 NORTH, RANGE 18 EAST
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, John R. Stigler, Professional Land Surveyor, being first duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped FOUR WINDS WEST being a subdivision of part of the Northeast Quarter (NE 1/4), Southeast Quarter (SE 1/4), Southwest Quarter (SW 1/4), and Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) of Section 27 Township 8 North, Range 18 East Village of Hartland, Waukesha County, Wisconsin bounded and described as follows:

All that part of the Southwest Quarter (SW 1/4), Southeast Quarter (SE 1/4), Northeast Quarter (NE 1/4) and Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) of Section 27, Town 8 North, Range 18 East, Town of Merton, Waukesha County, Wisconsin bounded and described as follows: Commencing at the southwest corner of the Southeast Quarter (SE 1/4) of said Section 27 being marked by a concrete monument with brass cap; thence North 89°45'33" East along the south line of said Southeast Quarter (SE 1/4) 273.90 feet; thence North 00°44'19" East 784.30 feet along the easterly line of lands described in Volume 110 of Deeds on Page 261 to the place of beginning of the lands to be annexed; thence continuing North 00°44'19" East along said east line 917.87 feet; thence North 89°59'11" East 1781.84 feet; thence North 00°00'49" West 255.55 feet; thence North 89°59'11" East 596.58 feet to the east line of above said Southeast Quarter (SE 1/4) of said Section 27 being the centerline of North Ave (C.T.H. "E"); thence South 00°48'57" West along said east line and centerline 1164.07 feet; thence South 89°45'34" West 2373.64 feet along the north line of Warranty Deed recorded as Document No. 2805021 in the Waukesha County Register of Deeds Office to the place of beginning. This parcel contains 2,319,755 square feet or 53.2542 acres of land.

I further certify that I have made such survey, land division, and plat by the direction of the owners of said land; that such plat is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Hartland in surveying, dividing and mapping the same.

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

The above certificate subscribed and sworn to me this 23rd day of February, 2016.
My commission expires July 25, 2017.

Anthony S. Zanon
ANTHONY S. ZANON, NOTARY PUBLIC



John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820

Dated this 23rd day of February, 2016.



OWNER'S CERTIFICATE OF DEDICATION

FOUR WINDS DEVELOPMENT, LLC, as owners, do hereby certify that we caused the land described on the plat of FOUR WINDS WEST DEVELOPMENT, LLC to be surveyed, divided, mapped and dedicated as represented on this plat. FOUR WINDS DEVELOPMENT, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Village of Hartland, Department of Administration, and Waukesha County Parks and Land Use Department.

IN WITNESS WHEREOF, the said FOUR WINDS DEVELOPMENT, LLC has caused these presents to be signed by, JAMES A. SILENO, its MANAGING MEMBER this _____ day of _____, 2016.

FOUR WINDS WEST DEVELOPMENT, LLC
SCI REAL ESTATE - ITS MANAGING MEMBER

BY JAMES A. SILENO ITS PRESIDENT

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2016 the above named JAMES A. SILENO, to me known to be a MANAGING MEMBER of FOUR WINDS WEST DEVELOPMENT, LLC and the person who executed the above certificate and acknowledged the same.

My commission expires _____
NOTARY PUBLIC - _____

CONSENT OF CORPORATE MORTGAGEE

AMERICAN BANK, a Wisconsin corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this plat, and does hereby consent to the above certificate of FOUR WINDS WEST DEVELOPMENT, LLC, owners of said land.

IN WITNESS THEREOF, AMERICAN BANK has caused these presents to be signed by, _____, its _____ and its corporate seal to be hereunto affixed this _____ day of _____, 2016.

AMERICAN BANK

BY: _____

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2016 _____, of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such officer of said corporation, and acknowledged that he executed the foregoing instrument as the deed of said corporation, by its authority.

My commission expires _____
NOTARY PUBLIC - _____

Consent of Personal Mortgagee Certificate:

I, W. Clark Vilter, mortgagee of the above described land, do hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and I do hereby consent to the above certificate of Four Winds West Development, LLC, owner.

WITNESS the hand and seal of W. Clark Vilter, mortgagee, this _____ day of _____, 2016, in the presence of:

(Seal)
Mortgagee

STATE OF WISCONSIN)
WAUKESHA COUNTY)SS

Personally came before me this _____ day of _____, 2016, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)

Notary Public, _____, Wisconsin

My commission expires _____

Consent of Personal Mortgagee Certificate:

I, Joy J. Vilter, mortgagee of the above described land, do hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and I do hereby consent to the above certificate of Four Winds West Development, LLC, owner.

WITNESS the hand and seal of Joy J. Vilter, mortgagee, this _____ day of _____, 2016, in the presence of:

(Seal)
Mortgagee

STATE OF WISCONSIN)
WAUKESHA COUNTY)SS

Personally came before me this _____ day of _____, 2016, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)

Notary Public, _____, Wisconsin

My commission expires _____

WAUKESHA COUNTY TREASURER CERTIFICATE

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

I, PAMELA F. REEVES, being the duly elected, qualified and acting Waukesha County Treasurer, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2016, on any land included in the plat of FOUR WINDS WEST.

Dated _____, 2016

PAMELA F. REEVES - COUNTY TREASURER

VILLAGE OF HARTLAND APPROVAL

Resolved that the plat of FOUR WINDS WEST, in the Village of Hartland, which has been filed for approval, be and hereby is approved as required by Chapter 236 of the Wisconsin State Statutes on this _____ day _____, 2016.

DAVID C. LAMERAND - VILLAGE PRESIDENT

I hereby certify that the foregoing is a true and correct copy of the resolution passed and adopted by the Village Board of the Village of Hartland on this _____ day of _____, 2016. Which action becomes effective upon receipt of approval of all other review agencies.

DARLENE IGL - VILLAGE CLERK

VILLAGE OF HARTLAND FINANCE DIRECTOR/TREASURER CERTIFICATE

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

I, RYAN BAILEY, being the duly elected, qualified and acting Village of Hartland Finance Director/Treasurer, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2016, on any land included in the plat of FOUR WINDS WEST.

Dated _____, 2016

RYAN BAILEY - VILLAGE OF HARTLAND FINANCE DIRECTOR/TREASURER

CONSERVANCY/WETLAND/FLOODPLAIN PRESERVATION RESTRICTIONS

Those areas of land identified as a Conservancy/Wetland/Floodplain Preservation Area on Sheet 2 of 4 on this Subdivision Plat shall be subject to the following restrictions:

1. Grading and filling are prohibited, unless specifically authorized by the Village of Hartland and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal of topsoil or other earthen materials is prohibited.
3. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the Village of Hartland. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Village of Hartland shall also be permitted. The removal of any vegetative cover that is necessitated to provide access or service to an approved lot or necessitated for the maintenance of stormwater facilities, shall be permitted only when the access or service cannot be located outside of the Conservancy/Wetland/Floodplain Preservation Area with approval from the Village of Hartland.
4. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
5. The introduction of plant material not indigenous to the existing environment of the Conservancy/Wetland/Floodplain Preservation Area is prohibited.
6. Ponds may be permitted subject to the approval of the Village of Hartland and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
7. The construction of buildings is prohibited.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications services is hereby granted by

FOUR WINDS WEST DEVELOPMENT, LLC, Grantor, to WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee, WISCONSIN BELL INC, d/b/a AT&T, a Wisconsin Corporation, Grantee, and TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee, and their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



THIS INSTRUMENT DRAFTED BY JOHN R. STIGLER
SHEET NO. 6 OF 6 SHEETS



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

APPLICATION FOR
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <u>TWO SMALL OFFICE BUILDINGS</u>			
Proposed Use <u>PROFESSIONAL OFFICE</u>		No. of Employees <u>VARIABLE</u>	
Project Location <u>PAWLING AVENUE EAST OF TRAIN STATION</u>			
Project Name <u>HARTLAND STATION</u>			
Owner <u>HARTLAND STATION, LLC.</u>		Phone <u>(847) 456-2156</u>	
Address <u>301 PAWLING AVE.</u>		City <u>HARTLAND</u>	State <u>WI.</u> Zip <u>53029</u>
Engineer/Architect <u>JAMIS MARIOTT</u>		Phone <u>(262) 369-3877</u>	FAX <u>-</u>
Address <u>301 PAWLING AVE.</u>		City <u>HARTLAND</u>	State <u>WI.</u> Zip <u>53029</u>
Contact Person <u>CHRIS MILLER</u>	Phone <u>(847) 456-2156</u>	FAX <u>-</u>	E-mail

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- > Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- > Scale and north arrow
- > All structures (include building elevations and height)
- > Drainage and grades (include design calculations for drainage)
- > Storm Water Management Plan
- > Utilities and easements (sewer, water, storm etc.)
- > Calculation of lot coverage
- > Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- > Grading and erosion control
- > Landscaping, including a Tree Protection Plan
- > Exterior lighting details
- > Exterior HVAC equipment location
- > Dumpster location (screening required)
- > Street right-of-way
- > Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: <u>2-29-2016</u>	Date of Meeting: <u>3-21-2016</u>	Return Comments by:
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VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: HARTLAND STATION, LLC
Address of Owner/Agent: 301 PAWLING AVE.
Phone Number of Owner/Agent: 847-456-2156

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.

NO CURRENT USE. INTENT IS TO USE
PROPERTY FOR PROFESSIONAL OFFICES.

[Signature]
Signature of Petitioner

301 PAWLING AVE
Address

847-456-2156
Phone



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>301 PAWLING AVENUE, EAST OF TRAIN STATION</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>HARTLAND STATION, LLC</u>	EMAIL <u>CMILLER@millermarriott.com</u>		Phone <u>847-456-2156</u>
Address <u>301 PAWLING AVE</u>		City <u>HARTLAND</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>MILLER MARRIOTT</u>		Phone <u>847-456-2156</u> FAX	EMAIL <u>CMILLER@millermarriott.com</u>
Address <u>301 PAWLING AVE</u>		City <u>HARTLAND</u>	State <u>WI</u> Zip <u>53029</u>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 2-29-2016 Date of Meeting: 3-21-2016 Item No. _____

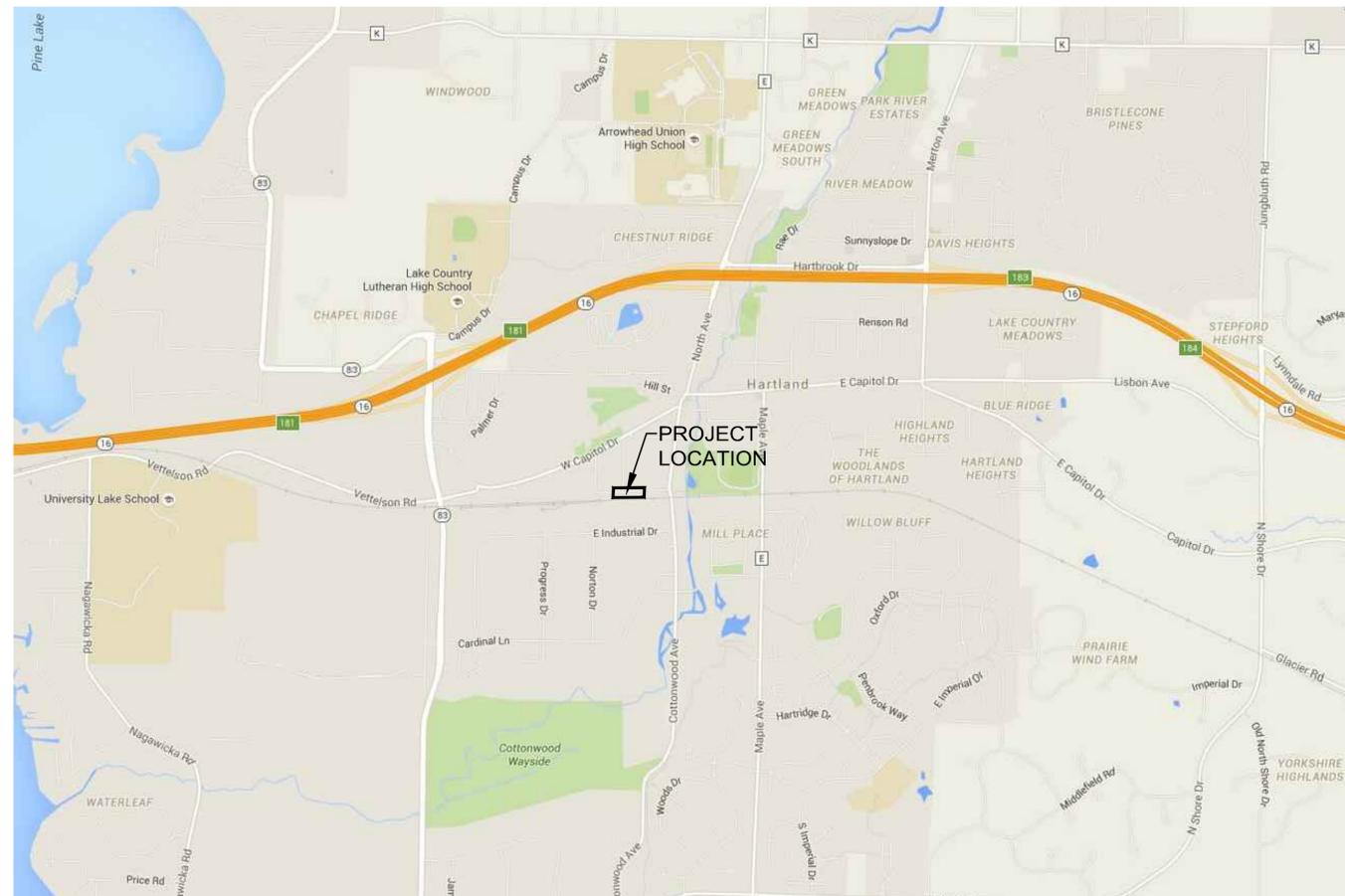
GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF HARTLAND DEVELOPMENT STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE VILLAGE OF HARTLAND SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

HARTLAND STATION

SITE DEVELOPMENT PLANS

VILLAGE OF HARTLAND, WISCONSIN



SITE VICINITY MAP
NOT TO SCALE



AERIAL SITE PHOTO
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE & DEMOLITION PLAN
C1.1	- PROPOSED SITE PLAN
C1.2	- GRADING & UTILITY PLAN
C1.6	- CONSTRUCTION DETAILS & SPECIFICATIONS



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
HARTLAND STATION
COMMERCIAL DEVELOPMENT
VILLAGE OF HARTLAND, WISCONSIN
MILLER MARRIOTT CONSTRUCTION CO. LLC
1930 WISCONSIN AVENUE, LOWER LEVEL
GRAFTON, WI 53024

REVISION HISTORY

DATE	DESCRIPTION
-	-

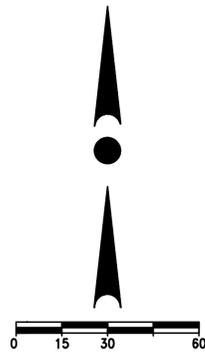
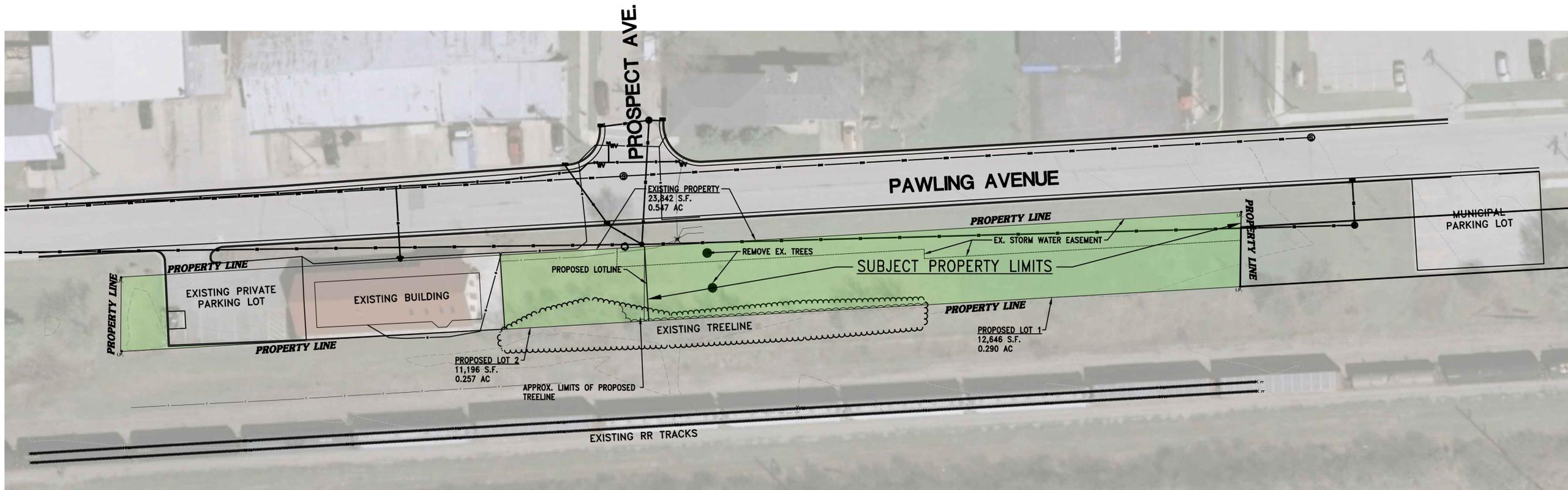
DATE:
FEBRUARY 29, 2016

JOB NUMBER:
16011

DESCRIPTION:
COVER SHEET

SHEET

T1.0



HN:\C900\933\16011-01\NRESEARCH.DWG



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:	
---004---	EXISTING CONTOUR
—SAN—	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
—W—	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
—ST—	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊞	EXISTING TRANSFORMER
⊞	EXISTING ELECTRIC PEDESTAL
⊞	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING CATV PEDESTAL
⚡	EXISTING POWER POLE



12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
HARTLAND STATION
 COMMERCIAL DEVELOPMENT
 VILLAGE OF HARTLAND, WISCONSIN
 MILLER MARRIOTT CONSTRUCTION CO. LLC
 1930 WISCONSIN AVENUE, LOWER LEVEL
 GRAFTON, WI 53204

REVISION HISTORY	
DATE	DESCRIPTION
-	-

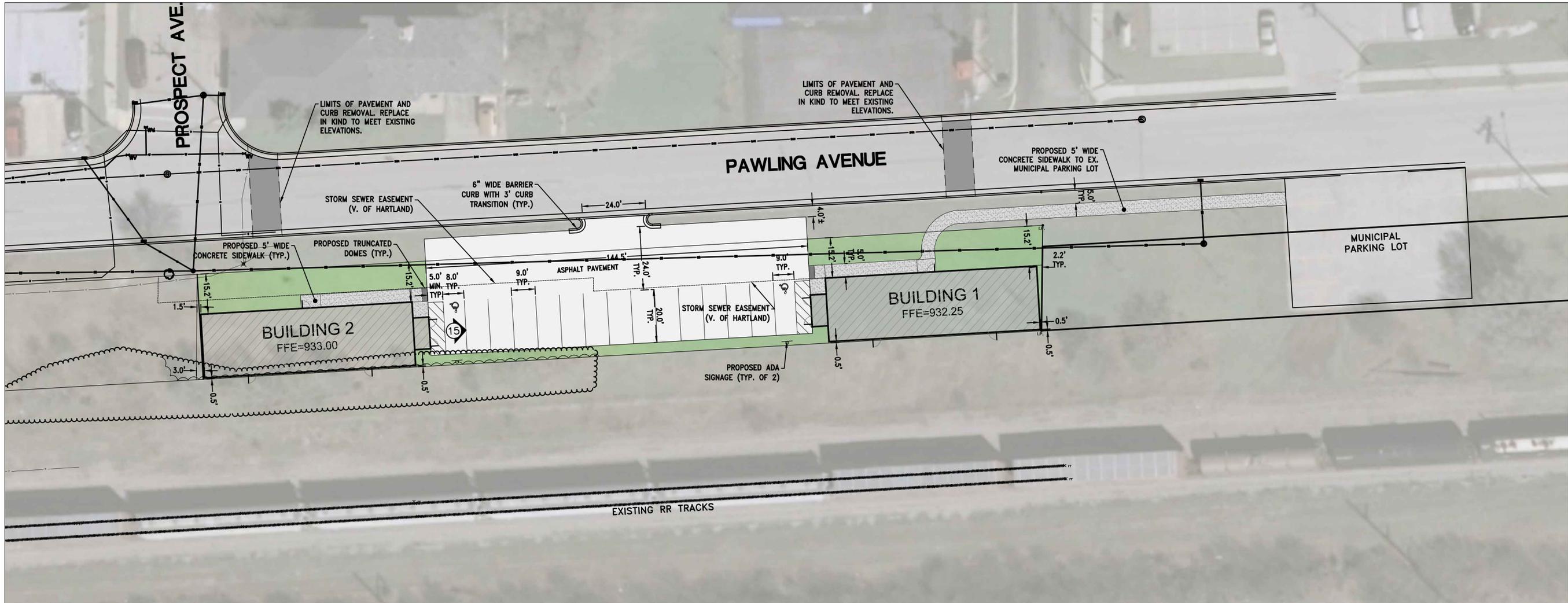
DATE:
FEBRUARY 29, 2016

JOB NUMBER:
16011

DESCRIPTION:
EXISTING SITE & DEMOLITION PLAN

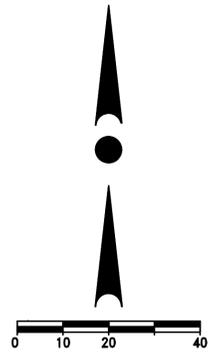
SHEET

C1.0



LEGEND:

--- 904 ---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊡	EXISTING ELECTRIC PEDESTAL
⊢	EXISTING TELEPHONE PEDESTAL
⊣	EXISTING CATV PEDESTAL
⚡	EXISTING POWER POLE
---	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT
⊕	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
□	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

SITE DATA	
PROPOSED LOT 1 (SUBJECT PROPERTY)	12,646 S.F. (0.290 AC.)
PROPOSED LOT 2 (CONTAINS EX. BLDG)	11,196 S.F. (0.257 AC.)
TOTAL PROPERTY AREA	23,842 S.F. (0.547 AC.)
SUBJECT PROPERTY DATA:	
PROPOSED BUILDING FOOTPRINT: (TWO BLDGS @ 1,992 S.F. EA.)	3,984 S.F. (0.091 Acres) 31.50% of Lot
PROPOSED PARKING & DRIVE:	5,155 S.F. (0.118 Acres) 40.76% of Lot
PROPOSED SIDEWALK:	596 S.F. (0.014 Acres) 4.71% of Lot
TOTAL IMPERVIOUS AREA:	9,735 S.F. (0.223 Acres) 76.98% of Lot
TOTAL OPEN SPACE:	2,911 S.F. (0.067 Acres) 23.02% of Lot
NOTE: TOTAL PROPOSED IMPERVIOUS AREA IS LESS THAN 1.0 ACRES. THEREFORE, THE SUBJECT SITE IS EXEMPT FROM STORM WATER MANAGEMENT REQUIREMENTS.	
PARKING DATA:	
TOTAL PARKING SPACES:	13 REGULAR SPACES 2 ADA SPACES 15 TOTAL SPACES



12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
HARTLAND STATION
COMMERCIAL DEVELOPMENT
VILLAGE OF HARTLAND, WISCONSIN
MILLER MARRIOTT CONSTRUCTION CO. LLC
1930 WISCONSIN AVENUE, LOWER LEVEL
GRAFTON, WI 53204

REVISION HISTORY

DATE	DESCRIPTION
-	-

DATE:
FEBRUARY 29, 2016

JOB NUMBER:
16011

DESCRIPTION:
PROPOSED SITE PLAN

SHEET

C1.1

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BROOKFIELD, WI 53005
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VILLAGE OF HARTLAND, WISCONSIN
MILLER MARRIOTT CONSTRUCTION CO. LLC
1930 WISCONSIN AVENUE, LOWER LEVEL
GRAFTON, WI 53024

REVISION HISTORY

DATE	DESCRIPTION
-	-

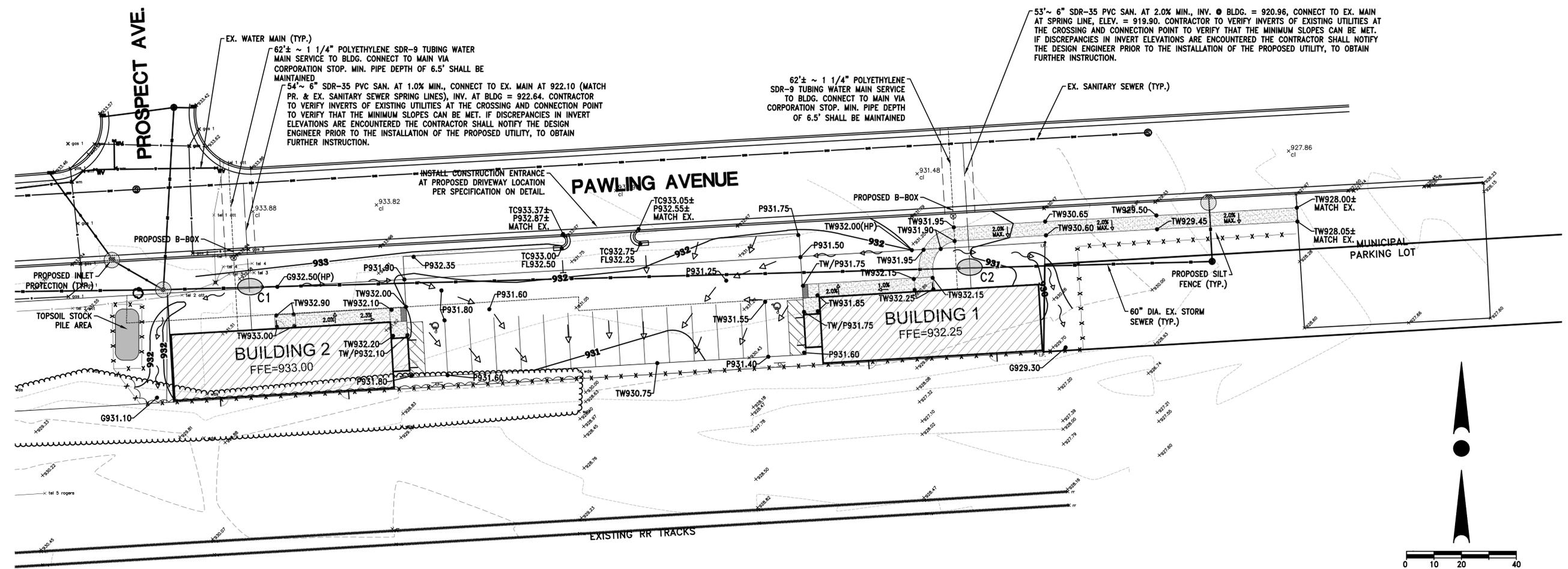
DATE:
FEBRUARY 29, 2016

JOB NUMBER:
16011

DESCRIPTION:
GRADING & UTILITY PLAN

SHEET

C1.2



LEGEND:

---904---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
---	EXISTING WATER MAIN
○	EXISTING HYDRANT
---	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
○	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊠	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CATV PEDESTAL
⚡	EXISTING POWER POLE
---	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
⚡	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
○	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

SANITARY SEWER CROSSING TABLE

C1	- BOTTOM OF EX. 60" STORM SEWER = 923.27
	- TOP OF PR. 6" SANITARY SEWER = 922.99
C2	- BOTTOM OF EX. 60" STORM SEWER = 921.53
	- TOP OF PR. 6" SANITARY SEWER = 921.31

NOTE: CONTRACTOR TO VERIFY INVERTS OF EXISTING UTILITIES AT ALL UTILITY CROSSINGS AND VERIFY THAT THE MINIMUM SLOPES FOR THE PROPOSED UTILITIES CAN BE ACHIEVED. IF DISCREPANCIES IN INVERT ELEVATIONS ARE ENCOUNTERED THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF THE PROPOSED UTILITY, TO OBTAIN FURTHER INSTRUCTION.

SANITARY SEWER NOTES

SANITARY SEWER

- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (TRACER WIRE SHALL BE #12 DIRECT BURIAL RATED INSULATED COPPER CONDUCTOR). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- CONTRACTOR SHALL INSTALL SNAKE PIT TEST STATION AT BUILDING FACE FOR SANITARY SEWER LATERAL.

WATER MAIN NOTES

WATER MAIN

- ALL 6" PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18). PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW).
- BLUE TRACER WIRE IS REQUIRED FOR ALL WATERMAIN LATERALS.
- DO NOT CONNECT TO PUBLIC WATER MAIN UNTIL AUTHORIZED BY THE VILLAGE SEWER AND WATER UTILITY. COORDINATE LIVE TAP WITH VILLAGE.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (TRACER WIRE SHALL BE #12 DIRECT BURIAL RATED INSULATED COPPER CONDUCTOR). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- CONTRACTOR SHALL INSTALL SNAKE PIT TEST STATION AT FIRE HYDRANT ON WATER SERVICE.

GEOTECHNICAL TESTING SHALL BE PERFORMED FOR BUILDING & PAVEMENT AREAS TO ENSURE PROPER COMPACTION IS PROVIDED.

STORM WATER MANAGEMENT NOTE: TOTAL PROPOSED IMPERVIOUS AREA IS LESS THAN 1.0 ACRES. THEREFORE, THE SUBJECT SITE IS EXEMPT FROM STORM WATER MANAGEMENT REQUIREMENTS.

UTILITY PLAN NOTES:

- PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
- GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

GRADING PLAN NOTES:

- UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK (TW) ELEVATIONS ARE 0.5" HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
- IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.

NOTE:

- ALL MATERIALS SHALL BE APPROVED BY THE VILLAGE OF HARTLAND PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
- SLURRY BACKFILL SHALL BE USED FOR ANY UTILITIES WITHIN THE PUBLIC STREET AND WITHIN 5 FEET OF THE EDGE OF PAVEMENT OR AS REQUIRED BY COUNTY PERMIT.

LEGEND:

---904---	EXISTING CONTOUR
---	PROPOSED CONTOUR
→	PROPOSED FLOW ARROW
PXXX.XX	PROPOSED SPOT ELEVATION
GF=870.00	PROPOSED GROUND FLOOR ELEV.

NOTE:
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

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COMPLIANT DOCUMENTATION:

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDRN STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF HARTLAND DEVELOPMENT STANDARDS, LATEST EDITION.

CONTRACTOR RESPONSIBILITY:

-EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER VILLAGE, COUNTY AND WDRN REQUIREMENTS PER TECHNICAL STANDARD 1061.

TRAFFIC CONTROL:

-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

CONSTRUCTION NOTES:

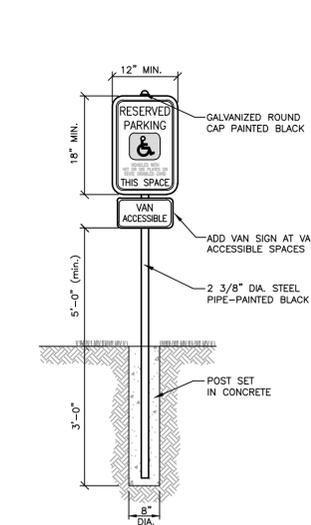
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
- ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
- ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, VILLAGE OF HARTLAND SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
- INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDRN TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
- UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
- REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.

CONSTRUCTION SEQUENCE PLAN

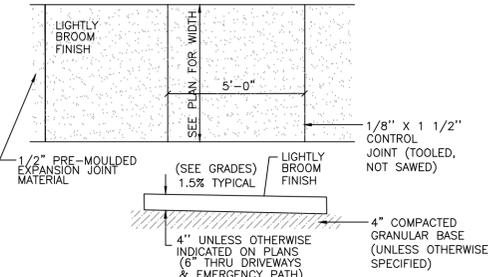
- INSTALL PERIMETER SILT FENCE AND TRACKING PAD. PRIOR TO THE INSTALLATION OF THE TRACKING PAD, GRADE AREA AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE. PROVIDE APPROPRIATE DITCH CHECK AND TEMPORARY STABILIZATION AS NECESSARY.
- CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH STEP 1.
- STRIP AND STOCKPILE TOPSOIL. TEMPORARILY STABILIZE STOCKPILE WHILE NOT IN USE.
- ROUGH GRADE SITE.
- INSTALL SANITARY SEWER, WATERMAIN AND STORM SEWER. NOTE THAT UTILITY INSTALLATION MAY COMMENCE CONCURRENT WITH SITE GRADING.
- BUILDING CONSTRUCTION MAY COMMENCE AS ALLOWED BY VILLAGE BUILDING PERMIT (NON-SEQUENTIAL).
- FINISH GRADE SITE. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY TO STABILIZE SITE.
- INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. (SCHEDULE TO BE DETERMINED BY OWNER)
- INSTALL STONE BASE, SIDEWALK, CURB AND PAVEMENT FOR ENTRY DRIVE AND LOOP ROAD (WITH PARKING). PAVING, SIDEWALK AND CURB MAY BE PHASED TO COINCIDE WITH THE BUILDING CONSTRUCTION SCHEDULE.
- COMPLETE LANDSCAPING AND FINAL STABILIZATION AROUND BUILDINGS CONCURRENT WITH BUILDING CONSTRUCTION, AT THE TIME OF FINAL STABILIZATION.
- REMOVE PERIMETER SILT FENCE AND CLOSE OUT CONSTRUCTION SITE PERMITS ONCE THE SITE IS SUBSTANTIALLY VEGETATED (>70% GROUND COVER).

EROSION CONTROL NOTES:

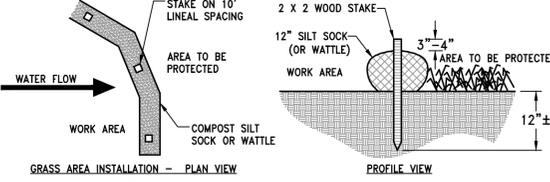
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDDED AS OF THAT DATE.
- TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
- ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
- ALL SEDIMENT TRAPS, SWALES AND DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO USE.
- TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDRN TECHNICAL STANDARDS.
- INSTALL SILT FENCE IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DETAILS
- EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
- ALL AREAS TO BE SEEDDED AND MULCHED SHALL USE WOOD SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WISDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.



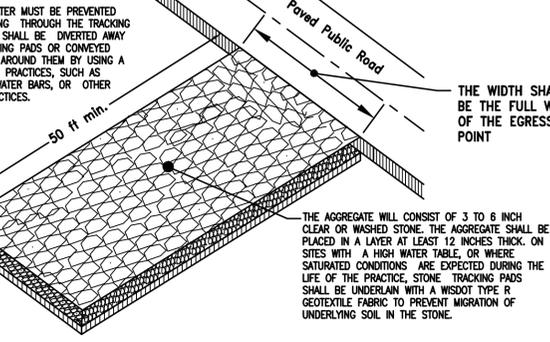
HANDICAP SIGNAGE DETAIL
NO SCALE



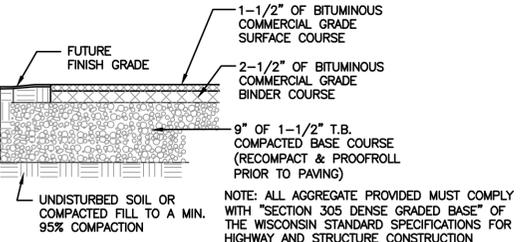
CONCRETE SIDEWALK
NO SCALE



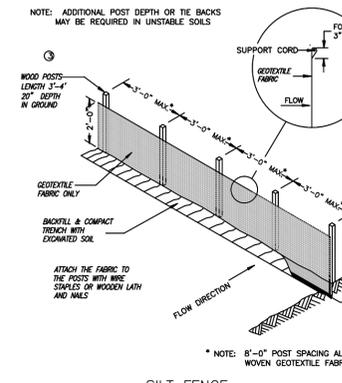
SILT SOCK INSTALLATION DETAIL
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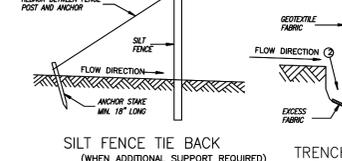
CONSTRUCTION ENTRANCE DETAIL
NO SCALE



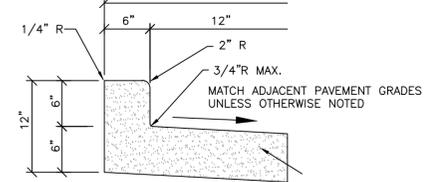
PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



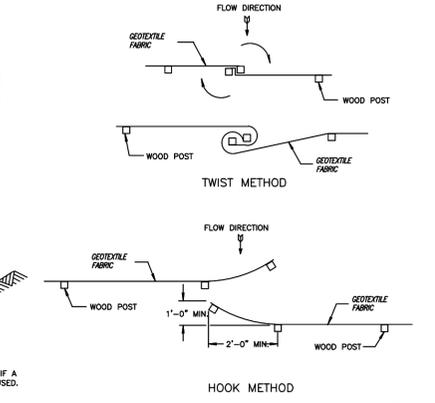
SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



18" REJECT CURB & GUTTER DETAIL
NO SCALE

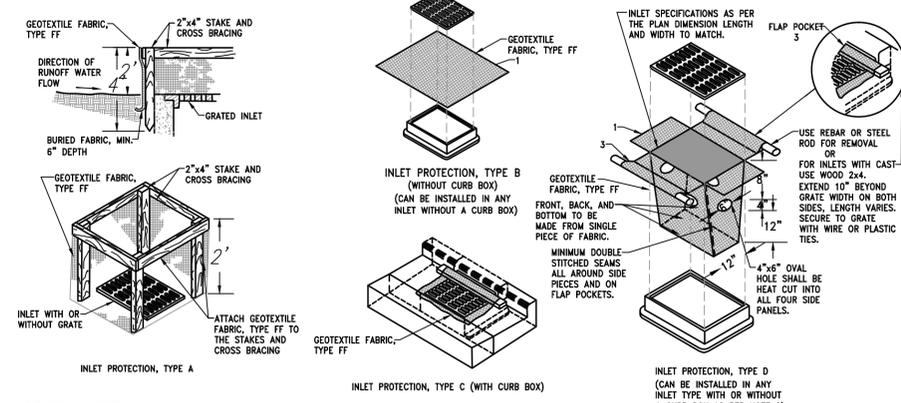


JOINING TWO LENGTHS OF SILT FENCE

GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC; FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 12" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO MATCH JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR B) TWIST, AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE LENGTH.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF GEOTEXTILE FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES:

TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION DETAIL
NO SCALE



12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
HARTLAND STATION
COMMERCIAL DEVELOPMENT
VILLAGE OF HARTLAND, WISCONSIN
MILLER MARRIOTT CONSTRUCTION CO. LLC
1930 WISCONSIN AVENUE, LOWER LEVEL
GRAFTON, WI 53024

REVISION HISTORY

DATE	DESCRIPTION
-	-

DATE:
FEBRUARY 29, 2016

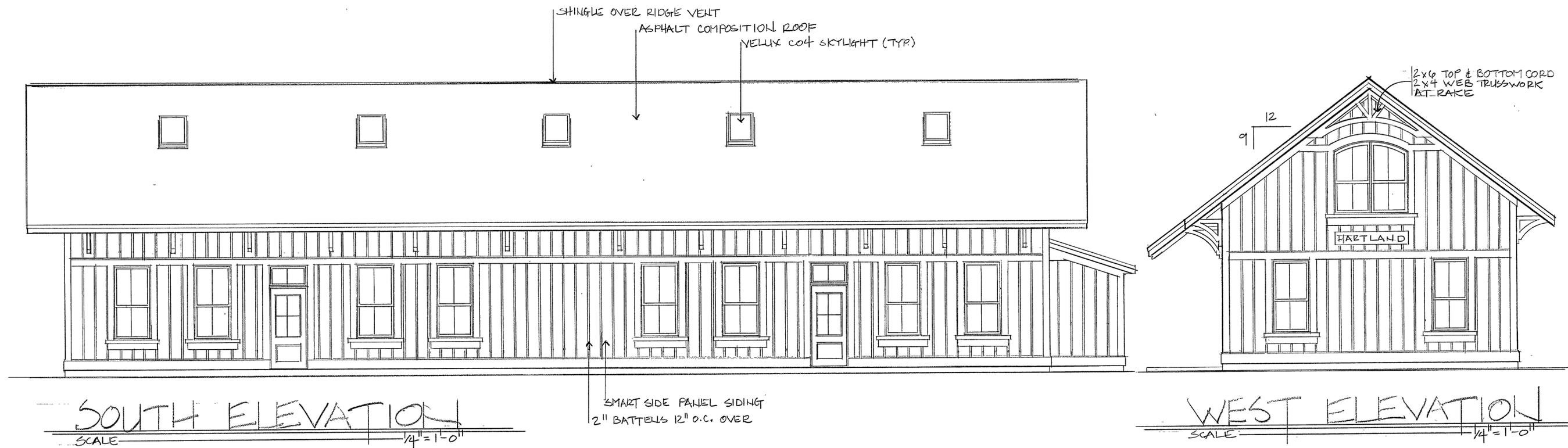
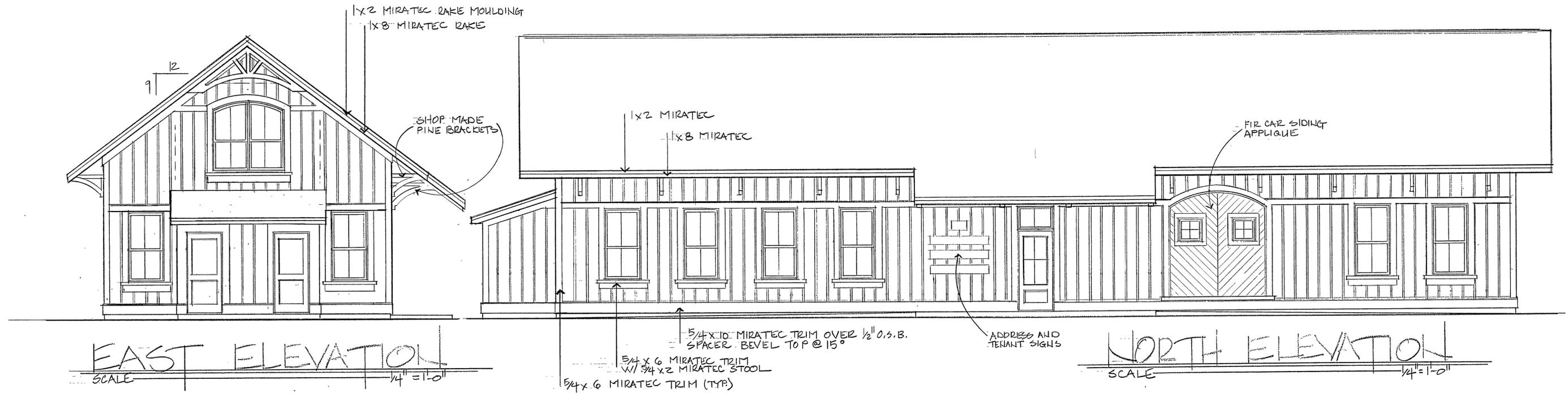
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16011

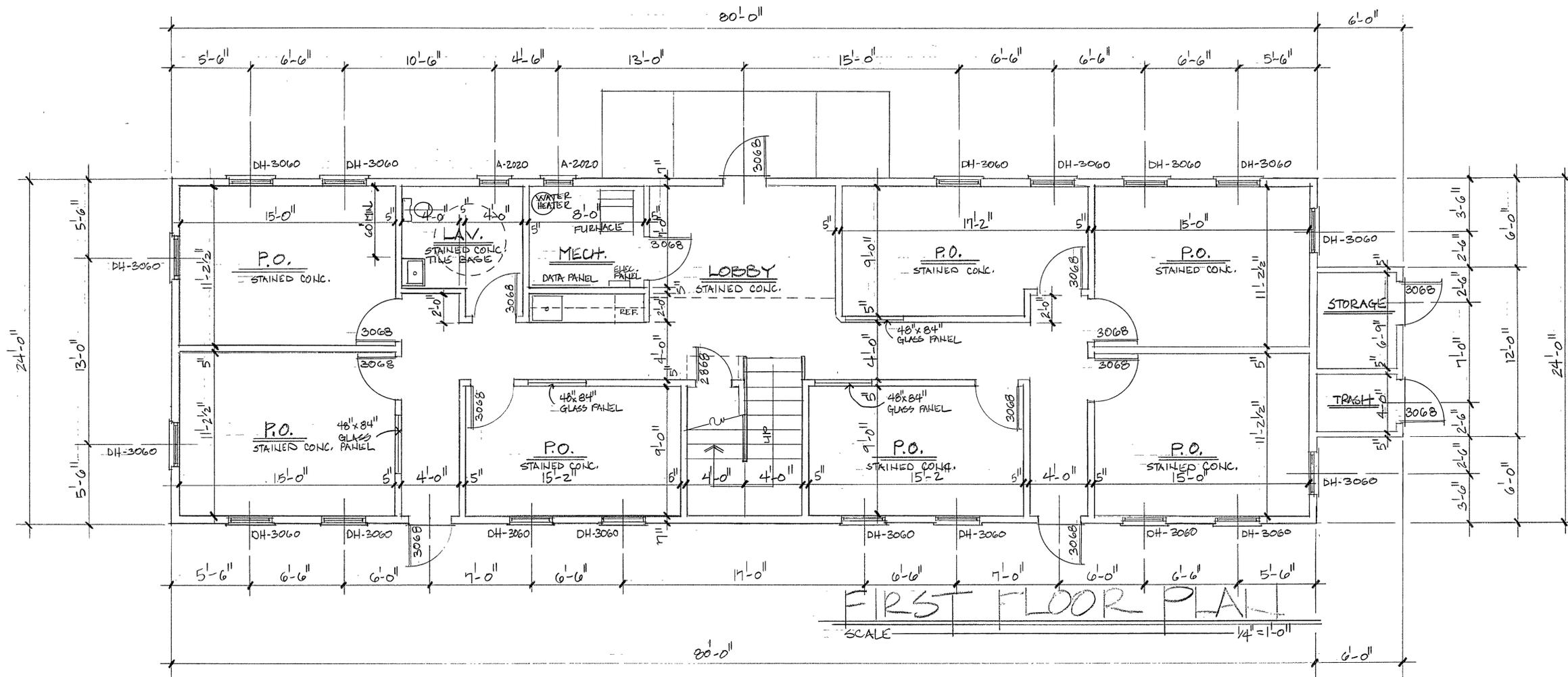
DESCRIPTION:
CONSTRUCTION
DETAILS &
SPECIFICATIONS

SHEET

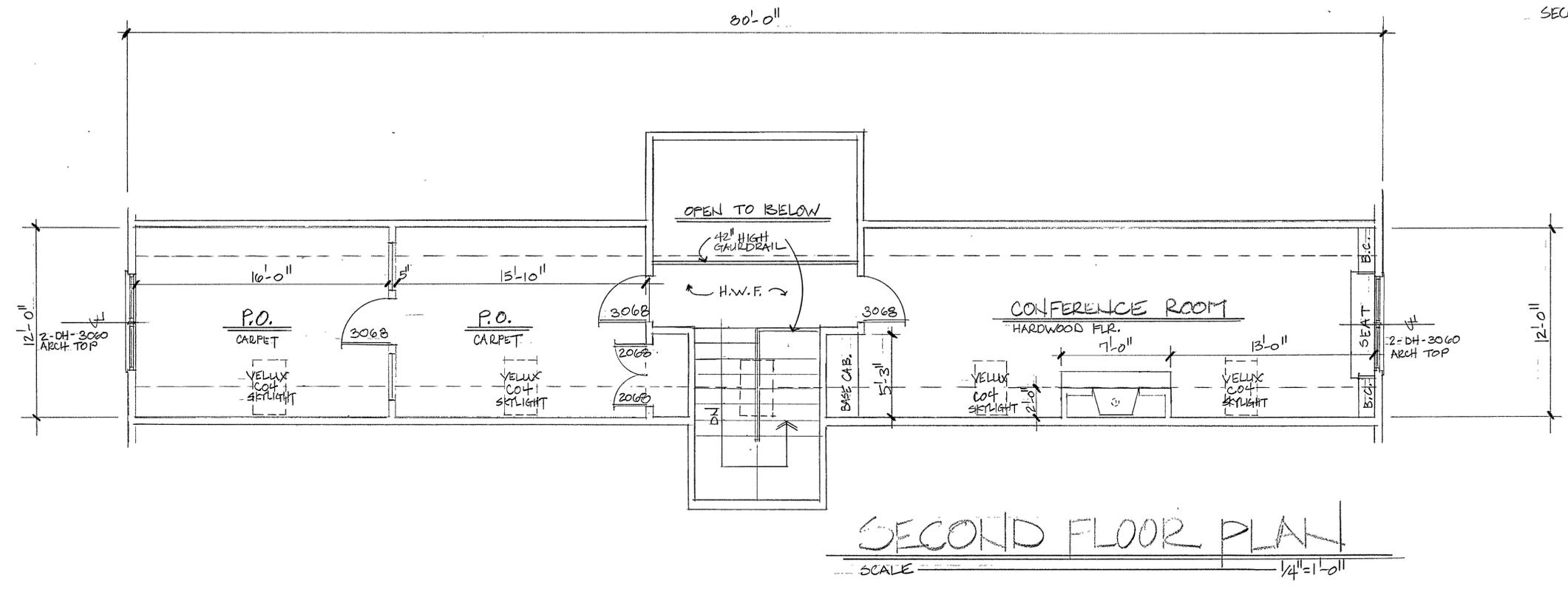
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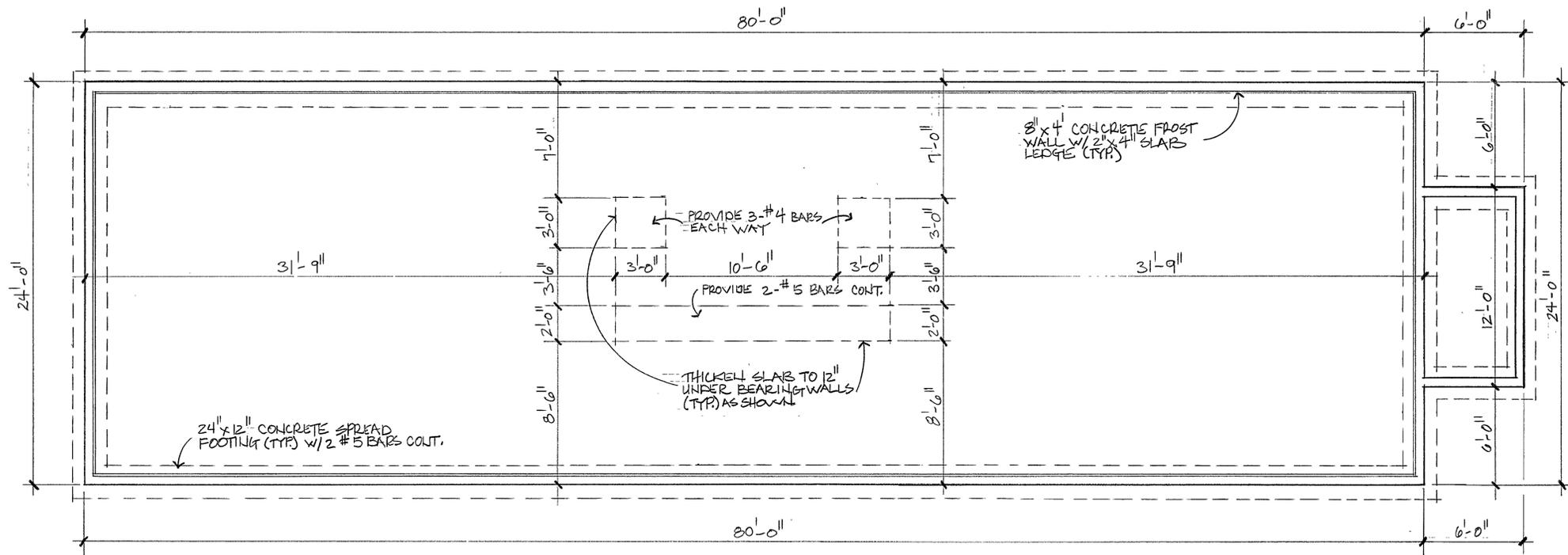
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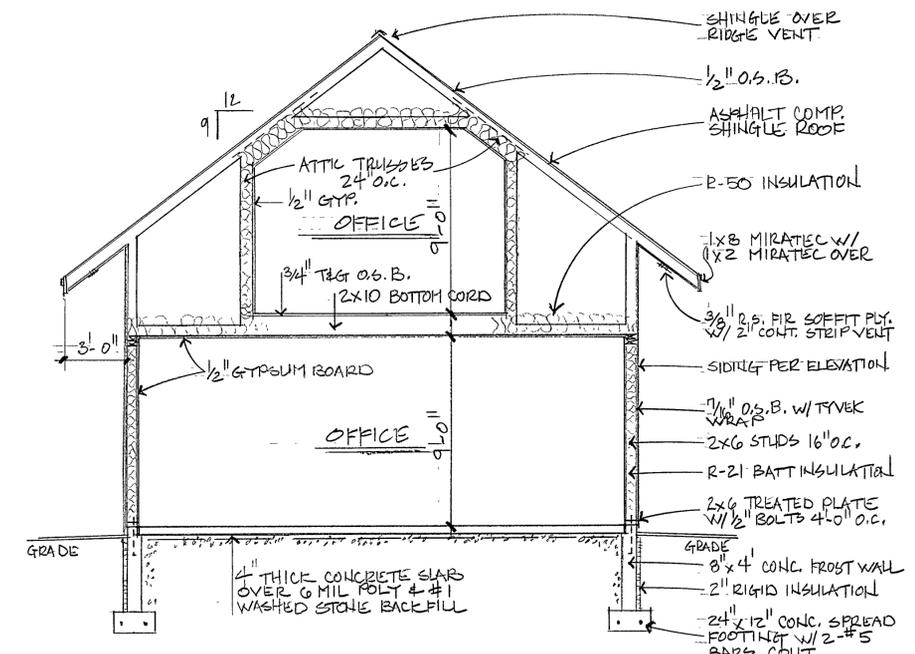


SQUARE FOOTAGE
 FIRST FLOOR - 1920 SF
 SECOND FLOOR - 879 SF

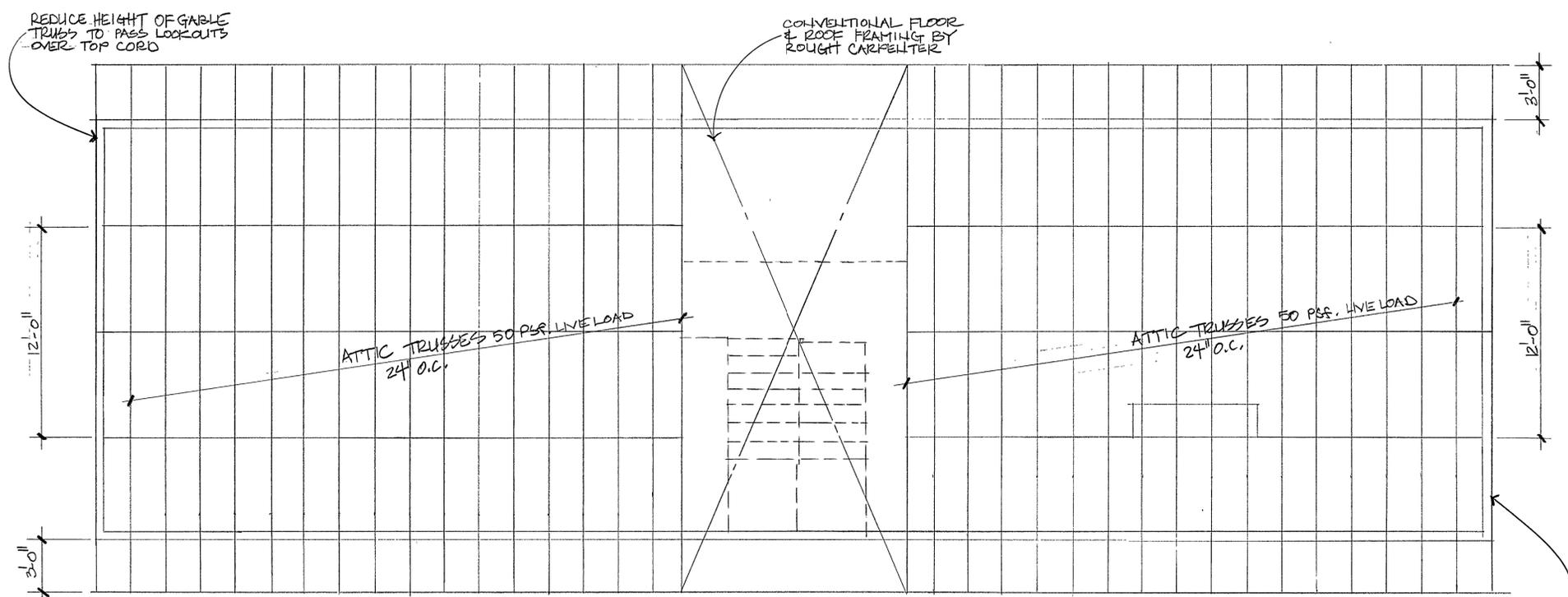




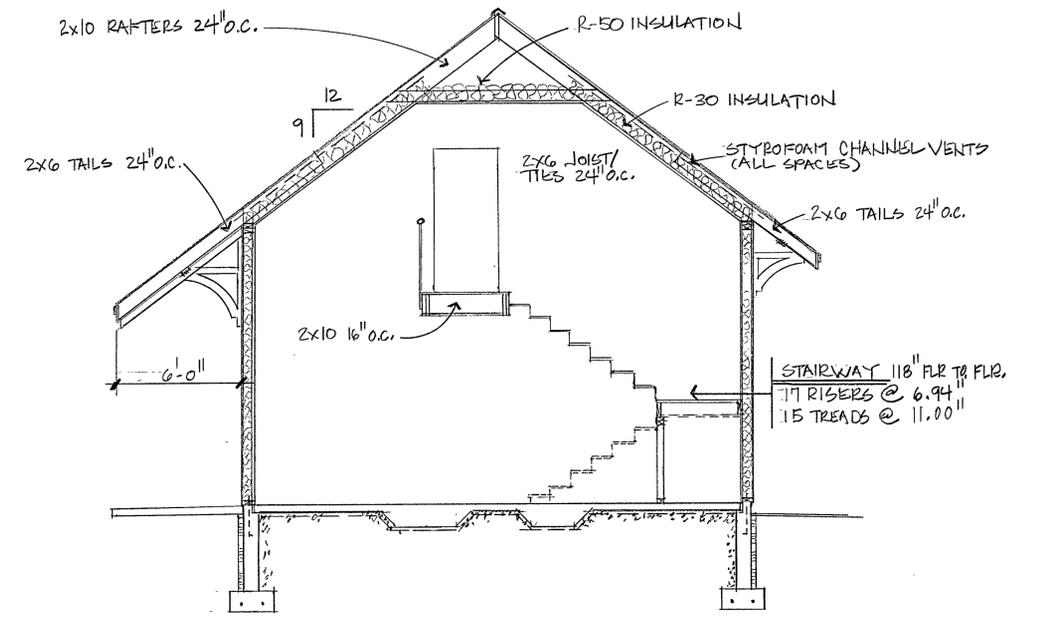
FOUNDATION PLAN
SCALE 1/4" = 1'-0"



SECTION A
SCALE 1/4" = 1'-0"



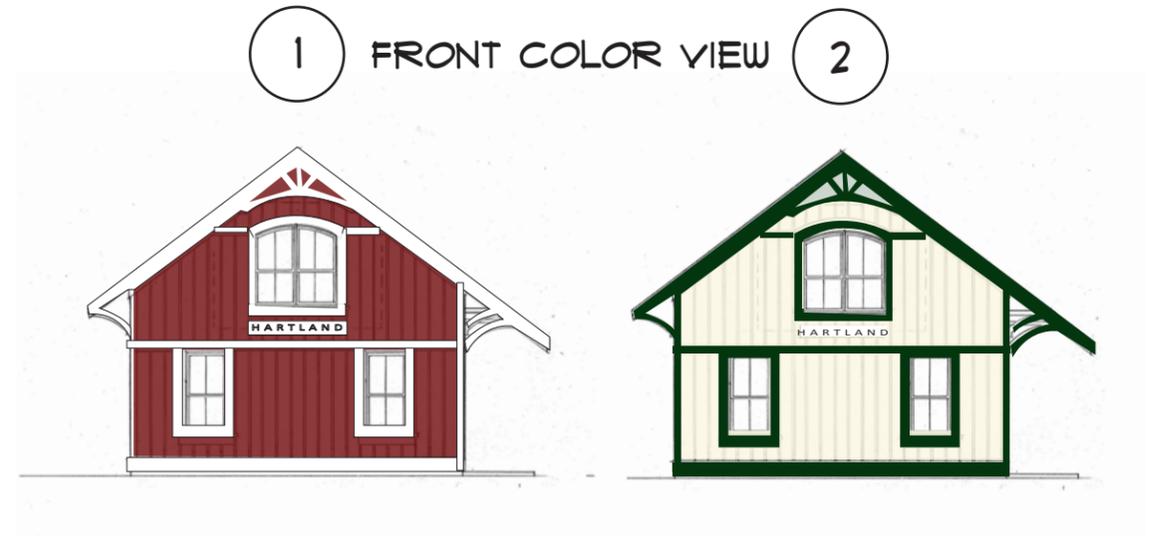
TRUSS PLAN
SCALE 1/4" = 1'-0"



SECTION B
SCALE 1/4" = 1'-0"

REDUCE HEIGHT OF GABLE TRUSS TO PASS LOCKOUTS OVER TOP CORD.

STREET VIEW (LOOKING WEST)



BUILDING #1 - HERITAGE RED



BUILDING #2 - CREAM/GREEN TRIM



BUILDING #3 - (EXISTING) BRICK



MILLER MARRIOTT
CONSTRUCTION CO. LLC
301 PAWLING AVE. HARTLAND, WI 53029
262.369.0531 | www.millermarriott.com

DO NOT DUPLICATE

PROPERTY OF
MILLER MARRIOTT
CONSTRUCTION CO. LLC.

PROPOSAL FOR:

HARTLAND TRAIN STATION II & III
PAWLING AVENUE
HARTLAND, WISCONSIN



VILLAGE OF HARTLAND
PETITION FOR:



CONDITIONAL USE

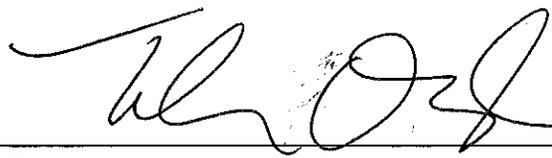
With Approval for Location and Plan of Operation

(REQUIRES 2 PLAN COMMISSION MEETINGS, A PUBLIC HEARING AT THE SECOND PLAN COMMISSION MEETING AND 1 VILLAGE BOARD MEETING)

FEE: \$150.00 + \$300 Professional Fee Deposit

Date: <u>2/11/16</u>	Fee Paid: <u>\$450.00</u>
Date Filed: <u>2/17/16</u>	Receipt No. <u>171634</u>

- Name: Heritage House of Hartland
Address of Owner/Agent: 700 N Green St #401
Chicago IL 60642
Phone Number of Owner/Agent: 312-623-0884
FAX No. 312-284-8896 E-mail tostrom@matthews
seniorliving.com
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use. Memory care and
assisted living for frail elderly

 Thomas Ostrom

Signature of Petitioner
444 Merton Ave, Hartland WI 53029
Address
312-623-0884
Phone

over 



Exhibit A
Plan of Operation
Heritage House of Hartland LLC dba Hartland Place
444 Merton Street Hartland WI

Hartland Place is a single story assisted living building located at 444 Merton Drive. The community is owned by Heritage House of Hartland LLC who leases the building from Hartland Senior Living LLC/ JPS Limited, LLC (the owners of the property). The building will be licensed as a CBRF (Community Based Residential Facility) by the state of Wisconsin.

The building will be dedicated to the care of frail elders – both residents experiencing forms of age related dementia and also non-demented seniors. Expected residents of the facility would be frail elders in need of assistance with the activities of daily living including, care and medication management and including residents diagnosed with memory deficiencies, dementia or similar medical situations. Our average resident will be more than 80 years old although having some number of residents in their 70s would be expected. We would seldom have residents under 70 years old.

The client group for Hartland Place will be similar to that of the other assisted living building that our organization manages in Hartland Wisconsin – Matthews of Hartland located at 300 N Shore Drive.

Design of the site and building will accommodate the safety and protection needs of the individuals. The facility will be staffed on a 24-hour basis with professional staff including LPNs, CNAs, RNs or similarly trained staff. We will typically staff with between 5 and 2 medical staff in addition to a couple of building managers (depending on the shift) The facility will be operated with a central kitchen and no individual cooking in rooms.

The occupants of the facility do not drive and as a result, limited parking is necessary and traffic is expected to be minimal. There will be a fenced in patio in the back and a porch on the front of the building. All the doors will be secured. There are two courtyards in the center of the building. The outside fencing will be a 5 foot high black wrought iron fence. There will be a caregiver present when the residents are outside.

Laundry will be performed in-house and there will be no laundry deliveries. Food will be delivered once per week. The delivery trucks will be a shorter tractor/trailer semi and will park on Sunny Slope Drive during deliveries. Food deliveries are usually made early in the morning during weekdays. The dumpster will be a roll out and will be serviced once per week.

Other than two ground- mounted air conditioning units, there will be no visible outside mechanical equipment. The building is constructed with a pitch and the building is sprinkled.

It is not proposed to be a tax exempt parcel.

A handwritten signature in blue ink, appearing to read "Tom Ostrom", with a long horizontal flourish extending to the right.

Tom Ostrom

PINE & WHITNALL LLP
6980 INDUSTRIAL LOOP
PO BOX 196
GREENDALE WI 53129

RODGER C BOOGREN
GIGI A BOOGREN
424 HILLCREST CT
HARTLAND WI 53029

OSCAR INVESTMENTS LLC
N49W28689 CHARDON DR
HARTLAND WI 53029

KENNETH & KERRY JASIN TRUST
1025 SUNNYSLOPE DR
HARTLAND WI 53029

JOHN & BONNIE NOWAK FAMILY TRUST
180 MAIN ST
PO BOX 945
OATMAN AZ 86433-0945

MOLLY J GIBBS
1013 SUNNYSLOPE RD
HARTLAND WI 53029

ROBERT A HESCHKE
MARLAINE E HESCHKE
409 HILL N DALE CIR
HARTLAND WI 53029

THOMAS E REBLIN
N27W27338 WOODLAND DR
PEWAUKEE WI 53072

JOANN PRIEBE
1012 SUNNYSLOPE DR
HARTLAND WI 53029

DOUGLAS V TURNER 2007 LIVING
TRUST
402 HILL-N-DALE CIR
HARTLAND WI 53029

MARGARET A JEFFERY
408 HILL N DALE CIR
HARTLAND WI 53029

VANSISTINE MARITAL PROPERTY
REVOCABLE LIVING TRUST
530 MERTON AVE
HARTLAND WI 53029

POLLY J MUELLER
432 HILLCREST CT
HARTLAND WI 53029

HARTBROOK MALL ASSOCIATES LLP
PO BOX 6124
MADISON WI 53716

MICHAEL RUNGE
513 PLEASANT DR
HARTLAND WI 53029

F E PREUSSLER
N G PREUSSLER
428 HILLCREST CT
HARTLAND WI 53029

HARTBROOK MALL ASSOCIATES LLP
5900 MONONA DR STE 401
MONONA WI 53716

DIANA L GIBBONS
3851 N LALUMIERE RD
OCONOMOWOC WI 53066

HARTLAND RETAIL LLC
CENTRAL VENTURES LLC
1243 N 10TH ST STE 300
MILWAUKEE WI 53205

JEFFREY J CASTLES
REBECCA H CASTLES
508 MERTON AVE
HARTLAND WI 53029

CLAUDIA & JOHN BERGES JR TRUST
506 PLEASANT DR
HARTLAND WI 53029

SCOTT CHILES
LISA CHILES
414 HILL N DALE CIR
HARTLAND WI 53029

ROY A & RUTH A HACKBART 2006
LIVING TRUST
415 HILL N DALE CIR
HARTLAND WI 53029

DCWI THREE LLC
C/O WALGREEN CO - STORE 9365
PO BOX 1159
DEERFIELD IL 60015

WILLIAM MOSES
419 HILL N DALE CIR
HARTLAND WI 53029

BRYAN LUFTER
JACQUELINE LUFTER
405 HILL N DALE CIR
HARTLAND WI 53029

JAMES BERGMAN
527 PLEASANT DR
HARTLAND WI 53029

DANIEL R SMITH JR
248 PAWLING AVE
HARTLAND WI 53029

DAVID H ORDWAY
W303N5945 MONCLAIRE RD
HARTLAND WI 53029-8718

EDWIN & ANNETTE MILLER TRUST
354 PROSPECT AVE
HARTLAND WI 53029

ELMORE MACHINERY CORP
C/O KELLY BOHRMAN
330 PAWLING AVE
HARTLAND WI 53029-2040

HARTLAND MEADOWS RETIREMENT
APARTMENTS LLC
W320N1161 BUTTERNUT RIDGE CT
DELAFIELD WI 53018

HARTLAND SQUARE APARTMENTS LLC
W312S9003 MOCCASIN TRL
MUKWONAGO WI 53149

HARTLAND STATION LLC
301 PAWLING AVE
HARTLAND WI 53029-2039

JRT INVESTMENTS LLC
W354N5095 ROAD T
OCONOMOWOC WI 53066

LAFORE TRUST
1441 GENESEE ST
DELAFIELD WI 53018

MICHAEL KUSCH
DEBORAH KUSCH
N65W30981 BEAVER LAKE RD
HARTLAND WI 53029-9799

ORDWAY FAMILY TRUST
375 COTTONWOOD AVE
HARTLAND WI 53029

ROBERT F KALKE JR
370 PROSPECT AVE
HARTLAND WI 53029

RONALD JAEGER
ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029

SARAH J SAUER
360 PROSPECT AVE
HARTLAND WI 53029

SELF STORAGE OF HARTLAND LLC
1741 ALTA VISTA AVE
WAUWATOSA WI 53213

STEPHANIE OLSON
BRADLEY A OLSON ET AL
341 ZION ST
HARTLAND WI 53029-1928

STONEWOOD STORAGE ASSOCIATES
LIMITED PARTNERSHIP
PO BOX 145
HARTLAND WI 53029

THOMAS CANTRELL
DIONNE CANTRELL ET AL
359 PROSPECT AVE
HARTLAND WI 53029

UNIQUE SUITES LLC
1318 RIVERS EDGE CT
OCONOMOWOC WI 53066-6912

CONDITIONAL USE PERMIT
[JPS Memory Care Facility]
Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 25th day of May, 2015, by the Village of Hartland (hereinafter Village) to JPS Limited, LLC (hereinafter "Grantee") d/b/a Hartland Senior Living, LLC for the operation of a Memory Care Living Facility at the properties located at 430, 438 and 444 Merton Avenue.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of a Memory Care Facility in the RM-1 Zoning District at 430, 438 and 444 Merton Avenue, Hartland, Wisconsin, (the "Property") more specifically described as:

[HAV 0428985, HAV 0428986, HAV 0428987]

OWNER: JPS Limited, LLC
d/b/a Hartland Senior Living, LLC
126 E Prospect Avenue
Hartford, WI 53027

WHEREAS, the Property is located in the RM-1 Multi-Family Residential District; and

WHEREAS, Section 46-374 (1) of the Village of Hartland Code of Ordinances provides that community living arrangements with a capacity for 16 or more persons in the RM-1 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibits A and B and incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on April 20 and May 18, 2015 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number

HAV 0428985
HAV 0428986
HAV 0428987

1. the memory care facility may be constructed and operated pursuant to the Plan of Operation and pursuant to the operator's and owner's representations during the review process including the housing of persons experiencing memory deficiencies, dementia or similarly diagnosed medical situations;
2. the operator of the memory care facility shall operate the facility in accordance with State, federal or other applicable licensing requirements, shall provide adequate 24 hour care and supervision and shall ensure the safety of facility residents including prevention of unanticipated departures from the facility;
3. the operator of the memory care facility will construct and maintain the building and site in accordance with the plans as submitted and as finally approved including stormwater retention, buffers, landscaping and fencing;
4. the operator of the memory care facility shall operate the traffic flow and parking needs of the facility as approved and completely within the limits of the parcel's parking lot;
5. deliveries to the facility shall occur from vehicles in the facility parking lot or on Sunny Slope Drive and shall be coordinated and performed in such manner as to minimize delivery vehicle traffic in the adjoining neighborhood.
6. Servicing of the refuse and recycling containers at the facility shall be performed in such manner to minimize noise and disruption in the neighborhood and shall occur within the hours of 6:30am and 5:30pm.
7. property owner and facility operator shall manage, maintain and operator the business, building and site in accordance with all applicable rules and regulations of the Village of Hartland and other regulatory bodies as those bodies may have jurisdiction;
8. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

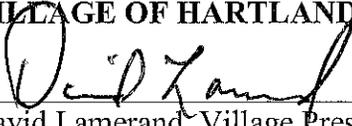
NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate a memory care facility at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of JPS Limited, LLC.
2. The business activities permitted hereunder are limited to the operation of a memory care facility housing up to 32 residents diagnosed with memory deficiencies, dementia or other similarly diagnosed medical situations.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.

4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the memory care facility operations by November 15, 2016.
8. Notwithstanding the forgoing, this CUP shall expire on May 26, 2017.

This conditional use permit is hereby issued this 26th day of May, 2015 subject to the conditions provided herein.

VILLAGE OF HARTLAND



David Lamerand, Village President



Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



EXHIBIT A

Plan of Operation Hartland Senior Living, LLC JPS Limited, LLC

(Based upon petitioner testimony and submittals)

The building would be a single story structure operated as a 32-bed Memory Care CBRF. Expected residents of the facility would be senior individuals with diagnosed memory deficiencies, dementia or similar medical situations.

Design of the site and building would accommodate the safety and protection needs of the individuals. The facility will be staffed on a 24-hour basis with professional staff including LPNs and CNAs or similarly trained staff. The facility will be operated with a central kitchen and no individual cooking in rooms.

The occupants of the facility do not drive and as a result, limited parking is necessary and traffic is expected to be minimal. There will be a fenced in patio in the back and a porch on the front. All the doors are secured. There are two courtyards in the center of the building. The outside fencing will be a 5 foot high black wrought iron fence. There will be a caregiver present when residents are outside.

Laundry will be performed in-house and there will be no laundry deliveries. Food will be delivered once or twice a week, otherwise the staff will do most of the grocery shopping. The delivery trucks will be a shorter tractor/trailer semi and will park on Sunny Slope Drive during deliveries. The dumpster will be a roll out and be serviced once a week.

Other than two ground-mounted air conditioning units, there will be no visible outside mechanical equipment. The building is constructed with a pitch and the building is sprinkled.

It is not proposed to be a tax exempt parcel.