

**VILLAGE BOARD AGENDA
MONDAY, APRIL 25, 2016
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE**

Roll Call

Pledge of Allegiance – Trustee Stevens

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Consideration of a motion to approve Village Board minutes of April 11, 2016.
2. Consideration of a motion to approve the vouchers for payment.
3. Consideration of actions related to Licenses and Permits
 - a. Consideration of a motion to approve an Operator's (Bartender) License with term ending June 30, 2016
 - b. Consideration of an application for a street use permit for Swallow Education Foundation for a 5k race on May 21, 2016
4. Consideration of Board and Commission appointments as presented by Village President Lamerand
5. Consideration of First Reading of Bill for an Ordinance No. 04/25/2016-01 "An Ordinance To Amend Chapter 76 Of The Village Of Hartland Municipal Code Pertaining Stormwater Management"

Items referred from the April 18, 2016 Plan Commission meeting

6. Consideration of a motion to approve site and building plans for installation of a larger nitrogen tank for Dornier Manufacturing Corp., 975 Cottonwood Ave.
7. Consideration of a motion to approve site and building plans for the construction of a new building for Guthrie and Frey, 1165 Richard Road.
8. Items related to a request to construct an office building on the Hartland Station, LLC property, 301 and 249 Pawling Ave.
 - a. Consideration of a motion to approve site and building plans
 - b. Consideration of a motion to approve a Certified Survey Map to divide the property into two lots

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- c. Consideration of a motion to approve a Conditional Use Permit related to a reduction in the rear yard and to eliminate the parking requirements.
9. Consideration of a motion to approve a Conditional Use Permit for Heritage House, d/b/a Hartland Place, for the operation of a community living arrangement with a capacity for 16 or more in the RM-1 Multiple Family Residential District (32 units)

Other items for consideration

10. Review of a Resolution creating an Environmental Corridor And Open Space Task Force
11. **Announcements:** The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
12. Adjournment.

David E. Cox, Village Administrator

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: President and Board of Trustees
FROM: David E. Cox, Village Administrator
DATE: April 22, 2016
SUBJECT: Agenda Information



The following information relates to the upcoming Village Board meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 4 Regarding Board and Commission Appointments

Background: The Board will note two items of import on the Board and Commission appointments list. The first relates to the Library Board appointments. At some point in the past, the Village appointments erroneously ended up on the same schedule rather than being staggered like they originally were and should be. After retracing the appointments, the proposed two and three year terms will restore the appointees to their proper term expiration schedule. The second relates to the initial appointments to the Ice Age Trail Community. The Board will note that it will actually be asked to approve the four citizen appointments, the terms of which are staggered. The three other members are noted on the sheet for information purposes as these appointees are really either appointed by an outside body or, as in the case of my appointment, are *ex officio* or by virtue of the office.

Recommendation: Recommend approval of the various appointments.

Item 5 Regarding amendments to the Stormwater Management Code.

Background: As Director Einweck's memo indicates, this ordinance update is being proposed in order to bring our regulation into compliance with the current State requirements for the management of storm water in the Village.

Recommendation: Recommend review of the ordinance and hold over for second reading at the next meeting.

Item 6 Related to a Nitrogen Tank at Dorner Manufacturing.

Background: In order to meet its operational needs, Dorner has proposed installation of a new Nitrogen Tank on the exterior of its building at 975 Cottonwood Avenue. The tank location is behind the building from the perspective of Cottonwood Avenue and has been reviewed by the Plan Commission/Architectural Board, which has recommended approval.

Recommendation: Recommend approval of the Nitrogen Tank installation.

Item 7 Related building and site plans for Guthrie and Frey.

Background: Guthrie and Frey Water Conditioning, LLC, has proposed construction of a new 15,000 square foot warehouse (10,000 sq. ft.) and office (5,000 sq. ft.) building at 1165 Richards Road in the Bark River Commerce Center. A slightly revised exterior finish plan was presented to the Plan Commission/Architectural Board at its meeting. The minor revision was made to adhere to the Covenants and Restrictions of the Bark River Commerce Center and related to the material being used on the rear wall and the accent areas of the other three walls in order to reduce the amount of concrete block. The Plan Commission reviewed the proposal at its meeting and has recommended approval conditioned on meeting the terms of the Engineer's letter.

Recommendation: Approve the proposed site and building plans conditioned on addressing the Village Engineer's letter.

Item 8 Related to the Hartland Station building.

Background: Chris Miller, Hartland Station, LLC on Pawling Avenue has proposed construction of a single building on a newly created lot adjacent to the existing Train Depot building. The proposal calls for a rear yard setback of five (5) feet and no on-site (off-street) parking. The reduced rear yard is allowable as a Conditional Use under the Zoning Code as is the potential elimination of the on-site parking lot. Miller has proposed a payment of \$18,000 to the Village, which he indicates is his estimated cost of constructing a new parking lot on his property. The proposed plan more closely resembles the Village's downtown Revitalization Plan street layout with the proposed angle parking on the south side of the street despite the fact that the Plan does not contemplate a new building at this location. The Plan Commission has supported the plan and recommended approval of the proposed site and building plans along with the related items. The Commission agrees that the on street parking does not need to be constructed now and that parallel parking on the south side of the street can be used. As the businesses in the area develop, the Commission would anticipate returning to the street layout to consider other options in addition to angle parking including potential expansion of the Village's off street parking in the area, which may be more cost effective.

Recommendation: Recommend approval of the building and site plan and CSM based on the Conditional Use Permit.

Item 9 Related to the Heritage House on Merton Ave.

Background: The Village Board will recall the recent granting of a Conditional Use Permit to Jay Schnorenberg/JPS Limited, LLC for the operation of a memory care facility at 444 Merton Ave (Hartland Senior Living). While Mr. Schnorenberg will retain ownership of the building, it is proposed that the business will be owned and operated by the Matthews Senior Living organization as Heritage House of Hartland, LLC d/b/a Hartland Place. The proposed Plan of Operation is very similar to the one proposed by JPS except that the residents will not be limited to those with memory issues. The site will serve "frail elders" and, it is suggested, many of the same considerations apply. The original Conditional Use Permit

was granted to allow a community living arrangement in excess of 16 (32) units and included conditions related to reduced parking, among other items. The Plan Commission has recommended approval of the Conditional Use Permit for Heritage House/Hartland Place.

Recommendation: Recommend approval of the Conditional Use Permit.

Item 10 Regarding an Environmental Corridor and Open Space Task Force

Background: The Board will recall the presentation by Paul Mozina regarding the conditions of various Village-owned natural areas and, in particular, portions of Penbrook Park. At that time, it was suggested that the Village would need to review the information in order to determine how these areas should be addressed in the context of the Village's Comprehensive Plan and Outdoor Recreation Plan. Further, it was suggested that Mr. Mozina might be appointed to the new Ice Age Trail Community Committee (IATCC). In the interim, it was determined that the focus of the IATCC did not align well with Mr. Mozina's comments and concerns. In order to provide a structured method to undertake a review of the issues raised and to develop a Village plan for addressing these areas, an Environmental Corridor and Open Space (ECOS) Task Force is proposed. The ECOS Task Force would consist of representatives of the Plan Commission, Park Board and Public Works Department along with four members of the public to inventory, evaluate and recommend a use and maintenance plan for the natural areas of the Village with particular attention to Village-owned properties. At this point, the Task Force is proposed to have a term of about one year at which time a specific plan and recommendation would be expected. If needed, the ECOS Task Force could be extended or could be morphed into a different body to assist in the implementation of a plan. The Village Board is asked to discuss this concept and the draft Resolution created the Task Force in order to provide any comments. Staff would anticipate putting a final version of the Task Force Resolution on the May 9 agenda for consideration.

Recommendation: Recommend review of the structure and discussion of additional direction for the ECOS Task Force.

VILLAGE BOARD MINUTES
MONDAY, April 11, 2016
7:00 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD AVENUE

Roll Call

Pledge of Allegiance – Trustee Meyers

Present: Trustees Stevens, Meyers, Compton, Landwehr, Swenson, Wallschlager and President Lamerand

Others Present: Administrator Cox, Finance Director Bailey, Clerk Igl, DPW Director Einweck, Police Chief Rosch, Fire Chief Dean, Billy Cooley, Steve Yahr, Steve Berger

Public Comments: (Please be advised the Village Board will receive information from the public for a three minute time period per person, with time extensions per the Village President's discretion. Be it further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.)

1. Motion (Meyers/Swenson) to approve Village Board minutes of March 28, 2016. Carried (7-0).
2. Motion (Landwehr/Wallschlager) to approve the vouchers for payment in the amount of \$488,689.26. Carried (7-0).
3. Consideration of actions related to Licenses and Permits
 - a. Actions related to the consideration of the issuance of a Class "A" Beer/"Class A" Liquor License for the premises located at 805 Cardinal Lane (CBS Investments, Inc., Steven Lynn Yahr, Agent)
 - i. PUBLIC HEARING
President Lamerand opened the Public Hearing at 7:03 p.m. No comments were heard. Public Hearing declared closed at 7:05 p.m.
 - ii. Motion (Landwehr/Meyers) to approve the issuance of a Class "A" Beer/"Class B" Liquor License for Cardinal Service contingent on the existing license being surrendered prior to issuance. Carried (7-0).
 - b. Motion (Wallschlager/Swenson) to approve an application for a Cigarette License for Cardinal Service. Carried (7-0).
 - c. Motion (Meyers/Wallschlager) to approve an Operator's (Bartender) License with term ending June 30, 2016. Carried (7-0).
 - d. Consideration of an application for a Street Use Permit
Steve Berger stated that they plan to have family activities during the day starting at 11:00 a.m. Motion (Landwehr/Wallschlager) to approve an application for a Street Use Permit subject to the following conditions:
 1. Live music must stop immediately at 11:00 p.m.

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2. Road closed sign and barricades needed at Haight and Cottonwood
 3. Road closed to thru traffic sign and barricades needed at Haight and Goodwin
 4. Properly licensed staff must be on premises at all times
 5. No alcohol may be carried off the licensed premise or served to underage persons
 6. Liquor sales will end at midnight
4. Consideration of adoption on Third Reading of Bill for an Ordinance No. 03/14/2016-01 "An Ordinance To Amend Chapter 38 Of The Village Of Hartland Municipal Code Pertaining To Fire Protection And Prevention"

Motion (Meyers/Wallschlager) to remove Section 3(g) referencing fees. Roll call vote: Stevens, yes; Meyers, yes; Compton, no; Landwehr, no; Swenson, no; Wallschlager, yes; Lamerand, no. Motion failed (3-4).

Motion (Compton/Landwehr) to adopt Bill for an Ordinance No. 03/14/2016-01 "An Ordinance To Amend Chapter 38 Of The Village Of Hartland Municipal Code Pertaining To Fire Protection And Prevention". Carried (5-2).

5. Consideration of a motion to authorize disallowance of claim by International Subrogation Management related to the Nixon Park Splash Pad

Finance Director Bailey stated that the claim that was filed was from an insurance company which covers an individual that fell at the splash pad. Our insurance provider denied the claim based on recreational immunity. Motion (Landwehr/Swenson) to authorize disallowance of claim by International Subrogation Management related to the Nixon Park Splash Pad. Carried (7-0).

6. Consideration of a motion to approve a three-year agreement with Time Warner Cable for provision of internet and phone service at the Village Hall, Library (phone only), Fire Station and Public Works Facility

7. Finance Director Bailey stated that the Village was notified by Windstream that our bill would double and that they would let the Village out of the contract. Staff began checking with other service providers and determined that Time Warner Cable was the best option. Administrator Cox stated that prices will be locked in with Time Warner for the three year contract.

Motion (Meyers/Wallschlager) to approve a three-year agreement with Time Warner Cable for provision of internet and phone service at the Village Hall, Library (phone only), Fire Station and Public Works Facility. Carried (7-0).

8. Consideration of a motion to approve a Delinquent Account Collection Services Agreement with the Waukesha County Collection Division for debt collection services

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Finance Director Bailey stated that the collection agency the Village is working with notified the Village that they would be closing. Motion (Meyers/Stevens) to approve a Delinquent Account Collection Services Agreement with the Waukesha County Collection Division for debt collection services. Carried (7-0).

9. Consideration of a motion to approve a Centennial Park Use Agreement with Arrowhead Union High School regarding use of the Centennial Park football field for the school's lacrosse program

DPW Director Einweck stated that AHS had approached the Village regarding the use of the park. Staff reviewed the request and felt it was a good opportunity to get additional use out of the field. There have been discussions about the installation of synthetic turf for future consideration.

Motion (Compton/Wallschlager) to approve the Centennial Park Use Agreement with Arrowhead Union High School regarding use of the Centennial Park football field for the school's lacrosse program. Carried (7-0).

Motion (Stevens/Landwehr) to approve a request from the Hartland Kiwanis for the disposal of brush and debris from a Bark River cleanup scheduled for April 30. Carried (6-0). Compton abstained.

10. Consideration of a motion to approve a storm sewer easement agreement with Hartland Station, LLC for property located at 301 Pawling Avenue

Administrator Cox stated that this easement had been negotiated years ago but was never submitted to the Village Board for consideration. Motion (Stevens/Landwehr) to approve a storm sewer easement agreement with Hartland Station, LLC for property located at 301 Pawling Avenue. Carried (7-0).

11. Consideration of actions related to an amendment to the PUD and TIF agreement with Hartland Riverwalk, LLC and the related Municipal Revenue Obligation.

Administrator Cox stated that amendments to the agreement are primarily dates being pushed back to the end of this year for occupying the commercial building as well as one of the residential buildings. The other residential building will likely not be ready to occupancy until next year. The other primary change in the amendment is the ability of the developer to assign the payments from the Village to the bank as collateral.

- a. Motion (Swenson/Compton) to approve Planned Unit Development and Tax Incremental District Agreement Amendment No. 1 for the Hartland Riverwalk Project. Carried (7-0).

Administrator Cox stated that the changes in the MRO relate to the assignability to Anchor Bank and the other clarifies that the bank has requested to insure that as long as there is an increment being paid that there is an amount paid on the MRO.

- b. Motion (Compton/Landwehr) to approve an amended Municipal Revenue Obligation (MRO) and authorize issuance of the revised, second issuance MRO document to the Developer of the Hartland Riverwalk. Carried (7-0).

Administrator Cox stated that the agreement provides that any debt owed to the bank is superior to any debt owed to the Village (which there will be none). It also provides that the Village would not take legal action against the developer for performance under existing agreements without first notifying Anchor Bank and allowing them to correct the situation.

- c. Motion (Swenson/Stevens) to approve a Consent and Agreement with Anchor Bank. Carried (7-0).

12. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

President Lamerand stated that the Village had a 60% turnout for the April election and thanked voters for participating. He stated that the next election will be held in August. Also, he reminded viewers that the Presidential election will be held at St. Charles.

President Lamerand reminded viewers that the library book sale will be held on April 23 from 9 a.m. to 2 p.m.

It was stated that the recycling event held in the Village had been very successful. Hartland will host the event again in October. An event is held each month at one location throughout Waukesha County.

13. Adjournment.

Motion (Stevens/Swenson) to adjourn at 7:42 p.m. Carried (7-0).

Respectfully submitted,

Darlene Igl
Village Clerk

TO: Village President & Board of Trustees

FROM: Kinsey Detert, Fiscal Clerk

DATE: April 22, 2016

RE: Voucher List

Attached is the voucher list for the April 25, 2016 Village Board meeting.

April 25, 2016 Checks: \$148,151.49

Total amount to be approved: \$148,151.49

**VILLAGE OF HARTLAND
VOUCHER LIST - APRIL 25, 2016**

Account Descr	Search Name	Comments	Amount
EXPENSE Descr			
G 101-24240 COURT FINES DUE STATE	LAKE CTRY MUNICIPAL COURT	MAIN/3X80PTJN0P	\$237.00
R 101-46730 RECREATION CLASSES	PEDERSEN, JO	IMAGINE AGELESS & BEAUTIFUL SKIN	\$32.00
G 403-31786 SANCTUARY OF HARTLAND	RUEKERT & MIELKE	EROSION CONTROL COMPLIANCE	\$144.08
G 403-31848 HARTLAND SERVICE	RUEKERT & MIELKE	CONSTRUCTION REVIEW	\$104.46
G 403-31861 FOUR WINDS WEST	RUEKERT & MIELKE	EROSION CONTROL INSPECTIONS	\$320.72
G 403-31861 FOUR WINDS WEST	RUEKERT & MIELKE	DEVELOPMENT REVIEW	\$642.00
G 403-31849 RIVERWALK APTS	RUEKERT & MIELKE	EROSION CONTROL INSPECTIONS	\$184.66
G 403-31861 FOUR WINDS WEST	RUEKERT & MIELKE	CONSTRUCTION REVIEW	\$9,344.45
G 403-31849 RIVERWALK APTS	RUEKERT & MIELKE	CONSTRUCTION REVIEW	\$1,050.10
G 403-31786 SANCTUARY OF HARTLAND	RUEKERT & MIELKE	CONSTRUCTION REVIEW	\$669.45
G 403-31841 MURPHY FARMS	RUEKERT & MIELKE	SUBDIVISION CONSTRUCTION REVIEW	\$2,230.76
G 403-31849 RIVERWALK APTS	RUEKERT & MIELKE	DEVELOPMENT REVIEW	\$1,807.10
G 101-23000 SPECIAL DEPOSITS	TRADITIONS OF HARTLAND	REFUNDABLE DEPOSIT/COMMUNITY ROOM	\$75.00
G 101-24240 COURT FINES DUE STATE	WAUKESHA CTY SHERIFF S DEPT	DELAGAERZA/69091	\$1,560.00
EXPENSE Descr			\$18,401.78
EXPENSE Descr			
EXPENSE Descr			
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	AIRGAS USA LLC	OXYGEN USP MEDICAL	\$296.04
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	CATERING SPECIALTIES INC	FD ANNUAL APPRECIATION DINNER	\$949.09
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	COMPETITOR AWARDS & ENGRAVING	AWARD PLAQUES	\$43.50
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	FLEMINGS FIRE 1, INC.	GLOVES	\$59.95
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	GEAR WASH, LLC	CLEAN JACKET	\$36.30
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	INTER OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$123.96
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	JEFFERSON FIRE & SAFETY INC	RINCE CLEAN/SPRAYER/BRUSH	\$70.75
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	LAKE COUNTRY FIRE DEPT.	PARAMEDIC INTERCEPTS	\$850.00
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	MUELLER, ANDREW	REPLACE BATTERY CONTACTS/VOLUME CONTROL PAG	\$126.00
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	W.S. DARLEY & CO.	FAN/WHEELS/QUIK LITTER RESCUE ESSENTIALS	\$736.49
E 101-52300-300 OPERATING SUPPLIES/EXPENSES	WAUKESHA MEMORIAL HOSPITAL	2015 FEB SUPPLY PURCHASE	\$22.56
EXPENSE Descr			\$3,314.64
EXPENSE Descr			
EXPENSE Descr			
E 101-55370-290 OUTSIDE SERVICES/CONTRACTS	MILLER, JOEL R	TRI-CASTER EQUIP/BOARD MEETING SETUP AND BROA	\$200.00
E 101-55370-300 OPERATING SUPPLIES/EXPENSES	WCM	NEW MEMBER/STATION MEMBERSHIP FORM	\$205.00
EXPENSE Descr			\$405.00
EXPENSE Descr			
EXPENSE Descr			
E 101-54910-365 BLDGS/GROUNDS MAINT EXPENSE	RUEKERT & MIELKE	GIS MAINTENANCE	\$70.00
EXPENSE Descr			\$70.00

Account Descr	Search Name	Comments	Amount
EXPENSE Descr CORPORATE RESERVE EXPENSES			
E 402-59900-840 PUBLIC WORKS EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	LIGHTS FOR NEW TRUCKS	\$101.28
E 402-59900-810 ADMINISTRATION EXPENSE	ONTECH SYSTEMS, INC	SERVER PROJECT	\$1,566.00
EXPENSE Descr CORPORATE RESERVE EXPENSES			\$1,667.28
EXPENSE Descr DEBT SERVICE			
E 301-58000-615 DEBT SERVICE - INTEREST	BOND TRUST SERVICES CORP	29815-PA	\$350.00
EXPENSE Descr DEBT SERVICE			\$350.00
EXPENSE Descr ELECTIONS			
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	A RIFKIN CO	FUTURE VOTER STICKER	\$23.12
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	BEAR GRAPHICS	STICKERS/TALLY SLIPS	\$391.12
E 101-51440-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$84.47
EXPENSE Descr ELECTIONS			\$498.71
EXPENSE Descr FINANCIAL ADMINISTRATION			
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$46.34
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$49.20
E 101-51500-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	APR HRA ADMN SERVICES	\$163.97
E 101-51500-300 OPERATING SUPPLIES/EXPENSES	ONTECH SYSTEMS, INC	MILEAGE	\$58.32
EXPENSE Descr FINANCIAL ADMINISTRATION			\$317.83
EXPENSE Descr FIRE PROTECTION			
E 101-52200-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	MULCH/PAPER TOWELS/EXTENSION CORD HOLDERS	\$73.99
E 101-52200-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	MULCH	\$33.36
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	CATERING SPECIALTIES INC	FD ANNUAL APPRECIATION DINNER	\$949.09
E 101-52200-360 VEHICLE MAINT/EXPENSE	FLEMINGS FIRE 1, INC.	INTAKE VALVE/4363	\$797.83
E 101-52200-300 OPERATING SUPPLIES/EXPENSES	FLEMINGS FIRE 1, INC.	BADGE/PIN & SAFETY CATCH	\$105.70
EXPENSE Descr FIRE PROTECTION			\$1,959.97
EXPENSE Descr GENERAL ADMINISTRATION			
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$120.30
E 101-51400-395 COMMUNITY RELATIONS	FOX COMPANY, INC	2016 SPRING NEWSLETTER/BUNDLE	\$1,595.00
E 101-51400-210 LEGAL SERVICES	GODFREY & KAHN, S.C.	LEGAL SERVICES	\$60.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	IIMC	ANNUAL MEMBERSHIP/IGL	\$155.00
E 101-51400-215 PLANNING SERVICES	RUEKERT & MIELKE	HARTLAND STATION PLAN REVIEW	\$414.00
E 101-51400-300 OPERATING SUPPLIES/EXPENSES	SCHWAAB INC	NOTARY STAMP/IGL	\$40.25
E 101-51400-210 LEGAL SERVICES	VON BRIESEN & ROPER	LEGAL SERVICES/OPEN RECORDS REQUEST	\$90.00
E 101-51400-210 LEGAL SERVICES	VON BRIESEN & ROPER	LEGAL SERVICES	\$4,951.10
EXPENSE Descr GENERAL ADMINISTRATION			\$7,425.65

Account Descr	Search Name	Comments	Amount
EXPENSE Descr LAW ENFORCEMENT			
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	BIEBELS TRUE VALUE	VELCRO TAPE/CABLE TIE	\$15.43
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	CREDIT	-\$166.09
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$29.69
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$5.86
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	COMPLETE OFFICE OF WISCONSIN	OFFICE SUPPLIES	\$284.11
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	JAMES WEBER	REIMBURSE CLOTHING ALLOWANCE	\$68.56
E 101-52100-290 OUTSIDE SERVICES/CONTRACTS	LEXISNEXIS	MAR USER FEE	\$132.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	PERSONNEL EVALUATION INC	PEP ANSWER SHEETS	\$11.40
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	QUALITY ASSURED OFFICE MACHINE	HEADSET	\$95.39
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	RED THE UNIFORM TAILOR	CLOTHING ALLOWANCE/JEWELL	\$63.58
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	RED THE UNIFORM TAILOR	CLOTHING ALLOWANCE/DEBARGE	\$169.61
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	SAFELITE FULFILLMENT, INC	REPAIR WINDSHIELD CHIP SQ 2	\$78.93
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	SEEGER, MATTHEW	REIMBURSE CLOTHING ALLOWANCE	\$147.13
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	STREICHER S	HOLSTERS	\$327.00
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	STREICHER S	TACTICAL VEST CARRIER	\$139.99
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	STREICHER S	DUTY BELT/DEBARGE CLOTHING ALLOWANCE	\$44.99
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	VILLAGE GRAPHICS	UPS SHIPPING FEE	\$18.14
E 101-52100-300 OPERATING SUPPLIES/EXPENSES	WORTHINGTON DIRECT	WOOD TABLE	\$520.52
EXPENSE Descr LAW ENFORCEMENT			\$1,986.24
EXPENSE Descr LIBRARY			
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (C031146 3)	BOOK	\$27.17
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (C031146 3)	BOOKS	\$276.96
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$30.24
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$164.10
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$27.45
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOK	\$12.57
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$35.14
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$24.55
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$31.32
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L033027 2)	BOOKS	\$244.11
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L676958 2)	BOOKS	\$34.13
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L676958 2)	BOOKS	\$59.74
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L676958 2)	BOOK	\$10.07
E 101-55110-310 BOOKS & MATERIALS	BAKER & TAYLOR (L676958 2)	BOOKS	\$165.76
E 101-55110-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	ANT BAIT/CRAB GRASS PREVENTER	\$30.87
E 101-55110-310 BOOKS & MATERIALS	BLACKSTONE AUDIO INC	REPLACEMENT DISC/AUDIOBOOK	\$4.00
E 101-55110-310 BOOKS & MATERIALS	GALE/CENGAGE LEARNING	LARGE PRINTS	\$124.60
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	DVD	\$14.99

Account Descr	Search Name	Comments	Amount
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	CHILDRENS DVDS	\$48.97
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	CHILDRENS DVD	\$12.99
E 101-55110-310 BOOKS & MATERIALS	MIDWEST TAPE	DVD	\$50.98
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	NANCY MASSNICK, LIBRARY DIR	PETTY CASH	\$75.00
E 101-55110-310 BOOKS & MATERIALS	PENGUIN RANDOM HOUSE LLC	AUDIOBOOKS/LARGE PRINT	\$88.50
E 101-55110-310 BOOKS & MATERIALS	RECORDED BOOKS LLC	CHILDRENS BOOK KIT	\$34.87
E 101-55110-290 OUTSIDE SERVICES/CONTRACTS	RICOH AMERICAS CORP	MAR ADDITIONAL IMAGES	\$26.97
E 101-55110-300 OPERATING SUPPLIES/EXPENSES	WAUKESHA CTY TREASURER (515)	BOOKPAGE	\$264.00
E 101-55110-220 UTILITY SERVICES	WE ENERGIES	MAR-APR GAS SERVICE	\$342.53
EXPENSE Descr LIBRARY			\$2,262.58
EXPENSE Descr LIBRARY SPEC EXPENSE			
E 205-59100-305 EXPENSES-OTHER	HIGHSMITH INC	SUMMER READING PROMOTIONAL ITEMS	\$473.91
EXPENSE Descr LIBRARY SPEC EXPENSE			\$473.91
EXPENSE Descr MUNICIPAL BUILDING			
E 101-51600-290 OUTSIDE SERVICES/CONTRACTS	ALSCO	FLOOR MAT SERVICE	\$109.01
E 101-51600-255 BLDGS/GROUNDS	BIEBELS TRUE VALUE	ANT BAIT/CRAB GRASS PREVENTER	\$21.14
E 101-51600-255 BLDGS/GROUNDS	FLEMINGS FIRE 1, INC.	ANNUAL INSPECTION/FIRE EXTINGUISHERS	\$137.26
E 101-51600-220 UTILITY SERVICES	WE ENERGIES	MAR-APR ELECTRIC	\$1,609.47
EXPENSE Descr MUNICIPAL BUILDING			\$1,876.88
EXPENSE Descr PARKS			
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	CREDIT	-\$3.09
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	SAFETY HASP/NUTS/BOLTS	\$7.51
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	NUTS/BOLTS	\$3.94
E 101-55200-370 ATHLETIC FACILITY MAINTENANCE	BIEBELS TRUE VALUE	TAPE MEASURE	\$19.79
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	OLSEN SAFETY EQUIPMENT CORP	EARPLUGS/GLOVES/LENS/HARD HATS	\$237.85
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	PORT-A-JOHN	PENBROOK/PARK RESTROOMS	\$150.00
E 101-55200-365 BLDGS/GROUNDS MAINT EXPENSE	REINDERS INC	REPAIRS/NIXON POND FOUNTAIN	\$631.50
EXPENSE Descr PARKS			\$1,047.50
EXPENSE Descr PUBLIC WORKS			
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	HOSE FITTINGS	\$12.20
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	FILTERS/TIE DOWN	\$169.21
E 101-53000-360 VEHICLE MAINT/EXPENSE	AUTOMOTIVE PARTS & EQUIPMENT	HAMMERS	\$123.96
E 101-53000-360 VEHICLE MAINT/EXPENSE	BEARINGS INC	MOWER ARM BUSHINGS	\$96.75
E 101-53000-360 VEHICLE MAINT/EXPENSE	BEARINGS INC	FREIGHT	\$8.58
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	GREASE	\$3.12
E 101-53000-360 VEHICLE MAINT/EXPENSE	BIEBELS TRUE VALUE	BOLTS	\$61.78
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	BIEBELS TRUE VALUE	CLIPS	\$22.80

Account Descr	Search Name	Comments	Amount
E 101-53000-240 CONTRACTED SNOW & ICE CONTROL	CONCRETE & BRICK SPECIALISTS	MARCH SNOWPLOWING	\$598.00
E 101-53000-360 VEHICLE MAINT/EXPENSE	E.H. WOLF	UNLEADED GASOLINE	\$1,286.17
E 101-53000-420 STORM SEWER	OLSEN SAFETY EQUIPMENT CORP	HARD HATS	\$277.38
E 101-53000-360 VEHICLE MAINT/EXPENSE	OLSEN SAFETY EQUIPMENT CORP	EARPLUGS/GLOVES/LENS/HARD HATS	\$237.84
E 101-53000-360 VEHICLE MAINT/EXPENSE	PARTS HUT HARTLAND	TEST LIGHT	\$45.89
E 101-53000-360 VEHICLE MAINT/EXPENSE	REARDON METAL FEBRICATING	TUBE/LAWN ROLLER	\$610.00
E 101-53000-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	GENERAL SERVICES	\$125.50
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	SNAP-ON TOOLS	HOSE NOZZLES	\$128.85
E 101-53000-365 BLDGS/GROUNDS MAINT EXPENSE	SUPERIOR CHEMICAL CORP	FLOOR PADS/MOPS/FLOOR COATING	\$464.86
E 101-53000-410 STREETS GEN MAINT	TAPCO	DO NOT ENTER SIGNS	\$90.60
E 101-53000-430 SNOW & ICE REMOVAL	WAUKESHA CTY TREASURER (515)	BRINE	\$233.86
E 101-53000-430 SNOW & ICE REMOVAL	WAUSAU EQUIPMENT COMPANY, INC	PLOW/WING PLOW REPAIR PARTS	\$884.63
EXPENSE Descr PUBLIC WORKS			\$5,481.98
EXPENSE Descr RECREATION PROGRAMS/EVENTS			
E 101-55300-295 TRIPS	DOUSMAN TRANSPORT	SPRING BREAK FIELD TRIPS	\$1,365.94
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	HOOPER HANDS BASKETBALL AC	DRIBBLE DRIBBLE 102	\$1,008.00
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	HOOPER HANDS BASKETBALL AC	PASS SHOOT SCORE	\$1,200.00
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	LAKE COUNTRY FINE ARTS SCHOOL	GLASS FUSING	\$20.00
E 101-55300-295 TRIPS	MENOMONEE FALLS SCHOOL DISTRICT	MOTOWN/BADGER BAND	\$548.00
E 101-55300-290 OUTSIDE SERVICES/CONTRACTS	US COAST GUARD AUXILIARY	BOATER SAFETY CLASS	\$413.00
EXPENSE Descr RECREATION PROGRAMS/EVENTS			\$4,554.94
EXPENSE Descr REFUSE & GARBAGE COLLECTION			
E 201-53620-200 GARBAGE COLLECTION FEES	ADVANCED DISPOSAL SERVICES	MARCH SERVICE	\$31,623.13
EXPENSE Descr REFUSE & GARBAGE COLLECTION			\$31,623.13
EXPENSE Descr REPAVE PATHWAYS - MILL PLACE			
E 401-76080-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	REPAVE PATHWAYS	\$868.00
EXPENSE Descr REPAVE PATHWAYS - MILL PLACE			\$868.00
EXPENSE Descr SEWER SERVICE			
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	DIVERSIFIED BENEFIT SERVICES	APR HRA ADMN SERVICES	\$25.23
E 204-53610-290 OUTSIDE SERVICES/CONTRACTS	MBM	APR-JULY COPIER	\$91.86
E 204-53610-380 MAINTENANCE-SEWAGE SYSTEM COLL	OLSEN SAFETY EQUIPMENT CORP	HARD HATS	\$277.39
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	HARDWARE AND SOFTWARE UPDATE	\$1,660.79
E 204-53610-800 CAPITAL OUTLAY	RUEKERT & MIELKE	IMPROVEMENT C PLAN REVIEW	\$248.00
EXPENSE Descr SEWER SERVICE			\$2,303.27
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			
E 401-74075-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	STORM SEWER CATCH BASIN REPAIR	\$248.00

Account Descr	Search Name	Comments	Amount
EXPENSE Descr STORM SWR CATCH BASIN REPAIR			\$248.00
EXPENSE Descr STORM WATER MGMT PLAN			
E 401-74097-290 OUTSIDE SERVICES/CONTRACTS	RUEKERT & MIELKE	STUDY	\$7,330.50
EXPENSE Descr STORM WATER MGMT PLAN			\$7,330.50
EXPENSE Descr TIF FUND EXPENSES			
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	NUGENT, HEIDI	RELOCATION EXPENSES	\$46,174.45
E 216-58300-290 OUTSIDE SERVICES/CONTRACTS	VON BRIESEN & ROPER	LEGAL SERVICES	\$1,584.00
EXPENSE Descr TIF FUND EXPENSES			\$47,758.45
EXPENSE Descr WATER UTILITY			
E 620-53700-651 MAINTENANCE OF MAINS	BIEBELS TRUE VALUE	PRY BARS	\$24.07
E 620-53700-631 WATER TREATMENT - CHEMICALS	BIEBELS TRUE VALUE	CHLORINE	\$28.32
E 620-53700-923 OUTSIDE SERVICES	DIVERSIFIED BENEFIT SERVICES	APR HRA ADMIN SERVICES	\$63.06
E 620-53700-651 MAINTENANCE OF MAINS	E.H. WACHS	SWITCH POWER TURNER	\$148.20
E 620-53700-921 OFFICE SUPPLIES & EXPENSES	GORDON FLESCH CO INC	COATED ROLL PAPER	\$100.96
E 620-53700-923 OUTSIDE SERVICES	MBM	APR-JULY COPIER	\$91.86
E 620-53700-684 TOOLS/SHOP/GARAGE EQUIPMENT	OLSEN SAFETY EQUIPMENT CORP	HARD HATS	\$277.39
E 620-53700-681 COMPUTERS & SOFTWARE	RUEKERT & MIELKE	HARDWARE AND SOFTWARE UPDATE	\$1,660.79
E 620-53700-923 OUTSIDE SERVICES	RUEKERT & MIELKE	GIS MAINTENANCE	\$932.80
E 620-53700-923 OUTSIDE SERVICES	RUEKERT & MIELKE	SCADA SERVICE	\$2,597.80
EXPENSE Descr WATER UTILITY			\$5,925.25
			\$148,151.49

**VILLAGE OF HARTLAND
LICENSES AND PERMITS
APRIL 25, 2016**

Bartender (Operator's) License – expires June 30, 2016

Ashlye Lenae Mueller

The Police Chief and Village Clerk recommend approval. Applicant has successfully completed the Responsible Beverage Servers Course.

Street Use Permit for Large Scale Events

Event: Swallow Education Foundation 5k run

Date: May 21, 2016

Time: 7:00 – 11:00 am

The Police Chief recommends approval and will staff this event. The Fire Chief, Public Works Director and Village Clerk recommend approval.



STREET USE PERMIT APPLICATION FOR LARGE SCALE EVENTS

Date: 4/6/16
Rec #: 172456

(Three (3) or more City Blocks, or More than 1,200 Feet)

APPLICATION MUST BE RECEIVED AT THE ADMINISTRATIVE OFFICES AT LEAST 30 DAYS IN ADVANCE OF THE DATE OF THE EVENT

\$50.00 FEE

Nonrefundable application fee is required at time of filing

Sponsoring Agency (if applicable) Swallow Education Foundation
Street Address W299 N5614 County Rd E Hartland WI
Web Page and/or e-mail address _____
Phone No. _____ **Fax No.** _____

Contact Person Sue Ann Toy
Street Address (if different than above) NW28820 Parkside Pl Hartland
E-mail Address satox@gg@me.com
Phone No. 262 951 6404 **Fax No.** _____

Street name and block numbers (attach map and diagram)
Four Winds Subdivision.
Small section of E map included

Date(s) of Closure/Use 5-21-16 **Rain Date?** _____
Hours of Closure/Use Run to start @ 9am **Estimated Attendance** 150 or less
and approx 10 am

Describe Event (include time table indicating hours of set up and tear down if applicable)
The event is a 5K Run to raise money for Swallow School.
The Run start time is 9am. Estimated time for Setup
and tear down is 7am-11am

Additional permits are required for the following activities – applications available at the Village Administrative office:

Sale of beer and/or wine – Class "B" Picnic Beer/Wine License \$10

Signature of Applicant Sue Ann Toy **Date** 4-5-16
(Falsification of information will result in denial of permit)

IMPORTANT! – PLEASE ATTACH CERTIFICATE OF INSURANCE WITH VILLAGE OF HARTLAND LISTED AS AN ADDITIONAL INSURED

Return completed application and \$50 application fee to:
Village of Hartland, 210 Cottonwood Avenue, Hartland, WI 53029
(Phone 262-367-2714)

Date approved or denied: _____
Any conditions specified: _____

*Walkers on footpath
Runners start on Hwy E*

PETITION

We, the undersigned residents of the Four Winds Subdivision hundred block(s) of _____ Street in the Village of Hartland, hereby consent to the recreational use of this street between the hours of 7 and 11 on ~~Sun~~ Sat, the 21 day of 2016, for the purpose of Swallow School 5K, and do hereby petition the Village of Hartland to grant a Street Use Permit for use of the said portion of said street for said purpose and do hereby agree to abide by such conditions of such use in the Village of Hartland.

Barricades and "Road Closed" sign can be obtained from a traffic control rental vendor or at cost by the DPW, subject to availability and with at least 48 hours notice (262-367-2714).

The responsible person or persons who shall sign an application for a Street Use Permit on our behalf is/are as follows:

NAME(S) Sue Ann Toy

TITLE SEF volunteer

ADDRESS N61w28820 Parkside Place E HARTLAND, WI 53029

PHONE (daytime) 262 951 6404 (evening) _____

ORGANIZATION/GROUP SPONSORING EVENT SEF - Swallow Education Foundation

Petitioner(s) Signature	Petitioner(s) Address
<u>Kelly Onychowski</u>	<u>1257 Four Winds Way</u>
<u>Barbara Shesca</u>	<u>1241 Four Winds way</u>
<u>John Clark</u>	<u>1130 Four Winds Way</u>
<u>John M. Laska</u>	<u>363 Switch grass ct</u>
<u>Jim Pope</u>	<u>1268 Four Winds way</u>
<u>Denise M. Clark</u>	<u>353 Westlyn Ct.</u>
<u>John Kowald</u>	<u>1253 Four Windy Way</u>
<u>Christa Revallot</u>	<u>389 Prairie Grass Ct.</u>
<u>Jodi Patterson</u>	<u>1271 Four Winds Way</u>
<u>Jela S</u>	<u>346 Hollyhock Ln.</u>
<u>Regina M. Cede</u>	<u>416 River Grove Lane</u>
<u>Chris Mayhew</u>	<u>368 Switch grass Ct</u>
<u>Connie Laregilden</u>	<u>356 Switch grass Ct.</u>
<u>Lori Schmeling</u>	<u>360 Switch Grass Ct.</u>
<u>Jim Jostanski</u>	<u>1213 Four Winds Way</u>

To Whom It May Concern

The Swallow Education Foundation would like to do a 5K Run/Walk on May 21 at 9:00 am, to raise funds for the Swallow School Discovery Lab and Innovation Grant. The run would start at Swallow School and head north to the Four Winds Subdivision. It would wind through the streets of Four Winds and finish back at Swallow. A map of the route is enclosed. We have talked with the Four Winds HOA, and they are eager to help us with this fundraising event, and are asking for permission from Hartland now so we can move forward.

Thank you for your consideration. Please contact me with any questions or concerns.

Sue Ann Toy
satoy00@me.com
262-951-6404



Google earth

feet
meters

2000

800

Google earth

Swallow School

Food

Four Winds

1/2

potential on k start



Memo

To: Village Board
From: Chief Robert J. Rosch 
CC:
Date: **October 26, 2015**
Re: May 21, 2016 Swallow School Street Use Permit

The Police Department has no objections to this request. I have spoken with the organizer and with the Waukesha County Sheriff's Department in regards to the limited closure of Hwy E to start the event. The Sheriff will manage that, our patrol staff will monitor the run within the subdivision. There is no need to close any streets in Four Winds.

**BOARD AND COMMISSION APPOINTMENTS
VILLAGE BOARD**

Appointments and Reappointments for consideration as listed below.

2016 Board of Review Members - annual appointment

Ex Officio

Village President David Lamerand

Village Clerk Darlene Igl

Finance Director Ryan Bailey

Annual Appointment

Village Trustee –Mike Meyers (reappoint)

Citizen Member – Karen Compton (reappoint)

Jt. Architectural Board/Plan Commission - 3 year term

Reappoint Tim Halquist - term expires April 30, 2019

Reappoint David Lamerand and Randy Swenson – Village Board seats

Park and Recreation Board - 3 year term

Reappoint Tim Halquist and Peggy Kallenberger – terms expire April 30, 2019

Reappoint Richard Landwehr – Village Board seat

Police and Fire Commission - 5 year term

Reappoint Ralph Redlin – term expires April 30, 2021

Delafield-Hartland Water Pollution Control Commission (Del-Hart) – 1 year term

Reappoint Karen Compton, Richard Landwehr, Michael Meyers, Rick Stevens

Hartland Public Library Board

Reappoint Judith Dimond and Janet Schmitt – terms to expire April 30, 2018

Reappoint Jay Williams – term to expire April 30, 2019

Ice Age Trail Community Committee – Initial Appointments

Appoint Mary Burton and Dave Van Thiel – terms to expire April 30, 2017

Appoint Rod Podszus and David Van De Ven – terms to expire April 30, 2018

IATCC Information on Ex Officio and Outside Body Representatives (No Board Action)

Jean Georgson (IATA Representative) – term to expire April 30, 2018

Unnamed (BID Representative) – term to expire April 30, 2017

David Cox, Administrator (or Designee)

MEMO

TO: David E. Cox, Village Administrator
FROM: Michael Einweck, Director of Public Works
DATE: April 21, 2016
SUBJECT: Stormwater Ordinance Revisions - HMC Chapter 76

Attached for the Village Board's consideration is an update to the Village's Stormwater Management Ordinance, Chapter 76 of the Hartland Municipal Code. The proposed changes are identified in the technical memorandum from our Village Engineer, Ruckert-Mielke. The changes are being made as part of the urban stormwater grant the Village received from the Wisconsin Department of Natural Resources (DNR) to update our stormwater management plan. The highlighted revisions to the ordinance are to meet the current requirements of NR 151 of the Wisconsin Administrative Code and to comply with the new TMDL standards that are required under the Municipal Separate Storm Sewer System (MS4) Permit.

Staff will bring to the Board for consideration at a later date a comprehensive update to our "**Erosion Control and Stormwater Management Requirements**" report. This is the reference document that guides the development and redevelopment throughout the Village as they relate to stormwater management and required erosion control measures. These report updates will reflect the proposed ordinance changes and the technical requirements of NR 151.

Please place this on the next Village Board agenda for consideration.

Attachments

cc: Darlene Igl, Village Clerk
Ryan Amtmann, Village Engineer
Scott Hussinger, Building Inspector

Technical Memorandum

TO: Mike Einweck, Village of Hartland Director of Public Works

FROM: Maureen McBroom, Ruekert Mielke Environmental Coordinator

DATE: April 22, 2016

SUBJECT: Stormwater Ordinance Revisions

The Village of Hartland received an urban stormwater grant from the Wisconsin Department of Natural Resources (DNR) to update the Village's stormwater management plan. This work includes updating the Village's Erosion Control and Stormwater Ordinances and supporting materials to meet the current requirements of NR 151, Wisconsin Administrative Code. These revisions will satisfy the requirement to update the ordinances by June 7, 2016, as required under the Municipal Separate Storm Sewer System (MS4) Permit. The Village has been covered under the MS4 Permit since 2006.

Updated technical requirements regarding erosion control during construction and for long-term stormwater controls after construction have been implemented by the DNR since 2011. The currently proposed revisions to the Village ordinances and supporting materials will reflect these technical requirements of NR 151, simplifying the approval process for property owners and developers seeking permits from both the DNR and the Village.

The following chart describes the proposed changes to the Village's erosion control and stormwater ordinances.

MCB:mcb

cc: File

Proposed Changes to Village of Hartland Erosion Control and Stormwater Management Requirements

Subject	Reference	Why
Added language explaining the purpose of the ordinance	Stormwater Management Ordinance, Sec. 76-4 (a) (4)	To be consistent with NR 151 and state updates
Deleted exemption for redevelopment sites	Stormwater Management Ordinance Sec 76-5 (a) (2)	To be consistent with NR 151 and state updates
Clarified exemption regarding protective area standards	Stormwater Management Ordinance Sec 76-5 (a) (2) a.	To be consistent with NR 151 and state updates
Deleted reference to 1993 Wisconsin Construction Site Best Management Practice Handbook	Stormwater Management Ordinance Sec 76-6	To be consistent with NR 151 and state updates
Added language to capture future changes to state erosion control codes	Stormwater Management Ordinance, Sec. 76-6 (1)	Village staff request (to minimize need for future ordinance updates)
Add new statutory reference (S. 281.33) and state pre-emption language to be consistent with state statutes and administrative code	Erosion Control Ordinance, Sec. 76-52 (a)	To be consistent with NR 151 and state updates
Added language to capture future changes to state erosion control codes	Erosion Control Ordinance, Sec. 76-52 (d) (2)	Village staff request (to minimize need for future ordinance updates)
Deleted exemption for commercial sites	Erosion Control Ordinance Sec. 76-55 (b)	To be consistent with NR 151 and state updates

W233 N2080 Ridgeview Parkway • Waukesha, WI 53188-1020 • Tel. (262) 542-5733

Subject	Reference	Why
Deleted reference to 1993 Wisconsin Construction Site Best Management Practice Handbook	Erosion Control Ordinance Sec. 76-57	To be consistent with NR 151 and state updates
Updated to 5 tons/acre/year sediment discharge standard per NR 151	Erosion Control Ordinance Sec. 76-57 (a) (2)	To be consistent with NR 151 and state updates

Chapter 76 - STORMWATER MANAGEMENT

FOOTNOTE(S):

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Editor's note—Ord. No. 721-06, § 1, adopted Jan. 23, 2006, set out provisions intended for use as Ch. 47. For purposes of alphabetization, and at the editor's discretion, these provisions have been included as Ch. 76.

ARTICLE I. - IN GENERAL

Sec. 76-1. - Definitions.

[The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:]

Agricultural facilities and practices has the meaning given in Wis. Stats. § 281.16.

Average annual rainfall means a calendar year of precipitation, excluding snow, which is considered typical.

Best management practice or *BMP* means structural or non-structural measures, practices, techniques or devices employed to avoid or minimize sediment or pollutants carried in runoff to waters of the state.

Business day means a day the office of the director of public works is routinely and customarily open for business.

Cease and desist order means a court-issued order to halt land disturbing construction activity that is being conducted without the required permit.

Connected imperviousness means an impervious surface that is directly connected to a separate storm sewer or water of the state via an impervious flow path.

Design storm means a hypothetical discrete rainstorm characterized by a specific duration, temporal distribution, rainfall intensity, return frequency, and total depth of rainfall.

Development means residential, commercial, industrial or institutional land uses and associated roads.

Director of public works means the Village of Hartland Director of Public Works or designee.

Division of land means either a subdivision or minor land division, as defined by chapter 50, Land subdivision.

Effective infiltration area means the area of the infiltration system that is used to infiltrate runoff and does not include the area used for site access, berms or pretreatment.

Erosion means the process by which the land's surface is worn away by the action of wind, water, ice or gravity.

Exceptional resource waters means waters listed in § NR 102.11, Wis. Adm. Code.

Extraterritorial jurisdiction means extraterritorial plat approval jurisdiction as defined by section 50-2 of the Village of Hartland Land Subdivision Ordinance.

Final stabilization means that all land disturbing construction activities at the construction site have been completed and that a uniform, perennial, vegetative cover has been established, with a density of at

least 70 percent of the cover, for the unpaved areas and areas not covered by permanent structures, or employment of equivalent permanent stabilization measures.

Financial guarantee means a performance bond, maintenance bond, surety bond, irrevocable letter of credit, or similar guarantees submitted to the director of public works by the responsible party to assure that requirements of the ordinance are carried out in compliance with the stormwater management plan.

Governing body means the village board of trustees.

Impervious surface means an area that releases as runoff all or a large portion of the precipitation that falls on it, except for frozen soil. Rooftops, sidewalks, driveways, parking lots and streets are examples of areas that typically are impervious.

In-fill area means an undeveloped area of land located within existing development.

Infiltration means the entry of precipitation or runoff into or through the soil.

Infiltration system means a device or practice such as a basin, trench, rain garden or swale designed specifically to encourage infiltration, but does not include natural infiltration in pervious surfaces such as lawns, redirecting of rooftop downspouts onto lawns or minimal infiltration from practices, such as swales or road side channels designed for conveyance and pollutant removal only.

Karst feature means an area or geologic feature subject to bedrock dissolution so that it is likely to provide a conduit to groundwater, and may include caves, enlarged fractures, mine features, exposed bedrock surfaces, sinkholes, springs, seeps or swallets.

Land development activity means any construction related activity that results in the addition or replacement of impervious surfaces such as rooftops, roads, parking lots, and other structures. Measurement of areas impacted by land development activity includes areas that are part of a larger common plan of development or sale where multiple separate and distinct land disturbing construction activities may be taking place at different times on different schedules but under one plan.

Land disturbing construction activity means any man-made alteration of the land surface resulting in a change in the topography or existing vegetative or non-vegetative soil cover, that may result in runoff and lead to an increase in soil erosion and movement of sediment into waters of the state. Land disturbing construction activity includes clearing and grubbing, demolition, excavating, pit trench dewatering, filling and grading activities.

Maintenance agreement means a legal document that provides for long-term maintenance of stormwater management practices.

MEP or maximum extent practicable means a level of implementing best management practices in order to achieve a performance standard specified in this article which takes into account the best available technology, cost effectiveness and other competing issues such as human safety and welfare, endangered and threatened resources, historic properties and geographic features. MEP allows flexibility in the way to meet the performance standards and may vary based on the performance standard and site conditions.

New development means development resulting from the conversion of previously undeveloped land or agricultural land uses.

Off-site means located outside the property boundary described in the permit application.

On-site means located within the property boundary described in the permit application.

Ordinary high-water mark has the meaning given in Wis. Admin. Code § NR 115.03(6).

Outstanding resource waters means waters listed in Wis. Admin. Code § NR 102.10.

Percent fines means the percentage of a given sample of soil, which passes through a #200 sieve.

Performance standard means a narrative or measurable number specifying the minimum acceptable outcome for a facility or practice.

Permit means a written authorization made by the director of public works/building inspector/village engineer to the applicant to conduct land disturbing construction activity or to discharge post-construction runoff to waters of the state.

Permit administration fee means a sum of money paid to the [administering authority] by the permit applicant for the purpose of recouping the expenses incurred by the authority in administering the permit.

Pervious surface means an area that releases as runoff a small portion of the precipitation that falls on it. Lawns, gardens, parks, forests or other similar vegetated areas are examples of surfaces that typically are pervious.

Pollutant has the meaning given in Wis. Stat. § 283.01(13).

Pollution has the meaning given in is. Stat. § 281.01(10).

Post-construction site means a construction site following the completion of land disturbing construction activity and final site stabilization.

Pre-development condition means the extent and distribution of land cover types present before the initiation of land disturbing construction activity, assuming that all land uses prior to development activity are managed in an environmentally sound manner.

Preventive action limit has the meaning given in Wis. Admin. Code § NR 140.05(17).

Redevelopment means areas where development is replacing older development.

Responsible party means any entity holding fee title to the property.

Runoff means stormwater or precipitation including rain, snow or ice melt or similar water that moves on the land surface via sheet or channelized flow.

Separate storm sewer means a conveyance or system of conveyances including roads with drainage systems, streets, catch basins, curbs, gutters, ditches, constructed channels or storm drains, which meets all of the following criteria:

- (1) Is designed or used for collecting water or conveying runoff.
- (2) Is not part of a combined sewer system.
- (3) Is not draining to a stormwater treatment device or system.
- (4) Discharges directly or indirectly to waters of the state.

Site means the entire area included in the legal description of the land on which the land disturbing construction activity occurred.

Stop work order means an order issued by the director of public works/building inspector/village engineer which requires that all construction activity on the site be stopped.

Stormwater management plan means a comprehensive plan designed to reduce the discharge of pollutants from stormwater after the site has under gone final stabilization following completion of the construction activity.

Stormwater management system plan is a comprehensive plan designed to reduce the discharge of runoff and pollutants from hydrologic units on a regional or municipal scale.

Technical standard means a document that specifies design, predicted performance and operation and maintenance specifications for a material, device or method.

Top of the channel means an edge, or point on the landscape, landward from the ordinary high water mark of a surface water of the state, where the slope of the land begins to be less than 12 percent continually for at least 50 feet. If the slope of the land is 12 percent or less continually for the initial 50 feet, landward from the ordinary high water mark, the top of the channel is the ordinary high water mark.

TR-55 means the United States Department of Agriculture, Natural Resources Conservation Service (previously Soil Conservation Service), Urban Hydrology for Small Watersheds, Second Edition, Technical Release 55, June 1986.

Type II distribution means a rainfall type curve as established in the "United States Department of Agriculture, Soil Conservation Service, Technical Paper 149, published 1973". The Type II curve is applicable to all of Wisconsin and represents the most intense storm pattern.

Waters of the state has the meaning given in Wis. Stats. § 281.01 (18).

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-2. - Authority.

- (a) This article is adopted by the Village of Hartland under the authority granted by Wis. Stats. § 61.354. This article supersedes all provisions of an ordinance previously enacted under Wis. Stats. § 61.35 that relate to stormwater management regulations. Except as otherwise specified in Wis. Stats. § 61.354, Wis. Stats. § 61.35 applies to this article and to any amendments to this article.
- (b) The provisions of this article are deemed not to limit any other lawful regulatory powers of the same governing body.
- (c) The Village of Hartland hereby designates the director of public works/village engineer/building inspector, or their respective designees, to administer and enforce the provisions of this article.
- (d) The requirements of this article do not pre-empt more stringent stormwater management requirements that may be imposed by any of the following:
 - (1) Wisconsin Department of Natural Resources administrative rules, permits or approvals including those authorized under Wis. Stats. §§ 281.16 and 283.33.
 - (2) Targeted non-agricultural performance standards promulgated in rules by the Wisconsin Department of Natural Resources under § NR 151.004, Wis. Adm. Code.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-3. - Findings of fact.

The Village of Hartland finds that uncontrolled, post-construction runoff has a significant impact upon water resources and the health, safety and general welfare of the community and diminishes the public enjoyment and use of natural resources. Specifically, uncontrolled post-construction runoff can:

- (1) Degrade physical stream habitat by increasing stream bank erosion, increasing streambed scour, diminishing groundwater recharge, diminishing stream base flows and increasing stream temperature.
- (2) Diminish the capacity of lakes and streams to support fish, aquatic life, recreational and water supply uses by increasing pollutant loading of sediment, suspended solids, nutrients, heavy metals, bacteria, pathogens and other urban pollutants.
- (3) Alter wetland communities by changing wetland hydrology and by increasing pollutant loads.
- (4) Reduce the quality of groundwater by increasing pollutant loading.
- (5) Threaten public health, safety, property and general welfare by overtaxing storm sewers, drainage ways, and other minor drainage facilities.
- (6) Threaten public health, safety, property and general welfare by increasing major flood peaks and volumes.

(7) Undermine floodplain management efforts by increasing the incidence and levels of flooding.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-4. - Purpose and intent.

(a) *Purpose.* The general purpose of this article is to establish long-term, post- construction runoff management requirements that will diminish the threats to public health, safety, welfare and the aquatic environment. Specific purposes are to:

- (1) Further the maintenance of safe and healthful conditions.
- (2) Prevent and control the adverse effects of stormwater; prevent and control soil erosion; prevent and control water pollution; protect spawning grounds, fish and aquatic life; control building sites, placement of structures and land uses; preserve ground cover and scenic beauty; and promote sound economic growth.
- (3) Control exceedance of the safe capacity of existing drainage facilities and receiving water bodies; prevent undue channel erosion; control increases in the scouring and transportation of particulate matter; and prevent conditions that endanger downstream property.

(4) Minimize the amount of pollutants discharged from the separate storm sewer to protect the waters of the state.

(b) *Intent.* It is the intent of the Village of Hartland that this article regulates post-construction stormwater discharges to waters of the state. This article may be applied on a site-by-site basis. The Village of Hartland recognizes, however, that the preferred method of achieving the stormwater performance standards set forth in this article is through the preparation and implementation of comprehensive, systems-level stormwater management plans that cover hydrologic units, such as watersheds, on a municipal and regional scale. Such plans may prescribe stormwater devices, practices or systems, any of which may be designed to treat runoff from more than one site prior to discharge from the site(s). Where such plans are in conformance with the performance standards developed under Wis. Stats. § 281.16 for regional stormwater management measures and have been approved by the Village of Hartland, it is the intent of this article that the approved plan be used to identify post-construction management measures acceptable for the community.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-5. - Applicability and jurisdiction.

(a) *Applicability.*

- (1) Where not otherwise limited by law, this article applies to land development activity that results in one or more acres of land disturbing construction activity.
- (2) A site that meets any of the criteria in this paragraph is exempt from the requirements of this article:

a. A redevelopment site with no net increase in exposed parking lots, roads, rooftops, or other impervious areas.

ab. A site having less than ten percent impervious area based on complete development of the post-construction site, provided the cumulative area of all parking lots and rooftops is less than one acre. However the exemption of this paragraph does not include exemption from the protective area standard of this ordinance.

bc. Nonpoint discharges from agricultural facilities and practices conducted 50 or more feet from any navigable stream or waterway.

cd. Nonpoint discharges from silviculture activities conducted 50 or more feet from any navigable stream or waterway.

de. Underground utility construction such as but not limited to water, sewer and other lines. This exemption does not apply to the construction of any above ground structures associated with utility construction.

(3) Notwithstanding the applicability requirements in paragraph (a), this article applies to land development activity of any size that, in the opinion of the director of public works, village engineer, or building inspector, is likely to result in runoff that exceeds the safe capacity of the existing drainage facilities or receiving body of water, that causes undue channel erosion, that increases water pollution by scouring or the transportation of particulate matter or that endangers property or public safety.

(b) *Jurisdiction.* This article applies to land development activities within the boundaries and jurisdiction of the Village of Hartland, as well as the division of land in the village's extraterritorial jurisdiction.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-6. - Technical standards and design methods.

All drainage facilities and practices required to comply with this article shall incorporate technical standards and design methods specified in the document Village of Hartland Erosion Control and Stormwater Management Requirements, maintained and periodically updated by the director of public works/village engineer. Where not superseded by stricter requirements in Village of Hartland Erosion Control and Stormwater Management Requirements, the following standards are also incorporated by reference:

~~(1) Applicable design criteria, standards and specifications identified in the Wisconsin Construction Site Best Management Practice Handbook, WDNR Pub. WR-222 November 1993 Revision or subsequent revision.~~

~~(12) Other dDesign guidance and technical standards identified or developed by the Wisconsin Department of Natural Resources under subchapter V of chapter NR 151, Wis. Adm. Code or the current state runoff program administrative codes.~~

~~(23) Other technical standards not identified or developed in subsection (1), may be used provided that the methods have been approved by the director of public works/village engineer.~~

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-7. - Performance standards.

(a) *Responsible party.* The entity holding fee title to the property shall be responsible for either developing and implementing a stormwater management plan, or causing such plan to be developed and implemented through contract or other agreement. This plan shall be developed in accordance with section 76-8, which incorporates the requirements of this section.

(b) *Plan.* A written plan shall be developed in accordance with section 76-8 and implemented for applicable land development activities.

(c) *Stormwater management performance standards.* All drainage facilities and practices required to comply with this article shall meet performance standards specified in the document Village of Hartland Erosion Control and Stormwater Management Requirements, maintained and periodically updated by the director of public works/village engineer.

(d) *Location and regional treatment option.*

- (1) Stormwater management facilities required to meet this article may be located on-site or off-site as part of a stormwater device, practice or system.
- (2) The director of public works/village engineer may approve off-site management measures provided that all of the following conditions are met:
 - a. The director of public works/village engineer determines that the post-construction runoff is covered by a stormwater management system plan that is approved by Village of Hartland and that contains management requirements consistent with the purpose and intent of this article.
 - b. The off-site facility meets all of the following conditions:
 1. The facility will be in place before the need for the facility arises as a result of on-site construction activities.
 2. The facility is designed and adequately sized to provide a level of stormwater control equal to or greater than that which would be afforded by on-site practices meeting the performance standards of this article.
 3. The facility has a legally obligated entity responsible for its long-term operation and maintenance.
 4. Where a regional stormwater management option exists such that the director of public works/village engineer may exempt the applicant from all or part of the minimum on-site stormwater management requirements, the applicant shall be required to pay a fee in an amount determined by the director of public works/village engineer. In determining the fee for post-construction runoff, the director of public works/village engineer shall consider an equitable distribution of the cost for land, engineering design, construction, and maintenance of the regional treatment option.
 - (e) *Alternate requirements.* The director of public works/village engineer may establish alternative stormwater management requirements to those set forth in the village's erosion control and stormwater management requirements, if the director of public works/village engineer determines that an added level of protection is needed for to address downstream stormwater management issues; or that extraordinary hardships or practical difficulties may result from strict compliance with these regulations. Exceptions or waivers to stormwater management requirements set forth in this article and the village's erosion control and stormwater management requirements shall be considered in accordance with section 76-12.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-8. - Permitting requirements, procedures, and fees.

- (a) *Permit required.* No responsible party may undertake a land disturbing construction activity without receiving a stormwater management permit from the building inspector/ director of public works prior to commencing the proposed activity.
- (b) *Permit application and fees.* Unless specifically excluded by this article, any responsible party desiring a permit shall submit to the building inspector/director of public works a permit application made on a form provided by village for that purpose.
 - (1) Unless otherwise excepted by this article, a permit application must be accompanied by a stormwater management plan, a maintenance agreement (where required) and, where not otherwise covered by a developer's agreement, a non-refundable permit administration fee. The permit administration fee, where applicable, shall be consistent with a fee schedule maintained by the village.
 - (2) The stormwater management plan shall be prepared to meet the requirements of sections 76-6 and 76-8, the maintenance agreement shall be prepared to meet the requirements of 76-9, the

financial guarantee shall meet the requirements of 76-10, and fees shall be those established by the village as set forth in the schedule of fees established by the village board from time-to-time.

- (c) *Review and approval of permit application.* The building inspector/ director of public works shall review any permit application that is submitted with a stormwater management plan, maintenance agreement, and the required fee. The following approval procedure shall be used:
- (1) The village staff may request additional information if required for a complete permit application.
 - (2) If the stormwater permit application, plan and maintenance agreement are approved, or if an agreed upon payment of fees in lieu of stormwater management practices is made, the village staff shall issue the permit.
 - (3) If the stormwater permit application, plan or maintenance agreement is disapproved, the village staff shall detail in writing the reasons for disapproval.
 - (4) Prior to commencing the land development activity, the project may be subject to additional approvals under the village's code.
- (d) *Permit requirements.* All permits issued under this article shall be subject to the following conditions, and holders of permits issued under this article shall be deemed to have accepted these conditions. The building inspector/director of public works may suspend or revoke a permit for violation of a permit condition by issuing written notification to the responsible party. An action to suspend or revoke a permit may be appealed in accordance with section 76-15.
- (1) Compliance with a permit issued under this article does not relieve the responsible party of the responsibility to comply with any other applicable federal, state, and local laws and regulation(s).
 - (2) The responsible party shall design and install all structural and non-structural stormwater management measures in accordance with the approved stormwater management plan and this permit.
 - (3) The responsible party shall notify the director of public works/village engineer/building inspector at least two business days before commencing any work in conjunction with the stormwater management plan, and within three business days upon completion of the stormwater management practices.
 - (4) Installations required as part of this article shall be certified "as built" by a licensed professional engineer. Completed stormwater management practices must pass a final inspection by the director of public works/village engineer or their designee to determine compliance with the approved stormwater management plan and ordinance. The director of public works/village engineer or its designee shall notify the responsible party in writing of any changes required in such practices to bring them into compliance with the conditions of this permit.
 - (5) The responsible party shall notify the director of public works/village Engineer of any proposed modifications to an approved stormwater management plan prior to incorporation into the stormwater management plan.
 - (6) The responsible party shall maintain all stormwater management practices in accordance with the stormwater management plan until the practices either become the responsibility of the village, or are transferred to subsequent private owners as specified in the approved maintenance agreement.
 - (7) The responsible party authorizes the village to perform any work or operations necessary to bring stormwater management measures into conformance with the approved stormwater management plan, and consents to a special assessment or charge against the property as authorized under subch. VII of Wis. Stats. ch. 66, or to charging such costs against the financial guarantee posted under section 76-10.

- (8) Activities that are not in compliance with the approved stormwater management plan shall constitute a public nuisance and the responsible party shall repair, at the responsible party's own expense, all damage to adjoining facilities and drainage ways caused by runoff, where such damage is caused by such activities.
- (9) The responsible party shall permit property access to the director of public works/village engineer or its designee for the purpose of inspecting the property for compliance with the approved stormwater management plan and this permit.
- (10) Where site development or redevelopment involves changes in direction, increases in peak rate and/or total volume of runoff from a site, the village board may require the responsible party to make appropriate legal arrangements with affected property owners.
- (11) The responsible party is subject to the enforcement actions and penalties detailed in section 76-13, if the responsible party fails to comply with the terms of a permit issued under this chapter.
- (e) *Permit conditions.* Permits issued under this subsection may include conditions established by the village related to the requirements needed to meet the performance standards in 76-6 or a financial guarantee as provided for in section 76-10.
- (f) *Permit duration.* Permits issued under this section shall be valid from the date of issuance through the date the village notifies the responsible party that all stormwater management practices have passed the final inspection required under subsection (d)(4). The permit shall be invalid if work is not commenced within one year of permit issuance.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-9. - Stormwater management plan.

- (a) *Plan requirements.* A stormwater management plan shall be prepared and submitted to the village director of public works/village engineer. The stormwater management plan shall include, at a minimum, information required in the village's erosion control and stormwater management requirements, maintained and periodically updated by the director of public works/village engineer. The director of public works may waive certain submittal requirements if reasonably determined by the director of public works/village engineer to be unnecessary to demonstrate compliance with ordinance standards.
- (b) *Alternate requirements.* The director of public works/village engineer may prescribe alternative submittal requirements for applicants seeking an exemption to on-site stormwater management performance standards under subsection 76-7(e) or section 76-13.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-10. - Maintenance agreement.

- (a) *Maintenance agreement required.* The maintenance agreement required under subsection 76-7(b) for stormwater management practices shall be an agreement between the village and the responsible party to provide for maintenance of stormwater practices beyond the duration period of this permit. The maintenance agreement shall be filed with the Waukesha County Register of Deeds as a property deed restriction so that it is binding upon all subsequent owners of the land served by the stormwater management practices.
- (b) *Agreement provisions.* The maintenance agreement shall contain the following information and provisions and be consistent with the maintenance plan required by subsection 76-7(b).
 - (1) Identification of the stormwater facilities and designation of the drainage area served by the facilities.

- (2) A schedule for regular maintenance of each aspect of the stormwater management system consistent with the stormwater management plan required under subsection 76-7(b).
- (3) Identification of the property or easement owner, organization or county, or village responsible for long term maintenance of the stormwater management practices identified in the stormwater management plan required under subsection 76-7(b).
- (4) Requirement that the responsible party(s), organization, or county, or town shall maintain stormwater management practices in accordance with the schedule included under subsection (b)(2) above.
- (5) Authorization for the village staff or contractors to access the property to conduct inspections of stormwater management practices as necessary to ascertain that the practices are being maintained and operated in accordance with the agreement.
- (6) Agreement that the party designated under subsection (b)(3), as responsible for long term maintenance of the stormwater management practices, shall be notified by the village of maintenance problems which require correction. The specified corrective actions shall be undertaken within a reasonable time frame as set by the village.
- (7) Authorization for the village to perform the corrected actions identified in the inspection report if the responsible party designated under subsection (b)(3) does not make the required corrections in the specified time period. The village finance director shall enter the amount due on the tax rolls and collect the money as a special assessment or charge against the property pursuant to subch. VII of Wis. Stats. Ch. 66 as amended from time-to-time.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-11. - Financial guarantee.

- (a) *Establishment of the guarantee.* The village board may require the submittal of a financial guarantee, the form and type of which shall be acceptable to the village attorney. The financial guarantee shall be in an amount determined by the director of public works/village engineer to be the estimated cost of construction and the estimated cost of maintenance of the stormwater management practices during the period initial construction phase of the underlying development. The financial guarantee shall give the village the authorization to use the funds to complete the stormwater management practices if the responsible party defaults or does not properly implement the approved stormwater management plan, upon written notice to the responsible party by the administering authority that the requirements of this article have not been met.
- (b) *Conditions for release.* Conditions for the release of the financial guarantee are as follows:
 - (1) The village board shall release the portion of the financial guarantee established under this section, less any costs incurred by the village to complete installation of practices, upon submission of "as built plans" by a Wisconsin licensed professional engineer. The director of public works/village engineer may recommend provisions for a partial pro-rata release of the financial guarantee based on the completion of various development stages.
 - (2) The director of public works/village engineer shall release the portion of the financial guarantee established under this section to assure maintenance of stormwater practices and facilities, less any costs incurred by the village, at such time that the practice or facility and underlying development are completed.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-12. - Fee schedule.

The fees referred to in other sections of this article shall be established by the village and may from time to time be modified by resolution. A schedule of fees shall be available at the village clerk's office.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-13. - Exceptions and waivers.

- (a) *Generally.* Where the village finds that extraordinary hardships or practical difficulties may result from strict compliance with these regulations and/or the purposes of these regulations may be served to a greater extent by an alternative proposal, it may approve exceptions and waivers to these regulations so that substantial justice may be done and the public interest secured, provided the exception or waiver shall not have the effect of nullifying the intent and purpose of these regulations; and further provided the director of public works/village engineer shall not approve exceptions and waivers unless they shall make findings based upon the evidence presented to them that all of the following conditions are met by the petitioner.
 - (1) The granting of the exception or waiver will not be detrimental to the public safety, health, or welfare or injurious to other property;
 - (2) The conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;
 - (3) Because of the location or conditions affecting the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;
 - (4) The relief sought will not materially alter the provisions of any existing stormwater management plan within the village except that this document may be amended in the manner prescribed by law;
 - (5) The granting of the exception or waiver will not result in a violation of state or federal laws or permits.
- (b) *Conditions.* In approving exceptions or waivers, the director of public works/village engineer may require such conditions as will, in their judgment, reasonably secure substantially the purposes described in this article and accompanying written stormwater management and erosion control requirements.
- (c) *Procedures.* A petition for an exception or waiver shall be submitted in writing by the responsible party at the time when the development is filed for the consideration of the director of public works/village engineer. The petition shall state fully the grounds for the application and all of the facts relied upon by the petitioner.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-14. - Inspection and enforcement.

- (a) The director of public works/village engineer/building inspector, or designee may access the site periodically to inspect stormwater management practices and facilities to evaluate compliance with the approved stormwater management plan.
- (b) Any land disturbing construction activity or post-construction runoff initiated after the effective date of this article by any person, firm, association, or corporation subject to the ordinance provisions shall be deemed a violation unless conducted in accordance with the requirements of this article.
- (c) The director of public works/building inspector shall provide written notice to the responsible party by of any non-complying land disturbing construction activity or post-construction runoff. The notice

shall describe the nature of the violation, remedial actions needed, a schedule for remedial action, and additional enforcement action which may be taken.

- (d) Upon receipt of written notification from the director of public works under subsection (b) above, the responsible party shall correct work that does not comply with the stormwater management plan or other provisions of this permit. The responsible party shall make corrections as necessary to meet the specifications and schedule set forth by the director of public works/village engineer in the notice.
- (e) If the violations to a permit issued pursuant to this article are likely to result in damage to properties, public facilities, or waters of the state, the director of public works/village engineer may enter the land and take emergency actions necessary to prevent such damage. The costs incurred by the village plus interest and legal costs shall be billed to the responsible party as a special charge under Wis. Stats. Ch. 66.
- (f) The director of public works/building inspector/village engineer are authorized to post a stop work order on all land disturbing construction activity that is in violation of this article, or to request the village attorney to obtain a cease and desist order in any court with jurisdiction.
- (g) The director of public works/village engineer/building inspector may revoke a permit issued under this article for non-compliance with ordinance provisions.
- (h) Any permit revocation, stop work order, or cease and desist order shall remain in effect unless retracted by the director of public works, village engineer, building inspector, village administrator, or village attorney, the village board of trustees, or by a court with jurisdiction.
- (i) The director of public works/village engineer/building inspector are authorized to refer any violation of this article, or of a stop work order, or of a cease and desist order issued pursuant to this article, to the village attorney for the commencement of further legal proceedings in any court with jurisdiction.
- (j) Any person, firm, association, or corporation violating the provisions of this article shall be subject to penalties as provided in section 1-4 of this Code. Each day of each violation shall constitute a separate offense.
- (k) Compliance with the provisions of this article may also be enforced by injunction in any court with jurisdiction. It shall not be necessary to prosecute for forfeiture or a cease and desist order before resorting to injunction proceedings.
- (l) When the director of public works/village engineer/building inspector determines that the holder of a permit issued pursuant to this article has failed to follow practices set forth in the stormwater management plan, or has failed to comply with schedules set forth in said stormwater management plan, the director of public works/village engineer/building inspector, or their designee, may enter upon the land and perform the work or other operations necessary to bring the condition of said lands into conformance with requirements of the approved plan. The director of public works/village engineer/building inspector shall keep a detailed accounting of the costs and expenses of performing this work. These costs and expenses shall be deducted from any financial security posted pursuant to section 76-11 of this article. Where such a security has not been established, or where such a security is insufficient to cover these costs, the costs and expenses shall be entered on the tax roll as a special charge against the property and collected with any other taxes levied thereon for the year in which the work is completed.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-15. - Appeals.

- (a) *Board of zoning appeals.* The board of zoning appeals, created pursuant to section 46-121 of this Code pursuant to Wis. Stats. § 61.35(7)(e) shall hear and decide appeals where it is alleged that there is error in any order, decision or determination made by the director of public works/village engineer/building inspector in administering this article. The board shall also use the rules, procedures, duties, and powers authorized by statute in hearing and deciding appeals. Upon appeal,

the board may authorize variances from the provisions of this article that are not contrary to the public interest, and where owing to special conditions a literal enforcement of the ordinance will result in unnecessary hardship.

- (b) *Who may appeal.* Appeals to the board of appeals may be taken by any aggrieved person or by an officer, department, or board of the Village of Hartland affected by any decision of the director of public works/village engineer/building inspector.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-16. - Severability.

If any section, clause, provision or portion of this article is judged unconstitutional or invalid by a court of competent jurisdiction, the remainder of the ordinance shall remain in force and not be affected by such judgment.

(Ord. No. 721-06, § 2, 1-23-06)

Secs. 76-17—76-30. - Reserved.

ARTICLE II. - ILLICIT STORMWATER DISCHARGES AND CONNECTIONS

Sec. 76-31. - Definitions.

The following definitions shall be applicable in this article:

Illicit connection means any drain or conveyance, whether on the surface or subsurface, which allows an illegal discharge to enter the storm drain system including, but not limited to any conveyances which allow any non-stormwater discharge including sewage, process wastewater, and wash water to enter the storm drain system and any connections to the storm drain system from indoor drains and sinks, regardless of whether said drain or connection had been allowed, permitted, or approved by a government agency, prior to the adoption of this article.

Person means any individual, association, organization, partnership, firm, corporation or other entity recognized by law and acting either as the owner or as the owner's agent.

Storm drain system Publicly-owned facilities by which stormwater is collected and/or conveyed, including but not limited to any roads with drainage systems, municipal streets, gutters, curbs, inlets, piped storm drains, pumping facilities, retention and detention basins, natural and human-made or altered drainage channels, reservoirs, and other drainage structures.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-32. - Discharges prohibited.

No person shall discharge, spill or dump substances or materials that are not entirely composed stormwater into receiving bodies of water or onto driveways, sidewalks, parking lots or other areas that drain into the storm drainage system. Unless otherwise approved by the director of public works/village engineer, no person shall discharge roof drains, yard drains or sump pumps onto streets, sidewalks, or other areas within village right-of-way that drain into the storm drainage system. Roof drains, yard drains, and sump pumps shall discharge onto pervious areas at grade on private property.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-33. - Connections prohibited.

The construction, use, maintenance or continued existence of illicit connections to the storm drainage system is prohibited. This prohibition expressly includes, without limitation, illicit connections made prior to the adoption of this article, regardless of whether the connections was permissible under law or practice applicable or prevailing at the time of connection. Unless otherwise approved by the director of public works/village engineer, roof drain and sump pump discharge connections to the storm drainage system shall be prohibited.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-34. - Exemptions.

The following activities are exempt from the provisions of this section unless found to have an adverse impact on the stormwater:

- (1) Discharges authorized by a permit issued by the Wisconsin Department of Natural Resources.
- (2) Discharges resulting from fire fighting activities.
- (3) Discharges from uncontaminated ground water, potable water source, air conditioning condensation, springs, lawn watering, individual residential car washing, water main and hydrant flushing and swimming pools if the water has been dechlorinated.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-35. - Enforcement.

- (a) Any person, firm, association, or corporation violating the provisions of this article shall be subject to penalties as provided in section 1-4 of this Code. Each day of each violation shall constitute a separate offense.
- (b) Compliance with the provisions of this article may also be enforced by injunction in any court with jurisdiction. It shall not be necessary to prosecute for forfeiture or a cease and desist order before resorting to injunction proceedings.

(Ord. No. 721-06, § 2, 1-23-06)

Secs. 76-36—76-50. - Reserved.

ARTICLE III. - CONSTRUCTION SITE EROSION CONTROL

Sec. 76-51. - Definitions.

[The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:]

Administering authority means a governmental employee, or a regional planning commission empowered under Wis. Stats. § 62.234 that is designated by the village.

Agricultural facilities and practices has the meaning in Wis. Stats. § 281.16(1).

Average annual rainfall means a calendar year of precipitation, excluding snow, which is considered typical.

Best management practice or *BMP* means structural or non-structural measures, practices, techniques or devices employed to avoid or minimize soil, sediment or pollutants carried in runoff to waters of the state.

Business day means a day the office of the director of public works/building inspector/village engineer is routinely and customarily open for business.

Cease and desist order means a court-issued order to halt land disturbing construction activity that is being conducted without the required permit.

Construction site means an area upon which one or more land disturbing construction activities occur, including areas that are part of a larger common plan of development or sale where multiple separate and distinct land disturbing construction activities may be taking place at different times on different schedules but under one plan.

Division of land means the creation from one parcel of two or more parcels or building sites of [number] or fewer acres each in area where such creation occurs at one time or through the successive partition within a five-year period.

Director of public works means the Village of Hartland Director of Public Works or designee.

Erosion means the process by which the land's surface is worn away by the action of wind, water, ice or gravity.

Erosion and sediment control plan means a comprehensive plan developed to address pollution caused by erosion and sedimentation of soil particles or rock fragments during construction.

Final stabilization means that all land disturbing construction activities at the construction site have been completed and that a uniform perennial vegetative cover has been established, with a density of at least 70 percent of the cover, for the unpaved areas and areas not covered by permanent structures, or that employ equivalent permanent stabilization measures.

Governing body means town board of supervisors, county board of supervisors, city council, village board of trustees or village council.

Land disturbing construction activity means any man-made alteration of the land surface resulting in a change in the topography or existing vegetative or non-vegetative soil cover that may result in runoff and lead to an increase in soil erosion and movement of sediment into waters of the state. "Land disturbing construction activity" includes activities such as clearing and grubbing, demolition, excavating, pit trench dewatering, filling, grading, and other similar activities.

MEP or *maximum extent practicable* means a level of implementing best management practices in order to achieve a performance standard specified in this chapter which takes into account the best available technology, cost effectiveness and other competing issues such as human safety and welfare, endangered and threatened resources, historic properties and geographic features. MEP allows flexibility in the way to meet the performance standards and may vary based on the performance standard and site conditions.

Performance standard means an objective, measurable number specifying the minimum acceptable outcome for a facility or practice.

Permit means a written authorization issued by the director of public works/building inspector/village engineer to an applicant to conduct land disturbing construction activity or to discharge post-construction runoff to waters of the state.

Pollutant has the meaning given in Wis. Stats. § 283.01(13).

Pollution has the meaning given in Wis. Stats. § 281.01(10).

Responsible party means the entity holding fee title to the property.

Runoff means stormwater or precipitation including rain, snow, ice melt, or similar water that moves on the land surface via sheet or channelized flow.

Sediment means settleable solid material that is transported by runoff, suspended within runoff or deposited by runoff away from its original location.

Separate storm sewer means a conveyance or system of conveyances including roads with drainage systems, streets, catch basins, curbs, gutters, ditches, constructed channels or storm drains, which is designed or used for collecting and conveying stormwater runoff.

Site means the entire area included in the legal description of the land on which the land disturbing construction activity is proposed in the permit application.

Stop work order means an order issued by the director of public works/building inspector/village engineer that requires that all construction activity on the site be stopped.

Technical standard means a document that specifies design, predicted performance and operation and maintenance specifications for a material, device or method.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-52. - Authority.

- (a) This article is adopted under the authority granted by Wis. Stats. § 61.354 [and 281.33, Wis. Stats.](#) This article supersedes all provisions of any previously enacted ordinance related to construction site erosion control. Except as otherwise specified in Wis. Stats. §§ 61.35 and 61.354 applies to this article and to any amendments to this article.
- (b) The provisions of this article are deemed not to limit any other lawful regulatory powers of the same governing body.
- (c) The village hereby designates the director of public works/building inspector/village engineer to administer and enforce the provisions of this article.
- (d) The requirements of this article do not pre-empt more stringent erosion and sediment control requirements that may be imposed by any of the following:
 - (1) Wisconsin Department of Natural Resources administrative rules, permits or approvals including those authorized under Wis. Stats. §§ 281.16 and 283.33.
 - (2) Targeted non-agricultural performance standards promulgated in rules by the Wisconsin Department of Natural Resources under Wis. Admin. Code § NR 151.004, [or the current state runoff program administrative codes](#)

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-53. - Findings of fact.

The village finds that runoff from land disturbing construction activity may carry a significant amount of sediment and other pollutants into ground and surface waters and waterways in the village.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-54. - Purpose.

It is the purpose of this article to further the maintenance of safe and healthful conditions; prevent and control water pollution; prevent and control soil erosion; protect spawning grounds, fish and aquatic life; control building sites, placement of structures and land uses; preserve ground cover and scenic beauty; and promote sound economic growth, by minimizing the amount of sediment and other pollutants carried by runoff or discharged from land disturbing construction activity to ground and surface waters and waterways in village.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-55. - Applicability and jurisdiction.

- (a) Any land disturbing activity shall be subject to erosion and sediment control provisions of this article, if:
- (1) A subdivision plat would result, or if construction of buildings on platted lots results;
 - (2) A certified map would result, or if construction of buildings on certified survey map lots results;
 - (3) An area of 4,000 square feet or greater will be disturbed by excavation, grading, filling, or other earth moving activities, resulting in a loss or removal of protective ground cover, vegetations;
 - (4) Excavation, fill, or any combination thereof, will exceed 400 cubic yards; or more than 15 cubic yards within areas specified by the Waukesha County Shoreland and Floodland Protection Ordinance;
 - (5) Any public (federal, state or local) street, road or highway is to be constructed, enlarged, relocated, or substantially reconstructed;
 - (6) Any watercourse is to be changed, enlarged or materials are removed from a river, stream, swamp, or lake bed; or
 - (7) Any utility work in which underground conduits, piping, wiring, water lines, sanitary sewers, storm sewers or similar structures will be laid, repaired, replaced or enlarged, if such work involves more than 300 linear feet of each disturbance;
 - (8) Grading, removal of protective ground cover or vegetation, excavation, landfilling or land disturbing activity within 200 feet of a lake, stream, or wetland when work affects more than ten cubic yards of material.
- (b) This article does not apply to the following:
- (1) ~~Land disturbing construction activity that includes the construction of a building and is otherwise regulated by the Wisconsin Department of Commerce under Wis. Admin. Code §§ Comm. 21.125 or 50.115.~~
 - (12) A construction project that is exempted by federal statutes or regulations from the requirement to have a national pollutant discharge elimination system permit issued under Chapter 40, Code of Federal Regulations, part 122, for land disturbing construction activity.
 - (23) Nonpoint discharges from agricultural facilities and practices that are conducted more than 50 feet from any navigable waterway or wetlands.
 - (34) Nonpoint discharges from silviculture activities that are conducted more than 50 feet from any navigable waterway or wetlands.
 - (45) Routine maintenance for project sites under one-half-acre of land disturbance if performed to maintain the original line and grade, hydraulic capacity or original purpose of the facility.
- (c) Notwithstanding the applicability requirements in paragraph (a), this article applies to construction sites of any size that, in the opinion of the village staff, are likely to result in runoff that exceeds the safe capacity of the existing drainage facilities or receiving body of water, that causes undue channel

erosion, that increases water pollution by scouring or the transportation of particulate matter or that endangers property or public safety.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-56. - Jurisdiction.

This article applies to land disturbing construction activities on lands within the boundaries and jurisdiction of the Village of Hartland.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-57. - Technical standards.

(a) *Design criteria, standards and specifications.* All drainage facilities and practices required to comply with this article shall incorporate technical standards and design methods specified in the document Village of Hartland Erosion Control and Stormwater Management Requirements, maintained and periodically updated by the director of public works/village engineer. Where not superseded by stricter requirements in Village of Hartland Erosion Control and Stormwater Management Requirements, the following standards are also incorporated by reference:

~~(1) Applicable design criteria, standards and specifications identified in the Wisconsin Construction Site Best Management Practice Handbook, WDNR Pub. WR-222 November 1993 Revision.~~

~~(12) Other d~~Design guidance and technical standards identified or developed by the Wisconsin Department of Natural Resources under subchapter V of Wis. Admin. Code chapter NR 151.

(2) Soil loss prediction tools (such as the Universal Soil Loss Equation (USLE)) when using an appropriate design storm and precipitation distribution, and when considering the geographic location of the site and the period of disturbance.

(b) *Other standards.* Other technical standards not identified or developed in subsection (a), may be used provided that the methods have been approved by the director of public works/village engineer/building inspector.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-58. - Performance standards.

(a) *Responsible party.* The entity holding fee title to the property shall be responsible for either developing and implementing an erosion and sediment control plan, or causing such plan to be developed and implemented through contract or other agreement. This plan shall be developed in accordance with section 76-60, that incorporates the requirements of this section.

(b) *Plan.* A written plan shall be developed in accordance with section 76-9 and implemented for applicable land development activities.

(c) *Erosion and sediment control performance standards.* All drainage facilities and practices required to comply with this article shall meet performance standards specified in the document Village of Hartland Erosion Control and Stormwater Management Requirements, maintained and periodically updated by the director of public works/village engineer.

(d) *Location.* The BMPs used to comply with this section shall be located prior to runoff entering any lake, stream, river, swamp, or wetlands or any stormwater management system.

(e) *Alternate requirements.* The director of public works/building inspector/village engineer may establish alternative erosion and sediment control requirements to those set forth in Village of Hartland

Erosion Control and Stormwater Management Requirements, if the director of public works/building inspector/village engineer determines that an added level of protection is needed or that extraordinary hardships or practical difficulties may result from strict compliance with these regulations. Exceptions or waivers to requirements set forth in this article and Village of Hartland Erosion Control and Stormwater Management Requirements shall be considered in accordance with section 76-13.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-59. - Permitting requirements, procedures and fees.

- (a) *Permit required.* No responsible party may commence a land disturbing construction activity subject to this article without receiving prior approval of an erosion and sediment control plan for the site and a permit from the director of public works/building inspector/village engineer.
- (b) *Permit application and fees.* The responsible party desiring to undertake a land disturbing construction activity subject to this article shall submit an application for a permit and an erosion and sediment control plan that meets the requirements of section 76-8. The applicant shall pay an application fee consistent with the fee schedule maintained by the village clerk. By submitting an application, the applicant is authorizing the village staff to enter the site to obtain information required for the review of the erosion and sediment control plan.
- (c) *Review and approval of permit application.* The director of public works/building inspector/village engineer shall review any permit application that is submitted with an erosion and sediment control plan, and the required fee. The following approval procedure shall be used:
 - (1) The director of public works/building inspector/village engineer may request additional information if required for a complete application within 15 business days of receipt of any permit application. Within 30 business days of the receipt of a complete permit application, including all items as required by subsection (b), the director of public works/building inspector/village engineer shall inform the applicant whether the application, plan and maintenance agreement are approved or disapproved based on the requirements of this article.
 - (2) If the permit application and plan are approved, the director of public works/building inspector/village engineer shall issue the permit.
 - (3) If the permit application or plan is disapproved, the director of public works/building inspector/village engineer shall state in writing the reasons for disapproval.
- (d) *Financial guarantee.* As a condition of approval and issuance of the permit, the director of public works/building inspector/village engineer may require the applicant to deposit a surety bond or irrevocable letter of credit to guarantee a good faith execution of the approved erosion control plan and any permit conditions. The amount of financial guarantee required under this section shall be established by the director of public works/building inspector/village engineer, in his or her discretion, taking into consideration the projected cost of the BMPs and other facilities required in the approved erosion control plan together with a reasonable estimate of the cost of site stabilization and/or cleanup in the event of noncompliance with the approved erosion control plan.
- (e) *Permit requirements.* All permits shall require the responsible party to:
 - (1) Notify the director of public works/building inspector/village engineer three full village business days prior to commencing any land disturbing construction activity.
 - (2) Notify the director of public works/building inspector/village engineer of completion of any BMPs within three full village business days after their installation.
 - (3) Obtain permission in writing from the director of public works/building inspector/village engineer prior to any modification pursuant to subsection 76-9(b) of the erosion and sediment control plan.

- (4) Install all BMPs as identified in the approved erosion and sediment control plan.
 - (5) Maintain all road drainage systems, stormwater drainage systems, BMPs and other facilities identified in the erosion and sediment control plan.
 - (6) Repair any siltation or erosion damage to adjoining surfaces and drainage ways resulting from land disturbing construction activities and document repairs in a site erosion control log. Remove accumulated sediment from downstream culverts, storm sewers, and other drainage facilities. Remove accumulated sediment from waterways upon obtaining of necessary permit(s) from the Wisconsin Department of Natural Resources.
 - (7) Inspect the BMPs within 24 hours after each rain of 0.5 inches or more which results in runoff during active construction periods, and at least once each week, make needed repairs and document the findings of the inspections in a site erosion control log with the date of inspection, the name of the person conducting the inspection, and a description of the present phase of the construction at the site.
 - (8) Allow the village staff to enter the site for the purpose of inspecting compliance with the erosion and sediment control plan or for performing any work necessary to bring the site into compliance with the control plan. Keep a copy of the erosion and sediment control plan at the construction site.
- (f) *Permit conditions.* Permits issued under this section may include conditions established by director of public works/building inspector/village engineer in addition to the requirements set forth in subsection (e), where needed to assure compliance with the performance standards in section 76-7.
- (g) *Permit duration.* Permits issued under this section shall be valid for a period of 180 days, or the length of the building permit or other construction authorizations, whichever is longer, from the date of issuance. The permit duration may be extended one or more times for up to an additional 180 days. The director of public works/building inspector/village engineer may require additional BMPs as a condition of the extension if they are necessary to meet the requirements of this article.
- (h) *Maintenance.* The responsible party throughout the duration of the construction activities shall maintain all BMPs necessary to meet the requirements of this article until the site has undergone final stabilization.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-60. - Erosion and sediment control plan and amendments.

- (a) *Plan requirements.* An erosion and sediment control plan shall be prepared and submitted to the director of public works/building inspector/village engineer. The erosion and sediment control plan shall include, at a minimum, information required in the Village of Hartland Erosion Control and Stormwater Management Requirements, maintained and periodically updated by the director of public works/village engineer.
- (b) *Amendments.* The applicant shall submit an amended plan for review and approval by the village director of public works/building inspector/village engineer together with the amended plan review fee established under section 76-9 within three days of the occurrence of any of the following events:
- (1) There is a change in design, construction, operation or maintenance at the site which has the reasonable potential for the discharge of pollutants to waters of the state and which has not otherwise been addressed in the plan.
 - (2) The actions required by the plan fail to reduce the impacts of pollutants carried by construction site runoff.
 - (3) The director of public works/building inspector/village engineer notifies the applicant of changes needed in the plan to comply with this article or the Village of Hartland Erosion Control and Stormwater Management Requirements.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-61. - Fee schedule.

The fees referred to in other sections of this article shall be established by the village board and may from time to time be modified by resolution. A schedule of the fees established by the village board shall be available at the village clerk's office

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-62. - Inspection.

- (a) The director of public works/village engineer, building inspector, or designee may access the site for the purpose of inspecting installation and construction of best management practices at any time between initiation of construction activities and final inspection/release of the project guarantee.
- (b) If land disturbing construction activities are being carried out without a permit required by this article, the director of public works/building inspector/village engineer may enter the land pursuant to the provisions of Wis. Stats. §§ 66.0119(1), (2), and (3).

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-63. - Exceptions and waivers.

- (a) *General.* Where the director of public works/building inspector/village engineer finds that extraordinary hardships or practical difficulties may result from strict compliance with these regulations and/or the purposes of these regulations may be served to a greater extent by an alternative proposal, they may approve exceptions and waivers to these regulations so that substantial justice may be done and the public interest secured, provided the exception or waiver shall not have the effect of nullifying the intent and purpose of these regulations; and further provided the director of public works/village engineer shall not approve exceptions and waivers unless they shall make findings based upon the evidence presented to it that all of the following conditions are met by the petitioner.
 - (1) The granting of the exception or waiver will not be detrimental to the public safety, health, or welfare or injurious to other property;
 - (2) The conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;
 - (3) Because of the location or conditions affecting the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;
 - (4) The relief sought will not materially alter the provisions of any existing regional stormwater management plan except that this document may be amended in the manner prescribed by law.
 - (5) The granting of the exception or waiver will not result in a violation of state or federal laws or permits.
- (c) *Conditions.* In approving exceptions or waivers, the director of public works/building inspector/village engineer may require such conditions as will in their judgment secure substantially the purposes described in this article and accompanying written stormwater management and erosion control requirements.
- (d) *Procedures.* A petition for an exception or waiver shall be submitted in writing by the responsible party at the time when the development is filed for the consideration of the director of public

works/building inspector/village engineer. The petition shall state fully the grounds for the application and all of the facts relied upon by the petitioner.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-64. - Enforcement.

- (a) The director of public works/building inspector/village engineer may post a stop-work order if any of the following occurs:
 - (1) Any land disturbing construction activity regulated under this article is being undertaken without a permit.
 - (2) The erosion and sediment control plan is not being implemented in a good faith manner.
 - (3) The conditions of the permit are not being met.
- (b) If the responsible party does not cease activity as required in a stop-work order posted under this section or fails to comply with the erosion and sediment control plan or permit conditions, the director of public works/building inspector/village engineer may revoke the permit.
- (c) If the responsible party, where no permit has been issued, does not cease the activity after being notified by the director of public works/building inspector/village engineer, or if a responsible party violates a stop-work order posted under subsection (a), the director of public works/building inspector/village engineer may request the village attorney to obtain a cease and desist order in any court with jurisdiction together with applicable penalties under subsection (f).
- (d) The board of zoning appeals may retract a stop-work order issued under subsection (a) or a permit revocation under subsection (b).
- (e) After posting a stop-work order under subsection (a), the director of public works/building inspector/village engineer may issue a notice of intent to the responsible party of its intent to perform work necessary to comply with this article. Village staff or contractors may go on the land and commence the work after issuing the notice of intent. The costs of the work performed under this subsection by the village board, plus interest at the rate authorized by the village board shall be billed to the responsible party. In the event a responsible party fails to pay the amount due, the clerk shall enter the amount due on the tax rolls and collect as a special charge against the property pursuant to subch. VII of Wis. Stats. ch. 66.
- (f) Any person violating any of the provisions of this article shall be subject to penalties under section 1-4 of this Code of Ordinances. Each day a violation exists shall constitute a separate offense.
- (g) Compliance with the provisions of this article may also be enforced by injunction in any court with jurisdiction. It shall not be necessary to prosecute for forfeiture or a cease and desist order before resorting to injunction proceedings.

(Ord. No. 721-06, § 2, 1-23-06)

Sec. 76-65. - Appeals.

- (a) *Board of zoning appeals.* The board of zoning appeals created pursuant to section 46-121 et seq. pursuant to Wis. Stats. § 61.35(7)(e).
 - (1) Shall hear and decide appeals where it is alleged that there is error in any order, decision or determination made by the director of public works/building inspector/village engineer in administering this article except for cease and desist orders obtained under section 76-14.

- (2) Upon appeal, may authorize variances from the provisions of this article which are not contrary to the public interest and where owing to special conditions a literal enforcement of the provisions of the ordinance will result in unnecessary hardship; and
 - (3) Shall use the rules, procedures, duties and powers authorized by statute in hearing and deciding appeals and authorizing variances.
- (b) *Who may appeal.* Appeals to the board of appeals may be taken by any aggrieved person or by any office, department, board, or the Village of Hartland affected by any decision or order of the director of public works/building inspector/village engineer within 30 days of such decision or order.

(Ord. No. 721-06, § 2, 1-23-06)



RECEIVED

MAR 24 2016

Village of Hartland

ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

**APPLICATION FOR
 PLAN COMMISSION**

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <i>Larger nitrogen tank - Dorner Mfg. Corp.</i>			
Proposed Use <i>Light manufacturing</i>		No. of Employees <i>200</i>	
Project Location <i>975 Cottonwood Ave., Hartland, WI 53029</i>			
Project Name <i>Dorner Mfg. Corp.</i>			
Owner <i>Same</i>		Phone <i>(262) 367-7600</i>	
Address <i>Same</i>		City _____	State _____ Zip _____
Engineer/Architect <i>N/A</i>		Phone _____	FAX _____
Address _____		City _____	State _____ Zip _____
Contact Person <i>John Bergen</i>	Phone <i>(262) 369-1204</i>	FAX <i>262 369-1591</i>	E-mail <i>john.bergen@dorner.com</i>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied: <i>3/24/16</i>	Date of Meeting:	Return Comments by:
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Dorner Manufacturing Corp.
Nitrogen Tank Project
3/24/16

In November of 2015, Dorner Manufacturing Corp completed an addition to our manufacturing floor and installed a metal cutting laser. The operation of that laser requires the use of nitrogen gas as a "shielding" agent to cut metal parts. (Note- Nitrogen is an inert gas that is neither combustible nor explosive.) The nitrogen tank installed last November has a capacity of 500 gallons but our expanding business has outgrown that tank sooner than expected. In fact, we expect to add a second shift to the laser by mid-to-late-summer.

Dorner would like to exchange the current tank for one that will hold 3000 gallons of nitrogen. The new tank will be 7 ½' in diameter and 20' in total height and will provide sufficient capacity for years to come. The new tank would be in the same location as the current tank, on a concrete pad on the west side (rear) of our facility.

The site plan shows the location of the tank pad relative to our entire site. The 11x17 drawing of the truck turn-around is a closer look at the pad holding the tank at the rear of our building addition. Finally, the "A" sized drawing shows the specs of the pad we had installed to hold the tank. Note that in addition to the bumper posts, the pad is surrounded by a chain link fence that is kept locked.

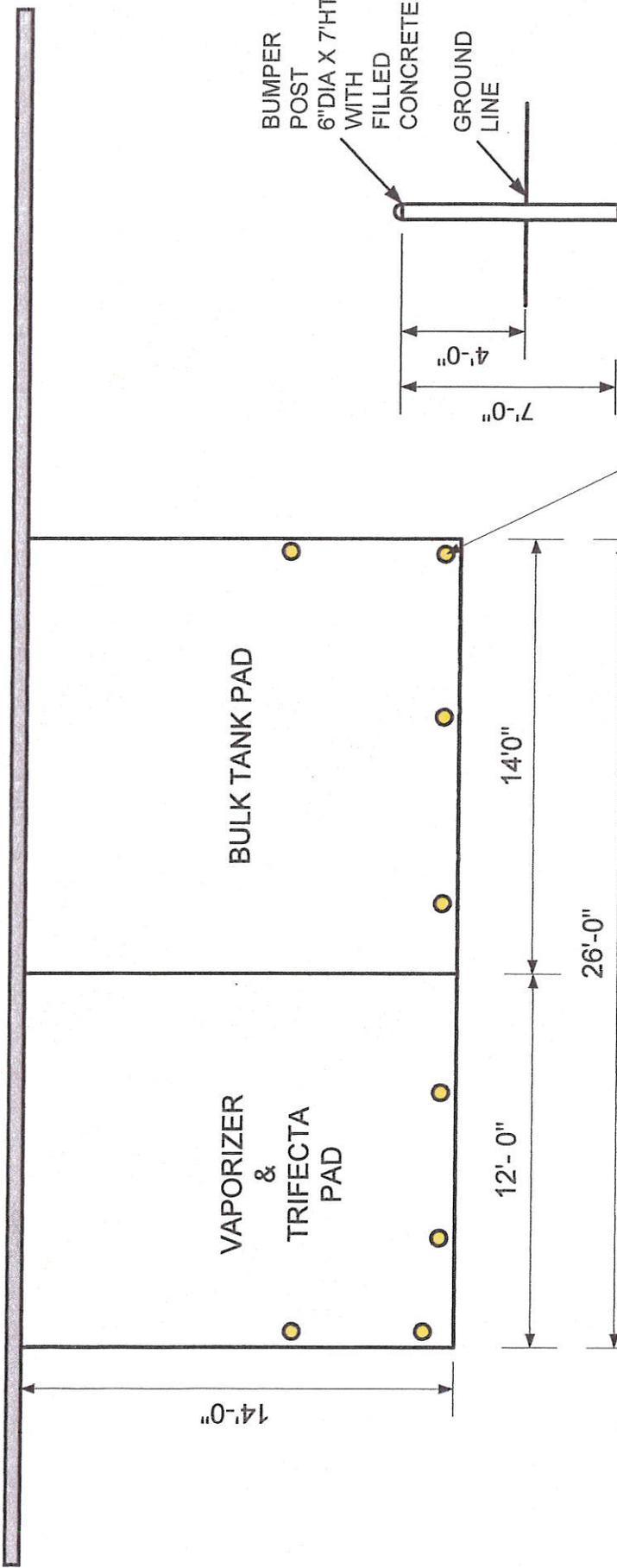
I have also included two photos. The first is our current setup with the 500 gallon tank, and the second shows the setup we will have with the larger tank. The new configuration will include the tank to hold liquid nitrogen, and a trifecta and vaporizer that converts the liquid nitrogen to gas.

Feel free to contact me with any questions.
Thanks,

A handwritten signature in black ink, appearing to read "John Bergen", is written over a white background.

John Bergen

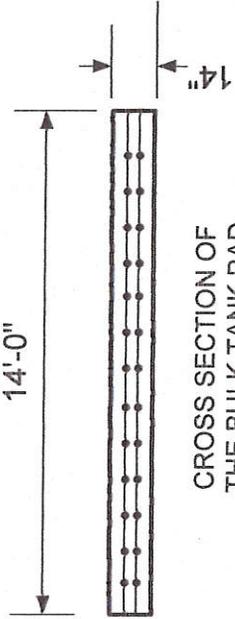
Facilities Manager,
Dorner Manufacturing Corp.
975 Cottonwood Ave.
Hartland, WI 53029
(262) 369-1204 (direct)
(262) 290-0534 (cell)



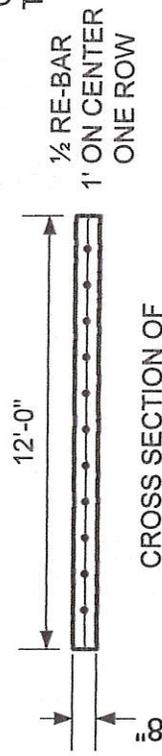
BUMPER POSTS - 4' ON CENTER

NOTES

- BASE: UNDERNEATH BOTH PADS 12" COMPACTED STONE
- SLIGHT PITCH ON THE PADS FOR WATER RUN OFF



CROSS SECTION OF THE BULK TANK PAD



CROSS SECTION OF VAPORIZER & TRIFECTA PAD

DORNER MFG. CORP.	
975 COTTONWOOD AVE.	
HARTLAND, WI 53029	
SCALE: 3/16 = 1"	DATE: 8/3/15
	REVISION:

PORTACRYO

Current



Proposed





MSI GENERAL CORPORATION
 P.O. BOX 7
 COCONING WISCONSIN 53006
 PHONE: 262-567-3301
 FAX: 262-567-7390

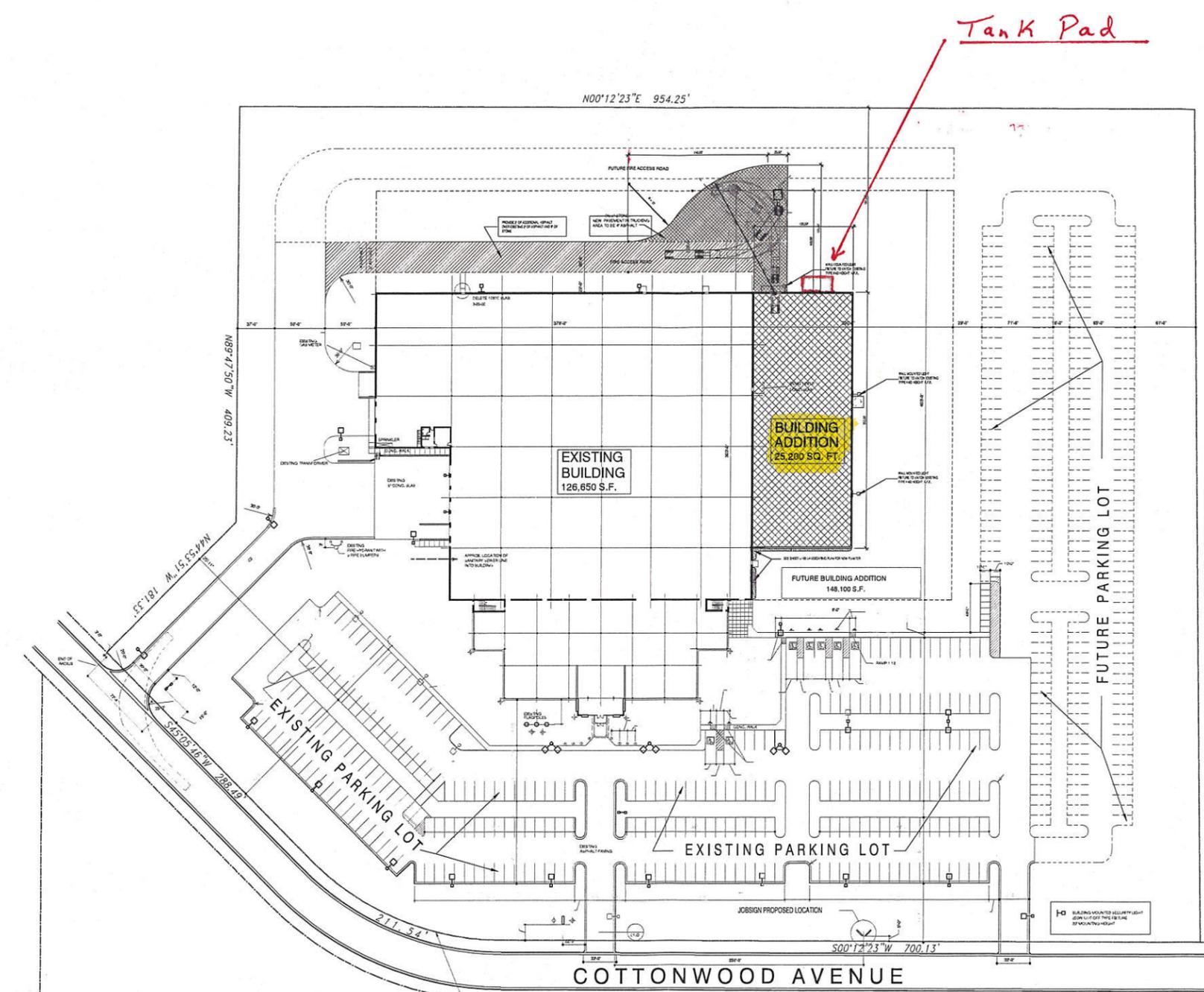
WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

REVISIONS

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SITE DATA

LOT COVERAGE	APRCL 781.85 SQ. FT. (1.8113 AC.)
PAVEMENT AREA	142,888 SQ. FT.
OPEN GREEN SPACE AREA	127,200 SQ. FT.
PERCENT OPEN SPACE	66.1%
PARKING	289 EXISTING STALLS
NO ADDITIONAL PARKING REQUIRED	
BUILDING AREA	126,650 SQ. FT.
EXISTING BUILDING	126,650 SQ. FT.
BUILDING ADDITION	25,200 SQ. FT.
TOTAL BUILDING AREA	151,850 SQ. FT.

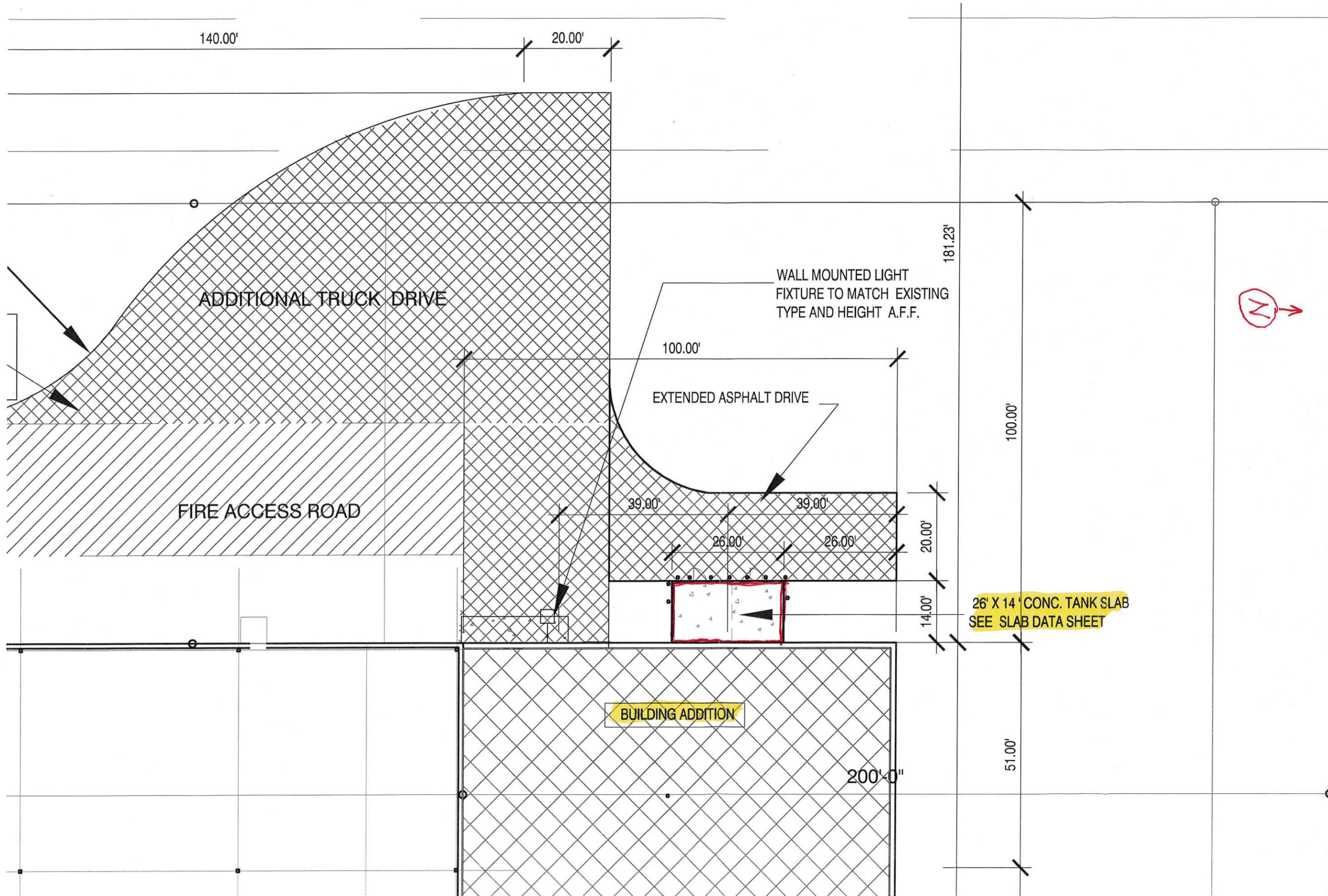


PROJECT ADDRESS:
 Dornier Manufacturing Corporation
 975 Cottonwood Ave.
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 05.13.15
 Sheet Title: SITE PLAN
 Sheet Number: C-101
 Project Number: 4387
 Drawn By: Tony Zull
 P-11337

MANAGERS
ENGINEERS
CONTRACTORS
ARCHITECTS



Date: _____
 Scale: _____
 Drawn By: **TONY ZULLI**
 Sheet Number: _____
 Project Number: **4387**

DORNER
 Project
 STREET ADDRESS
 Address
 CITY, STATE / ZIP
 HARTLAND WI

BULK TANK PAD DATA SHEET

WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™
 ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSIGENERAL MASTER SPECIFICATION

MSI GENERAL CORPORATION
 P.O. BOX 7
 OCONOMOWOC, WI 53066
 262.567.3661
 FAX: 262.567.2764



ARCHITECTS . . . CONTRACTORS . . . ENGINEERS . . . MANAGERS

RECEIVED

MAR 24 2016

Village of Hartland

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD

Job Address <i>CSM 9827 Lot 3</i> <i>0758-999-046</i>			
Lot <i>3</i>	Block	Subdivision	Key No. HAV
Owner <i>Rob + Sae Frey</i>		EMAIL <i>rfrey@guthriefrey.com</i>	Phone <i>262-642-6330</i>
Address <i>608 W North Shore Drive</i>		City <i>Hartland</i>	State <i>WI</i> Zip <i>53029</i>
Contractor <i>Mike Byrne BROWN</i>		Phone <i>262-790-0500</i> FAX <i>262 790-0505</i>	EMAIL <i>michaelb@brown.com</i>
Address <i>3885 N. Brockfield Rd</i>		City <i>Brockfield</i>	State <i>WI</i> Zip <i>53095</i>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

April 13, 2016

Mr. Mike Byrne
BRIOHN Design Group
3885 N. Brookfield Road
Brookfield, WI 53045

RE: Village of Hartland
Guthrie & Frey - Building - Plan Review Letter

Dear Mr. Byrne:

The Village of Hartland's Staff as well as Ruekert & Mielke, Inc. has reviewed your site plan submittal. The submittal included the following: Site plans dated March 24, 2016; storm water management plan dated March 23, 2016; and lighting cut sheets. We are providing the following comments as guidance and direction for your design staff in preparation of final documents. **Please respond to the comments below, in writing, with your next submittal. Village Staff is willing to meet with you regarding these comments.**

Your item will be on the agenda for the April 18, 2016 Plan Commission meeting. You should have a representative to present your plans at the meeting.

Storm Water Management Plan

1. The calculations appear to allow for meeting storm water quantity and quality requirements.
2. Update the storm water management plan and site plans with the comments that have been noted on the documents.
3. Model with frozen and/or failed condition for the ponds and identify what would happen and overflow routes.
4. Model the pre and post control performance of the proposed BMP's for phosphorus.
5. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.
6. Need letter of credit for storm water facilities.

Site Plans

1. Please review the comments noted on individual sheets within the site plans. Identify in a written letter how the comments were addressed and return the marked up site plan documents.

PROPOSED NEW BUILDING FOR:



1165 RICHARDS ROAD
HARTLAND, WI 53029



PERSPECTIVE VIEW

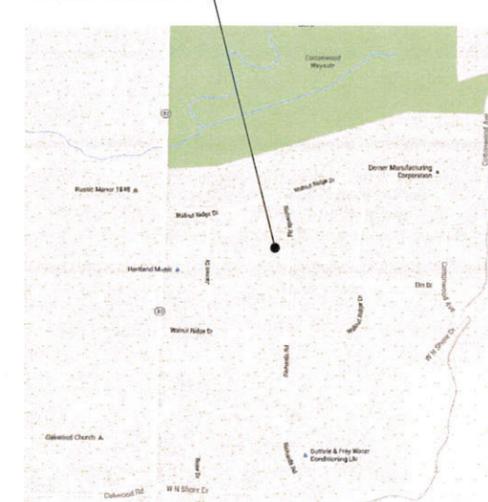
PLAN COMMISSION SET
MARCH 24, 2016

OWNER : GUTHRIE AND FREY ROB AND SUE FREY 608 W. NORTH SHORE DRIVE HARTLAND, WI 53029 (262) 367-1960 PHONE	GENERAL CONTRACTOR : BRIOHN BUILDING CORPORATION MIKE BYRNE 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	ARCHITECT : BRIOHN DESIGN GROUP LLC ADAM ANDERSON, AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	STRUCTURAL ENGINEER: BRIOHN DESIGN GROUP LLC KEVIN JANKOWSKI, PE 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
CIVIL ENGINEER: CJ ENGINEERING CHRISTOPHER A. JACKSON, PE, RLS 9205 W. CENTER STREET, SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 443-1312 X222 PHONE (414) 940-4450 FAX	LANDSCAPE DESIGNER: HELLER & ASSOCIATES, LLC W. DAVID HELLER ONE REDWOOD COURT RACINE, WI 53402 (262) 639-9733 PHONE (262) 639-9737 FAX	ELECTRICAL DESIGNER: JDP ELECTRICAL DESIGN, LLC JAMES D. PRUSINSKI W125 S9390 PRAIRIE MEADOWS DRIVE MUSKEGO, WI 53150 (414) 750-2006 PHONE	

PROJECT LOCATION:



PROJECT LOCATION:



SHEET INDEX :

- T1.1 TITLE SHEET AND RENDERINGS
- P-0 SURVEY
- A0.1 ARCHITECTURAL SITE PLAN
- C1.0 SITE GRADING PLAN
- C2.0 SITE UTILITY PLAN
- C3.0 SITE EROSION CONTROL PLAN
- L1.0 LANDSCAPE PLAN
- L1.1 LANDSCAPE NOTES & SCHEDULES
- A1.1 FLOOR PLAN
- A4.1 ROOF PLAN
- A5.1 COLORED ELEVATIONS
- A5.2 ELEVATIONS
- E1.1 EXTERIOR PHOTOMETRIC

BRIOHN



DESIGN GROUP
3885 N. BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045-1950
(262) 790-0500 PHONE
(262) 790-0505 FAX

TITLE SHEET

SHEET TITLE

PROPOSED NEW BUILDING FOR:
GUTHRIE & FREY
1165 RICHARDS ROAD
HARTLAND, WISCONSIN

JOB:	2840
DRAWN:	AA
CHECKED:	DF
DATE:	03/24/16

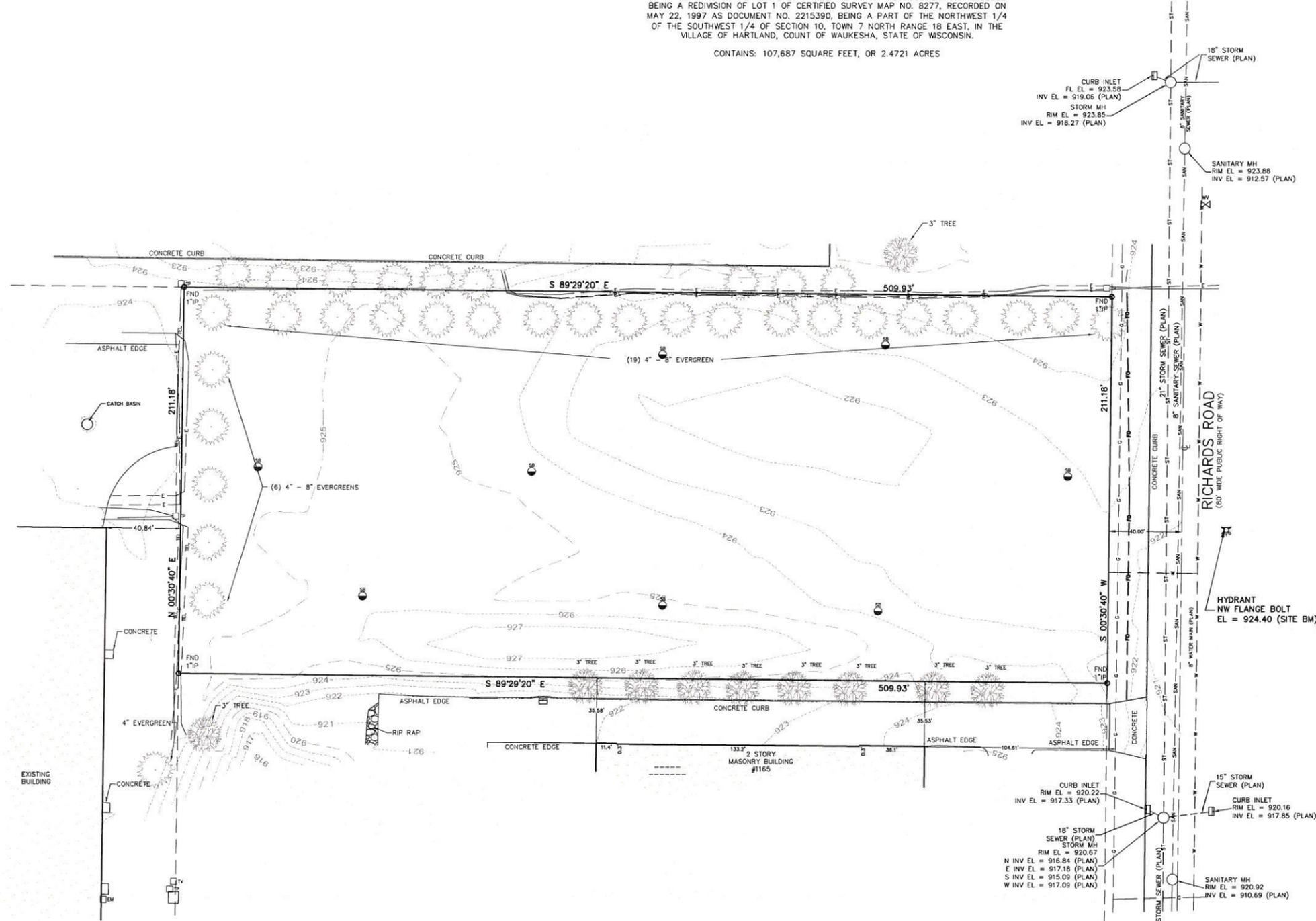
SHEET:

T1.1

LEGAL DESCRIPTION:
 LOT 3 OF CERTIFIED SURVEY MAP NO. 9827, RECORDED AUGUST 10, 2004, IN VOLUME 91 OF CERTIFIED SURVEY MAPS ON PAGES 115 TO 117 AS DOCUMENT NO. 3193532 BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 6277, RECORDED ON MAY 22, 1997 AS DOCUMENT NO. 2215390, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWN 7 NORTH RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, COUNTY OF WAUKESHA, STATE OF WISCONSIN.
 CONTAINS: 107,687 SQUARE FEET, OR 2.4721 ACRES

CJ
 engineering
 civil design and consulting
 9205 W. Center Street
 Suite 214
 Milwaukee, WI 53222
 PH: (414) 443-1312
 FAX: (414) 443-1317
 www.cj-engineering.com

CSE
 CAPITOL SURVEY ENTERPRISES
 220 REGENCY CT. STE. 210
 BROOKFIELD, WI 53045
 PH: (262) 786-6600
 FAX: (414) 786-6608
 WWW.CAPITOLSURVEY.COM



- NOTES
- SUBJECT PROPERTY ZONED: B-4, BUSINESS DISTRICT.
 - BUILDING AND PARKING SETBACKS BASED ON THE VILLAGE OF HARTLAND ZONING CODE, AND ARE AS FOLLOWS: STREET 50', SIDE 25', REAR 25'.
 - LEGAL DESCRIPTION BASED ON CERTIFIED SURVEY MAP NUMBER 9827.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0178H, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014 IN COMMUNITY NO. 550481, HARTLAND, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - PROJECT BENCHMARK - NW COR OF THE SW 1/4 OF SEC 10-7-18, FOUND MON EL = 919.43.
 - SITE BENCHMARK - NW FB OF HYD EL = 924.40. (AS SHOWN)
 - ELEVATIONS BASED ON DATA FROM SENRPC, AND ARE AT NAD 1927.

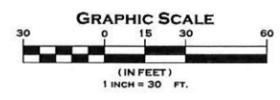
LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER	⊠	HYDRANT
— ST —	STORM SEWER	⊠	ELECTRIC METER	⊠	AUTO SPRINKLER
— W —	WATER MAIN	⊠	ELECTRIC PEDESTAL	⊠	WATER VALVE
— G —	BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE	⊠	GAS VALVE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE	⊠	MANHOLE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE PEDESTAL	⊠	WELL
— E —	BURIED ELECTRIC LINE	⊠	TV PEDESTAL	⊠	SOL BORING
— FO —	BURIED FIBER OPTIC LINE	⊠	GAS METER	⊠	METAL LIGHT POLE
— U —	OVERHEAD UTILITY LINES	⊠	AIR CONDITIONER	⊠	CONCRETE LIGHT POLE
— CATV —	BURIED CABLE TELEVISION LINES	⊠	UTILITY POLE	⊠	WOOD LIGHT POLE
— COMB —	COMBINATION SEWER	⊠	WOOD SIGN	⊠	METAL SIGN
— WOOD —	WOOD FENCE	⊠	FLAG POLE	⊠	WOOD LIGHT POLE
— METAL —	METAL FENCE	⊠	BOLLARD	⊠	YARD LIGHT
— BRUSH —	EDGE OF TREES AND BRUSH	⊠	FIRE DEPARTMENT CONNECTION	⊠	
— OPTIC —	FIBER OPTIC MARKER	⊠		⊠	

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

FEBRUARY 26, 2016
 DATE

Michael J. Berry
 MICHAEL J. BERRY, R.L.S.
 REGISTERED LAND SURVEYOR S-2545



www.DiggerHotline.com

DIGGERS HOTLINE

DIAL 811 OR (800) 242-8511

PLAT OF SURVEY WITH TOPOGRAPHY
 FOR
GUTHRIE & FREY
 RICHARDS ROAD
 HARTLAND, WI

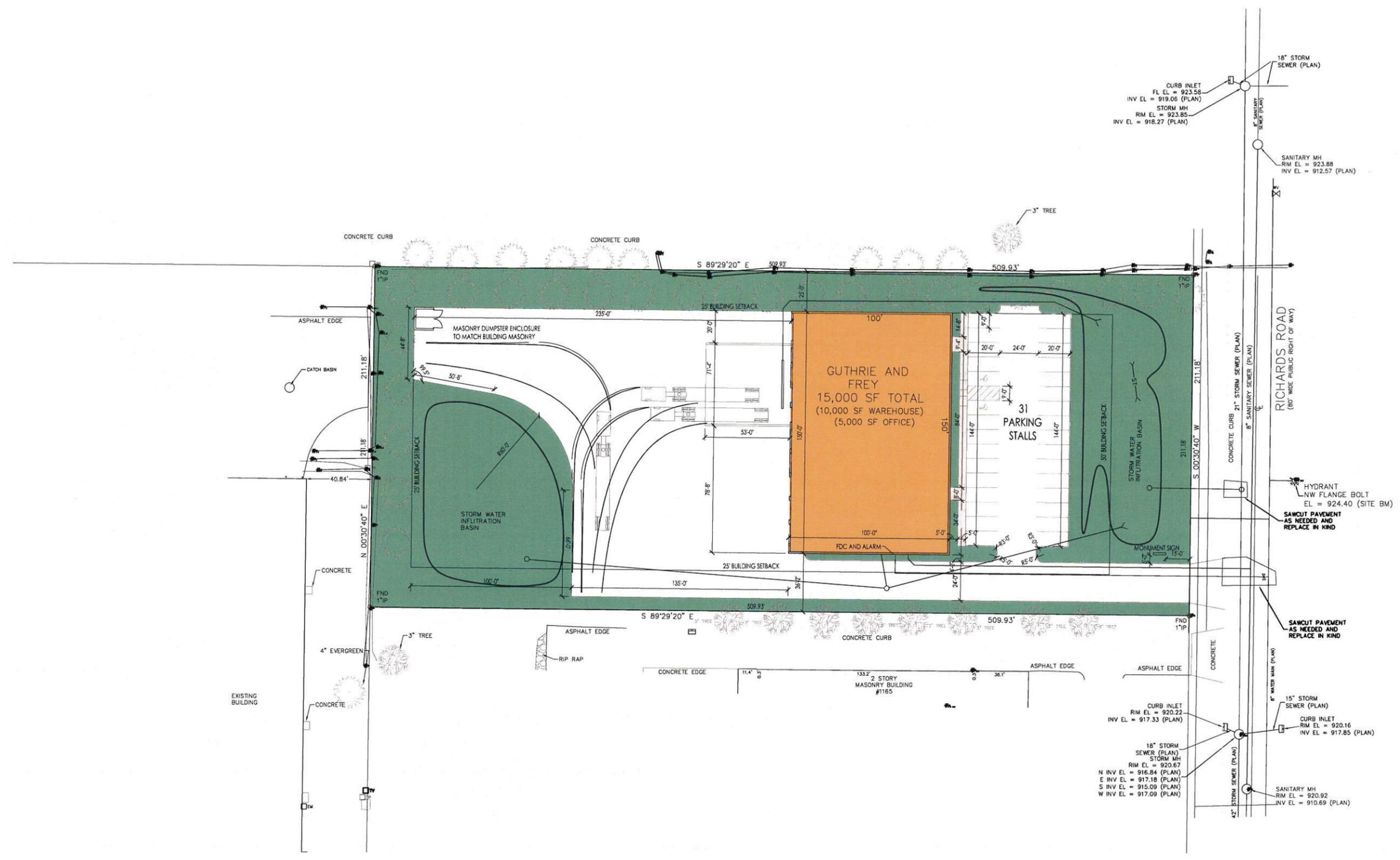
DRAWN BY:	RAP	DATE:	02-26-16
CHECKED BY:	MJB	DRAWING NO.:	P-0
CSE Job No.:	16-009	SHEET	1 OF 1

SHEET TITLE
ARCHITECTURAL SITE PLAN

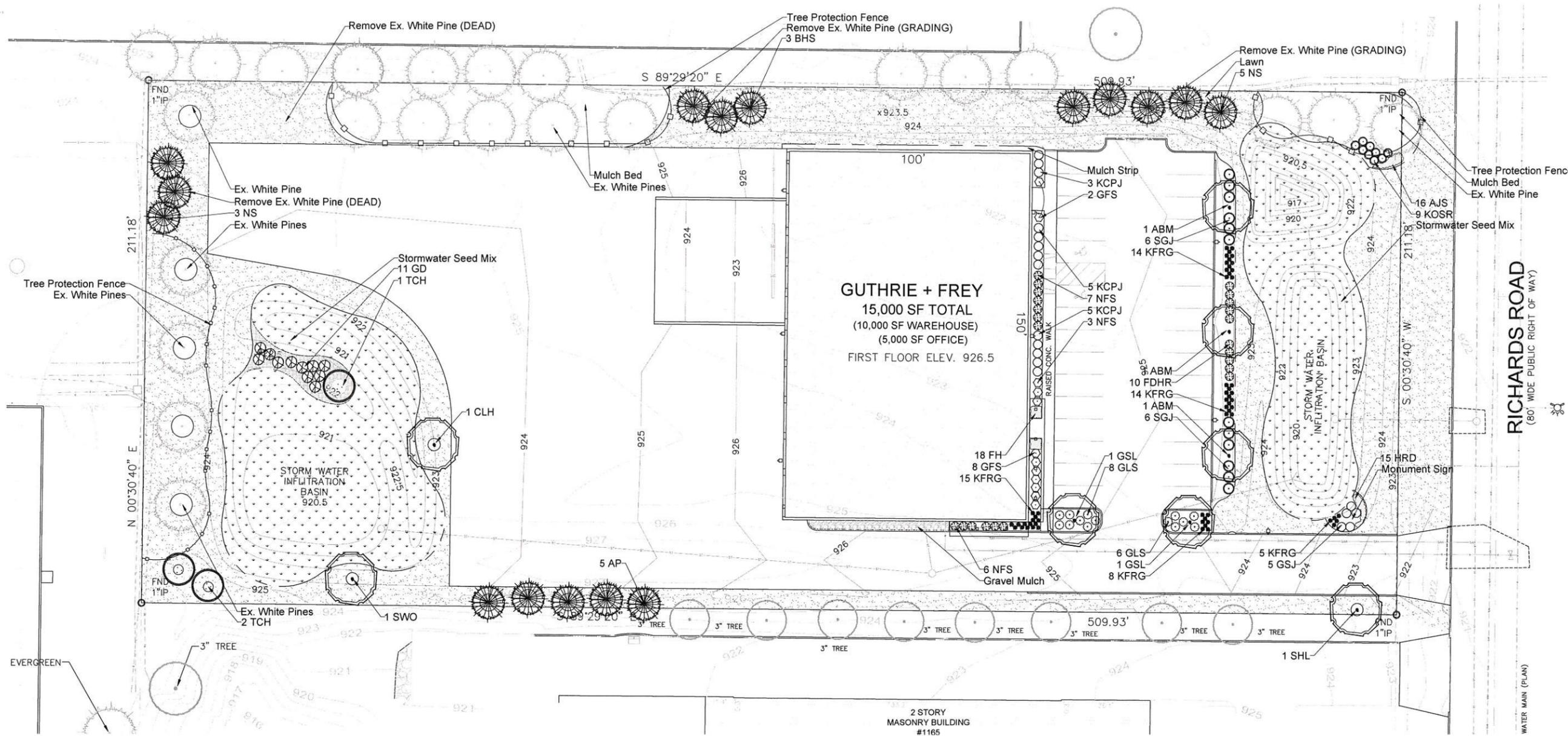
PROPOSED NEW BUILDING FOR:
GUTHRIE & FREY
 1165 RICHARDS ROAD
 HARTLAND, WISCONSIN

JOB:	2840
DRAWN:	AA
CHECKED:	DF
DATE:	03/24/16
SHEET:	

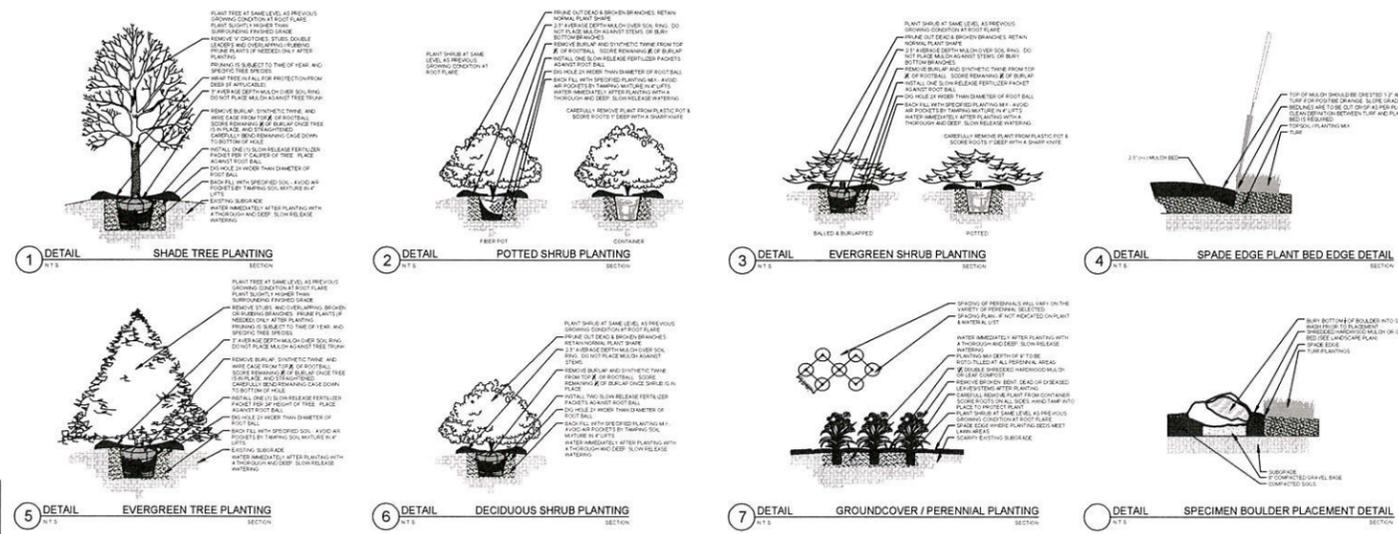
A0.1



 **1** ARCHITECTURAL SITE PLAN
 1" = 30'



OVERALL LANDSCAPE PLAN
 Scale: 1"=20'0"



PLANTING & HARDSCAPE DETAILS

SHADE TREES (DECIDUOUS)

ABM	Autumn Blaze Maple
CLH	Chicagoland Hackberry
SHL	Skyline Honeylocust
SWO	Swamp White Oak
GSL	Greenspire Linden

ORNAMENTAL TREES (DECIDUOUS)

TCH	Thornless Cockspur Hawthorn
-----	-----------------------------

EVERGREEN TREES

NS	Norway Spruce
BHS	Black Hills Spruce
AP	Austrian Pine

SHADE TREES (DECIDUOUS)

GD	Gray Dogwood
GLS	Gro Low Fragrant Sumac
KOSR	Knock Out Shrub Rose
FDHR	Frau Dagmar Hastrup Rugosa Rose
GFS	Goldflame Spirea
NFS	Neon Flash Spirea

ORNAMENTAL GRASSES

KFRG	Karl Foerster Feather Reed Grass
------	----------------------------------

EVERGREEN SHRUBS

SGJ	Sea Green Juniper
KCPJ	Kallay Compact Pfitzer Juniper
GSJ	Green Sargent Juniper

HERBACEOUS PERENNIALS

HRD	Happy Returns Daylily
FH	Francee Hosta
AJS	Autumn Joy Sedum

PLANT ABBREVIATION KEY

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 One Redwood Court
 Racine, Wisconsin 53402
 ph 262.639.9733
 fx 262.639.9737
 david@davidheller.com

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 MILW. AREA 229-1181
 WS STATUTE 182.0175(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

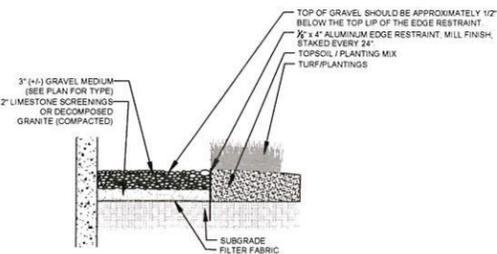
DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511
M.L.W. AREA 258-1151
WIS. STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

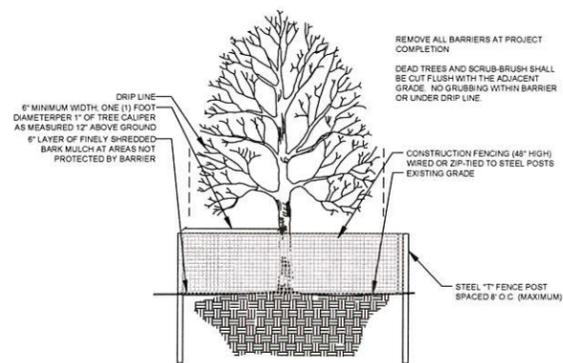
HELLER & ASSOCIATES, LLC

LANDSCAPE ARCHITECTURE

One Redwood Court
Racine, Wisconsin 53402
ph 262.639.9733
fx 262.639.9737
david@wdavidheller.com



2 DETAIL GRAVEL MAINTENANCE DRIP EDGE DETAIL
N.T.S. SECTION



1 DETAIL TREE PROTECTION/PRESERVATION DETAIL
N.T.S. SECTION

HARDSCAPE DETAILS

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.

5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.

7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.

9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 6"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
1/2 CY Peat Moss or Mushroom Compost
1/2 CY blended/diversified Topsoil
1/2 CY composted manure

In into-filled beds only, also include in above mixture:
2 lbs Starter Fertilizer

12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.

13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #13 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:
No bare spots larger than one (1) square foot
No more than 10% of the total area with bare areas larger than one (1) square foot
A uniform coverage through all turf areas

14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807, or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.

15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.

16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	3	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
CLH	1	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	1	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
SWD	1	Quercus bicolor	Swamp White Oak	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
GLS	2	Tilia cordata 'Greenspire'	Greenspire Linden	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
TCH	3	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVERGREEN TREES						
NS	8	Picea abies	Norway Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground
BHS	3	Picea densata 'glauca'	Black Hills Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground
AP	5	Pinus nigra var. Austriana	Austrian Pine	7-8"	B&B	Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/CONT.	SPECIFICATION / NOTES
SGJ	12	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
KPJ	13	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub
GSJ	5	Juniperus chinensis sargentii 'Vividis'	Green Sargent Juniper	#5	Cont.	Full rounded well branched shrub
DECIDUOUS SHRUBS						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/CONT.	SPECIFICATION / NOTES
GD	11	Cornus racemosa	Gray Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped
GLS	14	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
KOSR	9	Rosa 'Knock Out'	Knock Out Shrub Rose	18"	Cont.	Full, well rooted plant, evenly shaped
FDRH	10	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rugosa Rose	18"	Cont.	Full, well rooted plant, evenly shaped
GF5	10	Spiraea xbumalda 'Goldflame'	Goldflame Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
NFS	23	Spiraea xbumalda 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
ORNAMENTAL GRASSES						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
KFRG	56	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
HERBACEOUS PERENNIALS						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
HRD	15	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
FH	18	Hosta fortunei 'Francee'	Francee Hosta	#1	Cont.	Full, well rooted plant, evenly shaped
AJS	16	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#1	Cont.	Full, well rooted plant, evenly shaped
LAWN						
2960		Lawn Establishment Area / Grading Area			SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
14010		Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)
SWMS	1557	Stormwater Seed Mix	see plan for area delineation		SY	
Hardscape Materials						
3		Heritage River Gravel Mulch (1.0-1.5" pieces)	200 SF		TN	2" depth
5		Aluminum Edge Restraint (Gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF	
200		Landscape Fabric	SF		SF	
445		Tree Protection Fencing	see plan for locations		LF	See detail in the plan set
38.5		Shredded Hardwood Mulch (3" depth)	4,160 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
25.5		Soil Amendments (2" depth)	4,160 SF		CY	
125		Pulverized Topsoil (lawn areas)	Area		CY	
25.5		Pulverized Topsoil (2" over bed areas)	4,160 SF		CY	

*Landscape courts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these courts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.

Seed Compositions:
Cedar Creek Premium Blue Tag (Ph: 888-313-6807)
10% Mid Atlantic Kentucky Bluegrass
10% Merit Kentucky Bluegrass
20% Boreal Red Fescue
20% Pennant Fine Perennial Ryegrass
10% Atlantic Kentucky Bluegrass
10% Dragon Kentucky Bluegrass
10% Palmer III Fine Perennial Ryegrass
Seed at rate of 3# per 1000 SF

PLANT & MATERIAL SCHEDULE

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses/Sedges/Rushes:		
Carex cristatella	Crested Oval Sedge	1.00
Carex lurida	Bottlebrush Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fowl Mannia Grass	1.25
Juncus effusus	Common Rush	1.00
Juncus torreyi	Torrey's Rush	0.25
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	8.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus cyperinus	Wood Grass	0.50
Scirpus flouviatilis	River Bulrush	0.25
Scirpus validus	Great Bulrush	6.00
	Total	40.25
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
	Total	460.00
Forbs:		
Alisma spp.	Water Plantain (Various Mix)	4.25
Asclepias incarnata	Swamp Milkweed	1.50
Bidens spp.	Bidens (Various Mix)	2.00
Helianthus autumnale	Sneezeweed	2.00
Lycopus americana	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Penthorum sedoides	Ditch Stonecrop	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
	Total	20.50

Approximate area of coverage: Total area (SF) of coverage surrounding infiltration ponds: Total acreage of coverage surrounding bio filtration ponds: Total acreage of Stormwater Seed Mix:	14,010.00 0.32	CARDNO / JF New, Inc. www.cardnojfnw.com 128 Sunset Drive Walkerton, Indiana 46574 Ph: 574-586-3400	6140 Cottonwood Road Suite A Fitchburg, Wisconsin 53719 Ph: 608-661-2965	8605 Steger Road Suite A Monee, Illinois 60449 Ph: 708-534-3450
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STORMWATER SEED MIX

BRIORN
DESIGN GROUP
3863 N BROOKFIELD ROAD, SUITE 200
BROOKFIELD WISCONSIN 53045-1990
(262) 790-0500 PHONE
(262) 790-0505 FAX

SHEET TITLE
LANDSCAPE NOTES & SCHEDULES

PROPOSED NEW BUILDING FOR:
GUTHRIE & FREY
1165 RICHARDS ROAD
HARTLAND, WISCONSIN

JOB: 2840
DRAWN: AA/WDH
CHECKED: DF
DATE: 03/24/16
SHEET:

L 1.1

BRIOHN



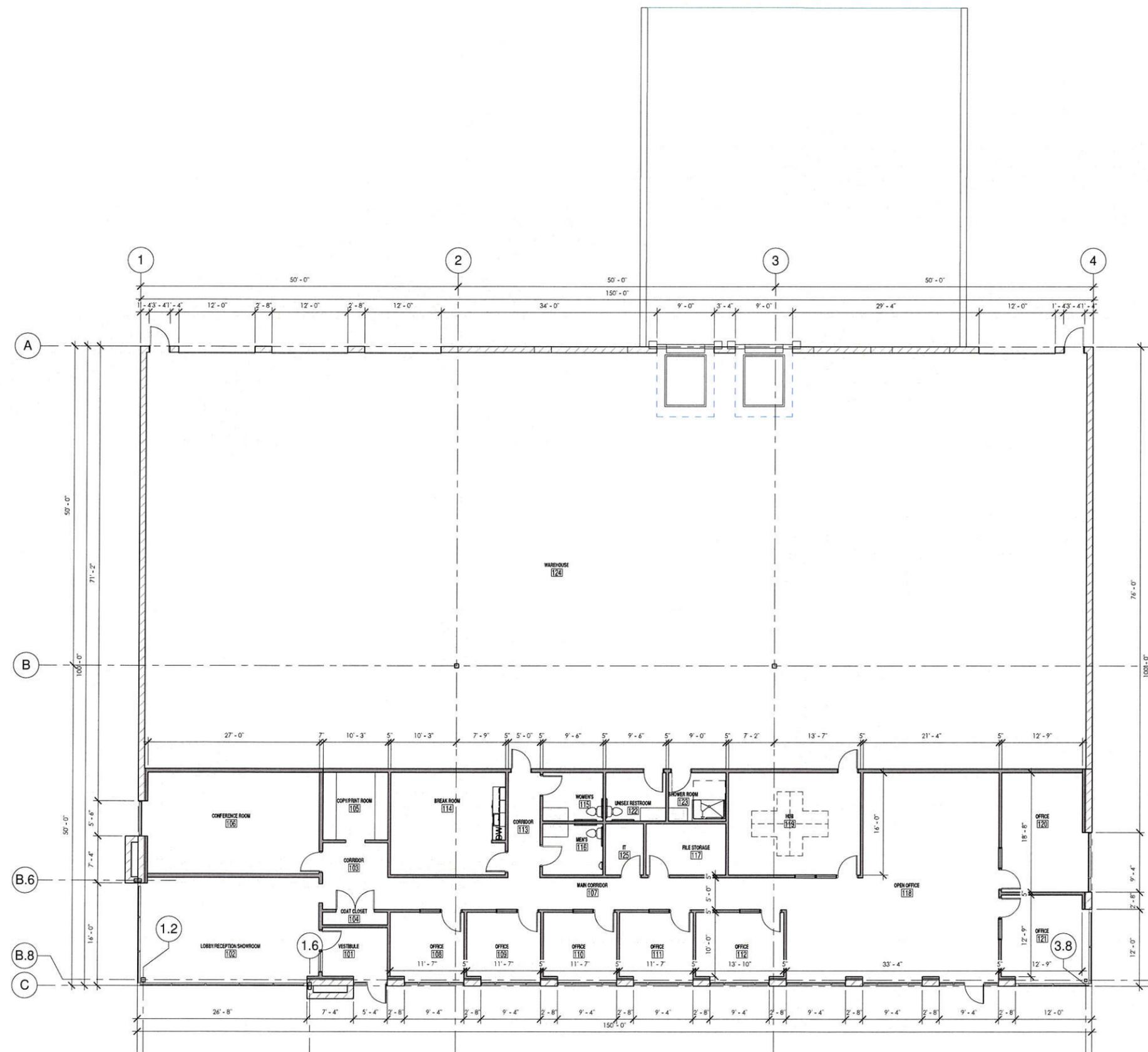
DESIGN GROUP

3845 N BROOKFIELD ROAD, SUITE 200
BROOKFIELD WISCONSIN 53005-1950
(262) 780-9200 PHONE
(262) 780-9505 FAX

FLOOR PLAN

SHEET TITLE

PROPOSED NEW BUILDING FOR:
GUTHRIE & FREY
1165 RICHARDS ROAD
HARTLAND, WISCONSIN



1 FLOOR PLAN
1/8" = 1'-0"

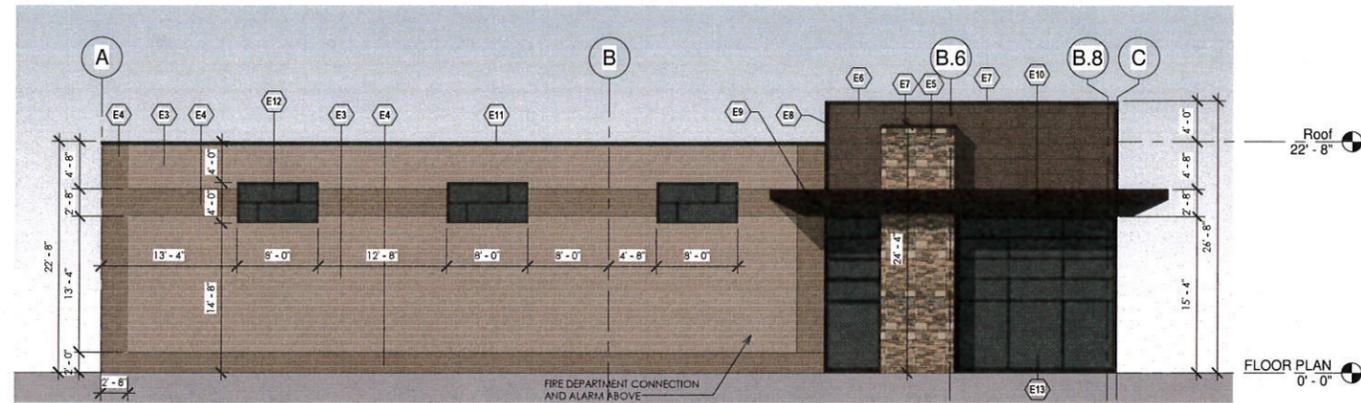
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DRAWN:	AA
CHECKED:	DF
DATE:	03/24/16
SHEET:	

A1.1

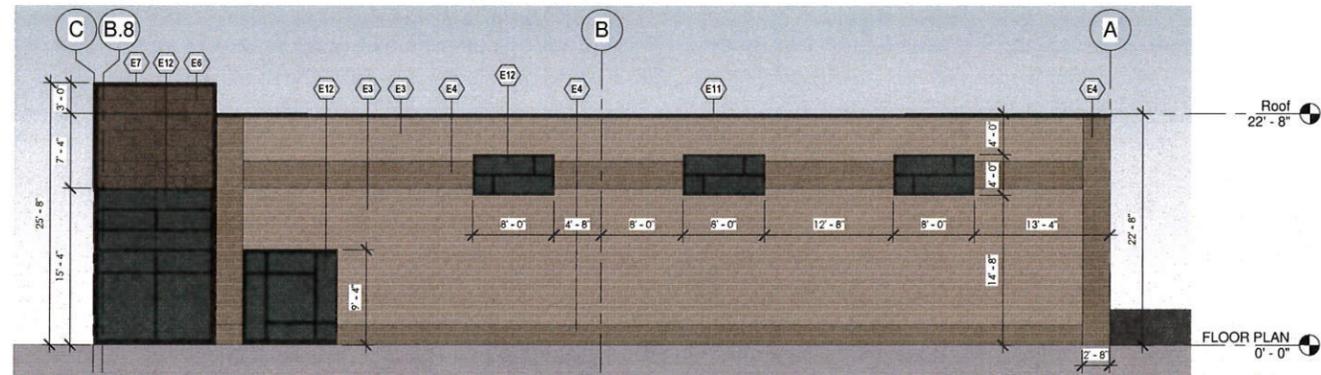


1 EAST ELEVATION - COLOR
1/8" = 1'-0"

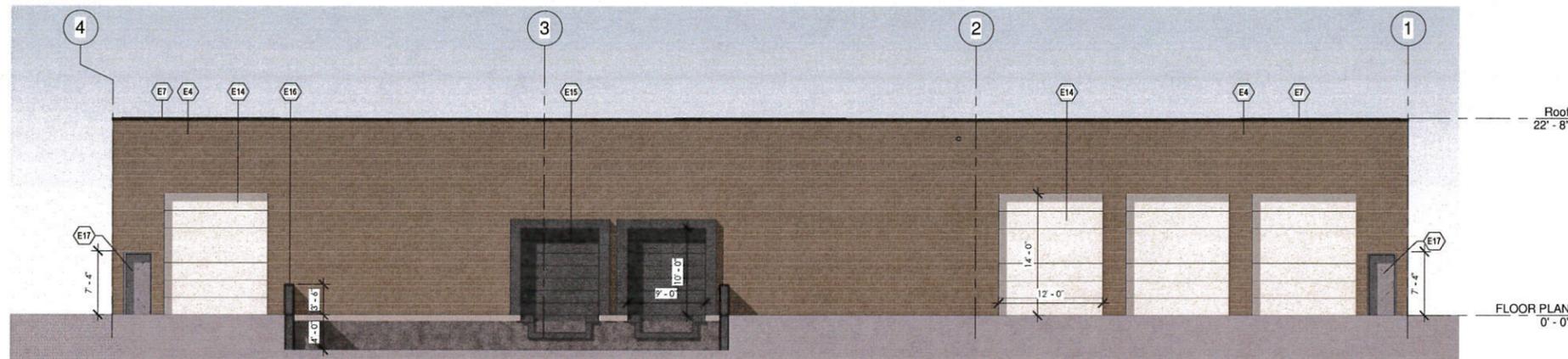
KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
E1	ARCHITECTURAL CONCRETE BRICK, HERITAGE COLLECTION, 4" HIGH x 16" WIDE, SMOOTH, COLOR: LIGHT BUFF.
E2	ARCHITECTURAL CONCRETE BRICK, HERITAGE COLLECTION, 4" HIGH x 16" WIDE, SMOOTH, COLOR: DARK BUFF.
E3	ARCHITECTURAL CONCRETE BRICK, HERITAGE COLLECTION, 8" HIGH x 16" WIDE, SMOOTH, COLOR: LIGHT BUFF.
E4	ARCHITECTURAL CONCRETE BRICK, HERITAGE COLLECTION, 8" HIGH x 16" WIDE, SMOOTH, COLOR: DARK BUFF.
E5	STACKED STONE, COLOR T.B.D.
E6	FIBER CEMENT PANELS, COLOR MOCHA.
E7	PREFINISHED METAL COPING, COLOR BRONZE.
E8	PREFINISHED METAL TRIM, COLOR BRONZE.
E9	PREFINISHED METAL FASCIA, COLOR BRONZE.
E10	PREFINISHED METAL SOFFIT PANEL, COLOR BRONZE.
E11	PREFINISHED METAL GRAVEL STOP, COLOR BRONZE.
E12	PREFINISHED BRONZE ANODIZED WINDOW SYSTEM (THERMALLY BROKEN) WITH 1" INSULATED LOW-E GREY TINTED GLAZING.
E13	PREFINISHED BRONZE ANODIZED CURTAIN WALL SYSTEM (THERMALLY BROKEN) WITH 1" INSULATED LOW-E GREY TINTED GLAZING.
E14	12x14 INSULATED OH DOOR FACTORY FINISHED.
E15	9x10 INSULATED OH DOOR FACTORY FINISHED WITH DOCK SEALS, DOCK LEVELERS AND BUMPER.
E16	CONCRETE RETAINING/GUARD WALL 3'-6" HIGH AFF.
E17	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH ADJACENT PRE CAST COLOR).



3 SOUTH ELEVATION - COLOR
1/8" = 1'-0"



4 NORTH ELEVATION - COLOR
1/8" = 1'-0"



2 WEST ELEVATION - COLOR
1/8" = 1'-0"

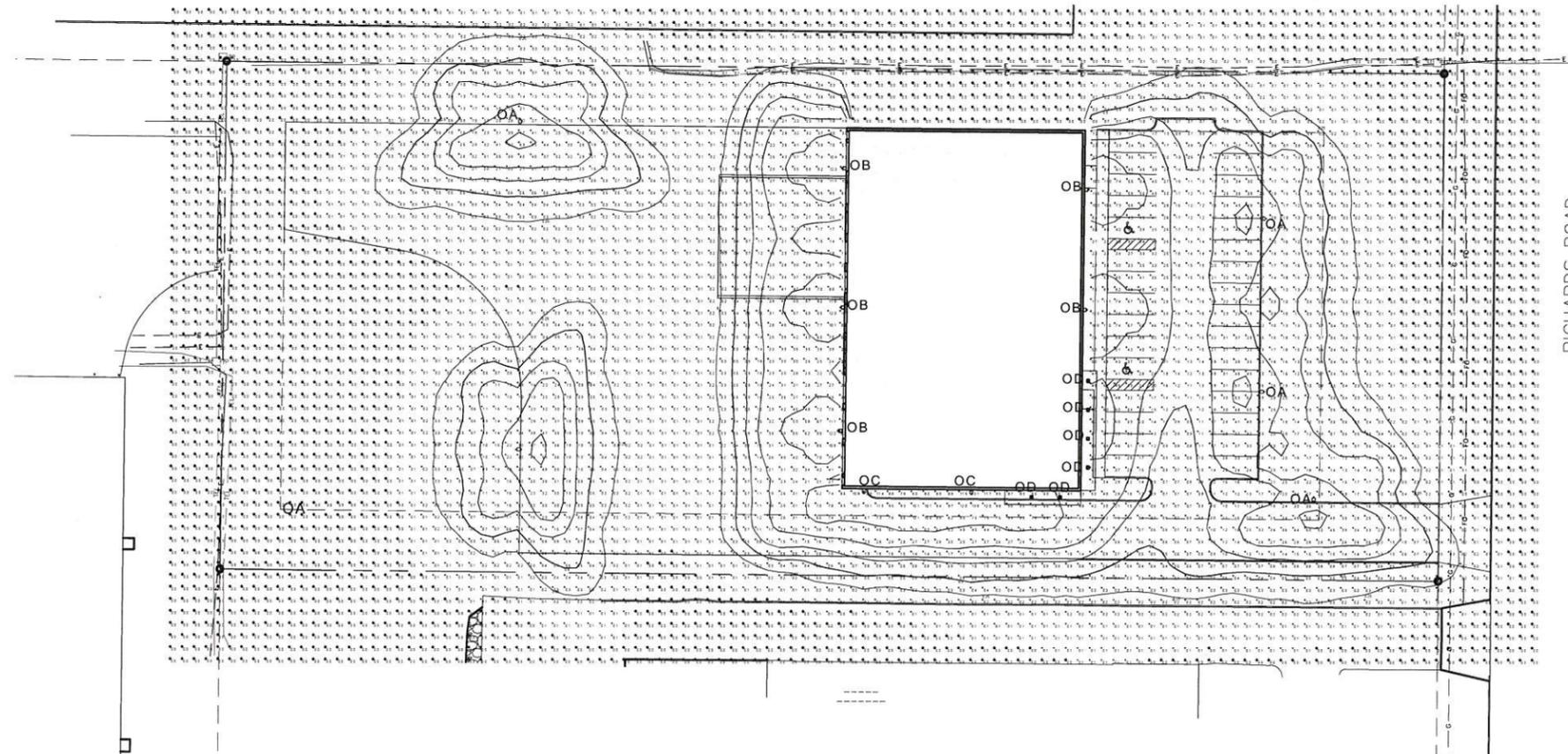
EXTERIOR PHOTOMETRIC

SHEET
TITLE

PROPOSED NEW BUILDING FOR:
GUTHRIE & FREY
RICHARDS ROAD
HARTLAND, WI

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.8 fc	13.9 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
⊕	OA	5	E-CONLIGHT E-FR2PSSQIE- ACLS16 (E- ACC16M)	TYPE III LUMINAIRE ON 20' POLE ON 2' BASE W/BACK LT. SHIELD	250W PSMH, ED28, COATED	PR440SBL.ies	20500 1.00 295
⊕	OB	5	E-CONLIGHT E-FR2PSSQOM/ E-ACW2DB	TYPE IV LUMINAIRE WITH 2" ADJUSTABLE FIXTURE AND WALL MOUNT TENON BUILDING MOUNTED 17' AFG	250W PSMH, ED28, COATED	AC440SBL.ies	20500 1.00 295
⊕	OC	2	E-CONLIGHT E-FR2PSSQOM/ E-ACW2DB	TYPE III LUMINAIRE WITH 2" ADJUSTABLE FIXTURE AND WALL MOUNT TENON BUILDING MOUNTED 17' AFG	250W PSMH, ED28, COATED	PR440.ies	20500 1.00 295
⊕	OD	6	E-CONLIGHT E-CCSLO3NZ	CANOPY LIGHT MOUNTED 15' AFG	4000K 36W LED	E- CCSLO3N.ies	Absolute 1.00 34.89



SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

JOB: 00472
DRAWN: JP
CHECKED: JP
DATE: 03/28/16
SHEET:

E1.1

Mr. Mike Byrne
BRIOHN Design Group
April 13, 2016
Page 2

Architectural Site Plan

1. Provide a site coverage and parking calculation table.
2. Review the suitability of utilizing the existing sanitary and water services that are stubbed to the property to limit excavation in Richards Road.

Site Utility Plan

1. Slurry backfill is required within 5 feet of the curb and gutter and under Richards Road.
2. The storm sewer connecting to the Village storm inlet shall be RCP.
3. What type of material is being used for onsite private storm sewer pipe? The connection pipe from the westerly to easterly storm ponds is shallow. This should be a rigid pipe material, if not please identify how this pipe will be protected with a shallow depth under truck traffic weight.
4. Utilize catch basins with 2 foot sumps on site for additional water quality benefit. Include the periodic inspection/cleaning of these in the maintenance plan.
5. 4-foot diameter minimum storm manhole required in Richards Road.

Site Erosion Control Plan

1. Utilize erosion mat for all pond and channel slopes on site.
2. Consider updating the sequence to have all disturbed areas stabilized prior to performing the final 2-foot cut in the infiltration areas and installing the engineered fill.
3. Provide Type D inlet protection for first set of downstream inlets in Village roadway.

Landscape Plan

1. A tree protection permit will be necessary. Identify the species of existing trees on site. Identify which trees will be eliminated. Complete the calculations identifying that the trees being proposed meet or exceed that required through the ordinance.

Mr. Mike Byrne
BRIOHN Design Group
April 13, 2016
Page 3

Summary

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer – submit 2 final copies with all relevant information from previous submittals included.
2. Village storm water permit and erosion control permit.
3. Village tree protection permit.
4. Village curb cut/right-of-way permit.
5. Building permit.
6. WDNR NOI Permit.

The applicant will be required to obtain any other permits determined to be necessary.

If you have any questions, comments or concerns, please feel free to contact our office.

Very truly yours,

RUEKERT & MIELKE, INC.

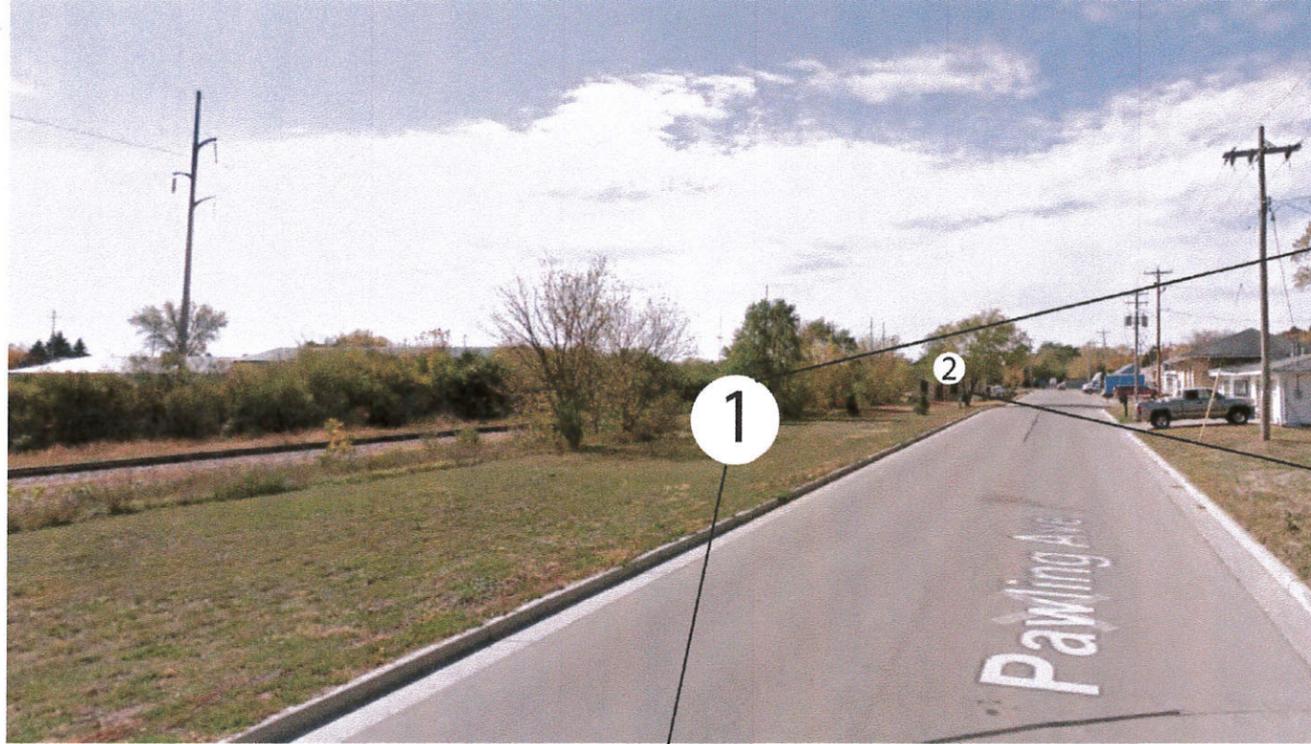


Ryan T. Amtmann, P.E. (WI, IL)
Vice President
ramtmann@ruekert-mielke.com

RTA:sjs

cc: David Cox, Village of Hartland
Michael Einweck, P.E., Village of Hartland
Scott Hussinger, Village of Hartland
File

STREET VIEW (LOOKING WEST)



EXISTING
TRAIN STATION
BUILDING
LOCATION

1 EAST ELEVATION



PROPOSED NEW BUILDING - NORTH ELEVATION



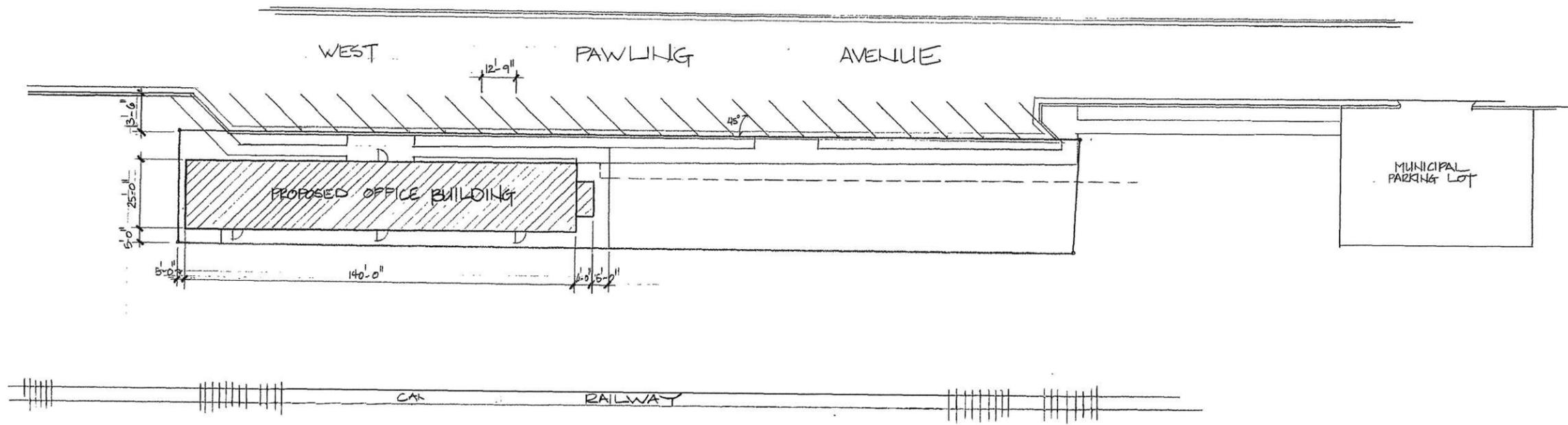
MILLER MARRIOTT
CONSTRUCTION CO. LLC
301 PAWLING AVE. HARTLAND, WI 53029
262.369.0531 | www.millermarriott.com



**James
Marriott
& Associates**
Architects — ♦ — Builders

PROPOSAL FOR: HARTLAND STATION

4-18-2016



SITE CONCEPT PLAN

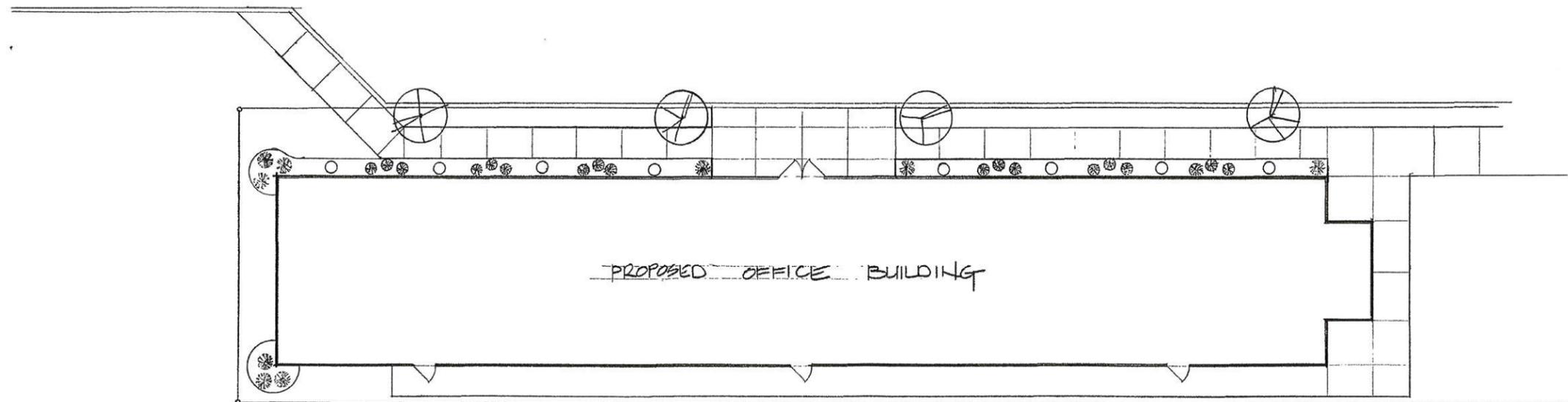
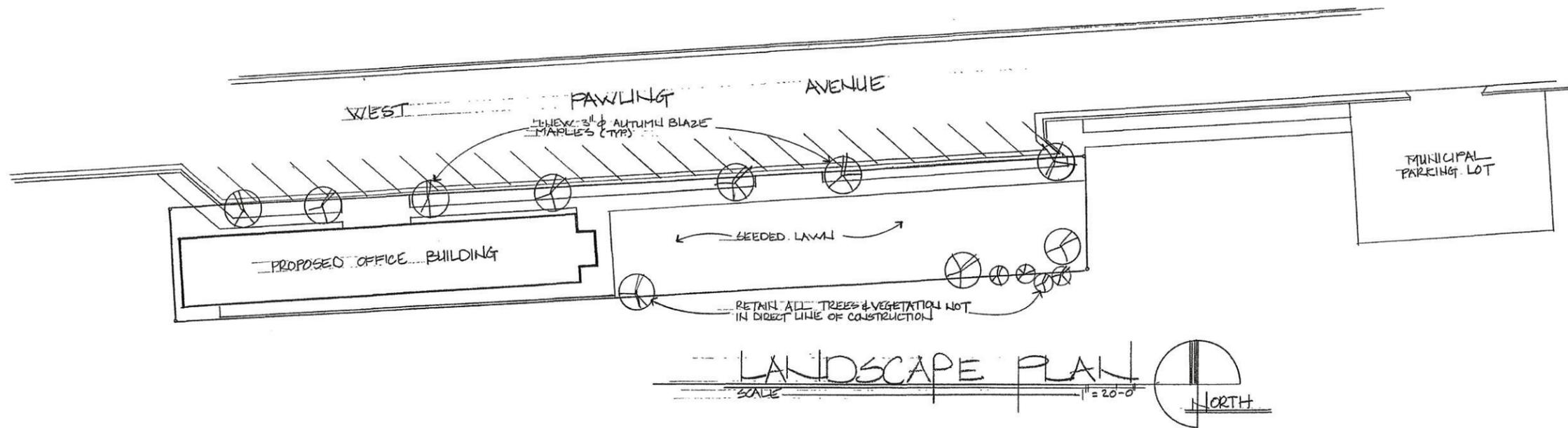
SCALE: 1" = 20'-0"

23 - SPACES ON STREET

LOT SQ. FOOTAGE = 12,646 . 290 AC.

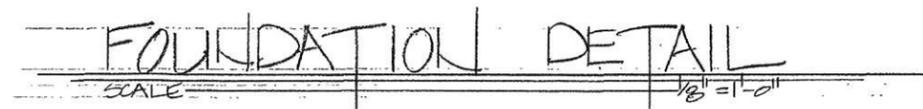
FLOOR PLATE (BUILDING) = 35,972

NORTH

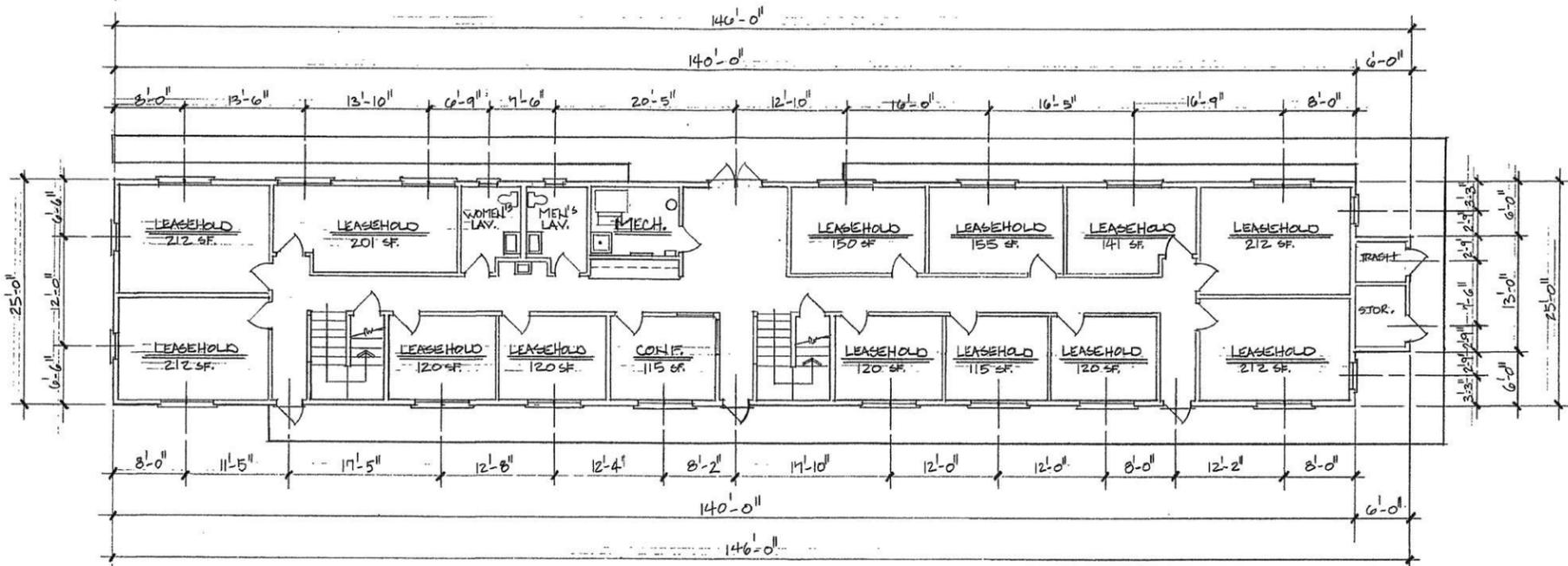


PLANT LIST
ALL SPECIMANS TO B&B

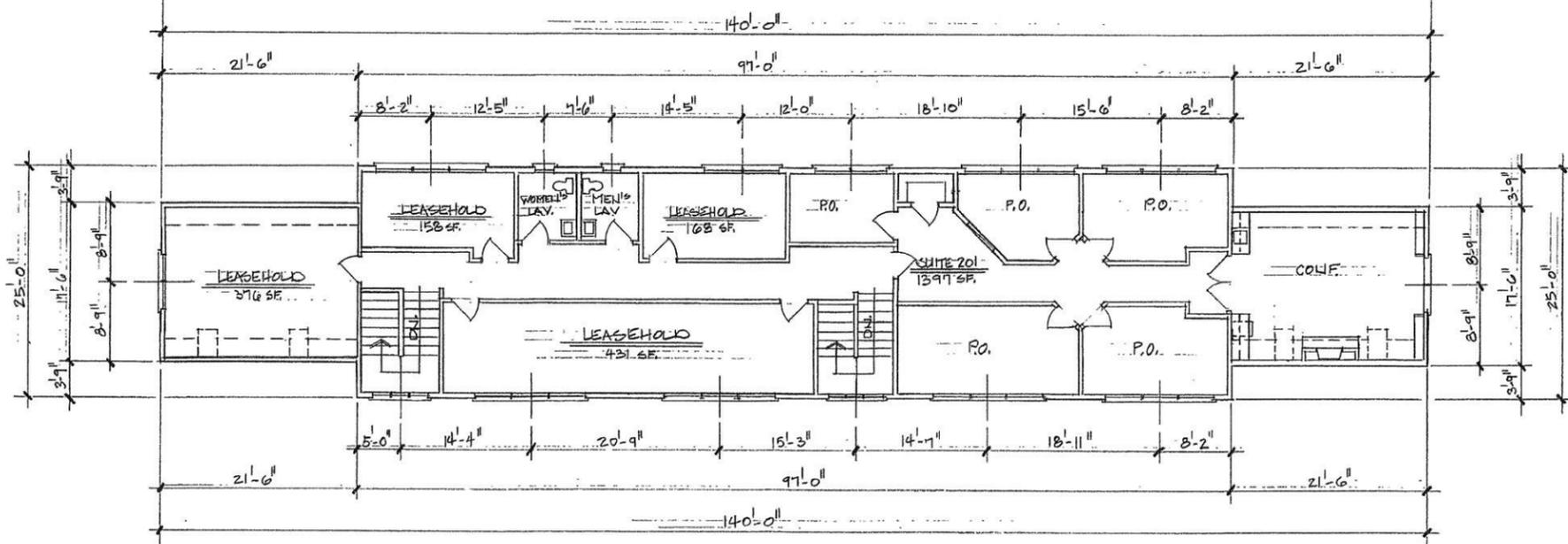
SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
TAXUS MEDIA CV9	ANGLOJAPANESE YEW	18"	18
THALIA OCCIDENTALIS	AMERICAN PYRAMIDAL ARBORVITAE	36"	5
VIBURNUM PUBESCENS	ARROWWOOD VIBURNUM	18"	5
ACER RUBRUM AUTUMN FLAME	RED MAPLE AUTUMN FLAME	3" DIA	1







FIRST LEVEL PLAN
SCALE $\frac{1}{8}'' = 1'-0''$

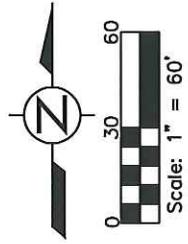
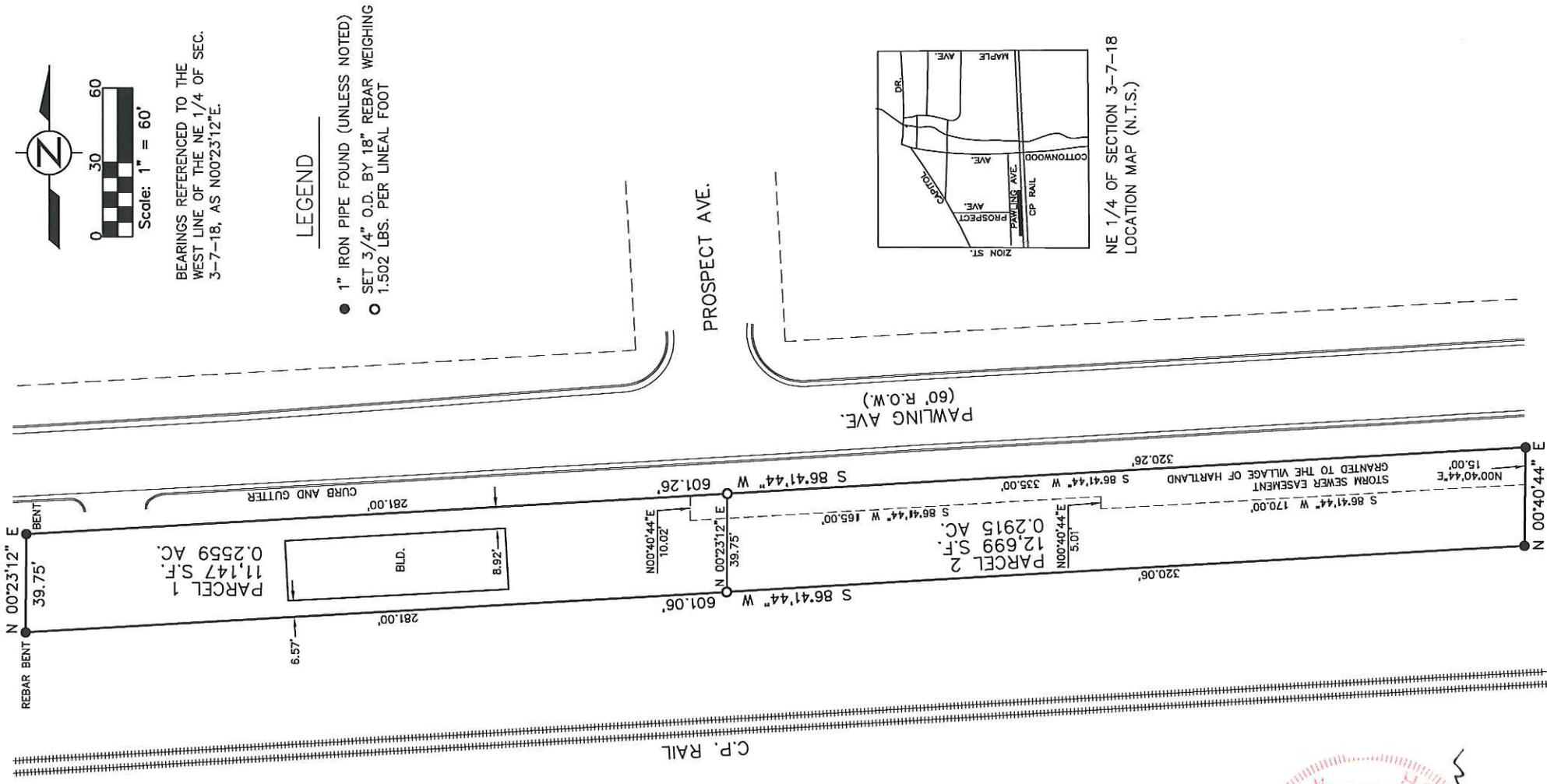


SECOND LEVEL PLAN
SCALE $\frac{1}{8}'' = 1'-0''$

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 9668, DOC. NO. 3099006, BEING A PART OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

LOT 1, C.S.M. 9116



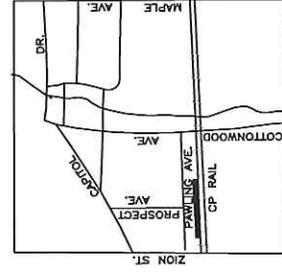
BEARINGS REFERENCED TO THE WEST LINE OF THE NE 1/4 OF SEC. 3-7-18, AS N00°23'12"E.

LEGEND

- 1" IRON PIPE FOUND (UNLESS NOTED)
- SET 3/4" O.D. BY 18" REBAR WEIGHING 1.502 LBS. PER LINEAL FOOT

PAWLING AVE. (60' R.O.W.)

PROSPECT AVE.



NE 1/4 OF SECTION 3-7-18
LOCATION MAP (N.T.S.)



CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 9668, DOC. NO. 3099006, BEING A PART OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

SURVEYORS CERTIFICATE:

I, JASON T. MAYER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THAT PART OF THE NORTHEAST ¼ OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKEAHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

BEING A RE-DIVISION OF PARCEL 1, OF CERTIFIED SURVEY MAP NO. 9668, RECORDED IN VOLUME 89 OF CERTIFIED SURVEY MAPS OF WAUKESHA COUNTY, WISCONSIN, PAGE 92, AS DOCUMENT NO. 3099006, ON NOVEMBER 17, 2003, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN. CONTAINING 0.5474 ACRES, 23,846 SQUARE FEET MORE OR LESS.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF HARTLAND STATION LLC OF SAID LANDS AND CERTIFY THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND CHAPTER 50 OF THE ORDINANCES OF THE VILLAGE OF HARTLAND IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 23rd DAY OF February, 2016



Jason T. Mayer

JASON T. MAYER, P.L.S.
PROFESSIONAL LAND SURVEYOR, S-2844
MRM SURVEYING LLC
W241 N7303 S. WOODSVIEW DR.
SUSSEX, WI 53089

OWNERS CERTIFICATE:

AS OWNER, I HEREBY CERTIFY THAT I CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH CHAPTER 236.34, OF THE WISCONSIN STATUTES AND APPLICABLE LAND DIVISION REGULATIONS OF THE VILLAF HARTLAND,

HARTLAND STATION LLC
CHRIS MILLER, MANAGING PARTNER

DATED THIS _____ DAY OF _____, 2016

PERSONALLY came before me this _____ day of _____, 2016, Chris Miller, Managing Partner of the above named Corporation to be known to be the person who executed the forgoing instrument and acknowledged the same.

Notary Public
State of Wisconsin
My Commission Expires _____

VILLAGE OF HARTLAND PLANNING COMMISSION APPROVAL

APPROVED BY THE VILLAGE BOARD, VILLAGE OF HARLAND ON THIS _____ DAY OF _____, 2016.

DAVID LAMERAND, VILLAGE PRESIDENT

DARLENE IGL, VILLAGE CLERK

VILLAGE OF HARTLAND BOARD APPROVAL

APPROVED BY THE VILLAGE BOARD, VILLAGE OF HARLAND ON THIS _____ DAY OF _____, 2016.

DAVID LAMERAND, VILLAGE PRESIDENT

DARLENE IGL, VILLAGE CLERK

CONDITIONAL USE PERMIT
[Hartland Station]

DRAFT - April 14, 2016

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 28th day of April, 2016, by the Village of Hartland (hereinafter Village) to Hartland Station, LLC. (hereinafter "Grantee") for the construction and operation of a commercial office building at the property located at 249/251 Pawling Avenue.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the construction and operation of a commercial office building with a reduced rear yard and reduced off street parking in the B-3 Zoning District at 249/251 Pawling Avenue, Hartland, Wisconsin, (the "Property") more specifically described as:

[Lot 2 of the CSM dividing HAV 0729931001; details in the final document]

OWNER: Hartland Station, LLC
301 Pawling Avenue
Hartland, WI 53029

WHEREAS, the Property is located in the B-2 Community Business District; and

WHEREAS, Section 46-494 (12) of the Village of Hartland Code of Ordinances provides that a rear yard in the B-3 Zoning District less than 25 feet in depth may be authorized by conditional use; and

WHEREAS, Section 46-494 (1) and Section 46-923 (13) b. of the Village of Hartland Code of Ordinances provide that parking in an amount less than required by the Code may be authorized by conditional use upon one-time payment in lieu of the required parking; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibit A and site plan attached hereto as Exhibit B both incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application, Plan of Operation and site plan and held a Public Hearing on April 21, 2016 pursuant to Section 46-

Recording Area

Document drafted by and return to:
David Cox, Administrator
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number
HAV 0729931001 *As Updated*

848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the commercial office building may be constructed and operated pursuant to the Plan of Operation and site plan and pursuant to the operator's and owner's representations during the review process with a rear yard of five (5) feet instead of the required 25 feet as a commercial office building;
2. the owner and operator of the commercial office building will construct the building in accordance with the plans as submitted and as finally approved including stormwater facilities, buffers and landscaping;
3. the owner and operator of the commercial office building is not required to provide off-street parking in any quantity and shall provide a payment to the Village in an amount as required under Section 46-923 (13) b. of the Village of Hartland Code for the purpose of constructing on street parking adjacent to the Grantee's building;
4. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
5. Excessive complaints regarding noise, parking issues or other disturbances related to this operation may be grounds for revocation of this Conditional Use Permit upon review of the Plan Commission and Village Board;
6. ***ANY ADDITIONAL CONDITIONS ADDED BY THE PLAN COMMISSION***

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to construct and operate a commercial office building at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Hartland Station, LLC.
2. The business activities permitted hereunder are limited to the operation of a commercial office building.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein, which Plan is modified by the terms of this Conditional Use Permit and as approved by the Plan Commission and Village Board.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein in addition to the conditions contained herein below.
 - a. ***ANY CONDITIONS ADDED BY THE VILLAGE BOARD***

5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the commercial office building shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the automobile service facility operations by September 15, 2017.
8. Notwithstanding the forgoing, this CUP shall expire on December 31, 2017 but may be renewed for an additional term of a duration determined at the time of renewal or for an indefinite term.

This conditional use permit is hereby revised and reissued this 25th day of April, 2016 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



MILLER MARRIOTT
CONSTRUCTION CO. LLC

New Train Station on Pawling Project Overview

Investment Strategy:

Miller Marriott Construction has a strong history of single family and multifamily development in Southeastern Wisconsin. We prefer infill opportunities as they enhance communities and cater to migration trends to urban settings. We work collaboratively with municipalities to enhance communities and want projects to stand the test of time by incorporating timeless design and the highest quality finishes. This is demonstrated by the execution of our recent project; Sanctuary of Hartland.

Project Description:

Marriott Design and Miller Marriott Construction currently resides in the historic train station at 301 Pawling Ave, which we renovated 8 years ago. We have accepted an offer to purchase our current building contingent on the village approval of the proposed land split and the new 6,600 square foot two story building next door to our current location.

The building architecture plays off of the depot feel of the current street and will add 23 on street parking stalls and a sidewalk connecting the building to Cottonwood Ave. The building consists of two office suits upstairs and 13 individual offices and a common conference room on the first floor. Marriott Design and Miller Marriott Construction would move our operations to one of the office suits and we would rent the remaining offices.

Parking:

Parking for the property will consist of 23 on street parking spots with street trees. Hartland Station would propose making a project contribution of \$18,000 to the village for the installation of the on street parking and repair of the road cut for the sewer and water connection.

Market Rents:

We have assumed rents of \$300 to \$500 per office. This would include use of the conference room, WIFI, cleaning and garbage removal.

Project costs:

Our estimated hard and soft costs for the project are \$500,000 (less land). In addition to this we have assumed a land cost of \$40,000.

Financing:

EXHIBIT A



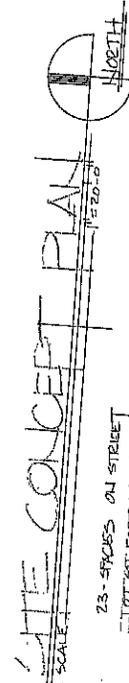
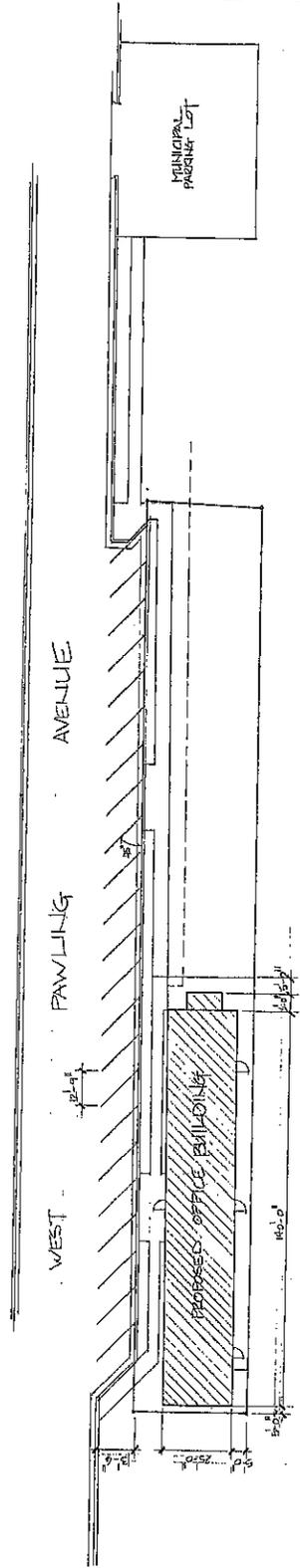
MILLER MARRIOTT
CONSTRUCTION CO. LLC

We would invest approximately 25% of the project through equity and the remaining construction costs would be financed through a construction loan. If the capital markets remain attractive we will transition to permanent financing after stabilization.

Timing:

We would like to break ground as soon as possible, hopefully this May. Approval of the project in April would allow us to complete work this year.

EXHIBIT B



23 - STOPS ON STREET
--- LOT: 361, FOOTAGE = 12,096, 290 AC.
--- FLOOR PLATE (BUILDING) = 3672

CONDITIONAL USE PERMIT
[Hartland Place]

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 28th day of April, 2016, by the Village of Hartland (hereinafter Village) to Heritage House of Hartland LLC (hereinafter “Grantee”) d/b/a Hartland Place for the operation of a Community Based Residential Facility serving the needs of the frail elderly at the property located at 444 Merton Avenue.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (“CUP”) pursuant to Section 46-846 *et seq.* of the Village of Hartland Code of Ordinances for the operation of a Community Based Residential Facility for the purpose of caring for the frail elderly in the RM-1 Zoning District at 444 Merton Avenue, Hartland, Wisconsin, (the “Property”) more specifically described as:

[HAV 0428985001]
OWNER: JPS Limited, LLC
d/b/a Hartland Senior Living, LLC
126 E Prospect Avenue
Hartford, WI 53027

WHEREAS, previously, Village granted a CUP (“Original CUP”) for the construction and operation of a 32 unit Memory Care Facility at the Property to JPS Limited, LLC, d/b/a Hartland Senior Living, LLC the conditions of which were complied with; and

WHEREAS, the Property is located in the RM-1 Multi-Family Residential District; and

WHEREAS, Section 46-374 (1) of the Village of Hartland Code of Ordinances provides that community living arrangements with a capacity for 16 or more persons in the RM-1 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto as Exhibit A and incorporated herein; and

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number
HAV 0428985001

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation on March 21, 2016 and held a Public Hearing on April 18, 2016 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. the memory care facility has been constructed pursuant to the Original CUP and may be maintained and operated pursuant to the Plan of Operation attached to this CUP and pursuant to the operator's and owner's representations during the review process including the housing of persons classified as frail elderly;
2. the operator of the facility shall operate the facility in accordance with State, federal or other applicable licensing requirements, shall provide adequate 24 hour care and supervision and shall ensure the safety of facility residents including prevention of unanticipated departures from the facility;
3. the operator of the facility will construct and maintain the building and site in accordance with the plans as submitted and as finally approved including stormwater retention, buffers, landscaping and fencing;
4. the operator of the facility shall operate the traffic flow and parking needs of the facility as approved and completely within the limits of the parcel's parking lot;
5. deliveries to the facility shall occur from vehicles in the facility parking lot or on Sunny Slope Drive and shall be coordinated and performed in such manner as to minimize delivery vehicle traffic in the adjoining neighborhood.
6. Servicing of the refuse and recycling containers at the facility shall be performed in such manner to minimize noise and disruption in the neighborhood and shall occur within the hours of 6:30am and 5:30pm.
7. property owner and facility operator shall manage, maintain and operate the business, building and site in accordance with all applicable rules and regulations of the Village of Hartland and other regulatory bodies as those bodies may have jurisdiction;
8. property owner and facility operator understand that future changes in use of the property may require additional parking or other modifications to the site;
9. ***ANY ADDITIONAL CONDITIONS ADDED BY THE PLAN COMMISSION***

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use is in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to operate a Community Based Residential Facility for the frail elderly at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Heritage House of Hartland LLC, d/b/a Hartland Place.
2. The business activities permitted hereunder are limited to the operation of a Community Based Residential Facility housing up to 32 residents classified as frail elderly.

3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein in addition to the conditions contained herein below.
 - a. **ANY CONDITIONS ADDED BY THE VILLAGE BOARD**
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. The operation of the facility shall be reviewed by the Village in advance of the expiration of the CUP if Grantee intends to continue operations at this location. Grantee shall apply to the Village for review of the memory care facility operations by May 26, 2017.
8. Notwithstanding the forgoing, this CUP shall expire on November 30, 2017.

This conditional use permit is hereby issued this 28th day of April, 2016 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



Exhibit A
Plan of Operation
Heritage House of Hartland LLC dba Hartland Place
444 Merton Street Hartland WI

Hartland Place is a single story assisted living building located at 444 Merton Drive. The community is owned by Heritage House of Hartland LLC who leases the building from Hartland Senior Living LLC/ JPS Limited, LLC (the owners of the property). The building will be licensed as a CBRF (Community Based Residential Facility) by the state of Wisconsin.

The building will be dedicated to the care of frail elders – both residents experiencing forms of age related dementia and also non-demented seniors. Expected residents of the facility would be frail elders in need of assistance with the activities of daily living including, care and medication management and including residents diagnosed with memory deficiencies, dementia or similar medical situations. Our average resident will be more than 80 years old although having some number of residents in their 70s would be expected. We would seldom have residents under 70 years old.

The client group for Hartland Place will be similar to that of the other assisted living building that our organization manages in Hartland Wisconsin – Matthews of Hartland located at 300 N Shore Drive.

Design of the site and building will accommodate the safety and protection needs of the individuals. The facility will be staffed on a 24-hour basis with professional staff including LPNs, CNAs, RNs or similarly trained staff. We will typically staff with between 5 and 2 medical staff in addition to a couple of building managers (depending on the shift) The facility will be operated with a central kitchen and no individual cooking in rooms.

The occupants of the facility do not drive and as a result, limited parking is necessary and traffic is expected to be minimal. There will be a fenced in patio in the back and a porch on the front of the building. All the doors will be secured. There are two courtyards in the center of the building. The outside fencing will be a 5 foot high black wrought iron fence. There will be a caregiver present when the residents are outside.

Laundry will be performed in-house and there will be no laundry deliveries. Food will be delivered once per week. The delivery trucks will be a shorter tractor/trailer semi and will park on Sunny Slope Drive during deliveries. Food deliveries are usually made early in the morning during weekdays. The dumpster will be a roll out and will be serviced once per week.

Other than two ground- mounted air conditioning units, there will be no visible outside mechanical equipment. The building is constructed with a pitch and the building is sprinkled.

It is not proposed to be a tax exempt parcel.

A handwritten signature in black ink, appearing to read "Tom Ostrom", written in a cursive style.

Tom Ostrom

VILLAGE OF HARTLAND

RESOLUTION NO. 05-9-2016-01

**A RESOLUTION CREATING
THE ENVIRONMENTAL CORRIDOR AND OPEN SPACE TASK FORCE**

DRAFT - April 22, 2016

Whereas, the Village of Hartland Comprehensive Development Plan: 2035 identifies the importance of protecting and maintaining the Village's natural resources; and

Whereas, the Village of Hartland is the owner of a number of parcels of land that contain stands of woods, wetlands, open fields and other varied environmental corridors including portions of the Hartland Marsh and portions of certain public parks; and

Whereas, the means by which the health of these areas is evaluated, improved and protected is unclear and merits significant attention in order to develop plans for the health, use and maintenance of these areas; and

Whereas, the Village Board of Trustees for the Village of Hartland finds that it is appropriate to create a task force of area residents and other interested parties to undertake the tasks associated with identifying, evaluating, planning for the protection and executing the protection of the Village's environmental corridors and other natural areas.

Now, Therefore, Be It Resolved, by the Village Board of Trustees for the Village of Hartland, that a task force called the Environmental Corridor and Open Space Task Force is hereby established consisting of seven (7) members having terms and duties as described below.

- 1) **Membership:** Seven (7) members to be appointed by the Village President with approval of the Village Board of Trustees including one member of the Hartland Plan Commission, one member of the Hartland Park Board, one representative of the Hartland Department of Public Works and sufficient interested members of general public as may be necessary to fill the available positions. General members need not be residents of the Village of Hartland but residents will be given preference during appointments.
- 2) **The Task Force** shall be active until July 31, 2017 but may be renewed by majority vote of the Village Board.
- 3) **Meetings:** The Task Force shall select a chairperson from within its membership and such chairperson shall be responsible for ensuring that a written agenda is posted with the assistance of the Village Clerk in compliance with State Law and local ordinance. Meetings may be held as deemed necessary by the Task Force Committee but shall occur not less than quarterly.
- 4) **Duties:** The duties of the Environmental Corridor and Open Space Task Force shall be as follows.

- a) Identify Village owned, other publically or non-profit held and privately held parcels of land that contain stands of woods, wetlands, open fields and other varied environmental corridors within the boundaries of the Village of Hartland.
 - b) Assess the condition of those environmental areas with priority on assessing the condition of such environmental areas owned by the Village of Hartland.
 - c) Develop and recommend to the Village of Hartland Village Board or Village of Hartland Park Board, as appropriate, a written plan of improvements or enhancements, including proposed budgets, for the environmental areas owned by the Village.
 - d) Develop and present to the Village of Hartland recommendations for improvements or enhancements, including proposed budgets, for the environmental areas owned by other parties. If approved by the Village, present said improvements, enhancements and budgets to the various parties for their consideration.
 - e) If authorized by the Village, develop and implement work days or other activities to implement the approved improvements or enhancements on Village-owned lands.
 - f) ***OTHER DUTIES OR LIMITATIONS?***
- 5) Compensation: No compensation shall be paid to members of this Committee or such subcommittees as may be created except for direct reimbursement for authorized expenses.

Dated this day of , 2016.

David Lamerand, Village President

ATTEST:

Darlene Igl, MMC, WCPC, Village Clerk