

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, MARCH 20, 2017
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of February 20, 2017.
2. Items related to a request for site and building plans and request for Conditional Use for construction of a secured self-storage facility located at 840 Rose Drive for Benchmark Secured Storage of Hartland LLC.
 - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to construct
 - b. Consideration of site and building plans
 - c. Consideration of a Motion to recommend approval of a Conditional Use Permit
3. Architectural Board and Plan Commission review and consideration of site and building plans for construction of an addition to Midwest Composite Technologies, 1050 Walnut Ridge Drive, Ealon, LLC, owner, MSI General, Engineer/Architect.
4. Plan Commission review and consideration of a concept site plan for a condominium development on the property located at and adjacent to N56 W28628 CTH K (Lisbon Road).
5. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator
DATE: March 17, 2017
SUBJECT: Agenda Information – March 20, 2017

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to Benchmark Secure Storage.

Background: This item is returning to the Plan Commission for Public Hearing related to the Conditional Use Permit and final Plan Commission review and recommendation. Staff has drafted the Conditional Use Permit and the Commission is requested to ensure that the proposed conditions are accurate and complete. Specifically, the Commission should ensure that the drainage and landscape plans are acceptable for screening for parcels on the west and softening the appearance of the site from the east. Also, the developer has proposed a paved vehicle access wrapping around the east side of the main building and allowing vehicle access to the rear of the property. The intent is to provide Fire Department access at this location as well as some level of customer access. The Commission is asked to review this situation and determine whether it is acceptable. The Fire Chief has reviewed the design and indicated via e-mail to the developer earlier this week that the proposed fire access lane will not be acceptable to the Department.

Recommendation: Hold the Public Hearing and recommend approval with conditions.

Item 3 Related to Midwest Composite Technologies.

Background: The Plan Commission will recall that a version of this project was approved by the Plan Commission and Village Board in September 2016. However, the owners of Midwest Composite have determined to make changes to the site layout and the architectural design of the building that merit review and approval. The new proposal calls for a 48,065 square foot (previously - 47,240 square foot) addition to the existing 60,307 square foot facility located at 1050 Walnut Ridge Drive in the Bark River Commerce Center. The site is approximately seven acres. The expansion will provide for additional manufacturing space as well as warehousing and shipping/receiving area. While the overall amount of impervious surface changes only minimally (one-tenth of a percentage point increase) the loading dock area moves toward the road and front of the building and the overall height of the building is reduced. Materials and architectural appearance remain the same. No change is proposed to the entry way authorized as part of the original plan.

Recommendation: Approve the revised site and building plan conditioned on final engineering review.

Item 4 Related a concept plan for a condominium development.

Background: This item is returning to the Plan Commission for review of a revised concept plan for 72 condominium units on this 49.4 net acre site north of Highway K east of the Mary Hill subdivision. Based on the Village's Comprehensive Plan, the intended density on this site would be up to 65.87 units (32,670 square feet per unit). However if the Commission believes there are enough benefits to the community and appropriate trade-offs can be made, the Zoning Code does allow use of the PUD process to potentially increase density by up to 10%. As a reminder, transfer of the density from the environmental area to the developed area will require granting of a Conditional Use Permit. Staff has communicated with County Staff regarding the temporary access road and the location of the entrance on the future CTH KE. The two staffs agree that the entrance should not connect with the County highway on a curve and should be moved farther east to the straight section. Additionally, it is likely that the final plans will call for the temporary road to be built off of Winkleman Road to the east rather than off of CTH K to the south as shown. The Winkleman connection is a safer location. The Commission is asked to review the revised proposal to determine whether it meets with the overall intent of the Village's Comprehensive Plan and whether it is acceptable. If so, the Commission may wish to discuss the future zoning for the site. The Developer has proposed RD-1 Two-Family Residential District, which authorizes very significant densities and is focused on duplex units. Staff has not undertaken a detailed review of how zoning might be implemented on the site beyond the fact that whatever the underlying zone or zones will be the will be overlaid by a Planned Unit Development through which the entire site will be reviewed and approved. Additionally, an official objection to the proposed development has been received from the owners of the 38-acre parcel to the north of the subject property.

Recommendation: Consider the concept and determine whether it will proceed.

DC:PC Agenda Info 3-20

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, FEBRUARY 20, 2017
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, James Schneeberger, Randy Swenson and Jack Wenstrom. Excused: David Lamerand.

Roll Call

In the absence of Chairperson Lamerand, a Chairperson Pro-Tem was appointed.

Motion (Hallquist/Schneeberger) to appoint Jack Wenstrom as Chairperson Pro-Tem for the February 20, 2017 Joint Architectural Board/Plan Commission Meeting. Carried (6-0).

1. Motion (deCourcy-Bower/Swenson) to approve the Jt. Architectural Board/Plan Commission Minutes of January 16, 2017. Carried (5-0-1). Hallquist abstained.
2. Architectural Board review and consideration of an application for a covered entry addition at 793-795 Imperial Drive.

The application is for the rear-entry cover on a split-level duplex. The roof materials will match the existing roof as much as possible. The siding will be smart side smooth and will be painted to match the existing siding color as closely as possible. The Board recommended that the light over the doorway shine downward.

Motion (Hallquist/Schneeberger) to approve an application for a covered entry addition at 793-795 Imperial Drive. Carried (6-0).

3. Architectural Board review and consideration of an application for installation of a score board on the soccer field at Lake Country Lutheran High School, 401 Campus Drive.

The applicant was not present. The sign is about 1,200 feet from the road and is perpendicular to the road. The fields are non-illuminated, therefore they are not used at night.

Motion (Hallquist/Swenson) to approve an application for installation of a score board on the soccer field at Lake Country Lutheran High School, 401 Campus Drive. Carried (6-0).

4. Architectural Board and Plan Commission review and consideration of site and building plans and request for Conditional Use for construction of a secured self-storage facility located on Rose Drive, Benchmark Secured Storage of Hartland LLC, Applicant, Perspective Design, Engineer/Architect.
 - a. Preliminary consideration of plans for the proposed Conditional Use (Storage Establishments)

Doug Hafemann stated that the development is comprised of a three-story, 47,000 s.f. building, which will feature temperature/humidity control of varying size units from 4 ft. x 4 ft. lockers to 10 ft. by 20 ft. units. There will also be 20,000 s.f. traditional drive up units varying in size from 10 ft. x 7 ½ ft. to the largest being 12 ft. x 45 ft. It will have a staffed office, TV monitors displaying footage from real-time security cameras, a comfortable waiting/lounging area, a conference room, a beverage area, background music in the corridors of the climate controlled building and available Wi-Fi.

Mr. Hafemann stated that the 12 ft. x 18 ft. overhead door would be adequate for fire and DPW access.

There was discussion regarding the utility easement on the property and the Village's request for the applicant to pave, maintain and service the area that leads to the easement. The plan is for swinging, gated fences which will be locked and the key given to the DPW.

Mr. Hafemann questioned the request from the Village to require the applicant to pay the expense for the paving and maintaining the area to the Village easement. The easement already exists and is used now without pavement.

Administrator Cox stated that the purpose of the pavement is to make sure that the easement is assessable by a fire truck at all times, as is the plowing. The Village only has to go out there for maintenance activities now. Those are scheduled when access is not difficult.

Mr. Hafemann stated that he received an email from the Fire Department that stated access was adequate. They did see the site plan.

If the developer is going to pay for paving the area, he would like customers to be able to use some of the area. Scott Hussinger stated that it is not an ingress/egress easement, it's a utility easement. It would accommodate public works vehicles, but it would not be wide enough to be considered a driveway. Access for seasonal maintenance is different than access year round. It needs to be paved so it can be plowed.

Mr. Hafemann asked if they could bring a driveway around the property and yet still be on their property. There is room for that. The Commission responded that they might be open to that plan. It was questioned as to what it would do to the current landscape plan. The applicant felt that it would not be a problem to slightly change the landscape plan to accommodate this driveway plan. They may need to adjust some of the building length to accommodate a fire truck that would have to go down the center aisle. It would facilitate the carport, which would not need a door or through traffic.

Administrator Cox thought that it might put in peril three spruce trees, a maple tree and a crab tree by changing the driveway plan (all the screening on the east side). The property to the east is an outlot/pond for the Geason Commerce Center.

Mr. Hafemann requested that the Village consider his alternative plan for the driveway.

Administrator Cox stated that the alternative plan puts into peril the impervious surface calculation (which is a moot point if it's on another parcel) and you lose four trees and have to move or wedge in four trees which there is a 25 foot setback on the side. Also, it keeps the driveway away from the building.

Scott Hussinger told the applicant to draw up the plan as he would like it to be, along with the landscaping plan.

Ryan Amtmann mentioned one of the swales along the outside of the building looks like the storm water is not contained -- the land looks flat. It needs to be contained.

Properties to the west have full, mature trees. Scott Hussinger mentioned that a landscape buffer, not necessarily full screening would be required there. There will be swales three or four feet deep almost to the property line, so the vegetation will be gone there. The landscape plan will need to take into account that things will be planted on steep slopes.

A change from the original plan is that there is no metal on the outside of any of the buildings.

The average number of vehicles entering a storage facility daily is about 19.8 in the North Central area of the country and 21.4 nationally.

There are no planned parking lines, however, there may be traffic flow lines.

There will be either a roll out dumpster or a dumpster located behind the fence where Advanced Disposal will have a code to get inside.

The sign will not be able to be above the second story sill (the applicant would have preferred it on the third story, however, the code does not allow that). There is no monument sign planned at this time. The sign could be installed on the south face of the building.

- b. Motion to set a Public Hearing to be held during the regular Plan Commission meeting on March 20, 2017

Motion (Swenson/Schneeberger) to set a Public Hearing to be held during the regular Plan Commission meeting on March 20, 2017. Carried (6-0).

5. Plan Commission review and consideration of a concept site plan for a condominium development on the 38-acre property located at and adjacent to N56 W28628 CTH K (Lisbon Road).

The concept plan for the proposed development consists of 9 single-family condominium units and 74 two family units for a total of 83 dwelling units. The proposed plan calls for a density of 1.71 units per acre. The Comprehensive Plan calls for a maximum of 1.33 units per acre in a clustered development pattern. Of additional consideration is how this density is calculated. The 1.71 units per acre calculation (which is about 128% of the Plan densities) is based on the entire portion of the site minus only the ROW area. While it is clear that the area of public right of way is netted out of the calculation, it has recently been suggested that the environmental area should be removed as well. The parcel includes about 13 acres of Isolated Natural Resource area in the northwest portion of the property, the inclusion or exclusion of which would account for about a 17 unit swing in the maximum number of housing units allowed.

Matt Neumann from Neumann Companies described the background of his company. He explained that the plan of condominiums on this parcel came from the fact that there are numerous \$750,000 - \$800,000 single family lots and homes in the surrounding area and this piece of land poses quite a few challenges for single family homes in that range.

There are two major highways on two sides of this property and you would not want to build close to them. Lot prices would not be able to compete with some of the other surrounding available lots.

Mr. Neumann would purchase 11 acres of adjacent property from the Siepmann Realty to add to the acreage of this parcel at the northeast corner. In the northeast corner is a future well site and a SEWRPC delineated wetland.

There are 19 homes available on MLS today in the \$600,000 range and above. Twelve have sold. It's a year and a half supply. Statewide and nationwide, supply is at an all-time low at about a three month supply. Building more homes at that higher price range is not something that is needed right now.

On the condo side, there were five listed, four of those five have accepted offers. The Hartland population is likely to want to downsize from the larger homes to condominiums.

Mr. Neumann said his preference would be to have private (with a connection for emergency vehicles) rather than public roads. However, they would work with the Village to make the streets public if that is preferred.

The public was given an opportunity to express their thoughts on this planned development.

Those who spoke were Dino Xykis (605 Southern Oak Dr.), Joe Walicki (624 Southern Oak Dr.), Kevin King (1264 Mary Hill Circle), Mark Leslie (578 Southern Oak Circle), Steve Newton (614 Southern Oak Drive), and Susan Gerard (606 Southern Oak Dr.) An email from Scott Wade (607 Southern Oak Dr.) was read by Administrator Cox.

The Mary Hill Subdivision homeowners had many of the same concerns:

- The notice for the meeting was not received far enough in advance of the meeting or some neighbors did not receive notice at all.
- Traffic flow in Mary Hill Subdivision would increase, not only during construction of the development, but after construction when their streets would be used by residents in the new development.
- Safety is a concern for children, due to the increased traffic.
- According to residents who talked to Waukesha County, CTH KE is not planned to be rerouted in the near future.
- The development is too dense.
- There may be an issue with the private driveway between the development and Mary Hill Subdivision.
- Residents do not want Southern Oak Drive to go through to the new development.
- It was questioned whether an environmental impact study or a traffic study has been done.

Mr. Neumann addressed the residents' concerns:

There will be Public Hearings in the future for the annexation and rezoning – it takes months for this process. This is not the last time the public will be able to voice their opinions. This is a concept plan that is very early in the process.

- Traffic impact analysis has not been done. It is typically done when you have a subdivision of more than 100 homes or units. This plan calls for 83 units. If the Village or the County would require it, then it would be done. CTH K is a major county road with a lot of traffic. CTH KE also has a lot of traffic, but county highways are built for that -- the subdivision roads are not. The traffic from this development will go out to the county highways.
- An environmental study would not get done for a few months, as well as geo-tech and soil borings. That happens when the design is solidified. It's too early in the process.
- The condos will be single-story condos with exposed basements – that is what the market is demanding now. They will have a 4 – 8 foot exposure. However, topography will not be a problem.
- Mr. Neumann pointed out a planned temporary access road off of CTH K that will take all of the construction traffic on that road. They will work with the County to accomplish that road.

- The connector road is not in the County's budget cycle or plans. However, with the Siepmann's property being developed and if this project goes through, the County may move that road project up.
- Regarding the connection between the walking trail from Mary Hill Subdivision, the private driveway, and the proposed development, Mr. Neumann's preference would be to have private roads, with an emergency access only between Mary Hill Subdivision and this development. The condo association would own the road and maintain the road. Mr. Neumann would be O.K. with some sort of gate, if the Village would agree with it. If the road is public, then there would be a through road between Mary Hill Subdivision and this development.

The applicant would like to break ground this year and hopefully finish the first condominiums in the spring of 2018. It will depend upon how long the process takes. A healthy home market is diversification. A saturation of homes in the \$600,000-plus range is not good for home values.

The Comprehensive Plan does show a connector road between Mary Hill Subdivision and any development on the North 40 property. It may not take into consideration the private driveway. Something that was done for the Sanctuary of Hartland was to make an 8 foot wide pedestrian only access to the Woodlands Subdivision. A similar layout might be a possible solution for this area instead of a roadway. They used breakaway bollards on each end, which restricts vehicular traffic. That pedestrian/emergency vehicle area might also be a good way to connect to the environmental corridor with a trail and making it a community asset.

M. Neumann noted that if they would build single family homes, the road would be public and a road connection in this area would be made.

Mr. Neumann's concept plan shows the Waukesha County preferred route (northern route) for the HWY KE connector road. The Village is at a point now where staff would encourage changing the comprehensive plan to show the northern alignment.

Administrator Cox stated that the density with this concept is at least 20 units above what is suggested for this site on the Comprehensive Plan. There is a question as to whether that is even the right number. How does the Plan Commission want to calculate that in the implementation of the Comprehensive Plan? Staff has included in the calculations that we've made the environmental area in the northwest part of the project for the calculations. We took a look at the site, minus a factor for rights of way and multiply that by 1.3. There has been some suggestion that the environmental corridor should not count. The Village Code would require if we allow for a density calculation to use the environmental corridor, because we are not developing there, there needs to be special permission given to move that density somewhere else on the site. If that 13 acres accounts for about 17 households, the Plan Commission and the Village Board would have to make a decision on how those 17 households would get moved somewhere else on the site. At minimum that's a conditional use. Perhaps it's a planned unit development. The question is what would be the right number of units.

It's very clear in the Village's Comprehensive Plan that the isolated natural resource area not be developed. It could have passive use trails in it. We anticipate that there will be sanitary sewer cutting through there. The goal would be to have that remain a feature of the property.

Mr. Neumann is working with the Village to preserve the environmental corridor, the well site and a park in the northeast corner. In turn, they are asking for density above what is in the Comprehensive Plan.

Ryan Amtmann asked if potentially a PUD was used, what is the anticipated density in terms of the number of people, what's the anticipated density in total square footage of the buildings and how would that compare to a traditional single family type layout. Is there more people per building?

Mr. Neumann stated that if you have 65 single family homes with an average square footage of 3,000, it is 195,000 sq. ft. of building. Eight-three units at 2,100 s.f. per unit comes to 174,000 s.f. of building.

The number of people anticipated in homes would be $3.5 \times 65 = 227.5$. Condo units would be estimated at 207 people. It is possible that the likely buyers of the condos would spend some time away probably during the winter months.

A 65 lot single family development would be \$150,000 - \$200,000 lot prices and \$600,000 - \$800,000 homes. For 83 condos, the price point would be approximately \$400,000 to \$500,000 for approximately 2,000 – 2,200 s.f.

Administrator Cox indicated that staff's position is that there is nothing in the Village's regulations that would allow more than 70.62 houses on this property. Based on the Comprehensive Plan, this is the number. If the Plan Commission believes it's appropriate to go to a number higher than that, you have to amend the Comprehensive Plan and you have to figure out how to do the zoning. You have the ability to bump that 10%. If you don't follow the Comprehensive Plan when you zone it, the public present at the meeting have standard to sue the Village.

Mr. Neumann thought that they could probably do the development with 70 – 72 condo units without changing the Master Plan, as long as the Village would work with them on allowing private roads and putting in a glorified walkway/emergency vehicle area between Mary Hill and the development.

The issue was brought up that if the park area in the northeast part of the development receives a P-1 zoning, would that not be able to be used as part of the calculations for density? Staff will look into that.

The developer is willing to put in trails and grant public easement in the environmental area. There still is the issue of the private driveway to work out.

Administrator Cox mentioned if this goes forward, the Village would have to spend some time with the County, developer and the property owners in the area to decide where the best access point would be.

Jack Wenstrom addressed the developer with the fact that with private roads, the maintenance costs go to the condo owners, which is a very large expense. It is easier and less expensive for the developer.

Matt Neumann stated that if the roads are private, they are owned by the homeowners and are not dedicated to the Village. If the Village would want the roads to be public, the developer would agree to that. People who move into a condo understand, through the budget and deed restrictions, there are different dynamics from a single family development. Snow removal and landscaping are also part of the budget. What is less expensive for a private road is the design -- the width of the road, the setbacks from the road, the developer can design the street profile. Not that it's a cheaper road, it still needs to meet the standards and go through inspections.

The Plan Commission members were unanimous in the decision to not have more than 71 units for this development. If the developer still wants to pursue the project, he should work with staff.

There is still the issue of the private driveway. There are at least two places that the Village would need to cross for this development to occur. One is for the road connecting to Southern Oak Drive. Mr. Neumann has been told that he needs to contact the private owner. If that area becomes a path/emergency access, then it might be done with an easement.

If this goes forward at a lower density, the Plan Commission feels that the connection at Southern Oak could be an emergency entrance/exit only -- a foot path similar to what is in the Sanctuary Subdivision. Since it is a challenging property, it offers more flexibility to have private roads. The Commission was in agreement with private roads. The developer was encouraged to cluster buildings and leave as much open space as possible.

Mr. Neumann thought that the project would be doable with about 72 units, a private road and a pathway/emergency vehicle area.

The Commission would like to see a revised plan before making any motions for approval. Mr. Neumann will come back next month with a revised concept plan.

6. Plan Commission review and consideration of a final extraterritorial plat for Hawks Haven in the Town of Delafield.

No homeowners from the River Reserve Subdivision were present.

There are no changes from the conceptual plat to the final plat.

The sanitary sewer will be served by the Village of Hartland under the terms of the Lake Country Corridor Compact. Additionally, because of the area's topography, the storm water from the site flows through Hartland as well.

Staff comments on this project:

- The proposed utility installation and storm water plan calls for removal of a section of the berm that has separated the Hawk's Haven area from the River Reserve in Hartland for a number of decades. Staff is concerned about this and recommends that it be restored after utilities are installed.
- A number of issues arise from the fact that our sewer utility will be serving outside the corporate limits that require some coordination between the Town and the Village. Among the issues are the design and inspection of the utility and the matter of collecting our proper connection fees as well as the assessment of charges against a tax bill if charges are not paid.
- At issue is also the fact that the storm water from this subdivision will be entering Hartland and the Village will be responsible for the quality of this water under our permits. As such, it is appropriate for Hartland to permit the pond and regulate it in accordance with our Village Code including inspection and maintenance requirements.
- The residents of this subdivision should be required to contribute to the cost of the Village's maintenance of the infrastructure and regulatory compliance efforts related to the water from the subdivision. The cost is paid by properties in the Village via the general tax levy.

Mr. Bergman stated that he spoke to the two affected River Reserve homeowners of the berm, who told him that it would be O.K. with them not to restore the berm. Most of the work will be on Mr. Spindler's property.

Mr. Amtmann stated that when River Reserve II was put in, the storm water plan included extending a 24 inch storm sewer which goes south out of the cul de sac and terminates at the inlet. There should be less water flowing off this site when it is developed as to what it is today. There will be two infiltration basins up to a ten year storm. With the higher storms it will be released at a lesser rate. In an emergency situation, it would flow over land either through the berm cut out or if the berm was put back in place, there would be a secondary culvert pipe that would go through the berm for emergency overflow purposes. Mr. Bergman would prefer to leave the berm open rather than install a pipe.

There are a few technical issues to address in the final plat.

The Village Board will get a copy of a three party agreement with the Town of Delafield to administer this relationship with sanitary sewer (the customers will get a bill from us). In terms of the storm water, the Village would like the Town to develop a mini storm water utility for this area (a fee to the Village). The Village Board will be asked to approve contingent upon the three-party agreement.

Motion (Hallquist/Schneeberger) to recommend approval to the Village Board a final extraterritorial plat for Hawks Haven in the Town of Delafield, contingent upon developing the three party agreement with the Town of Delafield. Carried (6-0).

7. Adjourn

Motion (Swenson/deCourcy-Bower) to adjourn. Carried (6-0). Meeting adjourned at 9:45 PM.

Respectfully submitted by
Recording Secretary,

Lynn Meyer
Deputy Clerk

CONDITIONAL USE PERMIT

[Benchmark Storage

840 Rose Drive]

Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 27th day of March, 2017, by the Village of Hartland (hereinafter Village) to Benchmark Secure Storage (hereinafter “Grantee”) for the operation of a **storage or warehousing establishment** at the property located at 840 Rose Drive.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the “CUP”) pursuant to Section 46-847 of the Village of Hartland Code of Ordinances for the operation of a storage or warehousing establishment at the property located at 840 Rose Drive, Hartland, Wisconsin, (the “Property”) more specifically described as:

Tax Key No. HAV 0759.991.002
Owned by Benchmark Secured Storage of Hartland, LLC
c/o Douglas Hafemann
1256 Mary Hill Circle
Hartland, WI 53029

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number
HAV 0759.991.002

WHEREAS, the Property is located in the B-5 Zoning District; and

WHEREAS, Section 46-545 of the Village of Hartland Code of Ordinances provides that a storage or warehousing establishment use in the B-5 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and the Plan of Operation along with clarifications attached hereto as Exhibit A; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on March 20, 2017 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. Operation of the storage or warehousing establishment use consistent with the applicant’s submissions and statements at public meetings including up to ~~XXX~~ interior climate-

controlled units and 79 drive up and walk up non-controlled units in five buildings except as modified by this Conditional Use Permit or directives of the Plan Commission or Village Board,

2. No other uses shall be authorized for the site,
3. Construction of Building Number 1 (three-story, climate controlled facility) and all site improvements shall occur prior to or contemporaneous to construction of the four additional storage buildings on the northerly portion of the site,
4. Parking related to the authorized use shall occur only in marked parking spaces on the site,
5. Acquisition of easements for private utility services to the site prior to the issuance of permits for construction of the development and shall be maintained in perpetuity,
6. Execution of a Storm Water Maintenance Plan and Agreement including maintenance of all drainage paths on the site in accordance with Village Policy prior to receiving permits for grading of the site,
7. Maintenance of access for the Village over the entire area of the utility easement held by the Village through the subject property including provision of gates of a design acceptable to the Public Works Director and Village Engineer and the ability to access the gates at any time without previous notice to the Grantee,
8. Notwithstanding the forgoing, the Village will provide notice to the Grantee on the business day prior to any day on which the Village intends to access the easement area for scheduled maintenance of the infrastructure located within the easement,
9. Posting and maintenance of appropriate signage to ensure that parking does not occur in the easement area,
10. Establishment of a paved Fire Department access acceptable to the Fire Department and Village Engineer over the utility easement held by the Village on the property immediately east of the subject property,
11. Prohibition of outside storage of materials or items on the site,
12. Maintain facilities for the collection of trash and ensure that trash is contained within the site and no accumulations of trash occur on the site,
13. Loading and unloading of storage units shall occur within the secure areas of the site including inside the carport and within the fenced portions of the site and shall not occur from the parking areas outside the secure area,
14. ***OTHER CONDITIONS BY PLAN COMMISSION***; and

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structures are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to Benchmark Secured Storage of Hartland, LLC, c/o Douglas Hafemann, 1256 Mary Hill Circle, Hartland, Wisconsin 53029 for the operation of a storage or warehousing establishment, at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Benchmark Secured Storage of Hartland, LLC.
2. The business activities permitted hereunder are limited to the operation of a storage or warehousing establishment.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP; or
 - c. Upon revocation in accordance with the Village Code.
7. The operation of the storage or warehousing establishment shall be reviewed by the Village after the establishment has been in operation for a period of time to ascertain whether all conditions of this Conditional Use Permit are being met. Therefore, Grantee shall apply to the Village for review of the storage and warehousing establishment operations by April 1, 2019.
8. Notwithstanding the forgoing, this CUP is issued to Benchmark Secure Storage of Hartland, LLC, Douglas Hafemann, Owner/Agent and shall expire or terminate as indicated above in paragraph 6 including cessation of operation by Benchmark Secure Storage of Hartland, LLC, Douglas Hafemann, Owner/Agent.

This conditional use permit is hereby issued this 27th day of March, 2017 subject to the conditions provided herein.

VILLAGE OF HARTLAND

David Lamerand, Village President

Darlene Igl, MMC/WCPC, Village Clerk

[VILLAGE SEAL]



W235 S5858 Big Bend Road, Waukesha, WI 53189
PHONE 262.574.7698 | FAX 262.574.7699 | EMAIL: aaronkahle@kahlebuilders.com

March 10, 2017

In regards to Ruckert & Mielke's Plan Review Letter to Benchmark Secured Storage dated February 17, 2017, the following notes in red are responses from Jahnke & Jahnke Associates, Inc. and Perspective Design, Inc., as referenced below.

Storm Water Management Plan

1. Model with frozen and/or failed condition and identify overflow routes.
Per Jahnke & Jahnke (J&J) response letter dated 3.7.17, model no longer has warning statements.
2. The WinSlamm model should be updated accordingly:
 - Model the site as industrial.
Per J&J response letter dated 3.7.17, the site was modeled as Industrial.
 - There is a catch basin with a 2' sump modeled as a pre-treatment device for the alleyway. Update the construction plans accordingly to show location and design of this device.
Per J&J response letter dated 3.7.17, the catch basin is shown in the plans.
 - Model the pre and post control performance of the infiltration basin for phosphorus.
Per J&J response letter dated 3.7.17, the phosphorus levels were modeled for both pre and post development.
3. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.
Per J&J response letter dated 3.7.17, a draft Maintenance Plan and Agreement is enclosed.

Cover Sheet (T1)

1. Provide a lighting and photometric plan sheet.
Per Perspective Design's letter dated 2.27.17, Photometric Plan Sheet has been added to the listed sheets.
2. Update Owner's zip code to 53029.
Per Perspective Design's letter dated 2.27.17, the "Owner's" zip code has been corrected.

Plat of Survey (C1.1)

1. Provide a sanitary and water lateral easement within Outlot 1 of Greason Commerce Center for the benefit of this development.
Per J&J response letter dated 3.7.17, a 20' utility easement has been added to the plan.

2. Provide an access easement within Lot 2 of CSM 8975 for the benefit of this development.
Submitted last meeting, February 20, 2017.

Proposed Site Plan (C1.2)

1. Architectural Site Plan and Engineering Site Plan shall be combined.
Per J&J response letter dated 3.7.17, architectural plan and civil plan has been combined.
2. Obtain variance for building protrusion into westerly building setback.
-This variance will be applied for upon approval of this project.
-Please see email dated 3.10.17 from Scott Hussinger.
3. Provide a minimum 12-foot wide asphalt drive for fire truck and DPW access centered within the Village's 30-foot sanitary sewer, water main and access easement and connect it to the asphalt drive in between the proposed buildings.
Per J&J response letter dated 3.7.17, 12 foot drive added.
4. Provide (2) 15' wide swing gates for Village entry into the site. Please update note and change the term "City" to "Village".
Per J&J response letter dated 3.7.17, gates upgraded to 15 foot.
5. Relocate the proposed west side fence and swing gate 8-foot to the west of the existing hydrant.
Per J&J response letter dated 3.7.17, fence relocated 8 feet.
6. Provide a fence and swing gate detail.
Per J&J response letter dated 3.7.17, fencing details provided.
7. Provide a No Parking sign in between both sets of buildings in the easements.
Per J&J response letter dated 3.7.17, no parking signs provided.
8. Show existing curb boxes and sanitary laterals for the adjacent northwest property
Per J&J response letter dated 3.7.17, water services and sewer laterals shown.
9. Provide a site coverage table listing the permeable and impervious totals for the site.
Per J&J response letter dated 3.7.17, site coverage table provided.
10. Include parking calculations.
Please reference attached letter from Doug Hafemann addressing parking and loading.
11. Highlight the paved areas and show the paving limits along the north side of the site.
Per J&J response letter dated 3.7.17, paved areas delineated.
12. Provide a detectable warning field to ensure ADA Compliance for parking lots.
Per J&J response letter dated 3.7.17, detectable warning field added.
13. Show details of construction.
Per J&J response letter dated 3.7.17, details added.

14. Include a handicap sign and post.
Per J&J response letter dated 3.7.17, handicap sign and post added.
15. Show dimension for parking stalls, driving aisle, sidewalk width and radii.
Per J&J response letter dated 3.7.17, dimensions added.
16. The dumpsters are shown within the secured area of the site. How will the garbage be pick up?
Provide details for trash enclosure.
-Per J&J response letter dated 3.7.17, two cy dumpsters will be in carp port. Shown.
-Please reference attached letter from Doug Hafemann addressing dumpster placement and garbage pick up.
17. Investigate turning angles of 33' fire truck, drainage, landscaping, etc., as well as illustration of fire truck turning radius provided by Paul Jenswold.
Please see email dated 3.7.17 to David Cox from Doug Hafemann.

Grading and Erosion Control Plan (C1.3)

1. Provide Type D inlet protection for the inlets in Rose Drive.
Per J&J response letter dated 3.7.17, type D inlet protection added.
2. Provide proposed grades and contours for the 12-foot wide asphalt access drive.
Per J&J response letter dated 3.7.17, grading shown for 12 foot access drive.
3. Further define the proposed swale along the northwest corner of proposed building #1 to ensure that all runoff remains onsite and not onto the adjacent property.
Per J&J response letter dated 3.7.17, swale has been further defined to ensure that the residential property is not affected.
4. Install insulation for freeze protection between the existing water main/services and proposed cross culvert.
Per J&J response letter dated 3.7.17, insulation under culverts and over water main added.
5. Provide the proposed size for the CMP cross culverts.
Per J&J response letter dated 3.7.17, culvert sizes shown.
6. Show locations of roof drainage discharge.
Per J&J response letter dated 3.7.17, roof drainage location shown.
7. Include the following notes to the Construction Sequence: "Install inlet protection, silt fence and all other erosion control measures prior to any land disturbing activities, as shown in plans." and "Adjust and maintain erosion control measures as necessary as construction operations progress."
Per J&J response letter dated 3.7.17, note added.
8. Include the following note to the Construction Notes: "Contractor shall sweep Villages roadways and any affected private driveway adjacent to the project area at the end of each work day, or as directed by the Village or Engineer to maintain clean and safe surfaces."
Per J&J response letter dated 3.7.17, note added.

9. Show erosion control details for construction.
Per J&J response letter dated 3.7.17, details added.
10. Currently, there are existing fallen trees within the embankment of the existing storm facility.
Provide notation to remove these existing fallen trees.
Per J&J response letter dated 3.7.17, note added.
11. Update fence note to provide for (2) 15' wide swing gates for Village entry into the site. Please update note and change the term "City" to "Village"
Per J&J response letter dated 3.7.17, gate upgraded to 15 foot.

Utility Plan (C1.4)

1. Slurry backfill is required within 5 feet of the curb and gutter and under Rose Drive.
Per J&J response letter dated 3.7.17, note changed to slurry.
2. Update sanitary lateral size to 6-inch and provide a 8-foot separation from the proposed water service.
Per J&J response letter dated 3.7.17, lateral changed to 6" and 8 feet from watermain.
3. Show existing curb boxes and sanitary laterals for the adjacent northwest property.
Per J&J response letter dated 3.7.17, water and sewer laterals shown.
4. Relocate existing curb boxes for the adjacent northwest property to 1-foot east of the property line.
Per J&J response letter dated 3.7.17, relocated curb stops 1 foot from property line.
5. Straighten proposed west cross culvert and provide a minimum 5-foot clearance form curb stops.
Per J&J response letter dated 3.7.17, straightened culvert.
6. Provide the proposed size for the CMP cross culverts
Per J&J response letter dated 3.7.17, culvert sizes shown.
7. List construction details for making connection.
Per J&J response letter dated 3.7.17, detail added.
8. Include the following note to the General Utility Notes: "E. Village of Hartland Street ROW Permit required."
Per J&J response letter dated 3.7.17, note added.
9. Include the following note to the Sanitary Lateral Utility Notes: " C. Connection to main with Fernco."
Per J&J response letter dated 3.7.17, note added.
10. Update letter (C) Water Main Utility Notes to include curb stops.
Per J&J response letter dated 3.7.17, note updated.
11. Show the sanitary and water lateral easement within Outlot 1 of Greason Commerce Center.
Per J&J response letter dated 3.7.17, easement shown.

12. Update fence note to provide for (2) 15' wide swing gates for Village entry into the site. Please update note and change the term "City" to "Village".

Per J&J response letter dated 3.7.17, gate upgraded to 15 feet.

13. Show catch basin for pre-treatment devices.

Per J&J response letter dated 3.7.17, catch basin shown

Proposed Landscape Plan

1. Show proposed swales and adjust landscaping to not conflict with drainage.

Per J&J response letter dated 3.7.17, swales shown.

2. It appears that some of the existing trees/ shrubs along the west property line are Buckthorn. Any and/or all Buckthorn shrubbery shall be removed and replaced. Please verify and show additional plantings if necessary.

Per J&J response letter dated 3.7.17, note added.

3. Provide screening to the proposed building #5.

Per J&J response letter dated 3.7.17, building screened by existing tree line. We did add some arborvitaes to be placed in holes that may become apparent.

4. Update fence note to provide for (2) 15' wide swing gates for Village entry into the site. Please update note and change the term "City" to "Village".

Per J&J response letter dated 3.7.17, gate upgraded to 15 feet.

Architectural Site Plan

1. Architectural Site Plan and Engineering Site Plan shall be combined.

Per Perspective Design's letter dated 2.27.17, the Architectural Site Plan has been eliminated, please see the Civil Drawings for any and all information.

2. Show the doorway to building #3 and the trash receptacle to ensure there is no conflict between the two.

-Per Perspective Design's letter dated 2.27.17, the trash has been relocated.

-Please reference attached letter and rendering from Doug Hafemann addressing dumpster placement.

3. Provide standard traffic flow into site and a center island for the proposed key pad. Show the symbols and construction details for the key pad and bollards.

-Per Perspective Design's letter dated 2.27.17, the Architectural Site Plan has been eliminated, please see the Civil Drawings for any and all information.

-Please see email dated 2.25.17 from Doug Hafemann that describes and provides examples of why an island for key pad is unnecessary as well as traffic flow on self storage sites being atypical of other commercial sites.

Sheet A1.1

1. Update the notation for the elevator for all building #1 floor plans which currently calls it out as "stairs".

Per Perspective Design's letter dated 2.27.17, the word "stair" has been changed to "elevator"

2. Install a cleanout for the trench drain before it connects to the sanitary lateral.
Per Perspective Design's letter dated 2.27.17, typically the architectural set does not show the details that would be included in only the plumber's design drawings, at this preliminary phase. No modification or action has been taken.

Summary

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer.

Provided.

2. Village storm water permit and erosion control permit.

Upon project approval.

3. Village curb cut/right-of-way permit.

Upon project approval.

4. Building permit.

Upon project approval.

5. Plan of operations.

See attached Plan of Operation submitted by Benchmark Secured Storage of Hartland, LLC

The applicant will be required to obtain any other permits determined to be necessary.

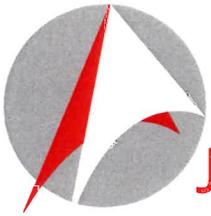
Upon project approval.

Please note, at the request of the Owner:

1. The 18'Tall x 18'Wide Overhead Door has been replaced with a 12'Tall x 18'Wide Overhead. This was to capture floor area on the 2nd floor level.

This in turn caused the following modifications to the drawings:

- a) The total measured height of the building grew 12" taller and is now shown at elevation mark 145'-0" A.F.F.
- b) The bottom of beam at the roof level, has been changed to elevation mark 141'-8" A.F.F.
- c) The 3rd FLR. Finished floor elevation mark has been changed to elevation mark 130'-8" A.F.F.
- d) The 2nd FLR. Finished floor elevation mark has been changed to elevation mark 117'-0" A.F.F.
- e) Roof mounted equipment screens have been added to screen the Roof Top Units.
- f) The exit door for Stair B has moved from the North face of the building to the West face of the building. Stair geometry will be worked out at a later date and does not affect the exterior facade.



March 7, 2017

Kahle Builders LLC
Attn: Mr. Aaron Kahle
W235 S5858 Big Bend Rd.
Waukesha, WI 53189

RE: Benchmark Secured Storage
Staff Comment Response Letter

Aaron:

The following is in response to Ruckert & Mielke's Plan Review Letter dated February 17, 2017.

Storm Water Management Plan

1. Model no longer has warning statements.
2. WinSLAMM model: The site was modeled as Industrial; The catch basin is shown in the plans; The phosphorus levels were modeled for both pre and post development.
3. A draft Maintenance Plan and Agreement is enclosed.

Plat of Survey (C1.1)

1. A 20' utility easement has been added to the plan.

Proposed Site Plan (C1.2)

1. Architectural plan and civil plan has been combined.
3. 12 foot drive added.
4. Gates upgraded to 15 foot.
5. Fence relocated 8 feet.
6. Fencing details provided.
7. No Parking signs provided.
8. Water services and sewer laterals shown.
9. Site Coverage Table provided.
11. Paved areas delineated.
12. Detectable Warning Field added.
13. Details added.
14. Handicap sign and post added.
15. Dimensions added.
16. Two cy dumpster will be in car port. Shown.

Grading and Erosion Control Plan (C1.3)

1. Type D inlet protection added.
2. Grading shown for 12 foot access drive.

3. Swale has been further defined to ensure that the residential property is not affected.
4. Insulation under culverts and over water main added.
5. Culvert sizes shown.
6. Roof drainage location shown.
7. Note added.
8. Note added.
9. Details added.
10. Note added.
11. Gate upgraded to 15 foot.

Utility Plan (C1.4)

1. Note changed to slurry.
2. Lateral changed to 6" and 8 feet from watermain.
3. Water and sewer laterals shown.
4. Relocated curb stops 1 foot from property line.
5. Straightened culvert.
6. Culvert sizes shown.
7. Detail added.
8. Note added.
9. Note added.
10. Note updated.
11. Easement shown.
12. Gate upgraded to 15 feet.
13. Catch basin shown.

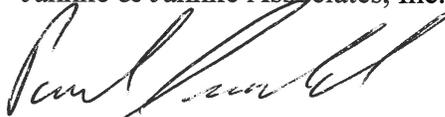
Proposed Landscape Plan

1. Swales shown.
2. Note added.
3. Building screened by existing tree line. We did add some arborvitaes to be placed in holes that may become apparent.
4. Gate upgraded to 15 feet.

If you have any questions, please feel free to call.

Sincerely,

Jahnke & Jahnke Associates, Inc.



Paul Jenswold, P.E.



**PERSPECTIVE
DESIGN, INC.**

11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Monday, February 27, 2017

Kahle Builders, LLC
Aaron Kahle
W235 S5858 Big Bend Rd
Waukesha, WI 53189
Phone: (262) 574-7698 Fax: (262) 574-7699
Email: aaronkahle@kahlebuilders.com

RE: Benchmark Secured Storage

Dear Mr. Aaron Kahle

Subject: Plan Commission Comments received on 02/20/17

We have made the following modifications to the drawings that were submitted for the above reference Plan Commission, based on the Village of Hartland comments via Ruckert Mielke dated 02/17/17. Please refer to the attached letter.

At the request of Ruckert Mielke:

Cover Sheet (T1)

1. Photometric Plan Sheet – has been added to the listed sheets
2. The “Owner’s” zip code has been corrected.

Architectural Site Plan

1. The Architectural Site Plan has been eliminated, please see the Civil Drawings for any and all information.
2. The trash has been relocated
3. The Architectural Site Plan has been eliminated, please see the Civil Drawings for any and all information.

Sheet A1.1

1. The word “stair” has been changed to “elevator”
2. Typically the architectural set, does not show the details that would be included in only the plumber’s design drawings, at this preliminary phase. No modification or action has been taken.

At the request of the Owner:

1. The 18' Tall x 18' Wide Overhead door has been replaced with a 12' Tall x 18' Wide Overhead. This was to capture floor area on the 2nd floor level.

This in turn caused the following modifications to the drawings.

- (a) The total measured height of the building grew 12" taller and is now shown at elevation mark 145'-0" A.F.F.
- (b) The bottom of beam at the roof level, has been changed to elevation mark 141'-8" A.F.F.
- (c) The 3rd FLR. Finished floor elevation mark has been changed to elevation mark 130'-8" A.F.F.
- (d) The 2nd FLR. Finished floor elevation mark has been changed to elevation mark 117'-0" A.F.F.
- (e) Roof Mounted equipment screens have been added to screen the Roof Top Units.
- (f) The exit door for Stair B has moved from the North face of the building to the West face of the building. Stair geometry will be worked out at a later date and does not affect the exterior façade.

The above modifications apply to **Sheets A1.1 through A1.5** and the **Colored Rendering**.

Thank you for your time and effort,

William H. Conine

William H Conine

Perspective Design, Inc
Project Manager
11525 West North Avenue
Wauwatosa, WI 53226
(414) 803-9646 Mobile Line
(414) 302-1780 X 201 Direct Line
(414) 302-1781 Fax Line.
bconine@pdi-arch.com
www.pdi-arch.com

February 17, 2017

Mr. Douglas Hafemann
Benchmark Secured Storage of Hartland, LLC
1256 Mary Hill Circle
Hartland, WI 53029

Re: Village of Hartland
Benchmark Secured Storage-Plan Review Letter

Dear Mr. Hafemann:

The Village of Hartland's Staff as well as Ruekert & Mielke, Inc. has reviewed your site plan submittal. The submittal included the following: storm water management plan dated February 7, 2017 and construction plans dated January 30, 2017. We are providing the following comments as guidance and direction for your design staff in preparation of final documents. **Please respond to the comments below, in writing, with your next submittal. Village Staff is willing to meet with you regarding these comments.**

Your item will be on the agenda for the February 20, 2017 Plan Commission meeting. You should have a representative to present your plans at the meeting.

Storm Water Management Plan

1. Model with frozen and/or failed condition and identify overflow routes.
2. The WinSlamm model should be updated accordingly:
 - Model the site as industrial.
 - There is a catch basin with a 2' sump modeled as a pre-treatment device for the alleyway. Update the construction plans accordingly to show location and design of this device.
 - Model the pre and post control performance of the infiltration basin for phosphorus.
3. A maintenance plan and agreement covering the storm water facilities on the entire site must be completed and recorded with the County.

Cover Sheet (T1)

1. Provide a lighting and photometric plan sheet.
2. Update Owner's zip code to 53029.

Mr. Douglas Hafemann
Re: Benchmark Secured Storage Plan Review
February 17, 2017
Page 2

Plat of Survey (C1.1)

1. Provide a sanitary and water lateral easement within Outlot 1 of Greason Commerce Center for the benefit of this development.
2. Provide an access easement within Lot 2 of CSM 8975 for the benefit of this development.

Proposed Site Plan (C1.2)

1. Architectural Site Plan and Engineering Site Plan shall be combined.
2. Obtain variance for building protrusion into westerly building setback.
3. Provide a minimum 12-foot wide asphalt drive for fire truck and DPW access centered within the Village's 30-foot sanitary sewer, water main and access easement and connect it to the asphalt drive in between the proposed buildings.
4. Provide (2) 15' wide swing gates for Village entry into the site. Please update note and change the term "City" to "Village".
5. Relocate the proposed west side fence and swing gate 8-foot to the west of the existing hydrant.
6. Provide a fence and swing gate detail.
7. Provide a No Parking sign in between both sets of buildings in the easements.
8. Show existing curb boxes and sanitary laterals for the adjacent northwest property
9. Provide a site coverage table listing the permeable and impervious totals for the site.
10. Include parking calculations.
11. Highlight the paved areas and show the paving limits along the north side of the site.
12. Provide a detectable warning field to ensure ADA Compliance for parking lots. .
13. Show details of construction.
14. Include a handicap sign and post.
15. Show dimension for parking stalls, driving aisle, sidewalk width and radii.
16. The dumpsters are shown within the secured area of the site. How will the garbage be pick up? Provide details for trash enclosure.

Grading and Erosion Control Plan (C1.3)

1. Provide Type D inlet protection for the inlets in Rose Drive.
2. Provide proposed grades and contours for the 12-foot wide asphalt access drive.

Mr. Douglas Hafemann
Re: Benchmark Secured Storage Plan Review
February 17, 2017
Page 3

3. Further define the proposed swale along the northwest corner of proposed building #1 to ensure that all runoff remains onsite and not onto the adjacent property.
4. Install insulation for freeze protection between the existing water main/services and proposed cross culvert.
5. Provide the proposed size for the CMP cross culverts.
6. Show locations of roof drainage discharge.
7. Include the following notes to the Construction Sequence: “Install inlet protection, silt fence and all other erosion control measures prior to any land disturbing activities, as shown in plans.” and “Adjust and maintain erosion control measures as necessary as construction operations progress.”
8. Include the following note to the Construction Notes: “Contractor shall sweep Villages roadways and any affected private driveway adjacent to the project area at the end of each work day, or as directed by the Village or Engineer to maintain clean and safe surfaces.
9. Show erosion control details for construction.
10. Currently, there are existing fallen trees within the embankment of the existing storm facility. Provide notation to remove these existing fallen trees.
11. Update fence note to provide for (2) 15’ wide swing gates for Village entry into the site. Please update note and change the term “City” to “Village”

Utility Plan (C1.4)

1. Slurry backfill is required within 5 feet of the curb and gutter and under Rose Drive.
2. Update sanitary lateral size to 6-inch and provide a 8-foot separation from the proposed water service.
3. Show existing curb boxes and sanitary laterals for the adjacent northwest property.
4. Relocate existing curb boxes for the adjacent northwest property to 1-foot east of the property line.
5. Straighten proposed west cross culvert and provide a minimum 5-foot clearance form curb stops.
6. Provide the proposed size for the CMP cross culverts
7. List construction details for making connection.
8. Include the following note to the General Utility Notes: “E. Village of Hartland Street ROW Permit required.”

Mr. Douglas Hafemann
Re: Benchmark Secured Storage Plan Review
February 17, 2017
Page 4

9. Include the following note to the Sanitary Lateral Utility Notes: “ C. Connection to main with Fernco.”
10. Update letter (C) Water Main Utility Notes to include curb stops.
11. Show the sanitary and water lateral easement within Outlot 1 of Greason Commerce Center.
12. Update fence note to provide for (2) 15’ wide swing gates for Village entry into the site. Please update note and change the term “City” to “Village”.
13. Show catch basin for pre-treatment devices.

Proposed Landscape Plan

1. Show proposed swales and adjust landscaping to not conflict with drainage.
2. It appears that some of the existing trees/ shrubs along the west property line are Buckthorn. Any and/or all Buckthorn shrubbery shall be removed and replaced. Please verify and show additional plantings if necessary.
3. Provide screening to the proposed building #5.
4. Update fence note to provide for (2) 15’ wide swing gates for Village entry into the site. Please update note and change the term “City” to “Village”.

Architectural Site Plan

1. Architectural Site Plan and Engineering Site Plan shall be combined.
2. Show the doorway to building #3 and the trash receptacle to ensure there is no conflict between the two.
3. Provide standard traffic flow into site and a center island for the proposed key pad. Show the symbols and construction details for the key pad and bollards.

Sheet A1.1

1. Update the notation for the elevator for all building #1 floor plans which currently calls it out as “stairs”.
2. Install a cleanout for the trench drain before it connects to the sanitary lateral.

Summary

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

Mr. Douglas Hafemann
Re: Benchmark Secured Storage Plan Review
February 17, 2017
Page 5

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer.
2. Village storm water permit and erosion control permit.
3. Village curb cut/right-of-way permit.
4. Building permit.
5. Plan of operations.

The applicant will be required to obtain any other permits determined to be necessary.

If you have any questions, comments or concerns, please feel free to contact our office.

Very truly yours,

RUEKERT & MIELKE, INC.



Ryan T. Amtmann, P.E. (WI, IL)
Vice President
ramtmann@ruekert-mielke.com

cc: David Cox, Village of Hartland
Michael Einweck, P.E., Village of Hartland
Scott Hussinger, Village of Hartland
Aaron Kahle, Kahle Builders, LLC
Paul Jenswold, P.E., Jahnke & Jahnke Associates Inc.
William Conine, Perspective Design, Inc.
File

Benchmark Secured Storage of Hartland, LLC

Plan of Operation

Project Description

The high image self-storage development includes 50,000sf of outdoor drive-up units and both indoor ambient and climate controlled indoor personal storage. Benchmark shall rent storage space on a short-term, month-to-month basis allowing for longer-term leases if desired. Customers will typically store household goods, business supplies, archived records, or in some cases recreational vehicles, trailers, or miscellaneous equipment. No outdoor storage will be offered. Liquids, explosives, flammable liquids, toxic materials, live/dead animals, stolen property, drugs, and perishables are among the items that are not permitted for storage at Benchmark.

Hours of Operation

The proposed hours of operation for the office will be:

- Monday through Friday 9am-5pm
- Saturday and Sunday 9am-1pm

The proposed hours of facility access will be:

- Monday through Sunday 6am-9pm

Staff/Customer Parking and Operation

The proposed staff for this development will be one employee that will be on site Monday through Friday, 9am-5pm, and Saturday/Sunday 9am-1pm. Customer parking for the site will be at the storefront office (we have allocated 4 spots) for the first initial leasing and then customers will park adjacent to their outdoor storage units or within the fully enclosed carport to load/unload goods. The average number of vehicles through a self-storage facility in the Midwest is 19/day and more than 60% of customers visit their storage unit less than once a month.

Site Maintenance

During the spring/summer/fall months a hired service will provide lawn/landscaping maintenance on a regular basis. During the winter months a hired service will provide snow clearing/plowing services on an as needed basis.

Site Security

The facility will be a fully secured site with perimeter fencing, motorized overhead doors, and a motorized gate. The site shall incorporate motion-activated cameras that will be recorded. Each customer will be given his/her own code to enter as well as exit the property during access permitted hours. The site will be well lighted inside and out. Individual storage spaces may be alarmed as well.

AGREEMENT TO MAINTAIN
STORMWATER FACILITIES
BY AND BETWEEN
THE VILLAGE OF HARTLAND AND
_____, AND
ITS HEIRS, SUCCESSORS, OR ASSIGNS

The upkeep and maintenance of stormwater facilities and the implementation of pollution source control best management practices (BMPs) is essential to the protection of water resources in the Village of Hartland. All property owners are expected to conduct business in a manner that minimizes impacts of stormwater runoff. This Agreement contains specific provisions with respect to maintenance of stormwater facilities. The authority to require maintenance and pollution source control is provided in the Village of Hartland Stormwater Management Zoning Ordinance.

FACILITY LOCATION AND AREA SERVED (Attach Map if Necessary):

| |
|--|
| This space reserved for recording data |
| Return To: |
| Parcel Identification No./Tax Key No. |

Whereas, Owner has constructed improvements, including but not limited to, buildings, pavement, and stormwater facilities on the property described above. In order to further the goals of the stormwater management goals of the Village of Hartland, the City and Owner hereby enter into this Agreement. The responsibilities of each party to this Agreement are identified below.

OWNER SHALL:

- (1) Implement the stormwater facility maintenance plan included herein as Attachment A.
- (2) Implement the stormwater management plan included herein as Attachment B.
- (3) Allow the Director of Public Works or designee to access the property to conduct inspections of storm water management practices as necessary to ascertain that the practices are being maintained and operated in accordance with the agreement.

- (4) Undertake corrective actions required by Village within a reasonable time frame as set by the Director of Public Works.
- (5) Maintain a record of steps taken to implement the programs referenced in (1) and (2) above. Record shall be available for inspection by Village staff at Owners business during normal business hours. The record shall catalog the action taken, who took it, when it was done, how it was done, and any problems encountered or follow-on actions recommended.

THE VILLAGE OF HARTLAND SHALL:

- (1) Provide technical assistance to Owner in support of its operation and maintenance activities conducted pursuant to its maintenance and source control programs. Said assistance shall be provided upon request, and as Village time and resources permit.
- (2) Maintain public records of the results of the site inspections, inform the party responsible for maintenance of the inspection results, and specifically indicate any corrective actions required to bring the storm water management practice into proper working condition.
- (3) Notify the Owner of maintenance problems that require correction.

REMEDIES:

- (1) If corrective actions required by the Village are not completed within the time set by the Director of Public Works, written notice will be sent to the persons who were given notice stating the Village intention to perform such maintenance and bill the owner for all incurred expenses.
- (2) If at any time the Village determines that the existing system creates any imminent threat to public health or welfare, the Director of Public Works may take immediate measures to remedy said threat. No notice to the persons listed in (1), above, shall be required under such circumstances.
- (3) The owner grants unrestricted authority to the Village for access to any and all stormwater system features for the purpose of performing maintenance or repair as may become necessary under Remedies (1) and/or (2).
- (4) The persons listed in (1), above, shall assume all responsibility for the cost of any maintenance and for repairs to the stormwater facility. Such responsibility shall include reimbursement to the Village within 30 days of the receipt of the invoice for any such work performed. Overdue payments will require payment of interest at the current legal rate for liquidated judgments. If legal action ensues, any costs or fees incurred by the Village will be borne by the parties responsible for said reimbursements.
- (5) The owner hereby grants to the Village a lien against the above-described property in an amount equal to the cost incurred by the Village to perform the maintenance or repair work described herein.

This Agreement is intended to protect the value and desirability of the real property described

ATTACHMENT A
INFILTRATION BASIN
OPERATION AND MAINTENANCE

I. ROUTINE MAINTENANCE

A. Inspection

1. Performance of the infiltration basin should be inspected monthly and after every major storm event, following the initial construction to evaluate if the basin is draining within the design time limits.
2. If performance does not meet the design goals, complete repairs to the facility to meet the design requirements.
3. Following the initial year of monthly inspections, quarterly inspections of the facility should be made. Inspect the facility for:
 - a. Differential settlement
 - b. Cracking
 - c. Erosion
 - d. Leakage
 - e. Tree and woody plant growth on the embankments
 - f. Condition of the inlets and outlets and level spreaders
 - g. Sediment accumulation
 - h. Vigor and density of vegetation on the floor of the basin and buffer strips
 - i. Standing water in over 50% of the basin for more than 3 days

B. Mowing – Native Vegetation

1. During establishment of vegetation, the first mowing shall occur once it reaches a height of 10 to 12 inches.
2. Control woody plant invasion by mowing or routine burning once a year. The vegetation height shall be 5 to 6 inches after mowing.
3. If burning cannot be accommodated, mow once per year in the fall after November 1st.
4. Remove trash and debris at the time of mowing.

C. Burning

1. Shall be the second year, if it can be accommodated.
2. Shall occur in the early Spring prior to May 1st or in the late fall after November 1st.
3. Shall be done two consecutive years and then up to 3 years can pass before the next burning.
4. Under no circumstances shall burning occur every other year.

D. Erosion Control

1. Inspect quarterly for erosion. Inspection after major storm events for erosion problems is also recommended if practical.
2. Repair all eroded areas immediately. Temporary erosion controls may be necessary to facilitate repairs.

E. Tilling

1. If the basin is located on marginally permeable soils, annual or semi-annual tilling may be needed to maintain infiltration capacity.
2. Tilled areas should be immediately re-vegetated to prevent erosion.

F. Pre-treatment Systems

1. Maintenance of the pre-treatment system should include sediment removal, oil and grease skimming, and grass filter strip maintenance.
2. Inspect the structural elements of the pre-treatment system and repair if needed.

II. NON-ROUTINE MAINTENANCE

A. Structural Maintenance

1. Inspect pipe systems quarterly.
2. Remove and replace pipe systems that have eroded or rusted.
3. Earthen structures should be inspected annually. Erosion should be repaired immediately upon discovery.

B. Restoration of Infiltration Capacity

1. Over time the original infiltration capacity of the basin will be diminished.
2. Deep tilling can be done to restore the infiltration capacity of the basin. The basin will be drained and the soils dried to a depth of 8 inches.
3. The top 2 to 3 inches of topsoil, chisel plowing, and adding topsoil and compost can be done. Seed.

GRASSED SWALES OPERATION AND MAINTENANCE

I. INSPECTION

- A. Inspection should occur seasonally and after major rainfall events.
- B. Inspect for sediment deposition, check dam bypassing, erosion and litter.
- C. Nuisance conditions such as woody plant growth and mosquito breeding areas should also be identified and removed.

II. MAINTENANCE

- A. Mow only to maintain the vegetation at a height greater than the design flow depth.
- B. Maintain the vegetated liner in a vigorous condition.
- C. Depending on the vegetative material, mowing may be infrequent or unnecessary.
- D. Remove woody plants that may invade the swale.
- E. If the swale is damaged by road salts, remove the damaged area and replant with salt tolerant grassed.
- F. Discourage deposition of leaf litter and grass clippings by informing, typically by signage, local residents of the swales purpose.

CATCH BASIN STORM SEWER OPERATIONS AND MAINTENANCE

I. INSPECTION

A. Frequency

1. Inspect catch basin at least once per year.
2. Inspect storm sewer end sections at least twice per year and after major rainfall events.

B. Inspection

1. Catch Basin

- a. Inspect for sediment deposition in the bottom of structures.
- b. Check frames and lids for cracks and wear such as rocking lids or lids moved by traffic and for shifted frames.
- c. Check chimneys for cracked mortar, cracked lift rings and spalling.
- d. Check for leaks at joints.
- e. Check surrounding areas for pollutants such as leaks from dumpsters, minor spills and oil dumping.

2. Storm Sewer End Sections

- a. Observe for obstructions, accumulation of sediment and trash, undermining and joint separation.
- b. Inspect end treatment for settlement, scour and displaced armoring.

II. STANDARD MAINTENANCE

A. Catch Basin

1. Repair any deterioration threatening structural integrity immediately.
2. Replace worn or cracked frames and lids. Frames that have shifted should be re-centered and re-set on the structure.
3. Repair any spalled or cracked mortar. Cracked rings should be repaired or replaced.
4. Repair leaking joints.
5. Catch basins should be cleaned before the sump is 40 percent full.
6. Remove potential sources of contamination away from catch basin.

B. Storm Sewer End Sections

1. End sections should be free flowing; trash, debris and obstructions should be removed to prevent backups.
2. End sections which have separated from the storm sewer pipe shall be reset on firm bedding and reconnected to the existing storm sewer pipe. Restrain joints if necessary.
3. Scour areas shall be repaired immediately. Replace missing soil with clean fill and replace/install end treatment. Missing armoring will require additional stone, typically one class larger.
4. Excessive material deposited at the storm sewer outfall is indicative of: a disturbed area upstream draining to the system or a potential failure of a system component. Disturbed areas draining to the system should be stabilized immediately or diverted to drain to a BMP. Potential system failures require non-standard maintenance.

III. NON-STANDARD MAINTENANCE

- A. Non-standard maintenance includes inspection, repair or replacement of buried structures.
 1. Televising of buried structures (pipes) should occur when excessive material is found within the system or at an outfall with no apparent source area visible at the surface, or the system experiences frequent backups.
 2. Follow the recommendations for the repair and/or replacement of system components televised by a firm specializing in this work.

Benchmark Secured Storage of Hartland, LLC

Plan of Operation

Project Description

The high image self-storage development includes 50,000sf of outdoor drive-up units and both indoor ambient and climate controlled indoor personal storage. Benchmark shall rent storage space on a short-term, month-to-month basis allowing for longer-term leases if desired. Customers will typically store household goods, business supplies, archived records, or in some cases recreational vehicles, trailers, or miscellaneous equipment. No outdoor storage will be offered. Liquids, explosives, flammable liquids, toxic materials, live/dead animals, stolen property, drugs, and perishables are among the items that are not permitted for storage at Benchmark.

Hours of Operation

The proposed hours of operation for the office will be:

- Monday through Friday 9am-5pm
- Saturday and Sunday 9am-1pm

The proposed hours of facility access will be:

- Monday through Sunday 6am-9pm

Staff/Customer Parking and Operation

The proposed staff for this development will be one employee that will be on site Monday through Friday, 9am-5pm, and Saturday/Sunday 9am-1pm. Customer parking for the site will be at the storefront office (we have allocated 4 spots) for the first initial leasing and then customers will park adjacent to their outdoor storage units or within the fully enclosed carport to load/unload goods. The average number of vehicles through a self-storage facility in the Midwest is 19/day and more than 60% of customers visit their storage unit less than once a month.

Site Maintenance

During the spring/summer/fall months a hired service will provide lawn/landscaping maintenance on a regular basis. During the winter months a hired service will provide snow clearing/plowing services on an as needed basis.

Site Security

The facility will be a fully secured site with perimeter fencing, motorized overhead doors, and a motorized gate. The site shall incorporate motion-activated cameras that will be recorded. Each customer will be given his/her own code to enter as well as exit the property during access permitted hours. The site will be well lighted inside and out. Individual storage spaces may be alarmed as well.

Dear Messrs. Cox and Amtmann,

I would like to address the Planning Commission's questions on parking as well as function of the carport for Benchmark Secured Storage of Hartland, LLC in hopes of bringing better clarity and closure to the discussion.

Parking and Loading

According to Sec. 46-555 of Code of Ordinances for B-5 Light Industrial Planned Development in the Village of Hartland:

- (1) Off-street parking and loading space shall be provided on each building site in such size and/or quantity so as to accommodate all planned or anticipated parking and loading on site.
- (2) Loading space shall be separate from parking spaces on any site where possible.

Per the Self-Storage Almanac (Top Rated Industry Publication), the average number of vehicles entering a facility daily is 19.8 for the North Central area of the country and 21.4 nationally. Self-Storage is by nature low traffic usage as compared to other industries. It is not uncommon to have clientele visit once a month or less. Benchmark Secured Storage of Hartland, LLC will have a large, easily accessed office with adequate drive depth and parking spots to accommodate potential clientele as well as site logistics on par or better than industry standards to accommodate existing clientele accessing their storage unit for loading/unloading purposes.

Office:

We have allocated four (4) parking spots for the office, which includes a handicap spot. This will accommodate for anticipated daily operations of the facility as we will have just one (1) employee. Further, there is no manufacturing on site nor will there be any company vehicle(s) used in connection with Benchmark parking in these spots.

Drive up Units:

Self-Storage paying clientele are able to load/unload in front of their overhead door at their specified unit. In the case of Benchmark Secured Storage of Hartland, LLC our driveway widths are no less than 40' and as wide as 56' allowing for more than adequate amounts of uninterrupted space while accessing units without compromising other units or the drive lane(s). Recall that an average day sees 19-21 vehicles on site so it would be an extraordinary situation for an issue to arise.

Covered Carport:

As loading/unloading pertains to the carport and units to be accessed in the 3 story climate control building (which is a fabulous amenity keeping clientele and their valuables out of the Wisconsin elements) the structure is 47'x 88' with drive lane(s)

down the center. Customers have adequate space in the structure to load/unload their vehicles while still allowing for natural flow of traffic passing through. There just isn't enough daily traffic to create an issue.

Given the nature of the development as well as the traffic patterns empirically measured and reported over time within the Self-Storage industry, Benchmark Secured Storage of Hartland, LLC has created a plan to comfortably accommodate all planned or anticipated traffic (19-21 vehicles per/day average) on the site.

My Very Best,

Doug Hafemann
Benchmark Secured Storage of Hartland, LLC

Dear Messrs. Cox and Amtmann,

I would like to address the Planning Commission's questions on dumpster placement and how the garbage will be picked up at Benchmark Secured Storage of Hartland, LLC in hopes of bringing better clarity and closure to the discussion.

Benchmark Secured Storage of Hartland, LLC is being developed as a high image facility to provide consumers a clean, modern, safe, and secured space to store their goods. We are not a dumping site for consumers to abuse, thus, we will not be providing a dumpster for unmitigated usage.

Our plan is to start with a small solution, perhaps 2 cubic yards (3'x6'x3) to accommodate our daily office business and light trash procured on the property. This dumpster will be stored in either the carport and locked up, or in a vacant self-storage unit (commonly a management unit) as to keep it from being abused.

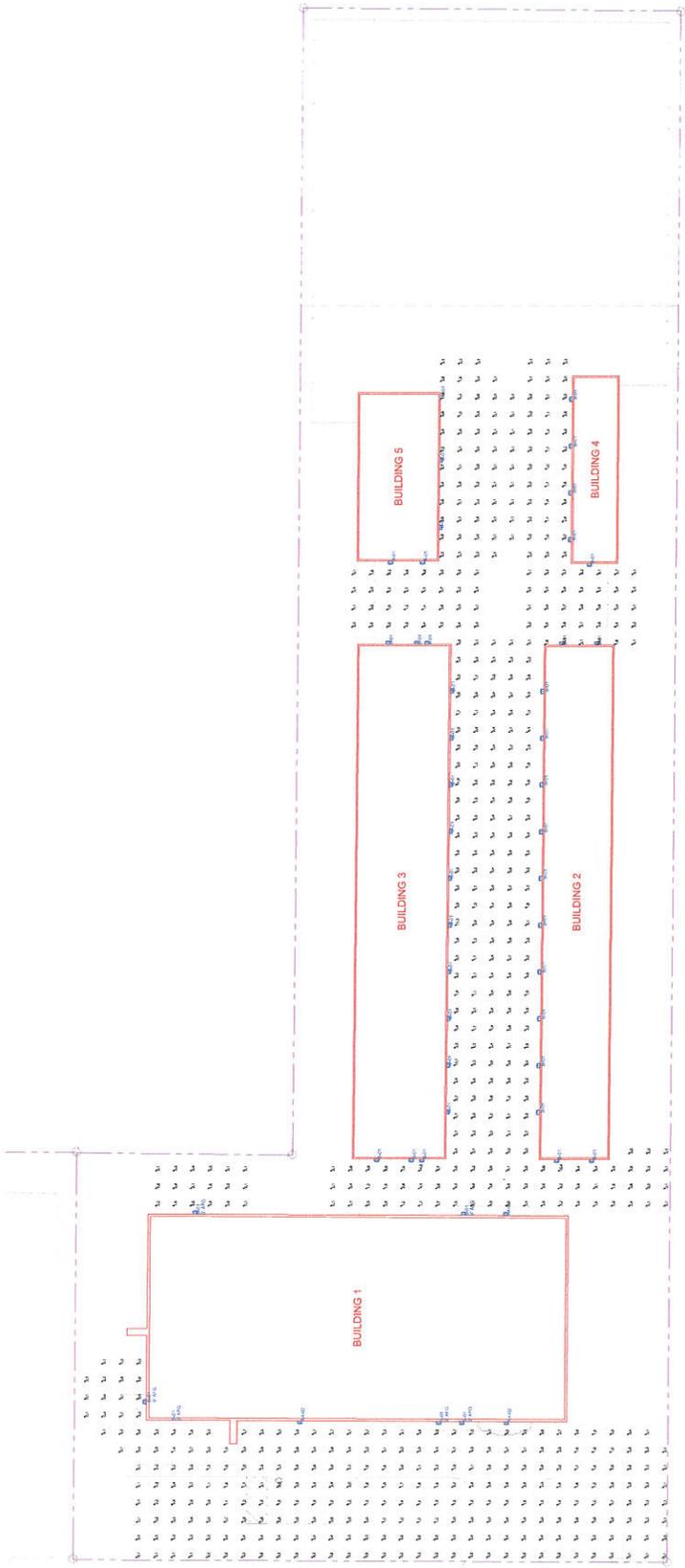
We will arrange pick-up with Advanced Waste Systems (or similar outfit) and provide logistics for getting on/off the secured property. This is commonplace; please reference local businesses Hartland Self Storage (470 E. Industrial Drive) or Stonewood Storage (720 Industrial Court) to observe their dumpsters behind secured fencing on the property.

We will be taking the dumpster location off the site plans, as such, there won't be a conflict with the exit door of Building #3. As mentioned, it will reside in the carport, locked up, or in a managers unit and only accessed by Benchmark Secured Storage of Hartland, LLC personnel.

Please contact me with any questions.

My Very Best,

Doug Hafemann
Benchmark Secured Storage of Hartland, LLC



| Qty | Label | Manufacturer | Lot/Lumens | Lot/Watts | ULP | Description |
|-----|-------|--------------|------------|-----------|------|------------------------------|
| 1 | 1000 | OSRAM | 1000 | 113 | 1000 | 1000W/LED/1000lm (17' x 42') |
| 14 | 200 | OSRAM | 1200 | 123 | 1200 | 1200W/LED/1200lm (17' x 42') |

| Category | Quantity | Unit | Max | Min | Avg | Footcandle |
|------------|----------|-------|------|-----|------|------------|
| Footcandle | 14 | sq ft | 14.2 | 1.1 | 10.3 | 140.0 |



**BENCHMARK SECURED STORAGE
HARTLAND, WISCONSIN**

SITE LIGHTING PLAN

DATE: JAN. 24, 2017 SCALE: 1" = 20'-0" SHEET NUMBER: E1

AAL LIMITED LIABILTY COMPANY
19535 SUMMERHILL CT
BROOKFIELD WI 53045

ATB OF HARTLAND LLC
1208 HWY 83
HARTLAND WI 53029

BELVINA INVESTMENT CORPORATION
12650 W LISBON RD
BROOKFIELD WI 53005

CROSSROAD INVESTMENTS LLC
131 E WISCONSIN AVE
PEWAUKEE WI 53072-3471

GEASON COMMERCE CENTER
OWNERS ASSOCIATION INC
W227N752 WESTMOUND DR STE L3
WAUKESHA WI 53186-0407

LAKE COUNTRY LAND LLC
C/O JIM SIEPMANN/SIEPMANN
INVESTMENT
W240N1221 PEWAUKEE RD
WAUKESHA WI 53188

MEDLINE INDUSTRIES INC
1 MEDLINE PL
MUNDELEIN IL 60060-4485

NAGAWICKA VIEW DAIRY FARM INC
1604 HIGHWAY 83
HARTLAND WI 53029-8840

NETNEL LLC
602 INDUSTRIAL CT
HARTLAND WI 53029

OAKWOOD CHURCH
3041 OAKWOOD RD
HARTLAND WI 53029

REVERE ELECTRIC SUPPLY CO
8807 187TH ST
MOKENA IL 60448-7706

TIMOTHY P KARBLES TRUST
C/O TIMOTHY KARBLES
W307N6919 BETTY ANN DR
HARTLAND WI 53029

TOWN BANK
10 W MIFFLIN ST
MADISON WI 53703

SECURED SELF STORAGE
1256 MARY HILL CIRCLE
HARTLAND WI 53029

Benchmark Secured Storage

800 Rose Drive
Village of Hartland, WI 53029
(Waukesha County)

VICINITY MAP



ZONING CODE

| | |
|----------------------|---|
| PARCEL ZONING | B-5 (LIGHT INDUSTRIAL PLANNED DEVELOPMENT DISTRICT) DIVISION 18 |
| SETBACK REQUIREMENTS | |
| BUILDING | |
| STREET SIDE | 50'-0" |
| SIDE YARD | 25'-0" |
| REAR YARD | 25'-0" |
| ASPHALT | |
| STREET SIDE | 30'-0" |
| SIDE YARD | 15'-0" |
| REAR YARD | 15'-0" |
| LOT DEVELOPMENT | MAX OF 60% |
| REQUEST FOR | CONDITIONAL USE |
| | MULTIPLE BUILDINGS ON ONE SINGLE PARCEL |

ABBREVIATIONS

| | | | | | | | |
|--------|-----------------------|----------|-----------------------------------|-------|------------------------|-------|-------------------|
| AB | ANCHOR BOLT | DU | DISHWASHER | IHT | INSULATED HOLLOW METAL | RENF | REINFORCE |
| AC | AIR CONDITIONING | EA | EACH | INBL | INSULATION | RO | ROUGH OPENING |
| ACT | ACUSTIC CEILING TILE | EXST | EXISTING | INT | INTERIOR | SHV | STAIN & VARNISH |
| ADJ | ADJUTANT | EXP | EXTERIOR INSULATION FINISH SYSTEM | JNT | JOINT | SC | SOLID CORE |
| ADJ | ADJUSTABLE / ADJACENT | EXP | EXPANSION OF EXPOSED | JST | JOIST | SECT | SECTION |
| AF | ABOVE FINISH FLOOR | ELEV | ELEVATION | LAM | LAMINATE | SF | SQUARE FEET |
| ALUM | ALUMINUM | EQUIP | EQUIPMENT | LAV | LAVATORY | SH | SHILLAR |
| ALT | ALTERNATE | EQUIV | EQUIVALENT | MATL | MATERIAL | SPEC | SPECIFICATION |
| APPROX | APPROXIMATE | EQV | EQUAL | MAK | MAKUP | STR | STRIP |
| ARCH | ARCHITECTURAL | ETR | EXISTING TO REMAN | MCH | MECHANICAL | STN | STAIR |
| AT | AT | EXT | EXTERIOR | MFG | MANUFACTURER | STRUC | STRUCTURAL |
| BD | BOARD | EA | EACH | FIN | FINISH | SV | STRIP WOOD |
| BD | BUILDING | RD | FLOOR DRAB | MISC | MISCELLANEOUS | TD | TO BE DETERMINED |
| BD | BOTTOM | FIN | FINISH | MO | MASONRY OPENING | TB | TOP & BOTTOM |
| BLO | BOTTOM OF | FR | FLOOR | HTL | HOLLOW METAL | TID | TOP OF |
| BRS | BEARINGS | FLR | FLOOR | NU | NUMERICAL | TIG | TONGUE & GROOVE |
| BRS PL | BEARING PLATE | FO | FOOTING | NC | NOT IN CONTRACT | TYP | TYPICAL |
| CPT | CARPET | FR | FLOOR | ND | NOT TO SCALE | TOP | TOP OF PLATE |
| CL | CENTER LINE | GALV | GALVANIZED | ND | NOT TO SCALE | TRF | TRUSS |
| CLG | CEILING | GULL | GULLY | OC | ON CENTER | UC | UNDER COUNTER |
| CLD | CLADDING | GULL-LAT | GULLY LAMINATED BEAM | OD | OVERHEAD DOOR | UN | UNFINISHED |
| CMU | CONCRETE MASONRY UNIT | GT | GROUT | OPT | OPTIONAL | VB | VENTILATION |
| COL | COLUMN | GT | GROUT | OPT | OPTIONAL | VCT | VENTILATION TILE |
| CONC | CONCRETE | GWB | GYPHUM WALL BOARD | R | R | VERT | VERTICAL |
| CONSTR | CONSTRUCTION | H | HARDWARE | PLAM | PLASTIC LAMINATE | VF | VERY IN FIELD |
| CONT | CONTINUOUS | HC | HELLON CORNER | PLD | PLASTER | VW | VENT WALL BASE |
| CT | CERAMIC TILE | HD | HEAD | PRFIN | PREFINISHED | W | WOOD |
| CTB | CERAMIC TILE BASE | HR | HEADER | PRFIN | PREFINISHED | WB | WOOD BASE |
| DEPO | DEPOLITION | HT | HEIGHT | PSI | POUNDS PER SQUARE INCH | WC | WALK-IN CLOSET |
| DIA | DIA | HORIZ | HORIZONTAL | PT | PAINT | WOO | WOOD |
| DIM | DIMENSION | HORIZ | HORIZONTAL | PT | PAINT | WOO | WOOD |
| DIV | DIVISION | HR | HEATING | RY | REFER TO | WTR | WATER |
| DWG | DRAWINGS | HYAC | HEAT VENTILATE AIR CONDITIONING | RHS | ROOF HALF | WTR | WATER |
| DS | DOWNSPOUT | | | REC | RECESSED | WUF | WELED WIRE FABRIC |

PARTICIPANTS

| | |
|--|---|
| OWNER: | Benchmark Secured Storage of Hartland, LLC. 1256 Mary Hill Circle Hartland, Wisconsin 53029 Tele: (414) 708-0130 Fax: N/A Contact: Douglas Hafemann E-mail: Doug.hafemann@yahoo.com |
| ARCHITECT: | Perspective Design, Inc. 11525 W. North Avenue Wauwatosa, WI 53226 Tele: (414) 302-1180 x 201 Fax: (414) 302-1181 Contact: William H Conine - Project Manager E-mail: wconine@pdi-arch.com |
| GENERAL CONTRACTOR/ CONSTRUCTION MANAGER: | Kahle Builders, LLC W235 S5858 Big Bend Rd Waukesha, WI 53189 Tele: (414) 324-4953 Fax: (262) 514-7699 Contact: Aaron J. Kahle E-mail: aaronkahle@kahlebuilders.com |
| CIVIL ENGINEER: | Jahnke & Jahnke Associates, Inc. 711 W. Moreland Boulevard Waukesha, Wisconsin 53188 Tele: (262) 542-5191 Fax: (262) 542-7698 Contact: Paul J. Jenschold, PE E-mail: pjenschold@jahnkeandjahnke.com Cell: (414) 507-3830 |
| ELECTRICAL ENG./DESIGN BUILD: | (DESIGN ENGINEER) OR (DESIGN / BUILD) SUBCONTRACTOR TO BE DETERMINED BY GENERAL CONTRACTOR. |
| STRUCTURAL ENGINEER: | Pierce Engineers 241 N. Broadway, #500 Milwaukee, WI 53202 Tele: (414) 278-6020 Fax: (414) 278-6061 Contact: Eric Feile E-mail: epf@pierceengineers.com |
| PLUMBING ENG./DESIGN BUILD: | (DESIGN ENGINEER) OR (DESIGN / BUILD) SUBCONTRACTOR TO BE DETERMINED BY GENERAL CONTRACTOR. |
| MECHANICAL ENG./DESIGN BUILD: | (DESIGN ENGINEER) OR (DESIGN / BUILD) SUBCONTRACTOR TO BE DETERMINED BY GENERAL CONTRACTOR. |
| FIRE PROTECTION DESIGN BUILD: | (DESIGN ENGINEER) OR (DESIGN / BUILD) SUBCONTRACTOR TO BE DETERMINED BY GENERAL CONTRACTOR. |

DRAWING INDEX

ARCHITECTURAL:

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| TI | TITLE SHEET |
| C11 | PLAT OF SURVEY |
| C12 | SITE PLAN |
| C13 | GRADING & EROSION CONTROL PLAN |
| C14 | UTILITY PLAN |
| C15 | LANDSCAPING PLAN |
| E1 | SITE LIGHTING PLAN |
| A11 | BLDG #1 - 1ST FLR FLOOR PLAN |
| A12 | BLDG #1 - 2ND FLR FLOOR PLAN |
| A13 | BLDG #1 - 3RD FLR FLOOR PLAN |
| A14 | BLDG #1 - ROOF PLAN |
| A15 | BLDG #1 - BUILDING ELEVATIONS |
| A16 | BLDG #2 - PLAN & ELEVATIONS |
| A17 | BLDG #3 - PLAN & ELEVATIONS |
| A18 | BLDG #4 - PLAN & ELEVATIONS |
| A19 | BLDG #5 - PLAN & ELEVATIONS |
| A31 | BLDG #1 - WALL SECTION |

CODE REFERENCE

BUILDING CODE:
WI COMMERCIAL BUILDING CODE ADOPTION OF THE INTERNATIONAL CODES SUBJECT TO THE MODIFICATION SPECIFIED BY WI DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER 361-366

- INTERNATIONAL BUILDING CODE - 2009
- INTERNATIONAL ENERGY CONSERVATION CODE - 2009
- INTERNATIONAL MECHANICAL CODE - 2009
- INTERNATIONAL FUEL GAS CODE - 2009
- INTERNATIONAL EXISTING BUILDING CODE - 2009

ACCESSIBILITY CODES:

- INTERNATIONAL BUILDING CODE - 2009, CHAPTER 11
- ICC (ANSI) A117 - 2009
- DOA - 2006 ADA STANDARDS FOR ACCESSIBLE DESIGN

Mechanical Code:

- REFER TO WI COMMERCIAL BUILDING CODE
- INTERNATIONAL BUILDING CODE - 2009, CHAPTER 21
- WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 316
- REF. NATIONAL ELECTRIC CODE
- NATIONAL ELECTRIC CODE (NEC) - 2011

PLUMBING CODE:

- INTERNATIONAL BUILDING CODE - 2009, CHAPTER 29
- WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 381-381
- FIRE PREVENTION
- WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 314
- REFERENCE NFPA
- NFPA 1, FIRE CODE - 2012 AND/OR LOCAL FIRE ORDINANCE IF APPLICABLE
- SUBJECT TO THE MODIFICATIONS
- AS SPECIFIED IN CHAPTER 314

CIVIL ENGINEER:
CIVIL ENGINEER IS RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL CODES RELATED TO STORM WATER MANAGEMENT, EROSION CONTROL, SOIL DISTURBANCE, AND NATURAL RESOURCE PROTECTION.

EMERGENCY EGRESS LIGHTING:
- THESE DOCUMENTS DENOTE AN EGRESS PLAN SHOWING THE PATH WHERE EXIT LIGHTS & EMERGENCY EGRESS LIGHTING MAY BE REQUIRED.
- FOR NEW BUILDINGS, ADDITIONS OR ALTERATIONS THAT CREATE NEW EGRESS PATHS, THE ELECTRICAL DESIGNER SHALL PROVIDE, AT THE PROJECT SITE DURING CONSTRUCTION, EMERGENCY LIGHTING CUT-SHEETS, CALCULATIONS, PHOTOMETRICS OR OTHER MEANS TO SHOW COMPLIANCE WITH APPLICABLE CODES.

LIGHTING & ENERGY CONSERVATION:
ELECTRICAL DESIGNER SHALL PREPARE A LIGHTING PLAN AND PROVIDE AT THE PROJECT SITE DURING CONSTRUCTION LIGHTING PLANS AS WELL AS FIXTURE CUT-SHEETS AND ENERGY CALCULATIONS TO SHOW COMPLIANCE WITH THE ENERGY CODE.

STRUCTURAL:

NOT REQUIRED AT THIS TIME

MECHANICAL:

SHALL BE SUBMITTED UNDER SEPARATE COVER

ELECTRICAL:

SHALL BE SUBMITTED UNDER SEPARATE COVER

PLUMBING:

SHALL BE SUBMITTED UNDER SEPARATE COVER

FIRE PROTECTION:

SHALL BE SUBMITTED UNDER SEPARATE COVER

DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT - 24" x 36" SHEET

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| REV. # | REV. DATE | DESCRIPTION |
|--------|-----------|-------------|
| | | |
| | | |
| | | |
| | | |

Project:
Benchmark Secured Storage
800 Rose Drive
Hartland, WI 53029

Drawing Title:
TITLE SHEET

Date: 02/27/17

Scale: A.N.

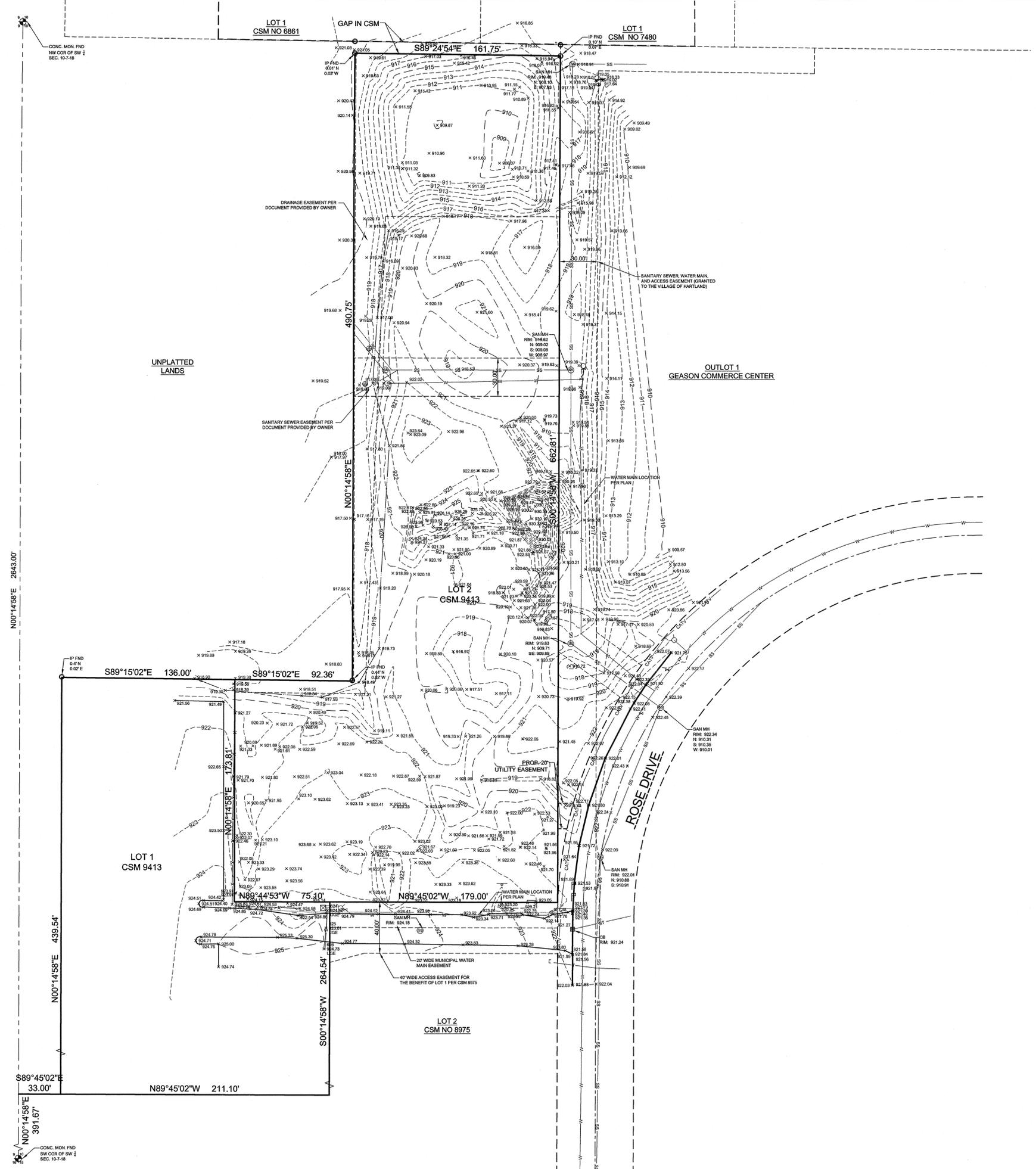
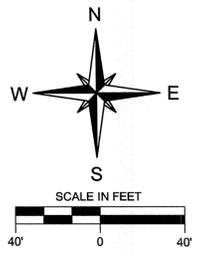
Drawn: WHC

Job: 16-112

Sheet: T1

NOT FOR CONSTRUCTION

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY



- LEGEND:**
- ⊙ EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊙ EX. CATCH BASIN ROUND
 - ⊙ EX. CATCH BASIN SQUARE
 - ⊙ EX. HYDRANT
 - ⊙ EX. WATER VALVE
 - ⊙ EX. HOUSE VALVE
 - ⊙ EX. POWER POLE
 - ⊙ EX. POWER/LIGHT POLE
 - ⊙ EX. GUY WIRE
 - ⊙ EX. LIGHT POLE
 - ⊙ EX. SIGN
 - ⊙ EX. DECIDUOUS TREE
 - ⊙ EX. CONIFEROUS TREE
 - OH — EX. OVERHEAD WIRES
 - - - - EX. FENCE LINE
 - SS — EX. RAILING
 - SS — EX. SANITARY SEWER
 - ST — EX. STORM SEWER
 - W — EX. WATER MAIN
 - - - - 921 - - - EX. 1-FOOT CONTOUR LINE
 - - - - 920 - - - EX. 5-FOOT CONTOUR LINE

SURVEYOR'S CERTIFICATE:
 STATE OF WISCONSIN }
 COUNTY OF WAUKESHA } ss.

WE, JAHNKE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

JOHN R. STIGLER - Wis. Reg. No. S-1820
 Dated this 19th day of December, 2016
 Revised this 7th day of March, 2017

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



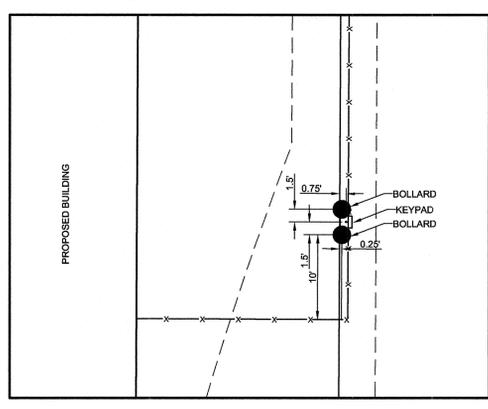
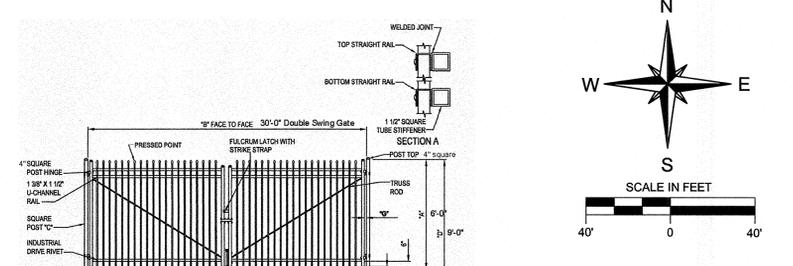
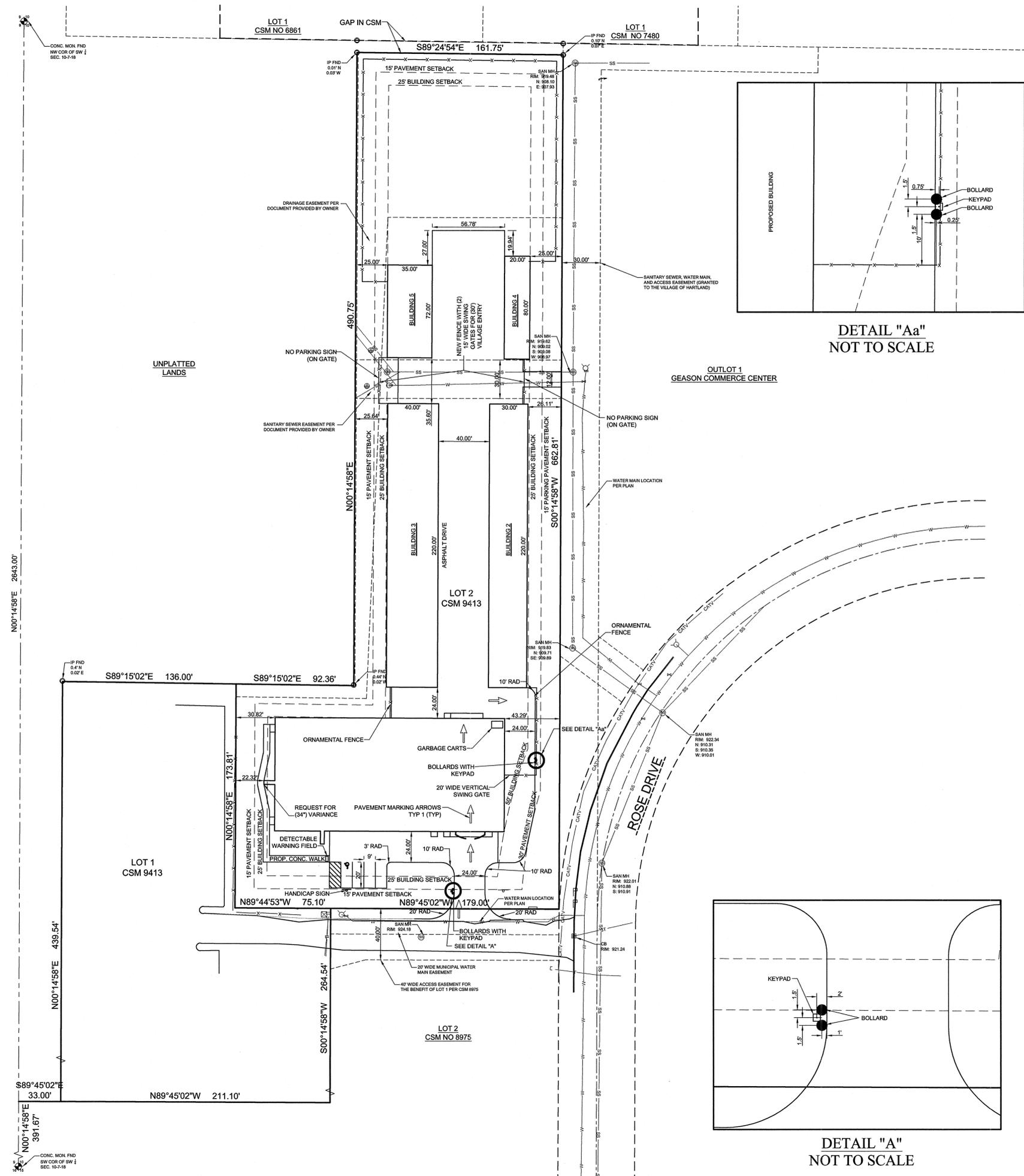
CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 WE EXIST TO SAVE LIVES AND PREVENT PROPERTY DAMAGE.
 WORK DAYS NOTICE BEFORE YOU DIGGATE
 MILW. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., etc.

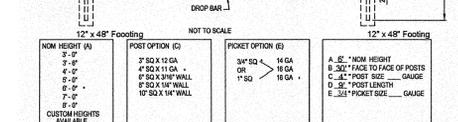
| | | |
|---|-------------------------|-------------------------|
| PLAT OF SURVEY | | |
| FOR: LOT 2 CSM 9413 | | |
| PART OF THE SW 1/4 OF SECTION 10, T7N, R18E | | |
| VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI. | | |
| JAHNKE & JAHNKE ASSOCIATES INC. | | |
| PLANNERS & PROFESSIONAL ENGINEERS | | |
| 711 W. MORELAND BLVD. - WAUKESHA, WI 53188 | | |
| TEL. NO. (262) 542-5797 FAX (262) 542-7998 | | |
| SCALE: 1" = 40' | DATE: DECEMBER 19, 2016 | |
| DRAWN BY: N.S. | CHECKED BY: P.J.J. | FILE NO.: DELAFIELD 610 |
| BOOK NO.: MER 46 | JOB: S-8555 | SHEET 1 OF 5 |

C1.1

FILE NAME: I:\PROJECTS\S8555\DWG\S8555.dwg



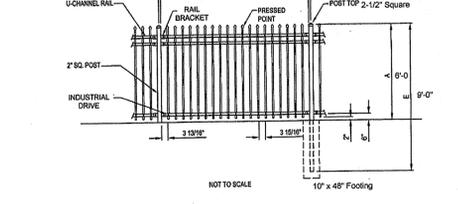
DETAIL "Aa"
NOT TO SCALE



SECTION A
NOT TO SCALE



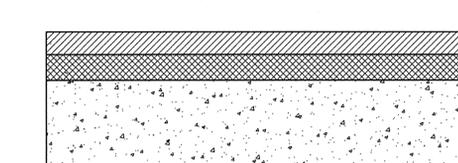
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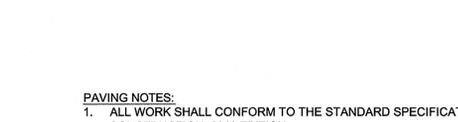
PAVEMENT X-SECTION PARKING AREA
NOT TO SCALE



BARCELONA GATE
NOT TO SCALE



BARCELONA FENCE
NOT TO SCALE



DETAIL "A"
NOT TO SCALE

- LEGEND:**
- ⊙ EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊙ EX. CATCH BASIN ROUND
 - ⊙ EX. HYDRANT
 - ⊙ EX. WATER VALVE
 - ⊙ EX. HOUSE VALVE
 - ⊙ EX. POWER POLE
 - ⊙ EX. POWER/LIGHT POLE
 - ⊙ EX. GUY WIRE
 - ⊙ EX. LIGHT POLE
 - ⊙ EX. SIGN
 - ⊙ EX. DECIDUOUS TREE
 - ⊙ EX. CONIFEROUS TREE
 - ⊙ EX. OVERHEAD WIRES
 - ⊙ EX. FENCE LINE
 - ⊙ EX. RAILING
 - ⊙ EX. SANITARY SEWER
 - ⊙ EX. STORM SEWER
 - ⊙ EX. WATER MAIN

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. SPECIFICATIONS SHOWN CAN BE CHANGED ONLY BY THE MANUFACTURER.
 4. FOOTING WIDTH TO BE AS SHOWN.
 5. FENCE SECTION USING 1" PICKETS WILL TOTAL 18 PICKETS PER SECTION.
 6. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CAD966.com/info REFERENCE NUMBER 2813-16.

- PAVING NOTES:**
1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.
 2. AGGREGATE BASE SHALL BE 3/4" AGGREGATE BASE DENSE PER SECTION 305 OF THE STANDARD SPECIFICATIONS.
 3. CONCRETE PAVEMENT, DRIVEWAYS, SIDEWALKS AND CONCRETE PADS SHALL BE CONSTRUCTED PER SECTIONS 415 AND 416 OF THE STANDARD SPECIFICATIONS.
 4. ASPHALT PAVEMENT SHALL BE HMA PAVEMENT E-0.3 WITH PG 64-28 ASPHALT MATERIAL PER SECTIONS 455-460 OF THE STANDARD SPECIFICATIONS.
 5. PAVEMENT THICKNESS SHALL BE AS FOLLOWS:

| | | |
|-------------------------------|----------------|-------------------|
| • SIDEWALK: | 4" CONCRETE | 4" AGGREGATE BASE |
| • ASPHALT PAVEMENT (PARKING): | 3 1/2" ASPHALT | 8" AGGREGATE BASE |

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
WIS. STATUTE 182.07(2)(b) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

REVISED: MARCH 10, 2017
REVISED: MARCH 7, 2017

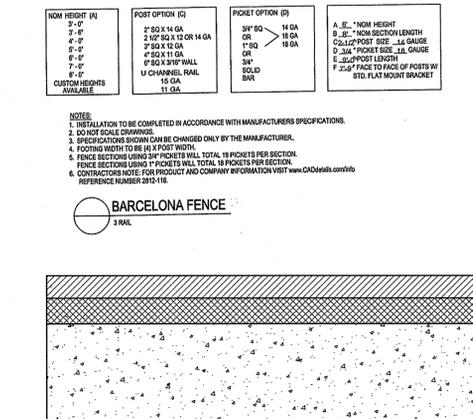
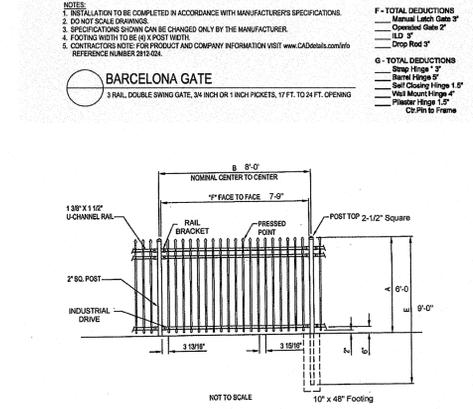
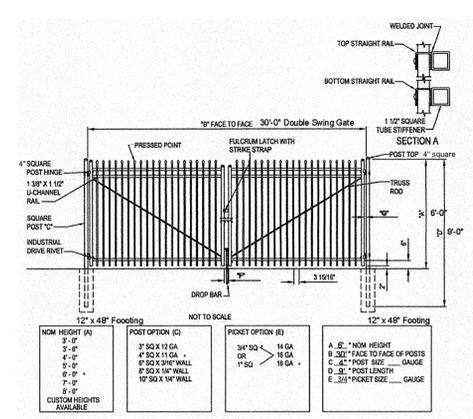
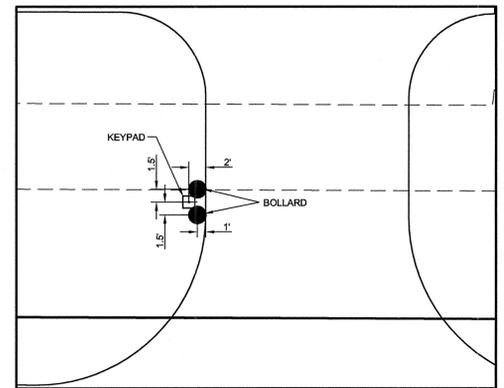
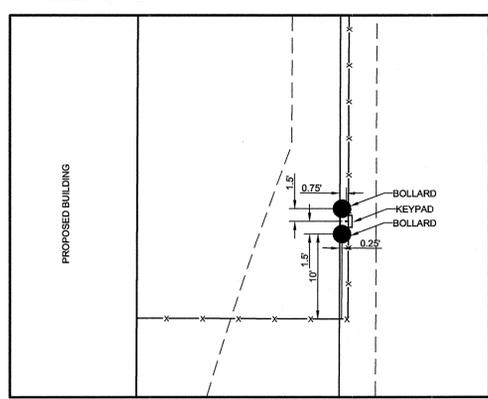
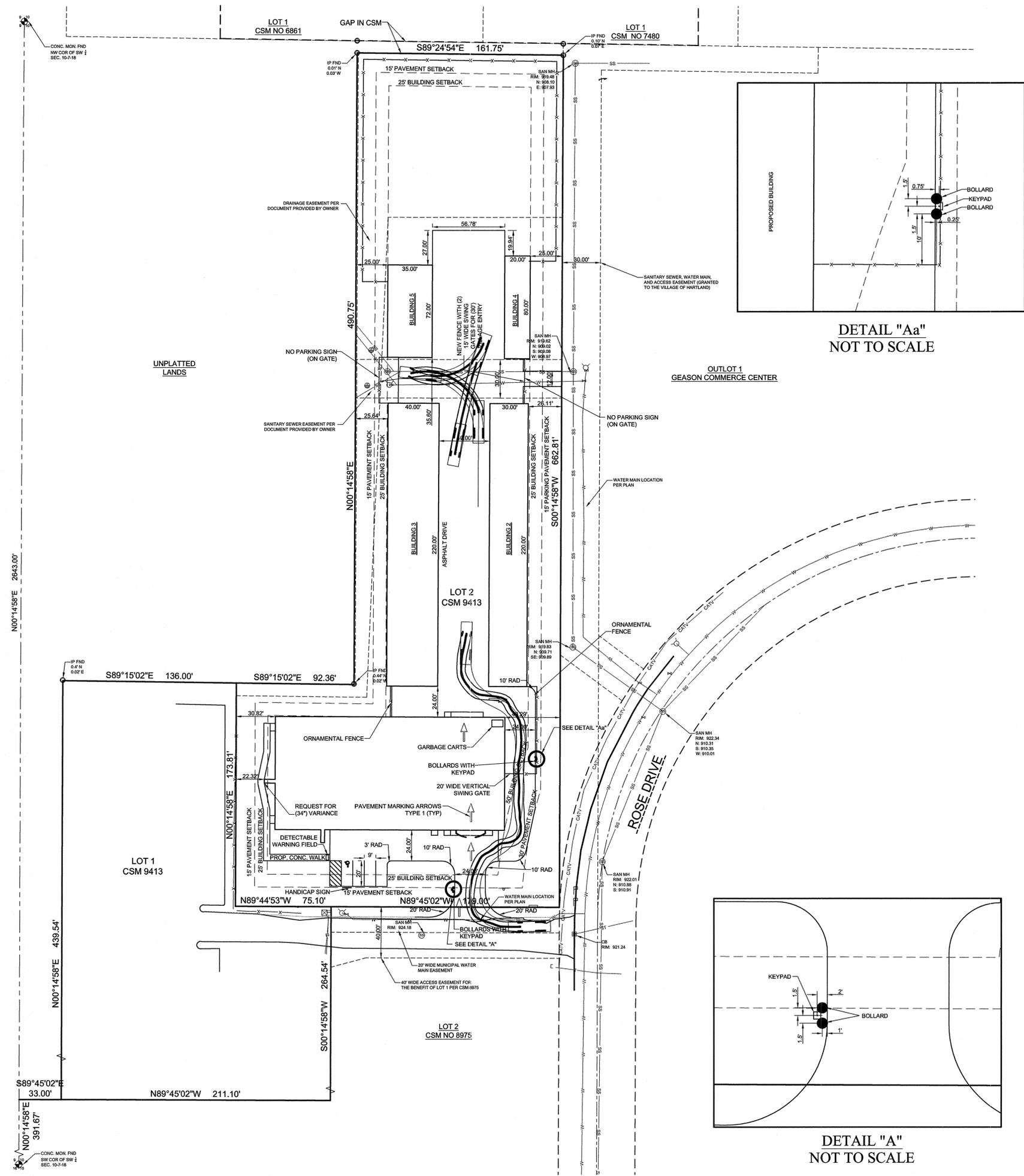
PROPOSED SITE PLAN
FOR: LOT 2 CSM 9413
PART OF THE SW 1/4 OF SECTION 10, T7N, R18E
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI.

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL. NO. (262) 542-5797 FAX (262) 542-7698

SCALE: 1" = 40'
DATE: JANUARY 27, 2017
DRAWN BY: N.S. CHECKED BY: P.J.J. FILE NO.: DELAFIELD 610
BOOK NO.: MER 46 JOB: S-8555 SHEET 2 OF 5

C1.2

FILE NAME: I:\PROJECTS\S8555\DWG\S8555.dwg



PAVING NOTES:

- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.
- AGGREGATE BASE SHALL BE 3/4" AGGREGATE BASE DENSE PER SECTION 305 OF THE STANDARD SPECIFICATIONS.
- CONCRETE PAVEMENT, DRIVEWAYS, SIDEWALKS AND CONCRETE PADS SHALL BE CONSTRUCTED PER SECTIONS 415 AND 416 OF THE STANDARD SPECIFICATIONS.
- ASPHALT PAVEMENT SHALL BE HMA PAVEMENT E-0.3 WITH PG 64-28 ASPHALT MATERIAL PER SECTIONS 455-460 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT THICKNESS SHALL BE AS FOLLOWS:

| | | |
|-----------------------------|----------------|-------------------|
| SIDEWALK: | 4" CONCRETE | 4" AGGREGATE BASE |
| ASPHALT PAVEMENT: (PARKING) | 3 1/2" ASPHALT | 8" AGGREGATE BASE |

LEGEND:

- EX SANITARY MANHOLE
- EX STORM MANHOLE
- EX CATCH BASIN ROUND
- EX CATCH BASIN SQUARE
- EX HYDRANT
- EX WATER VALVE
- EX HOUSE VALVE
- EX POWER POLE
- EX POWERLIGHT POLE
- EX GUY WIRE
- EX LIGHT POLE
- EX SIGN
- EX DECIDUOUS TREE
- EX CONIFEROUS TREE
- EX OVERHEAD WIRES
- EX FENCE LINE
- EX RAILING
- EX SANITARY SEWER
- EX STORM SEWER
- EX WATER MAIN

BARCELONA GATE
3 RAIL DOUBLE SWING GATE, 34 INCH OR 1 INCH PICKETS, 17 FT. TO 24 FT. OPENING

BARCELONA FENCE
3 RAIL

NOTES:

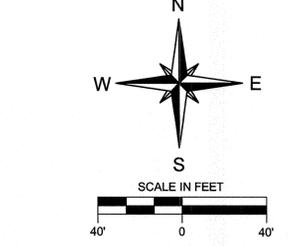
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWINGS.
- SPECIFICATIONS SHOWN CAN BE CHANGED ONLY BY THE MANUFACTURER.
- FOOTING WIDTH TO BE AS POST WIDTH.
- FENCE SECTIONS USING 34" PICKETS WILL TOTAL 18 PICKETS PER SECTION.
- FENCE SECTIONS USING 1" PICKETS WILL TOTAL 18 PICKETS PER SECTION.
- CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 2012-116.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
WI STATUTE: 182.07(2)(a) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.

REVISIONS:
REvised: MARCH 10, 2017
REvised: MARCH 7, 2017



PROPOSED SITE PLAN
FOR: LOT 2 CSM 9413
PART OF THE SW 1/4 OF SECTION 10, T7N, R18E
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI.

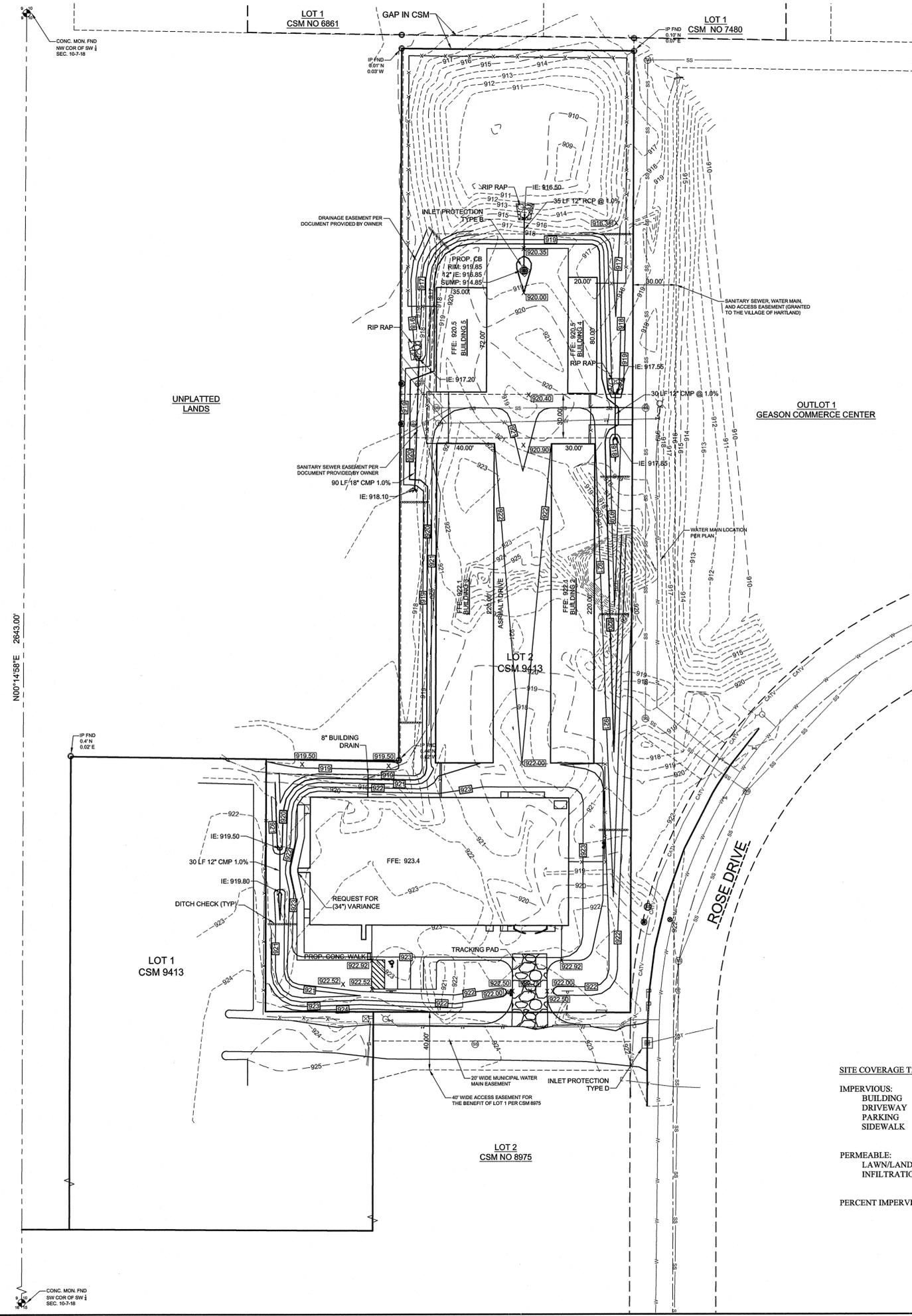
JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA WI 53188
TEL.No.(262) 542-5797 FAX (262) 542-7698

SCALE: 1" = 40'
DRAWN BY: N.S. CHECKED BY: P.J.J. FILE NO.: DELAFIELD 610
BOOK NO.: MER 48 JOB: S-8555 SHEET 2 OF 5

DATE: JANUARY 27, 2017
FILE NO.: DELAFIELD 610

C1.2

FILE NAME: I:\PROJECTS\S8555\DWG\S8555.dwg



Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin
DRAFT VERSION 03-27-2015

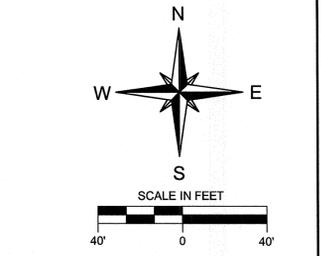
Version 1.0
Developer: Kahle Builders
Project: Benchmark Storage
Date: 1/26/2017
County: Waukesha

| Land Disturbing Activity | Begin Date | End Date | Period % R | Annual R Factor | Sub Soil Texture | Soil Erodibility K Factor | Slope (%) | Slope Length (feet) | LS Factor | Land Cover C Factor | Soil Loss A (tonnes/acre) | Sediment Control Practice | Sediment Discharge (tonnes/acre) |
|--------------------------|------------|-----------|------------|-----------------|------------------|---------------------------|-----------|---------------------|-----------|---------------------|---------------------------|---------------------------|----------------------------------|
| Bare Ground | 5/1/2017 | 6/1/2017 | 11.2% | 130 | Silt Loam | 0.43 | 1.2% | 520 | 0.23 | 1.00 | 1.5 | Ditch Check Sed | 0.9 |
| Seed with Mulch or Eri | 6/1/2017 | 9/15/2017 | 66.7% | 130 | Silt Loam | 0.43 | 1.0% | 740 | 0.24 | 0.10 | 0.9 | Ditch Check Sed | 0.1 |
| End | 9/15/2017 | | | | | | 1.0% | 740 | 0.24 | | | Ditch Check Sed | 0.0 |
| | | | | | | | 1.0% | 740 | 0.24 | | | | 0.0 |
| | | | | | | | 0.0% | 0 | | | | | 0.0 |
| | | | | | | | 0.0% | 0 | | | | | 0.0 |
| TOTAL | | | | | | | | | | | 2.3 | TOTAL | 1.1 |
| | | | | | | | | | | | | % Reduction Required | NONE |

Notes:
See Help Page for further descriptions of variables and items in drop-down boxes.
The soil loss calculation on each sheet must be "Total". This is either 12 months from the start of construction or final stabilization.
For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

Recommended Permanent Seeding Dates:
4/1-6/15 and 8/7-9/23 Turf, introduced grasses and legumes
Native Grasses, forbs, and legumes

Designed By: Paul Jensen, P.E.
Date: 1/26/2017



- LEGEND:**
- ⊙ EX. SANITARY MANHOLE
 - ⊕ EX. STORM MANHOLE
 - ⊗ EX. CATCH BASIN ROUND
 - ⊞ EX. CATCH BASIN SQUARE
 - ⊕ EX. HYDRANT
 - ⊕ EX. WATER VALVE
 - ⊕ EX. HOUSE VALVE
 - ⊕ EX. POWER POLE
 - ⊕ EX. POWERLIGHT POLE
 - ⊕ EX. GUY WIRE
 - ⊕ EX. LIGHT POLE
 - ⊕ EX. SIGN
 - ⊕ EX. DECIDUOUS TREE
 - ⊕ EX. CONIFEROUS TREE
 - ⊕ EX. OVERHEAD WIRES
 - ⊕ EX. FENCE LINE
 - ⊕ EX. RAILING
 - ⊕ EX. SANITARY SEWER
 - ⊕ EX. STORM SEWER
 - ⊕ EX. WATER MAIN
 - ⊕ EX. 1-FOOT CONTOUR LINE
 - ⊕ EX. 5-FOOT CONTOUR LINE
 - ⊕ PROP. DITCH CHECK
 - ⊕ PROP. 1-FOOT CONTOUR LINE
 - ⊕ PROP. 5-FOOT CONTOUR LINE
 - ⊕ PROP. TRACKING PAD

CONSTRUCTION SEQUENCE (SEE SOIL LOSS & SEDIMENT DISCHARGE CALCULATION TOOL FOR SPECIFIC DATE REQUIREMENTS):

- Install tracking pad. Inlet protection and other erosion control measure prior to any land disturbance activities, as shown on plans. Continuous inspections throughout the project. The builder shall inspect erosion and sediment control practices weekly, and within 24 hours after every rain event that produces 0.5 inches of rain or more in a 24 hour period. Written documentation of each inspection shall be maintained at the construction site and shall include the time, date and location of inspection, the phase of land disturbance at the construction site, person conducting the inspection, assessment of control practices, and description of any erosion or sediment control measure installation or maintenance performed in response to the inspection. Use Wisconsin DNR report forms.
- Strip topsoil and grade swales and building pads. Immediately restore disturbed areas. Begin building construction. Backfill building and install temporary seed and mulch on disturbed area around building within 30 days of land disturbance. Pave lot as soon as practical.
- Finish grade site and immediately restore all disturbed areas with topsoil, seed and erosion mat.
- Adjust and maintain erosion control measures as necessary as construction operations progress.
- Contractor to remove and dispose of all temporary erosion control measures once the site is 80% stabilized.

Estimated Start Date: May 2017
Estimated Completion Date: October 2017
Estimated Disturbed area = 103,730 S.F. (2.38 AC.)

- NOTES:**
- All construction practices shall comply with the Village of Hartland, Wisconsin DNR requirements and the Wisconsin DNR Technical Standards.
 - All disturbed areas shall be topsoiled (4" thick), seeded and stabilized with biodegradable erosion mat per Wisconsin DNR Technical Standard 1052 (jute/twine netting with the "leno" or "gauze" weave (contains strands that are able to move independently) See note K). September 15th is the deadline for permanent seed. Any areas exposed after September 15th and before October 15th shall be temporarily seeded with winter wheat at the rate of 50 lbs/acre. This temporary cover shall be fertilized at the same rate and mixture as permanent seed. Any disturbed areas not stabilized by October 15th should be stabilized by placing topsoil, dormant seed and biodegradable erosion mat. Temporary stabilization is required for any area that will not be worked for 14 days or more.
 - Any stockpile left inactive for more than seven days shall be seeded and mulched using agricultural silt with a seeding rate of 3lbs/1000 square feet. Any stockpiles placed after October 15th shall be seeded with dormant seed and stabilized with biodegradable erosion mat.
 - All construction traffic is to enter/exit the site over the tracking pad. The tracking pad is per Wisconsin DNR Technical Standard 1057. All private driveways and public streets to be kept clean at all times.
 - The permanent seed mixture shall be Wisconsin DOT seed mixture No. 40 and sown at a rate of 4 lbs/1000 square feet. Seed mixture No. 40 consists of 35% kentucky bluegrass, 20% red fescue, 20% hard fescue and 25% improved fine perennial ryegrass.
 - Fertilize soil with 10 lbs/1000 square feet of 20-0-10 fertilizer. The fertilizer used for restoration shall be free of any phosphorus.
 - Any dewatering that may be required shall be completed so that the water is pumped into a type II geotextile bag on the upslope side of the silt fence on the east side of the site. The geotextile bag should be placed in a location that allows the discharged water to flow over a healthy vegetative cover. Follow DNR Technical Standard 1061.
 - All building and waste material shall be disposed of off site to prevent runoff of material off site.
 - Dust control should be addressed per Wisconsin DNR Technical Standard 1068.
 - Soils on site are Fox Silt Loam (B) and St. Charles Silt Loam (B).
 - The erosion mat used on this project shall be one of the following: American Excelsior "FibreNet" or "NetFree" products; East Coast Erosion biodegradable jute products; Erosion Tech biodegradable jute products; ErosionControlBlanket.com biodegradable leno weave products; North American Green S75BN, S150BN, SC150BN or C125 BN; or Western Excelsior "All Natural" products.
 - Catch Basin shall use a 48" manhole per File No. 12 of the Standard Specifications. The casting shall be Neenah R-2554.
 - Contractor shall sweep Village roadways and any affected private driveways adjacent to the project area at the end of every work day, or as directed by the Village or Engineer to maintain clean and safe surfaces.

SITE COVERAGE TABLE

| | |
|---------------------|-----------|
| IMPERVIOUS: | |
| BUILDING | 0.813 |
| DRIVEWAY | 0.636 |
| PARKING | 0.021 |
| SIDEWALK | 0.019 |
| | 1.489 AC. |
| PERMEABLE: | |
| LAWN/LANDSCAPING | 0.887 |
| INFILTRATION BASIN | 0.456 |
| | 1.343 AC. |
| PERCENT IMPERVIOUS: | 52.6% |



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
WI 87A TULRE 160 2776 (17PA) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU CAN DIG
MIL.W. AREA 259-1181

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Contact Diggers Hotline, Inc., Etc.

REVISED: MARCH 10, 2017
REVISED: MARCH 7, 2017
REVISED: FEBRUARY 7, 2017

GRADING AND EROSION CONTROL PLAN

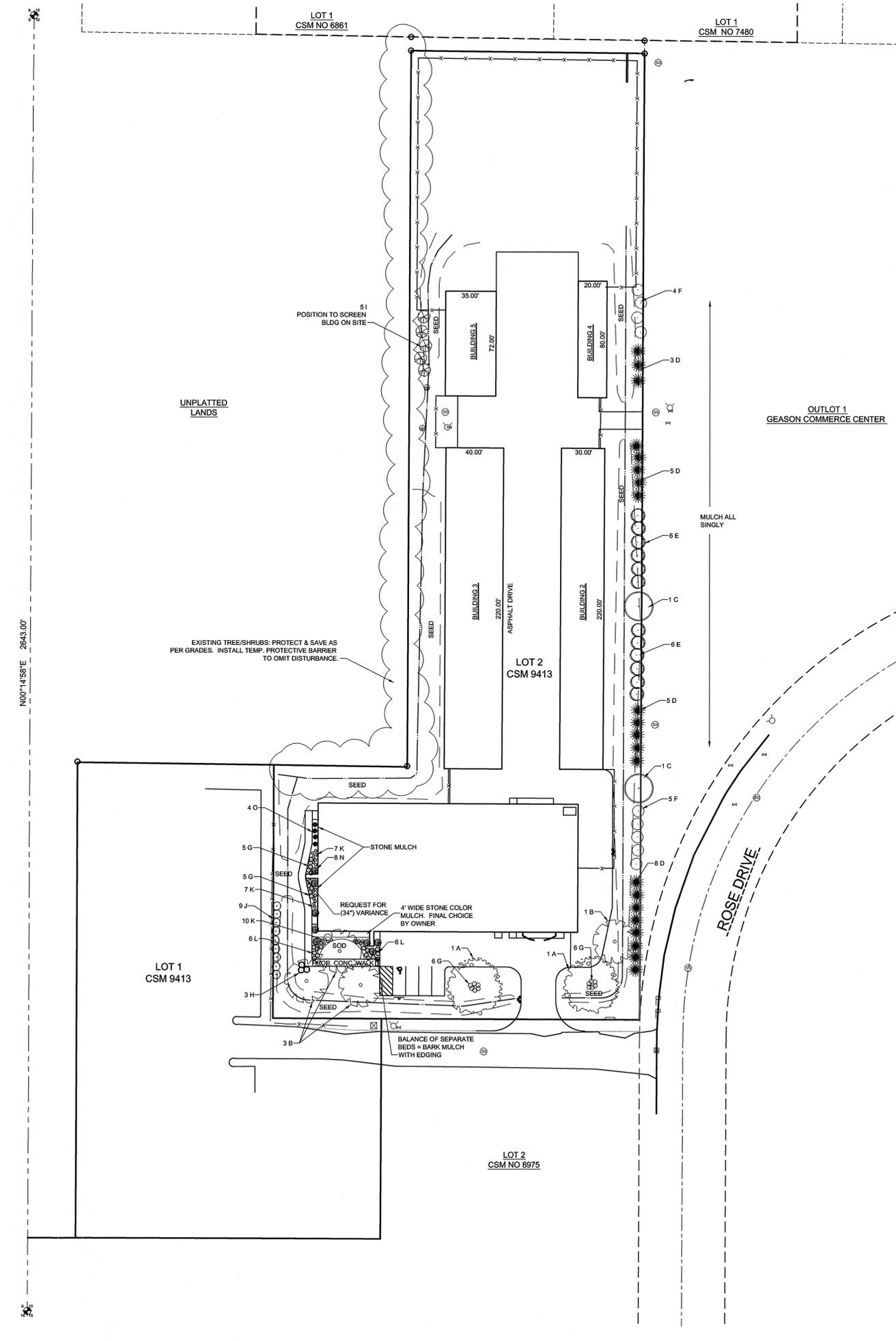
FOR: LOT 2 CSM 9413
PART OF THE SW 1/4 OF SECTION 10, T7N, R18E
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI.

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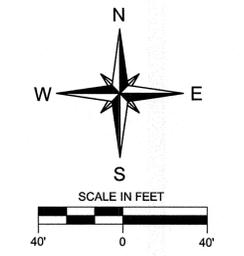
SCALE: 1" = 40'
DRAWN BY: N.S. CHECKED BY: P.J.J. FILE NO.: DELAFIELD 610
BOOK NO.: MER 46 JOB: S-8555 SHEET 3 OF 5

C1.3

FILE NAME: P:\PROJECTS\18555\DWG\18555.dwg



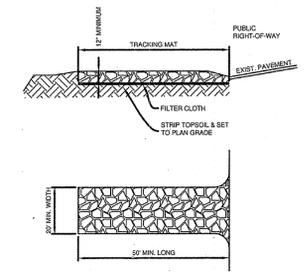
- CLEARING & GRUBBING NOTES:**
- CLEAR AND GRUB ALL TREES AND BUSHES WITHIN THE GRADING LIMITS. REMOVE ALL BUCKTHORN ON THE PROPERTY WHETHER IN THE GRADING LIMITS OR NOT.
 - THE ROW OF MATURE CEDAR TREES ABOUT 4' INSIDE THE PROPERTY ALONG THE SOUTHERN PROPERTY LINE OF THE RESIDENCE SHALL REMAIN.
 - ALL STUMPS ARE TO BE EITHER PULLED OR GROUND BELOW THE SURFACE. STUMPS SHALL NOT BE BURIED ON SITE, BUT REMOVED FROM THE PROPERTY.
 - CLEAR AND GRUB THE DRAINAGE CHANNEL ALONG THE WEST SIDE REGARDLESS IF IT IS WITHIN THE GRADING LIMITS OR NOT.
 - REMOVE FALLEN TREES FROM THE INFILTRATION BASIN BERMS. IN PARTICULAR, REMOVE THE TREES FROM THE SPILLWAY ALONG THE NORTH EDGE OF THE BASIN.
 - CLEAR AND GRUB TREES AND BUSHES FROM THE OVERFLOW PATH, WHERE ON THE PROPERTY, THAT FLOWS WNW FROM THE SPILLWAY.



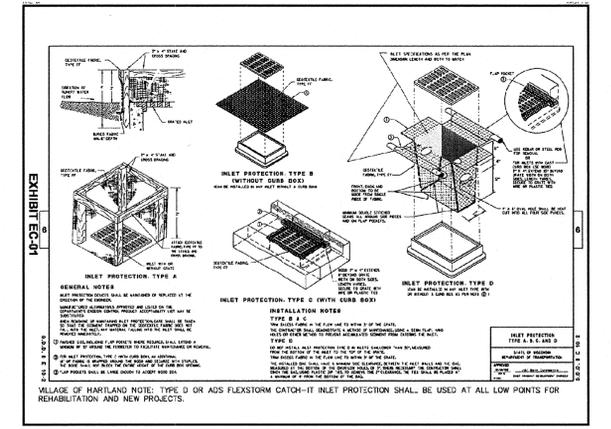
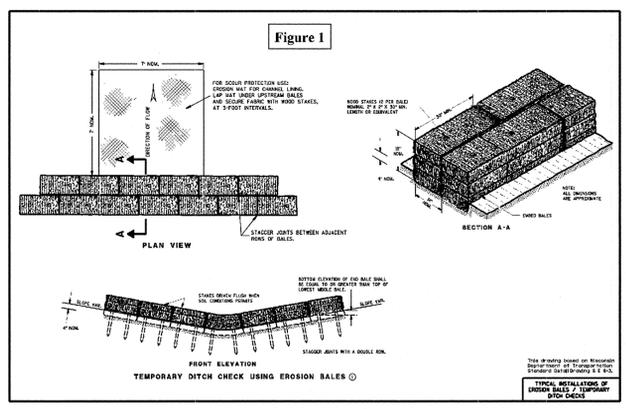
| PLANT LIST | | | | |
|------------|-----|-------|------|----------------------------------|
| KEY | QTY | SIZE | ROOT | TYPE |
| A | 2 | 2.5" | BB | MAPLE - GREEN MOUNTAIN SUGAR |
| B | 4 | 2" | BB | CALLERTY PEAR - CLEVELAND SELECT |
| C | 2 | 1.75" | BB | CRAB - RED JEWEL |
| D | 21 | 6.5" | BB | JUNIPER - MOUNTBATTEN |
| E | 12 | 5" | BB | LILAC - COMMON PURPLE |
| F | 9 | 3" | POT | NINBARK - DIABLO |
| G | 12 | 1 GAL | POT | DAYLILLY - HYPERION |
| H | 3 | 18" | POT | ROSE - KNOCKOUT DOUBLE RED |
| I | 5 | 5" | BB | ABORVITAE - TECHNY |
| J | 9 | 4.5" | BB | VIBURNUM - AUTUMN JAZZ |
| K | 24 | 1 GAL | POT | RUSSIAN SAGE - LITTLE SPIRE |
| L | 24 | 1 GAL | POT | CATMINT - WALKER'S LOW |
| M | | | | |
| N | 8 | 24" | POT | LILAC - DWARF KOREAN |
| O | 4 | 15" | POT | POTENTILLA - GOLDMOUND |

PLANTS MUST MEET A.A.N. STANDARDS. NO SUBSTITUTIONS. MINIMUM SIZES SHOWN.

- LEGEND:**
- ⊗ EX. SANITARY MANHOLE
 - ⊗ EX. STORM MANHOLE
 - ⊗ EX. CATCH BASIN ROUND
 - ⊗ EX. CATCH BASIN SQUARE
 - ⊗ EX. HYDRANT
 - ⊗ EX. WATER VALVE
 - ⊗ EX. HOUSE VALVE
 - ⊗ EX. POWER POLE
 - ⊗ EX. POWERLIGHT POLE
 - ⊗ EX. GUY WIRE
 - ⊗ EX. LIGHT POLE
 - ⊗ EX. SIGN
 - ⊗ EX. DECIDUOUS TREE
 - ⊗ EX. CONIFEROUS TREE
 - ⊗ EX. FENCE LINE
 - ⊗ EX. RAILING



- NOTES:**
- THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR 1/2" WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3/8" SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 18 INCHES THICK ON SITES WITH A HIGH WATER TABLE. IN WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WOODCHIP TYPE GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE AT A MINIMUM 50 FEET LONG.
 - A FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. THE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 200 LBS. (ASTM D-182)
 - B. HULLEN BURST: 400 PER MIN. (ASTM D-578)
 - C. EQUIVALENT OPENING SIZE: 40-80 (NO. STD. SIEVE)
 - D. ELONGATION AT FAILURE: 10% (ASTM D-482)
 - E. PUNCTURE STRENGTH: 125 LBS. (ASTM D-751)
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANUP OF ANY WEARWAYS USED TO TRAFFIC SEDIMENT.
 - THE WASHING OF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLES. TRUCKS BY THE TRACKING PAD, THEN TRUCKS SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.
 - THE TRACKING MAT SHALL BE LOCATED ON SITE IN AN AREA THAT IS STABILIZED AND DRAINS INTO SUSTAINABLE SEDIMENT TRAPPING OR SETTLING BASIN.
 - THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.
 - ALL SEDIMENT SPILLS, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
WI STATUTE 18C.07(1)(b) REQUIRES M.N. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE
MIL.W. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.

REVISED: MARCH 10, 2017
REVISED: MARCH 7, 2017

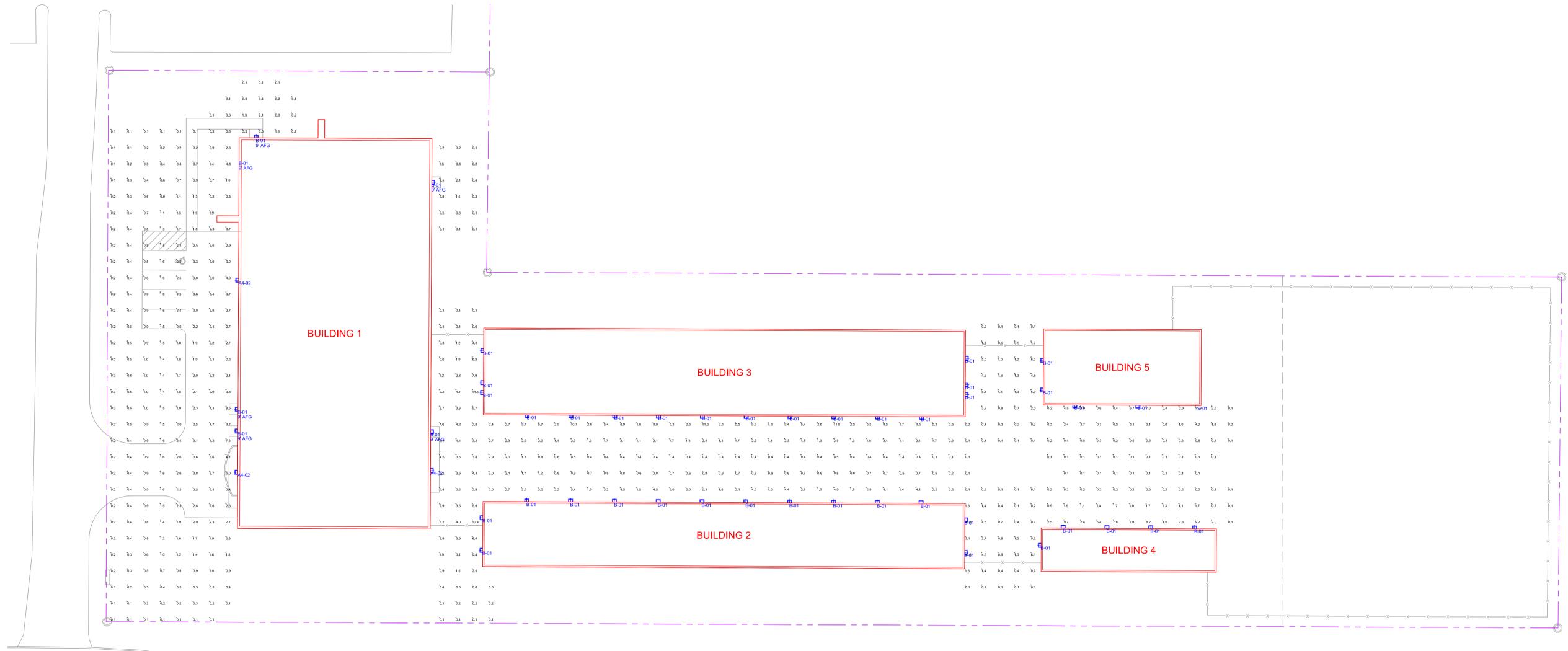
PROPOSED LANDSCAPE PLAN
FOR: LOT 2 CSM 9413
PART OF THE SW 1/4 OF SECTION 10, T7N, R18E
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WI.

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI 53188
TEL. NO. (262) 542-5797 FAX (262) 542-7898

SCALE: 1" = 40'
DATE: JANUARY 27, 2017
DRAWN BY: N.S. CHECKED BY: P.J.J. FILE NO.: DELAFIELD 610
BOOK NO.: MER 46 JOB: S-8555 SHEET 5 OF 5

C1.5

FILE NAME: PROJECTS\SR5555\DWG\SR5555.dwg



| LED Luminaire Schedule | | | | | | |
|------------------------|-------|-------------|-------------|------------|-------|--|
| Qty | Label | Arrangement | Lum. Lumens | Lum. Watts | LLF | Description |
| 3 | A4-02 | SINGLE | 12336 | 113 | 0.900 | McGRAW-EDISON + GWC-AF-024LED-E1-T4W (19' AFG) |
| 46 | B-01 | SINGLE | 1397 | 12.2 | 0.900 | LUMARK + XTOR1B-W (7' AFG, UNO) |

| Calculation Summary | | | | | | |
|---------------------|-------------|-------|------|------|-----|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min |
| ENTIRE SITE | Illuminance | Fc | 1.83 | 14.6 | 0.1 | 18.30 |

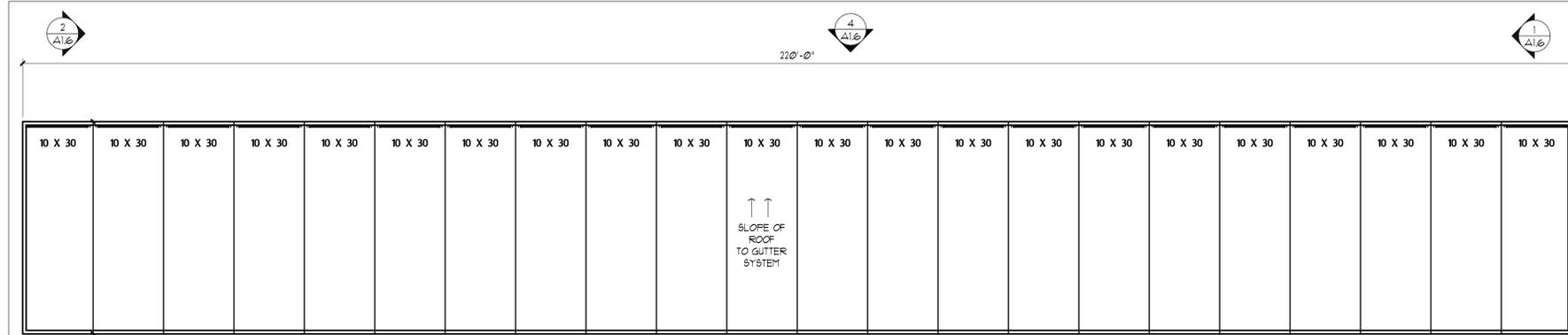


Enterprise Lighting LTD

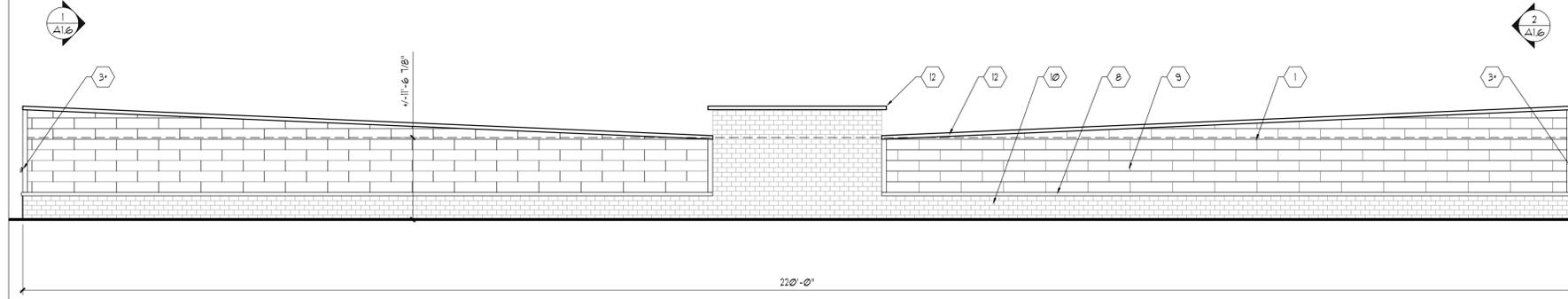
**BENCHMARK SECURED STORAGE
HARTLAND, WISCONSIN**

SITE LIGHTING PLAN

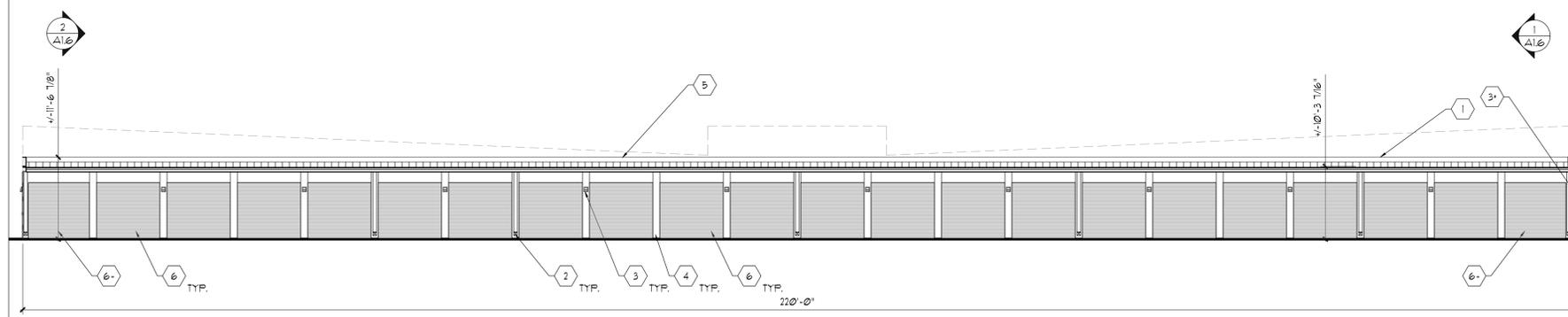
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| DATE JAN. 24, 2017 | SCALE 1" = 20'-0" | SHEET NUMBER E1 |
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FLOOR PLAN - BUILDING 2 - GROUND FLOOR LEVEL
SCALE: 3/32"=1'-0" 6

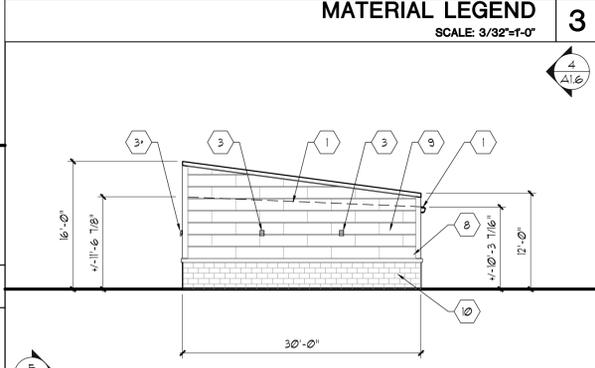


EAST ELEVATION - BUILDING 2
SCALE: 3/32"=1'-0" 5

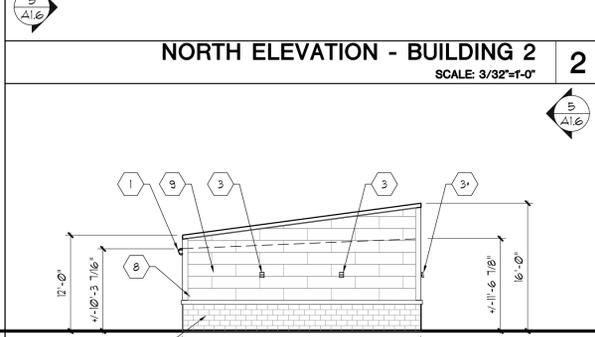


WEST ELEVATION - BUILDING 2
SCALE: 3/32"=1'-0" 4

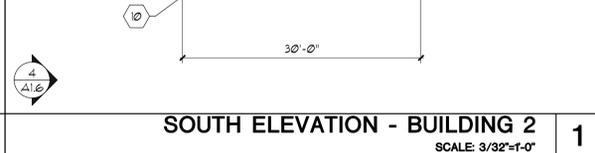
- BUILDING MATERIAL KEY LEGEND GENERAL NOTES:**
(*) MATERIAL - BEYOND
- 1 PREFINISHED RAKE TRIM AND ASSOCIATED WALL TRIM AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.) COLOR: ASH GREY
 - 2 PREFINISHED METAL GUTTER WITH DOWNSPOUT SYSTEM AS SUPPLIED BY METAL BUILDING MANUFACTURER. COLOR: ASH GREY. NOTE: DOWNSPOUT LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY METAL BUILDING MANUFACTURER.
 - 3 LUMARK XTOR CROSSFOUR LED WALL PACK. THIS IS TYPICAL MOUNTED 1'-0" TO CENTER OF FIXTURE FROM THE RELATIVE FINISH FLOOR ELEVATION THAT IS ASSOCIATED. LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY ELECTRICAL DESIGNER.
 - 4 PREFINISHED METAL WALL PANEL AS SUPPLIED BY METAL BUILDING MANUFACTURER. COLOR: ASH GREY
 - 5 STANDING SEAM STEEL ROOF PANEL. ALL BY METAL BUILDING SUPPLIER (TYP.). R/T METAL BUILDING COMPONENTS DRAWINGS FOR ALL DETAILS. (TYP.) COLOR: GALVALUME
- TYPICAL DOOR NOTES FOR OVERHEAD DOORS LISTED BELOW**
COLOR = ASH GREY
DOOR # LOCK HARDWARE AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.) PROVIDE ADA COMPLIANT HARDWARE PER PLAN LOCATIONS. 18" PREFINISHED METAL WALL PANEL # HEAD OF DOOR (TYP.) AND TO MATCH TYPICAL METAL WALL PANEL COLOR
- 6 OVERHEAD COILING DOOR
(6-) DOOR SIZE 9'-0" WIDE x 8'-0" TALL
(6-) DOOR SIZE 8'-8" WIDE x 8'-0" TALL (TYPICAL ONLY AT CORNER OF BUILDINGS)
 - 7 OVERHEAD COILING DOOR. 9'6" WIDE x 14'-0" TALL
 - 13 OVERHEAD COILING DOOR. 9'6" WIDE x 14'-0" TALL
 - 8 6" PRECAST CONCRETE SILL
 - 9 FIBER CEMENT PANEL (18" HIGH x 72" LONG)
NICHIA - DESIGNER SERIES - ILLUMINATION
SIMILAR TO MICA M36 GREY(4MM4HLZ) - ALPOLIG MATERIALS
NOTE RUNNING BOND
 - 10 FILLED 4" POLISHED FACE 8X16 MASONRY UNIT.
MANUFACTURER: TRENUYTH INDUSTRIES / OLD CASTLE - (TREADSTONE - PLUS)
JOINT PATTERN: STACK BOND
COLOR: QUICK TRIP BLACK
MORTAR COLOR: MATCH TO CMU
 - 11 ALUMINUM FRAME STOREFRONT ENTRY SYSTEM
MANUFACTURER: KAUNER
SYSTEM: STOREFRONT SYSTEM
FRAME COLOR: CLEAR ANODIZED ALUMINUM
FRAME SIZE: 2"x4-1/2"
GLAZING TYPE: 1" LOW-E THERMAL PANE
GLAZING COLOR: CLEAR
GLAZING SET: FORWARD
DOOR TYPE: 500 SERIES
 - 12 METAL COPING
- GENERAL ELEVATION NOTES**
1. ALL ROOFS ARE SHOWN AT 1/2" TO 12" SLOPE, UNLESS OTHERWISE NOTED.
2. STANDARD SPREAD FOOTING AND FOUNDATION WALL LINES ARE NOT SHOWN FOR DRAWING CLARITY.



MATERIAL LEGEND
SCALE: 3/32"=1'-0" 3



NORTH ELEVATION - BUILDING 2
SCALE: 3/32"=1'-0" 2



SOUTH ELEVATION - BUILDING 2
SCALE: 3/32"=1'-0" 1

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Project:
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 800 Rose Drive
 Hartland, WI 53029

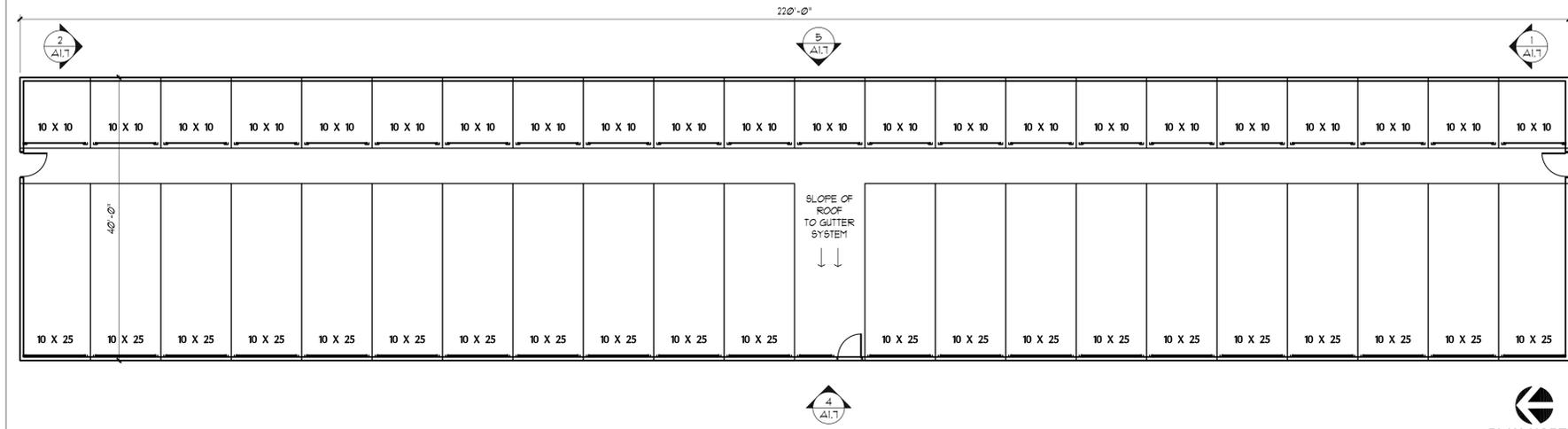
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BUILDING 2 FLOOR PLAN & BUILDING ELEVATIONS

Date: 02/27/17
Scale: A.N.
Drawn: WHC
Job: 16-112
Sheet: A1.6

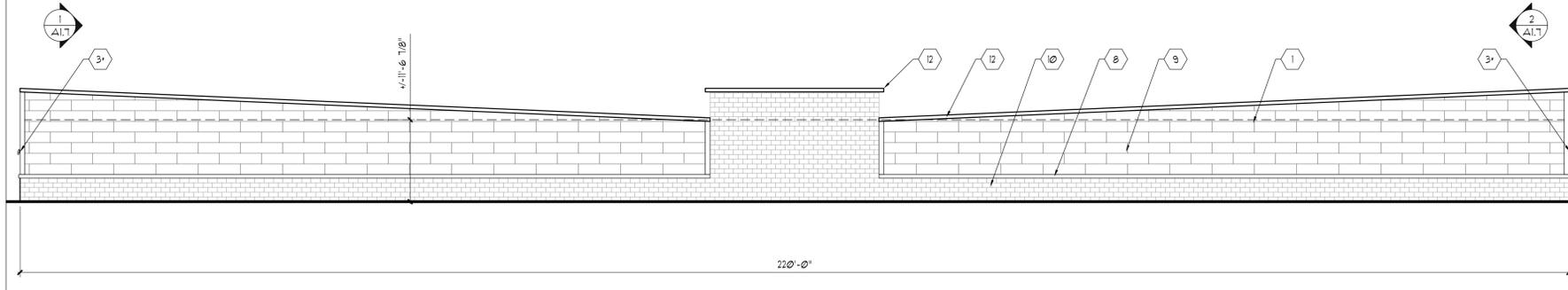
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 11525 W. North Avenue
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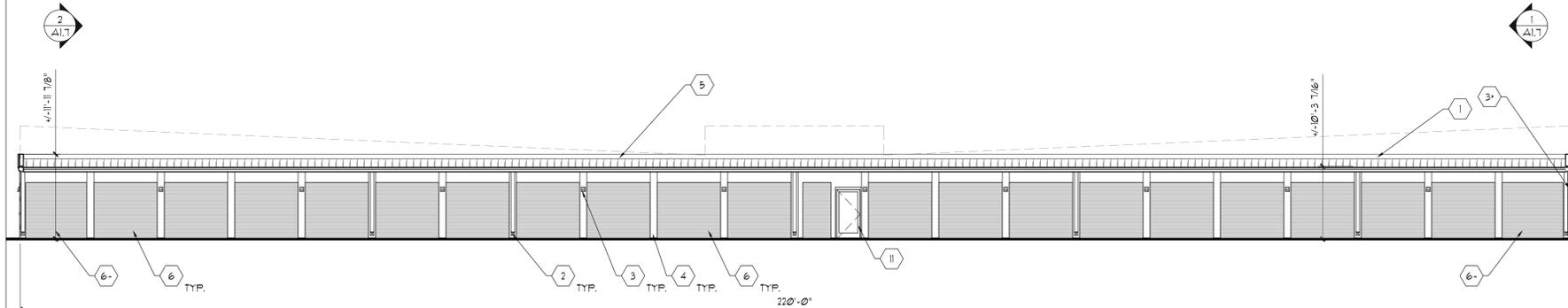
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FLOOR PLAN - BUILDING 3 - GROUND FLOOR LEVEL
SCALE: 3/32"=1'-0" **6**

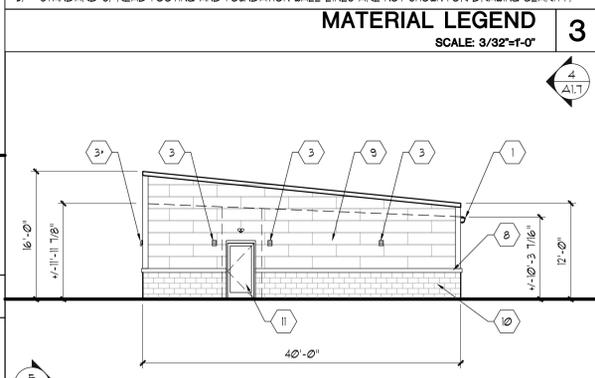


WEST ELEVATION - BUILDING 3
SCALE: 3/32"=1'-0" **5**

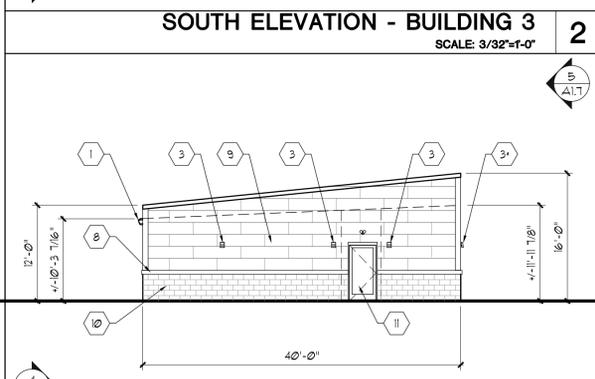


EAST ELEVATION - BUILDING 3
SCALE: 3/32"=1'-0" **4**

- BUILDING MATERIAL KEY LEGEND GENERAL NOTES:**
(*) MATERIAL - BEYOND
- 1 PREFINISHED RAKE TRIM AND ASSOCIATED WALL TRIM AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.) COLOR: ASH GREY
 - 2 PREFINISHED METAL GUTTER WITH DOWNSPOUT SYSTEM AS SUPPLIED BY METAL BUILDING MANUFACTURER COLOR: ASH GREY. NOTE: DOWNSPOUT LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY METAL BUILDING MANUFACTURER.
 - 3 LUMARK XTOR CROSSSTAIR LED WALL PACK. THIS IS TYPICAL MOUNTED 1'-0" TO CENTER OF FIXTURE FROM THE RELATIVE FINISH FLOOR ELEVATION THAT IS ASSOCIATED. LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY ELECTRICAL DESIGNER.
 - 4 PREFINISHED METAL WALL PANEL AS SUPPLIED BY METAL BUILDING MANUFACTURER COLOR: ASH GREY
 - 5 STANDING SEAM STEEL ROOF PANEL. ALL BY METAL BUILDING SUPPLIER (TYP.). R/T METAL BUILDING COMPONENTS DRAWINGS FOR ALL DETAILS. (TYP.) COLOR: GALVALUME
- TYPICAL DOOR NOTES FOR OVERHEAD DOORS LISTED BELOW**
COLOR = ASH GREY
DOOR # LOCK HARDWARE AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.) PROVIDE ADA COMPLIANT HARDWARE PER PLAN LOCATIONS. 18" PREFINISHED METAL WALL PANEL @ HEAD OF DOOR (TYP.) AND TO MATCH TYPICAL METAL WALL PANEL COLOR
- 6 OVERHEAD COILING DOOR
 - (6-) DOOR SIZE 9'-0" WIDE x 8'-0" TALL
 - (6-) DOOR SIZE 8'-8" WIDE x 8'-0" TALL (TYPICAL ONLY AT CORNER OF BUILDINGS)
 - 7 OVERHEAD COILING DOOR SIZE 12' WIDE x 14'-0" TALL
 - 13 OVERHEAD COILING DOOR SIZE 10' WIDE x 14'-0" TALL
 - 8 6" PRECAST CONCRETE SILL
 - 9 FIBER CEMENT PANEL (18" HIGH x 72" LONG) NICHIA - DESIGNER SERIES - ILLUMINATION SIMILAR TO MICA M35 GREY(4MM4HLZ) - ALPOLIG MATERIALS NOTE RUNNING BOND
 - 10 FILLED 4" POLISHED FACE 8X16 MASONRY UNIT. MANUFACTURER TRENTHY INDUSTRIES / OLD CASTLE - (TREADSTONE - PLUS)
 - STACK BOND
 - QUICK TRIP BLACK
 - MORTAR COLOR MATCH TO CMU
 - 11 ALUMINUM FRAME STOREFRONT ENTRY SYSTEM MANUFACTURER KAUNER
 - STOREFRONT SYSTEM
 - FRAME COLOR CLEAR ANODIZED ALUMINUM
 - FRAME SIZE 2"x4-1/2"
 - GLAZING TYPE 1" LOW-E THERMAL PANE
 - GLAZING COLOR CLEAR
 - GLAZING SET FORWARD
 - DOOR TYPE 500 SERIES
 - 12 METAL COPING
- GENERAL ELEVATION NOTES**
1. ALL ROOFS ARE SHOWN AT 1/2" TO 12" SLOPE, UNLESS OTHERWISE NOTED.
2. STANDARD SPREAD FOOTING AND FOUNDATION WALL LINES ARE NOT SHOWN FOR DRAWING CLARITY.



MATERIAL LEGEND
SCALE: 3/32"=1'-0" **3**



SOUTH ELEVATION - BUILDING 3
SCALE: 3/32"=1'-0" **2**



NORTH ELEVATION - BUILDING 3
SCALE: 3/32"=1'-0" **1**

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Project:

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800 Rose Drive
Hartland, WI 53029

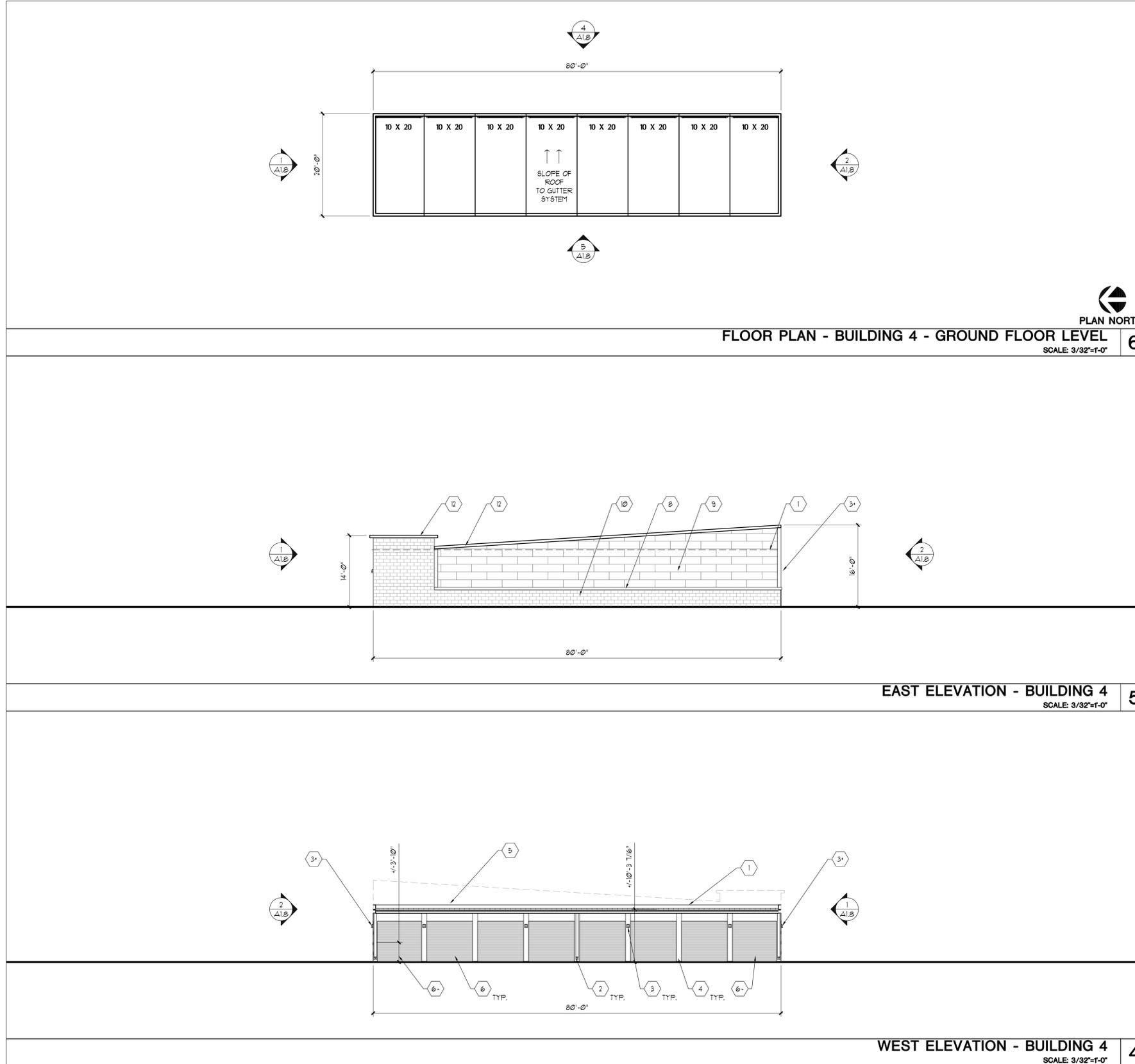
PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
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Drawing Title:
BUILDING 3 FLOOR PLAN & BUILDING ELEVATIONS

Date: 02/27/17
Scale: A.N.
Drawn: WHC
Job: 16-112
Sheet: **A1.7**

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BUILDING MATERIAL KEY LEGEND GENERAL NOTES:
(*) MATERIAL - BEYOND

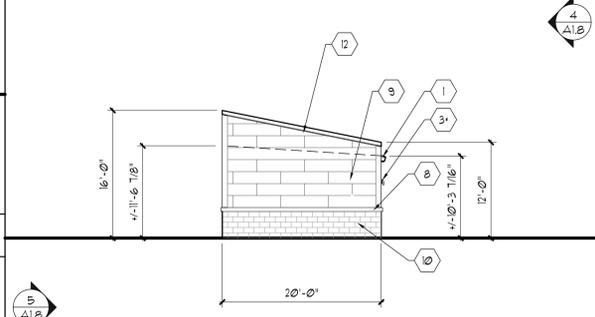
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TYPICAL DOOR NOTES FOR OVERHEAD DOORS LISTED BELOW
COLOR = ASH GREY
DOOR & LOCK HARDWARE AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.)
PROVIDE ADA COMPLIANT HARDWARE PER PLAN LOCATIONS. 8' PREFINISHED METAL WALL PANEL @ HEAD OF DOOR (TYP.) AND TO MATCH TYPICAL METAL WALL PANEL COLOR

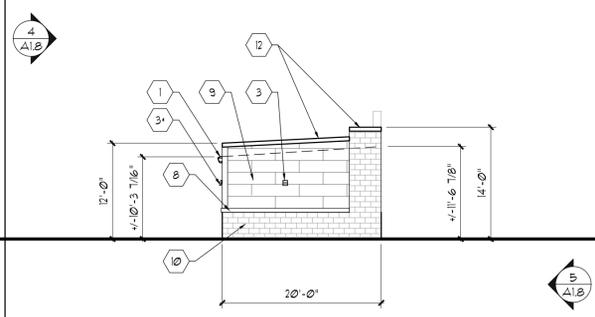
- 6 OVERHEAD COILING DOOR
- 6-1 DOOR SIZE 9'-0" WIDE x 8'-0" TALL
- 6-2 DOOR SIZE 8'-0" WIDE x 8'-0" TALL (TYPICAL ONLY AT CORNER OF BUILDINGS)
- 7 OVERHEAD COILING DOOR. 6' SIZE 12' WIDE x 14'-0" TALL
- 8 OVERHEAD COILING DOOR. 6' SIZE 10' WIDE x 14'-0" TALL
- 8 6" PRECAST CONCRETE SILL
- 9 FIBER CEMENT PANEL (8" HIGH x 72" LONG)
NICHILIA - DESIGNER SERIES - ILLUMINATION
SIMILAR TO MICA M33 GREY(4MM4HLZ) - ALPOLIG MATERIALS
NOTE RUNNING BOND
- 10 FILLED & POLISHED FACE 8X16 MASONRY UNIT.
MANUFACTURER: TRENUYTH INDUSTRIES / OLD CASTLE - (TREADSTONE - PLUS)
JOINT PATTERN: STACK BOND
COLOR: QUICK TRIP BLACK
MORTAR COLOR: MATCH TO CMU
- 11 ALUMINUM FRAME STOREFRONT ENTRY SYSTEM
MANUFACTURER: KAUNER
SYSTEM: STOREFRONT SYSTEM
FRAME COLOR: CLEAR ANODIZED ALUMINUM
FRAME SIZE: 2'x4-1/2"
GLAZING TYPE: 1" LOW-E THERMAL PANE
GLAZING COLOR: CLEAR
GLAZING SET: FORWARD
DOOR TYPE: 500 SERIES
- 12 METAL COPING

GENERAL ELEVATION NOTES
1. ALL ROOFS ARE SHOWN AT 12:12 TO 12:12 SLOPE, UNLESS OTHERWISE NOTED.
2. STANDARD SPREAD FOOTING AND FOUNDATION WALL LINES ARE NOT SHOWN FOR DRAWING CLARITY.

MATERIAL LEGEND
SCALE: 3/32"=1'-0" 3



NORTH ELEVATION - BUILDING 4
SCALE: 3/32"=1'-0" 2



SOUTH ELEVATION - BUILDING 4
SCALE: 3/32"=1'-0" 1

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Project:

Benchmark Secured Storage
800 Rose Drive
Hartland, WI 53029

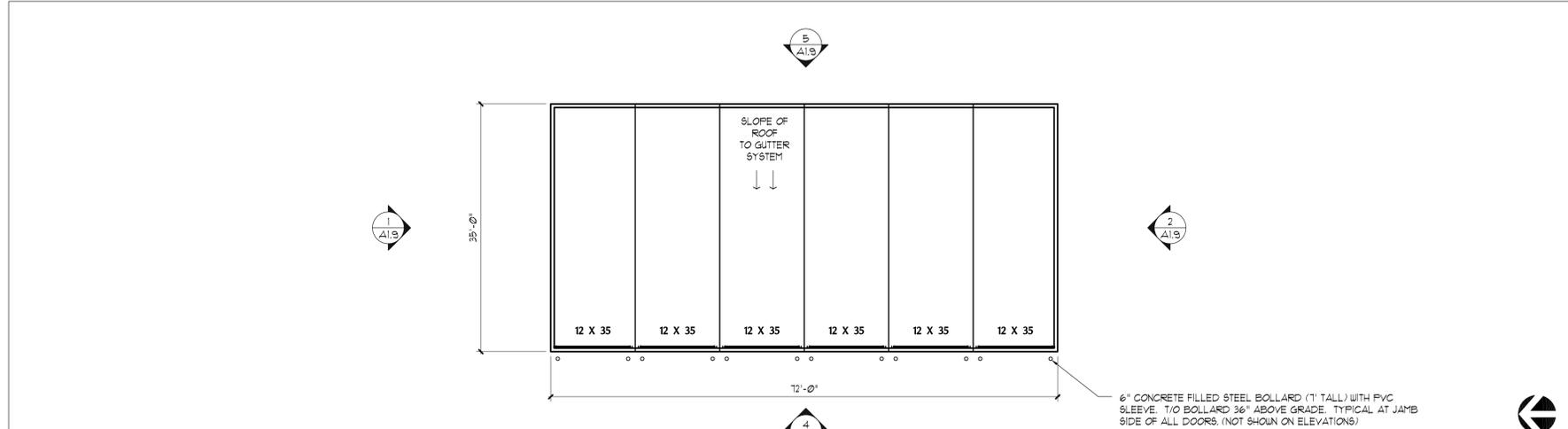
PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1751

Drawing Title:
BUILDING 4 FLOOR PLAN & BUILDING ELEVATIONS

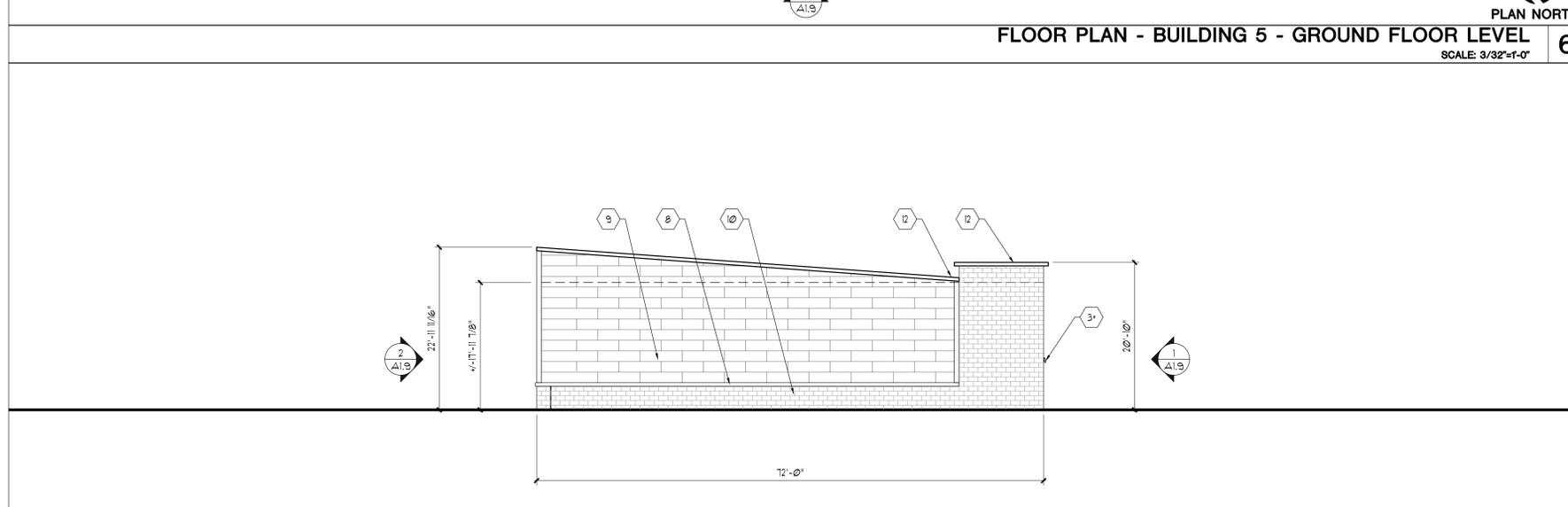
Date: 02/27/17
Scale: A.N.
Drawn: WHC
Job: 16-112
Sheet: A18

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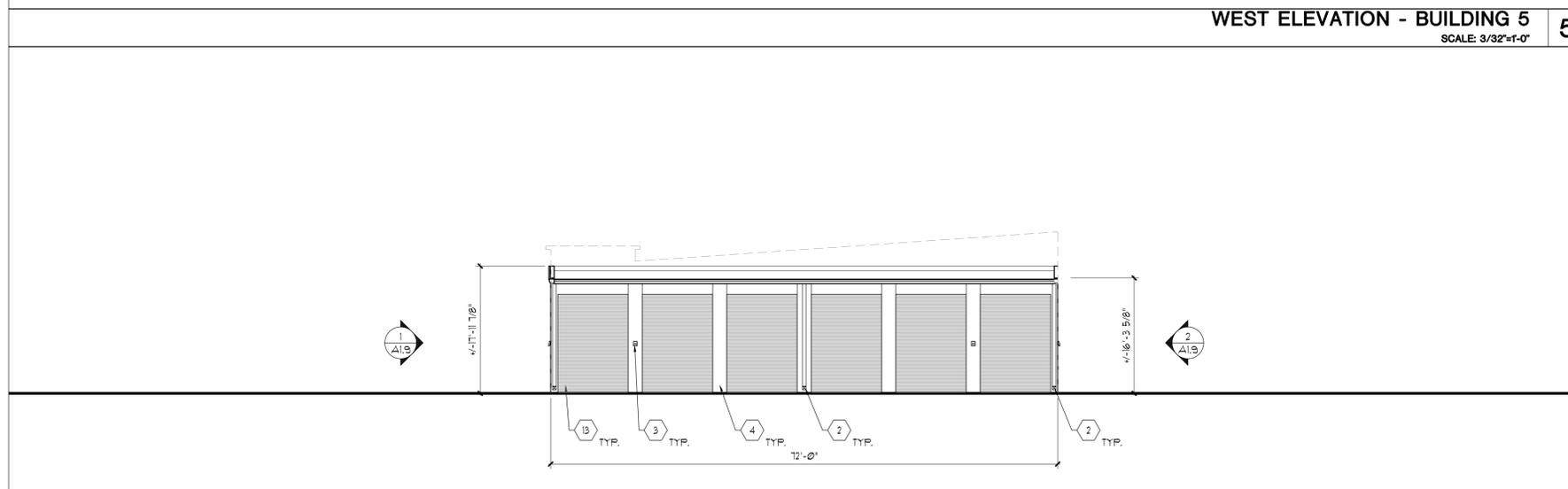
- PRELIMINARY -
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FLOOR PLAN - BUILDING 5 - GROUND FLOOR LEVEL
SCALE: 3/32"=1'-0" **6**



WEST ELEVATION - BUILDING 5
SCALE: 3/32"=1'-0" **5**

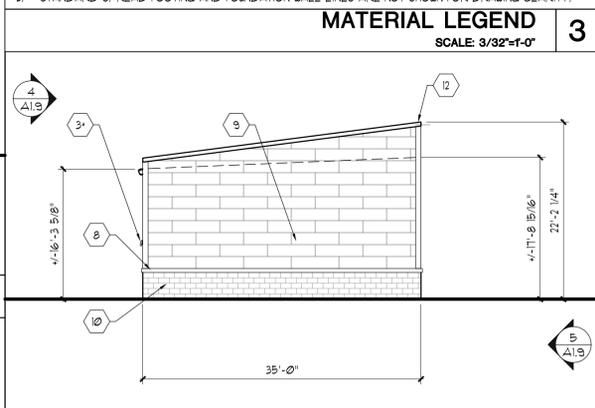


EAST ELEVATION - BUILDING 5
SCALE: 3/32"=1'-0" **4**

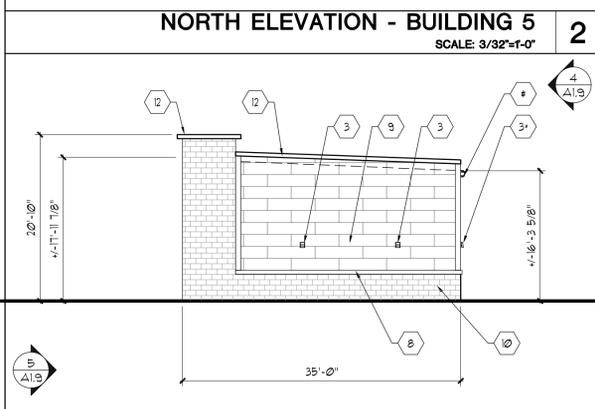


SOUTH ELEVATION - BUILDING 5
SCALE: 3/32"=1'-0" **1**

- BUILDING MATERIAL KEY LEGEND GENERAL NOTES:**
(*) MATERIAL - BEYOND
- 1 PREFINISHED RAKE TRIM AND ASSOCIATED WALL TRIM AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.) COLOR: ASH GREY
 - 2 PREFINISHED METAL GUTTER WITH DOWNSPOUT SYSTEM AS SUPPLIED BY METAL BUILDING MANUFACTURER. COLOR: ASH GREY. NOTE: DOWNSPOUT LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY METAL BUILDING MANUFACTURER.
 - 3 LUMARK XTOR CROSSFOUR LED WALL PACK. THIS IS TYPICAL MOUNTED 1'-0" TO CENTER OF FIXTURE FROM THE RELATIVE FINISH FLOOR ELEVATION THAT IS ASSOCIATED. LOCATION IS FOR GENERAL GRAPHIC REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY ELECTRICAL DESIGNER.
 - 4 PREFINISHED METAL WALL PANEL AS SUPPLIED BY METAL BUILDING MANUFACTURER. COLOR: ASH GREY
 - 5 STANDING SEAM STEEL ROOF PANEL, ALL BY METAL BUILDING SUPPLIER (TYP.). R/T METAL BUILDING COMPONENTS DRAWINGS FOR ALL DETAILS. (TYP.) COLOR: GALVALUME
- TYPICAL DOOR NOTES FOR OVERHEAD DOORS LISTED BELOW**
COLOR = ASH GREY
DOOR # LOCK HARDWARE AS SUPPLIED BY METAL BUILDING MANUFACTURER (TYP.)
PROVIDE ADA COMPLIANT HARDWARE PER PLAN LOCATIONS. 1) PREFINISHED METAL WALL PANEL # HEAD OF DOOR (TYP.) AND TO MATCH TYPICAL METAL WALL PANEL COLOR
- 6 OVERHEAD COILING DOOR
(6-) DOOR SIZE 9'-0" WIDE x 8'-0" TALL
(6-) DOOR SIZE 8'-0" WIDE x 8'-0" TALL (TYPICAL ONLY AT CORNER OF BUILDINGS)
 - 7 OVERHEAD COILING DOOR 9'6" WIDE x 14'-0" TALL
 - 8 OVERHEAD COILING DOOR 9'6" WIDE x 14'-0" TALL
 - 9 6" PRECAST CONCRETE SILL
 - 10 FIBER CEMENT PANEL (8" HIGH x 72" LONG)
NICHIA - DESIGNER SERIES - ILLUMINATION
SIMILAR TO MICA M33 GREY (4MM4HL2) - ALPOLIG MATERIALS
NOTE RUNNING BOND
 - 11 FILLED & POLISHED FACE 8X16 MASONRY UNIT.
MANUFACTURER TRENWYTH INDUSTRIES / OLD CASTLE - (TREADSTONE - PLUS)
JOINT PATTERN STACK BOND
COLOR QUICK TRIP BLACK
MORTAR COLOR MATCH TO CMU
 - 12 ALUMINUM FRAME STOREFRONT ENTRY SYSTEM
MANUFACTURER KAUNER
SYSTEM STOREFRONT SYSTEM
FRAME COLOR CLEAR ANODIZED ALUMINUM
FRAME SIZE 2'x4'-1/2"
GLAZING TYPE 1" LOW-E THERMAL PANE
GLAZING COLOR CLEAR
GLAZING SET FORWARD
DOOR TYPE 500 SERIES
 - 13 METAL COPING
- GENERAL ELEVATION NOTES**
1. ALL ROOFS ARE SHOWN AT 1/2" TO 12" SLOPE, UNLESS OTHERWISE NOTED.
2. STANDARD SPREAD FOOTING AND FOUNDATION WALL LINES ARE NOT SHOWN FOR DRAWING CLARITY.



MATERIAL LEGEND
SCALE: 3/32"=1'-0" **3**



NORTH ELEVATION - BUILDING 5
SCALE: 3/32"=1'-0" **2**

DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT = 24" x 36" SHEET

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Benchmark Secured Storage
800 Rose Drive
Hartland, WI 53029

Drawing Title:
BUILDING 5 FLOOR PLAN & BUILDING ELEVATIONS

Date: 02/27/17
Scale: A.N.
Drawn: WHC
Job: 16-112
Sheet: **A1.9**

THIS BOX IS 1/2" x 1/2"

| REV. # | REV. DATE | DESCRIPTION | REV. BY: |
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BENCHMARK SECURED STORAGE

David Cox

From: Dave Dean
Sent: Wednesday, March 15, 2017 3:48 PM
To: Doug Hafemann
Cc: David Cox
Subject: Re: Key Distances

Doug,

I appreciate all of the time and energy you have spent in bringing a business to the Village. I have reviewed and shared all concept plans with my officer team at the fire department. It created quite a long discussion on accessibility, fire attack, hazards, offensive attack verses a defensive fire attack as well as placement of trucks. It was a great discussion that offered many challenges.

In the end, I am just not comfortable with the access road as revised, running along the East side of the building. Originally I believed it may be a strong alternative, however, in the end it just creates too many risks and challenges for us to adequately protect your investment and the contents of your building.

Let me know if I can help with any additional questions.

Respectfully,

Dave

David Dean
Chief

Hartland Fire Department
150 Lawn Street
Hartland WI 53029
ph. 262-367-6878
fax 262-367-4881

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From: Doug Hafemann <doug_hafemann@yahoo.com>
Sent: Friday, March 3, 2017 17:35
To: Dave Dean
Cc: David Cox
Subject: Key Distances

Chief Dean,

Here is a grading plan with some key distances called out to help with your analysis which should hopefully corroborate with our engineer's analysis. Please let me know if I can assist in any other way. Have a nice weekend. I'll check in early next week.