

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, APRIL 17, 2017
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of March 20, 2017.
2. Plan Commission and Architectural Board review and consideration of site and building plans for construction of a storage garage for Lake Country Lutheran High School, 401 Campus Drive.
3. Architectural Board review and consideration of plans for façade renovations for Lake Country Players, 211 E Capitol Drive.
4. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: April 12, 2017
SUBJECT: Agenda Information – April 17, 2017

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to Lake Country Lutheran Storage Garage.

Background: Lake Country Lutheran High School is proposing to construct a 2400 square foot storage garage on an extension of the asphalt for the drive areas north of the school building. The proposed façade for the garage is intended to match the school building as much as possible and includes the construction of architectural features like dormers. The proposal also includes landscape screening of the building from the street, which is about 400 feet or more away. Staff, in general, has no concerns about the proposal. The Architectural Board may wish to consider whether the dormers should be functional (allowing light into the space) or if they could be aesthetic only. Additionally, the Commission may wish to clarify what utilities are planned for the space and for what purposes. Prior to receipt of permits for the project, staff recommends that the applicant be required to provide a clear grading plan and include the intended route for utilities on the site plan.

Recommendation: Recommend approval of the proposed site and building plan for the storage garage.

Item 3 Related to Lake Country Players.

Background: This item is scheduled for Architectural Board review only because there is no proposed change to the site nor to the operation of the site. Lake Country Players is proposing a renovation of their façade to update the appearance and to eliminate some windows in bathroom or changing room spaces. As staff understands the current proposal, no changes are being made to the operation of spaces within the building.

Recommendation: Approve the proposed façade renovation.

DC:PC Agenda Info 4-17

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, MARCH 20, 2017
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Ryan Amtmann, David deCourcy-Bower, Tim Hallquist, David Lamerand, James Schneeberger, Randy Swenson and Jack Wenstrom (arrived at 7:26 PM, after first vote).

Others: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Meyer.

Roll Call

1. Motion (Hallquist/Swenson) to approve the Jt. Architectural Board/Plan Commission Minutes of February 20, 2017. Carried (5-0-1). Lamerand abstained.
2. Items related to a request for site and building plans and request for Conditional Use for construction of a secured self-storage facility located at 840 Rose Drive for Benchmark Secured Storage of Hartland LLC.
 - a. **PUBLIC HEARING** for the consideration of a Conditional Use Permit request to construct

No comments were received from the public.

- b. Consideration of site and building plans

Doug Hafemann reviewed the site and building plans that were presented at last month's Plan Commission Meeting. A paved vehicle access wrapping around the east side of the main building and allowing vehicle access to the rear of the property was added to the plan from last month. The intent is to provide the Fire Department access at this location as well as some customer access. However, the Fire Chief has reviewed the design and indicated that the turning radius and width of the pavement would not accommodate a fire truck.

Most of the outstanding items have been addressed. Ryan Amtmann brought forth a few comments that need to be addressed.

- The drainage and landscaping along the western property line. The current tree line/scrub line is still being used for landscaping.
- All the roof drainage is coming off the northwest part of the building, down a pipe into the swale.

The applicant addressed the western property line. There is a lot of buckthorn and scrub vegetation on part of the border. The two residential lots that border the west have quite a few mature trees and the back 30 feet of their lots are left un-mowed and act as a natural buffer. At the existing infiltration basin, there is a tree line and a few trees that wrap around. Some trees have fallen into the basin. The applicant will be cleaning that up as well as getting rid of any

buckthorn on the property. Along the west side, the developer is only grading on one side of the existing channel to make the building pad. All of the trees and natural area will still be there. Once the scrub vegetation is cleared, if there are any gaps, arbor vitae will be planted to fill in.

There are some existing drainage channels already on the property that the applicant will be modifying and making sure the drainage doesn't affect neighboring properties. The water goes into the infiltration basin and the applicant does not see any areas of past overflow or erosion. Infiltration testing does not show any problems, even with a 100 year storm.

Ryan Amtmann was not certain that the water from the roof draining into the swale, then going into the channel to the culvert to the north, would be sufficient. He would like to go out with Scott Hussinger to inspect it in person. It was suggested that the roof drainage be directed to the east, if possible.

If the onus is on the private property owners for screening in that section, perhaps the applicant should check with the those owners to see if they suggest any additional screening or fencing. There is no lighting on the west side and rear of the building.

Mr. Hafemann stated that originally he was under the impression that the drive on the east side of the building was adequate for fire truck access. However, after further investigation by the Fire Chief, it was determined that the drive was not adequate for fire equipment to service the building. What is left is utilizing the easement property, which is at an additional cost to the developer – putting in the asphalt, doing the grading, carrying away soil, crushed stone, etc. for access that right now is being provided by the current drive off of Rose Drive. The applicant is providing unlimited access to the easement with swing gates. He wanted clarity as to why he needs to pave the drive.

The access has to be hard surface, but that could be gravel – an all-weather surface that can be plowed. Mr. Hafemann also raised the question of why he should be required to plow an outlot.

The owners association for the Geason Commerce Center maintains that outlot. They mow it a few times a year. Mr. Hafemann has not contacted the Geason owners association about working with them on maintaining this site. He may do that in the future.

Mr. Wenstrom arrived at the meeting at this point.

Today the gravel access works for what the Village needs in terms of access to the utilities that are there. It is staff's opinion that if there is anything more to protect the investment that Mr. Hafemann is proposing to make, then it would be his responsibility.

The fire department will need to approve the paving on the easement whether it's a hard pack gravel or asphalt, as a condition of approval.

The plan shows a large amount of landscaping on the east side of the property which may be hard to maintain because of plowing during the winter. Perhaps there would be some trade off to not require the extent that is on the plan.

Motion (Swenson/Schneeberger) to recommend to the Village Board approval of site and building plans and request for construction of a secured self-storage facility located at 840 Rose Drive for Benchmark Secured Storage of Hartland LLC, with the following conditions:

- Final site grading and storm water movement plan acceptable to the Village Engineer.
- Screening on the west side – complaints or concerns that may happen in the future about screening to the west may need to be revisited. The extensive landscaping on the east could be pared down in order to add landscaping on the west.
- The Fire Department access needs to be approved by the Village of Hartland Fire Department.

Carried (7-0).

- a. Consideration of a Motion to recommend approval of a Conditional Use Permit

There are no changes.

Motion (Hallquist/deCourcy-Bower) to recommend to the Village Board approval of a Conditional Use Permit for a secured self-storage facility located at 840 Rose Drive for Benchmark Secured Storage of Hartland LLC. Carried (7-0).

3. Architectural Board and Plan Commission review and consideration of site and building plans for construction of an addition to Midwest Composite Technologies, 1050 Walnut Ridge Drive, Ealon, LLC, owner, MSI General, Engineer/Architect.

A version of this project was approved by the Plan Commission and Village Board in September 2016. However, the owners of Midwest Composite have made changes to the site layout and the architectural design of the building that merit review and approval. The new proposal calls for a 48,065 s.f. (previously – 47,240 s.f.) in addition to the existing 60,307 s.f. facility located at 1050 Walnut Ridge Drive in the Bark River Commerce Center. The site is approximately seven acres. The expansion will provide for additional manufacturing space as well as warehousing and shipping/receiving area. While the overall amount of impervious surface changes only minimally (one-tenth of a percentage point increase) the loading dock area moves toward the road and front of the building and the overall height of the building is reduced. Materials and architectural appearance remain the same. No change is proposed to the entry way.

The existing loading docks will stay. The rooftop mechanicals are set back and not visible from the road.

Motion (Swenson/Hallquist) to recommend to the Village Board approval of site and building plans for construction of an addition to Midwest Composite Technologies, 1050

Walnut Ridge Drive, Ealon, LLC, owner, MSI General, Engineer/Architect, contingent upon final engineering approval. Carried (7-0).

4. Plan Commission review and consideration of a concept site plan for a condominium development on the property located at and adjacent to N56 W28628 CTH K (Lisbon Road).

This item returned to the Plan Commission for review of a revised concept plan for 72 condominium units on the 49.4 net acre site north of Highway K east of the Mary Hill subdivision. Based on the Village's Comprehensive Plan, the intended density on this site would be up to 65.87 units (32,670 s.f. per unit). However, if the Commission believes there are enough benefits to the community and appropriate trade-offs can be made, the Zoning Code does allow use of the PUD process to potentially increase density by up to 10%. Transfer of the density from the environmental area to the developed area will require granting of a Conditional Use Permit. Village and County staffs agree that the entrance should not connect with the County highway on a curve and should be moved farther east to the straight section. Additionally, it is likely that the final plans will call for the temporary road to be built off of Winkleman Road to the east rather than off of CTH K to the south as shown. The Winkleman connection is a safer location.

An official objection to the proposed development has been received from the owners of the 38-acre parcel to the north of the subject property.

Matt Neumann reviewed the changes in the concept plan from the last meeting. They had 83 condo units, but the revised concept is 72 units. They increased the number of single family condos and decreased the number of duplex condos. The most discussed item from last month was access (related construction traffic and build out traffic flow). The feedback from last meeting was the road connectivity to Southern Oak Drive, whether there should be public or private roads, the overall density of the site and what the Comprehensive Master Plan will allow as well as what the zoning will allow with a Planned Unit Development.

A few more pods/clusters have been created on the new plan. The single family pods will be at the north and northeast part of the property as well as along the wooded area.

The residents of Mary Hill are strongly opposed to the road being connected. The applicant is willing to do whatever the Village would like, but on the other hand he does understand the residents' perspective on that. If it is fine with the Village, he would not make that road connection, which has multiple challenges. There is a 33 foot wide private driveway in between Mary Hill and this property. The residents' number one concern is safety from construction vehicles and other vehicles taking a short cut through the area. The main entrance to the development will be a landscaped boulevard, which will connect to a large loop road. A planned paved trail to connect to Mary Hill subdivision, would require crossing a driveway that is private property. If necessary the trail could come down south and go along CTH K through the right of way and go back north on the other side. That would require the County's input because it is in their right of way.

Also discussed last month was emergency access at the connection path, which would also require crossing the private driveway. The applicant has not yet met with the private property owner. Knock down ballasts would be used for the emergency access, the same as they have been used in other areas in the Village. The emergency access may not be needed because of the boulevard style main entrance and exit. Mr. Neumann proposes internal private roads for the development.

The question of what the developer will do until the county highway extension is built was asked. Mr. Neumann has not talked to the County yet. A Village approved conceptual plan is needed before taking the plan to the County.

Dave Lamerand stated that issue number 1 is that we need to re-adjust our thinking on the number. We have to look at the zoning and the Land Use Plan. The Land Use Plan calls for single family homes up to 65 sites. If the Plan Commission deems the concept of condominiums is acceptable and the number is acceptable, then we have to change our land use plan and then look into the zoning to see what would apply to this and what would allow for a greater density.

Issue number 2 is the County Highway realignment. It appears that the southern alignment will not happen. The Siepmanns have offered to donate the land for the northern highway realignment. Waukesha County will have to discuss with all the parties the resolution of where the highway will go before we can finalize Mr. Neumann's plan. It might be that the entrance will connect with Winkelman instead of Lisbon. Consideration of the topography of the road, the ingress/egress of other existing parcels that are there and the best and safest way to construct the road will need to be discussed.

The Comprehensive Plan needs to drive the decisions – it is the law of the land. The Plan Commission needs to look at that.

David deCourcy-Bower looked at some of the numbers for density in the Comprehensive Plan for developments with significant environmental areas and what the density is for buildable portions of the property. He suggested 50 units for this parcel. If the 10% is applied for a PUD on top of that, it would be 56 units. This is David deCourcy-Bower's suggestion.

Dave Lamerand stated that it is not how the Village has applied our zoning in our Land Use Plan. He said that we would take the environmental corridor out of the equation. Then it comes down to what is the zoning on the balance 36.25 acres of developable land, which comes to 72.5, but there are deductions from that.

If the plan is acceptable to the Plan Commission, they can conceptually say yes, and when we find out where the County Highway is going to be, they will look at what the acceptable density is going to be.

Mr. Neumann asked if the proposal would need to go through a Comprehensive Plan amendment no matter what. If that is the case and the concept plan is approved, Mr. Neumann has no problem with going through that process. But, he would need clear direction on if this concept plan is acceptable. If he went with the single family homes of 65 units, there is no good-looking way to put 65 homes on this property. The condos

allow cluster type development on a property that has a lot of constraints (the woods, the access, a road that has not been determined, a County Highway challenge on the south, the driveway to the west, a Village well site, and a sewer easement).

If the Plan Commission deems this conceptual project acceptable, the County may possibly start the highway realignment project sooner. If they are not going to start the highway project within the next year, which is unlikely, Mr. Neumann will need to know the location and have the County and Village tell him where the construction traffic and the initial resident traffic would be coming from. The developer wants to build a nicely landscaped entrance/boulevard and would not want to have to move it at a later date.

Once the Village approves this plan on a conceptual basis, then it has to be determined by the County what will be done with the road. Mr. Neumann would like to break ground sometime in 2017, however, realistically it may be spring 2018.

The preliminary layout from the County was done some years ago and that is why this layout is on this concept plan. The Village has talked to the County and the challenge of the entry on the curve is in the passing lanes (by-pass lanes) for left turning traffic into the subdivision and the right turn traffic going into the subdivision. The County agrees with the Village that the entry should be on the straight away. The initial access will come off of Winkelman because it's a long, straight stretch with good sight distances.

Comments from the public:

Mr. Xykis of 605 Southern Oak asked if developing 10 percent over what is zoned is customary for all developments. Mr. Lamerand answered no -- because of the uniqueness of this property, and by taking out the environmental corridor, we are allowing for a Planned Unit Development and a clustering of the homes. Since the roads within will be private, the density can be a little higher. The Plan Commission is allowed to go up 10% in a Planned Unit Development. The law does not say we have to do that.

Carol Jungbluth of the Town of Merton, north of the proposed development, stated that there are two active farm driveways and three resident driveways within 1,300 feet that are trapped by a hill on Winkelman and by what is proposed to be a blind curve. She has slow, large farm machinery traveling on the highway where it is proposed CTH K will intersect with Winkleman Road. It is hard for them to get on the road with their farm equipment now. Traffic on this stretch of the road moves so fast and there is not time to move slow machinery. It's a safety factor that puts her family in danger. The County needs to address this.

Chairperson Lamerand agreed with Ms. Jungbluth regarding the County needing to look at the situation and needing to figure out what they need to do to protect the people involved, including the farm and private driveways. We need to get the answers from the County.

Motion (Swenson/Schneeberger) to approve the conceptual design for a site plan for a condominium development on the property located at and adjacent to N56 W28628 CTH K (Lisbon Road) with a recommendation that it will be contingent upon the

Waukesha County input on the finalization of Jungbluth Road. (6-1). deCourcy-Bower voted no.

The amendment of the Comprehensive Plan will run simultaneously while working with the County on the Road.

The developer needs to have a conversation with the private property owner regarding crossing under his driveway for sewer connection and the emergency access/trail to Mary Hill.

Mark Leslie of 578 Southern Oak, received clarification on the County needing to decide on the timeline and configuration of the road extension.

The property still needs to be annexed from the Town of Merton to the Village of Hartland. If there is a change in the Comprehensive Plan, there would be a Plan Commission meeting, a Public Hearing and a Village Board meeting that would be in the process. Annexation will also need public hearing.

Mr. Neumann asked if the Comp Plan allows for a condominium project if they meet the density. If they stay within the tolerances of the maximum thresholds, is there way to do a condominium development within the current Comp Plan? Or will they have to do an amendment no matter what?

The Village and the Village Attorney will look into that for the answer.

5. Adjourn

Motion (Wenstrom/Schneeberger) to adjourn. Carried (7-0). Meeting adjourned at 8:25 PM.

Respectfully submitted by
Recording Secretary,

Lynn Meyer
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address LAKE COUNTRY LUTHERAN HIGH SCHOOL 401 CAMPUS DRIVE HARTLAND, WI 53029			
Lot	Block	Subdivision	Key No. HAV
Owner THE LUTHERAN HIGH SCHOOL ASSOC.		EMAIL JRADEWALW@LHSAGM.ORG	Phone 414-870-8505
Address 10427 WEST LINCOLN AVE.		City WEST ALLIS	State WI Zip 53227
Contractor		Phone	FAX
Address		City	State Zip
		EMAIL	

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is on the SECOND MONDAY of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 3/27/17 Date of Meeting: 4/17/17 Item No. _____



THE LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILWAUKEE

10427 WEST LINCOLN AVENUE | SUITE 1300 | WEST ALLIS, WI 53227

March 27, 2017

Architectural Board/Plan Commission,

Lake Country Lutheran High School is experiencing growth in its enrollment and has done some nice improvements in its athletic facilities.

We have quite a lot of equipment to properly maintain our buildings and grounds and athletic fields. All this equipment is currently stored in the building. We are out of room in the building and need to add some storage space.

The storage building, we are asking for approval to build, will allow us to move most of the grounds equipment out of the building along with the pallets of supplies to maintain our fields and grounds.

We have some vehicles for athletic transportation and maintenance that we would like to have in a garage.

We will also be able to store some of the larger athletic equipment inside this building instead of leaving it out in the weather all year. We will also be purchasing more athletic equipment to properly support our athletic programs, and this will need to be stored inside as well.

I appreciate your consideration of this additional storage facility.

Thank you,

John Radewahn

Director of Facilities

The Lutheran High School Association



EXISTING SITE VIEW LOOKING WEST



EXISTING SITE VIEW LOOKING NORTH



EXISTING SITE VIEW LOOKING WEST FROM PARKING

SHEET INDEX

- T001 TITLE SHEET
- AS101 ENLARGED SITE PLAN
- A101 PROPOSED FLOOR PLAN
- A201 EXTERIOR ELEVATION
- A202 EXTERIOR ELEVATIONS
- A203 EXTERIOR ELEVATION
- A301 BUILDING SECTIONS



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NEW STORAGE GARAGE FOR:
LAKE COUNTRY LUTHERAN HIGH SCHOOL

401 Campus Dr. Hartland, WI 53029

TITLE SHEET
VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
PROJ. NO:	16.016.02
DRAWN BY:	PAS
SHEET:	

T001



1 SITE LOCATION PLAN
 AS100 1" = 300'-0"



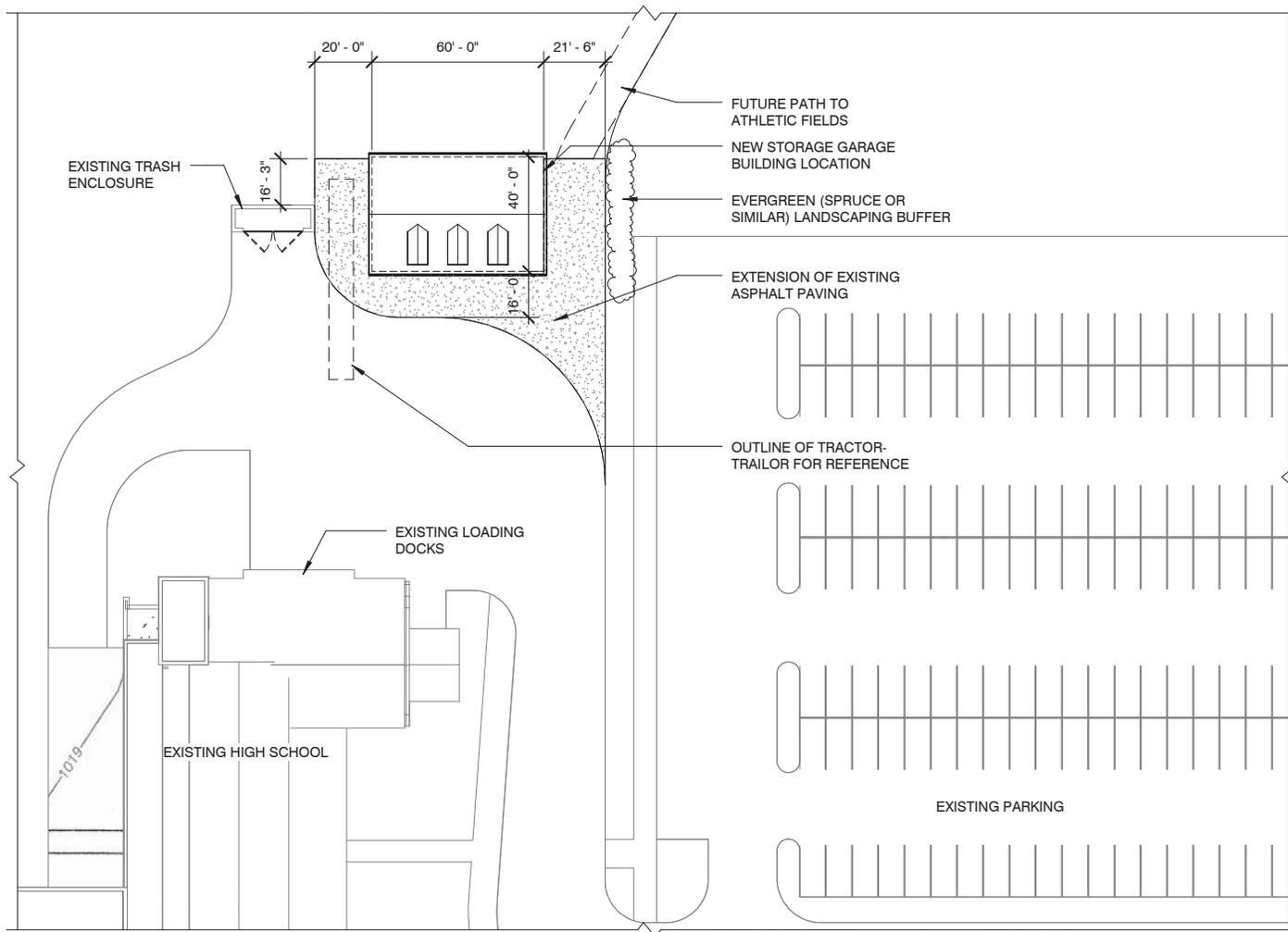
NEW STORAGE GARAGE FOR:
LAKE COUNTRY LUTHERAN HIGH SCHOOL

401 Campus Dr. Hartland, WI 53029

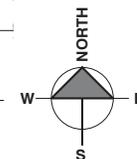
SITE LOCATION PLAN
 VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
PROJ. NO:	16.016.02
DRAWN BY:	PAS
SHEET:	

AS100



1 ENLARGED SITE PLAN - GARAGE
 AS101 1" = 40'-0"



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401 Campus Dr. Hartland, WI 53029

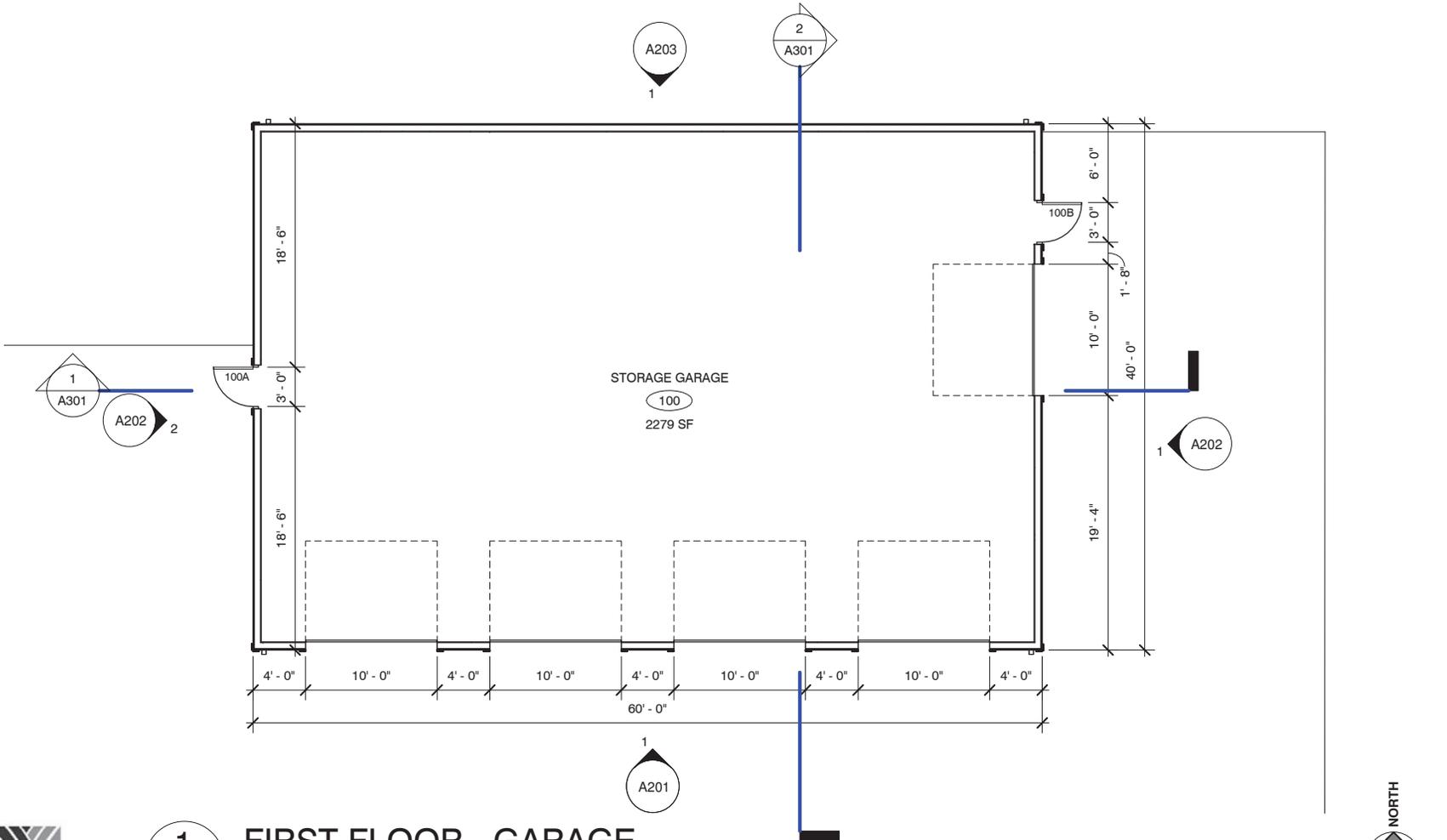
ENLARGED SITE PLAN
 VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
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AS101

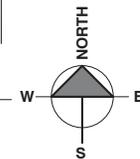


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FIRST FLOOR - GARAGE

1/8" = 1'-0"



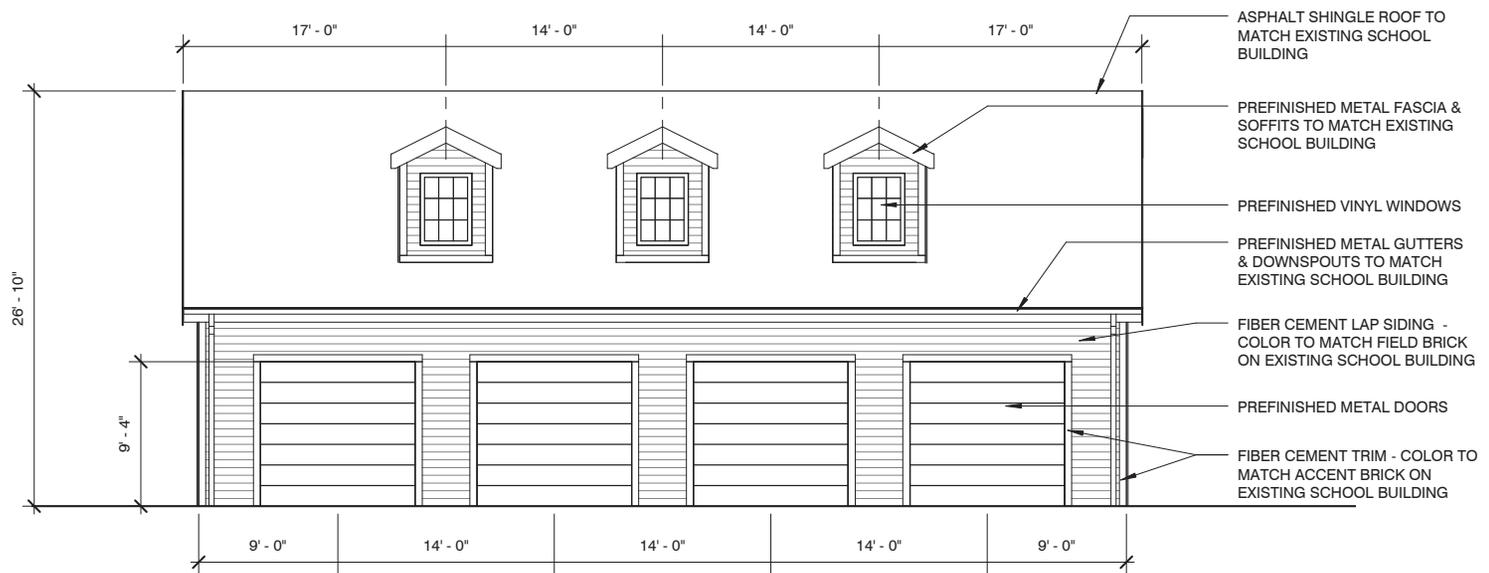
PROPOSED FLOOR PLAN
VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
PROJ. NO:	16.016.02
DRAWN BY:	PAS
SHEET:	

A101

NEW STORAGE GARAGE FOR:
LAKE COUNTRY LUTHERAN HIGH SCHOOL

401 Campus Dr. Hartland, WI 53029



SOUTH GARAGE ELEVATION

1/8" = 1'-0"



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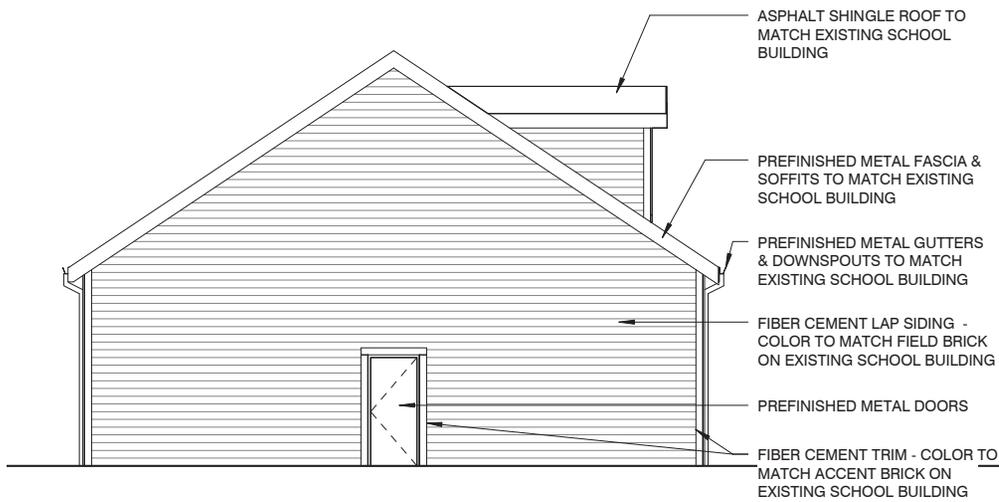
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401 Campus Dr. Hartland, WI 53029

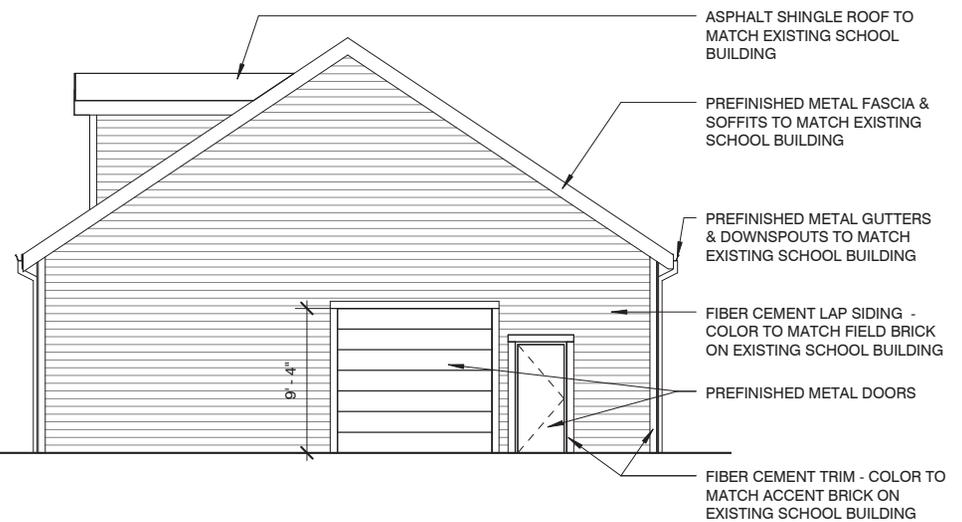
EXTERIOR ELEVATION
VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
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DRAWN BY:	PAS
SHEET:	

A201



2 WEST GARAGE ELEVATION
 A101 | A202
 1/8" = 1'-0"



1 EAST GARAGE ELEVATION
 A101 | A202
 1/8" = 1'-0"



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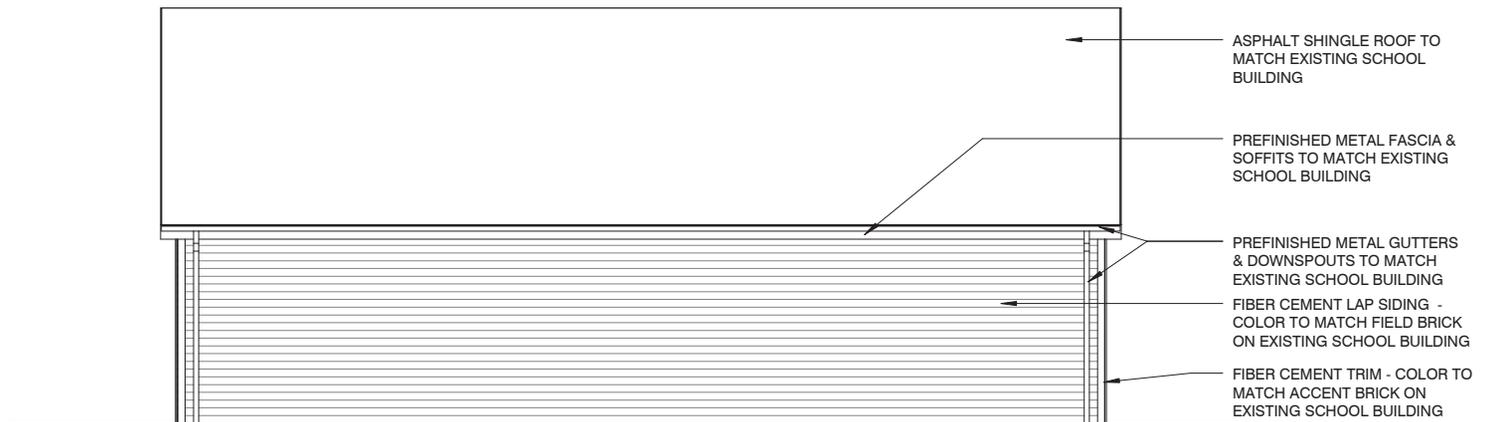
NEW STORAGE GARAGE FOR:
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401 Campus Dr. Hartland, WI 53029

EXTERIOR ELEVATIONS
 VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
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SHEET:	

A202



NORTH GARAGE ELEVATION

1/8" = 1'-0"



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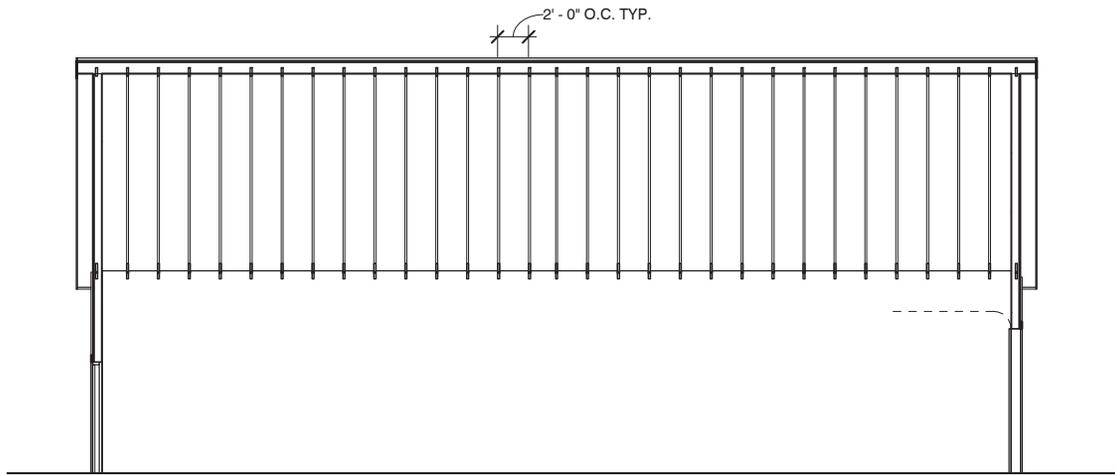
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LAKE COUNTRY LUTHERAN HIGH SCHOOL

401 Campus Dr. Hartland, WI 53029

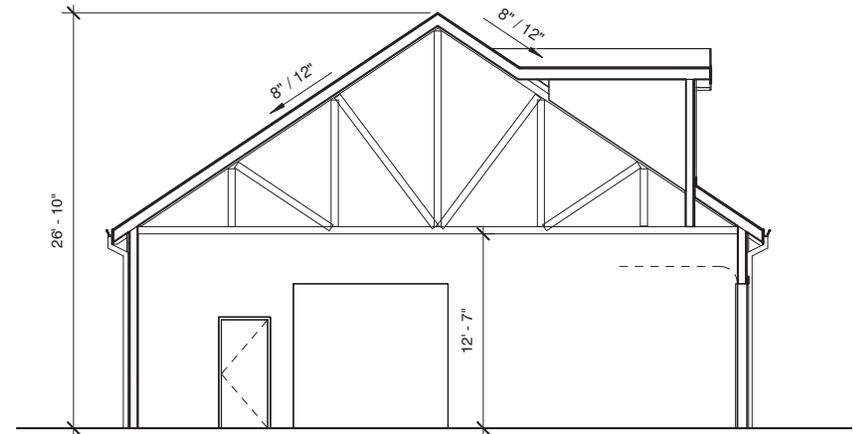
EXTERIOR ELEVATION
VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
PROJ. NO:	16.016.02
DRAWN BY:	PAS
SHEET:	

A203



1 LONGITUDINAL SECTION
 A101 A301
 1/8" = 1'-0"



2 TRANSVERSE SECTION
 A101 A301
 1/8" = 1'-0"



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 INFO@GROTH-ARCHITECTS.COM
 WWW.GROTH-ARCHITECTS.COM

NEW STORAGE GARAGE FOR:
LAKE COUNTRY LUTHERAN HIGH SCHOOL

401 Campus Dr. Hartland, WI 53029

BUILDING SECTIONS
 VILLAGE REVIEW DRAWINGS

DATE:	03.27.2017
PROJ. NO:	16.016.02
DRAWN BY:	PAS
SHEET:	

A301

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 221 E CAPITOL DRIVE, HARTLAND, WI 53029			
Lot	Block	Subdivision	Key No. HAV
Owner Lake Country Players SOIC of		EMAIL HURD.ROBERT@BASCO.COM	Phone 414-988-9406
Address 221 E Capitol Drive		City Hartland	State WI Zip 53029
Contractor MSI GENERAL		Phone 267-366 FAX	EMAIL
Address P.O. BOX 7		City OLONOMOC	State WI Zip 57066

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is THREE WEEKS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: MARCH 27, 2017 Date of Meeting: APRIL 17, 2017 Item No. _____

Project Name

Lake Country Playhouse

Project Address

221 East Capitol Drive

Hartland, WI 53029



Architects Seal

Engineers Seal

60
YEARS
OF
DESIGN
EXCELLENCE

SHEET INDEX

NO.	DESCRIPTION	ISSUED FOR																										
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C-001	EXISTING SITE PLAN																											
C-002	PRE-DEVELOPMENT SWAMP																											
C-100	DEMO SITE PLAN																											
C-101	SITE PLAN																											
C-102	GRADING PLAN																											
C-103	EROSION CONTROL PLAN																											
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C-106	SITE LIGHTING PLAN																											
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A-001	DEMO FLOOR PLANS																											
A-101	LOWER LEVEL FLOOR PLAN																											
A-102	MAIN FLOOR PLAN																											
A-102.2	MAIN FLOOR CEILING PLAN																											
A-102.3	MAIN FLOOR FINISH PLAN																											
A-103	UPPER FLOOR PLAN																											
A-201	EXTERIOR ELEVATIONS																											
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A-601	DOOR & ROOM FINISH SCHEDULE																											



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
PHONE: 262-567-5661
FAX: 262-567-7390

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

ISSUED FOR	
1	BID SET 2/10/2017
2	PLAN COMMISSION 3/27/2017
3	
4	
5	
REVISIONS:	
1	
2	
3	
4	
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6	
7	
8	



PROJECT ADDRESS:

PROJECT NAME
Lake Country Playhouse
STREET ADDRESS
221 East Capitol Drive
CITY/STATE/ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 3/27/2017 Drawn By: JRM/RRS
Sheet Title:
COVER SHEET
Sheet Number:
G-001
Project Number:
P11452

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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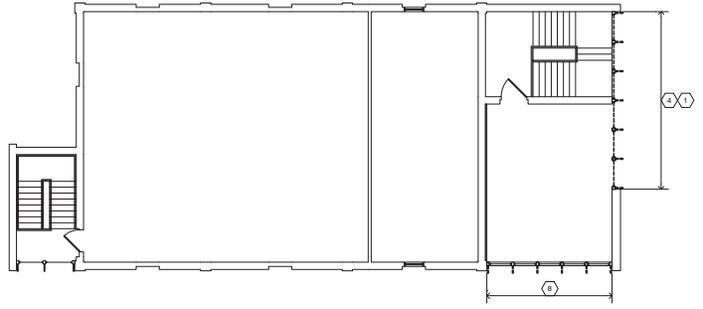


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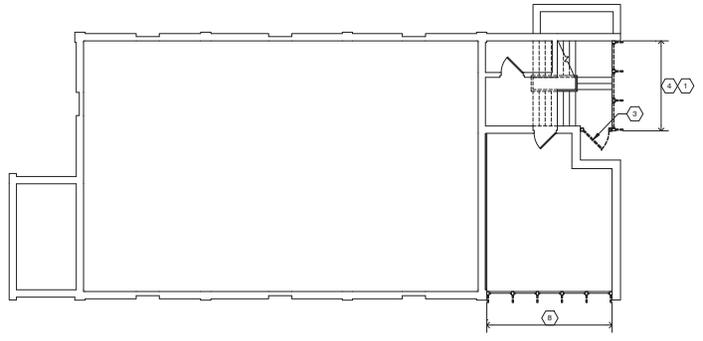
PROJECT NAME
 Lake Country Playhouse
 STREET ADDRESS
 221 East Capitol Drive
 CITY/STATE/ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

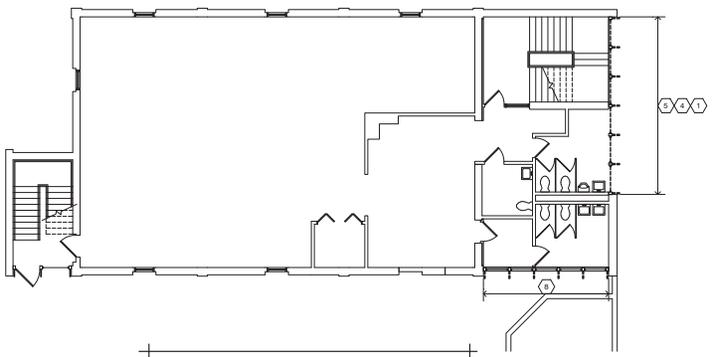
Date: 3/27/2017 Drawn By: JRM/RRS
 Sheet Title:
DEMO PLANS
 Sheet Number:
A-001
 Project Number:
P11452



UPPER FLOOR DEMO PLAN



LOWER FLOOR DEMO PLAN



MAIN FLOOR DEMO PLAN

DEMOLITION NOTES

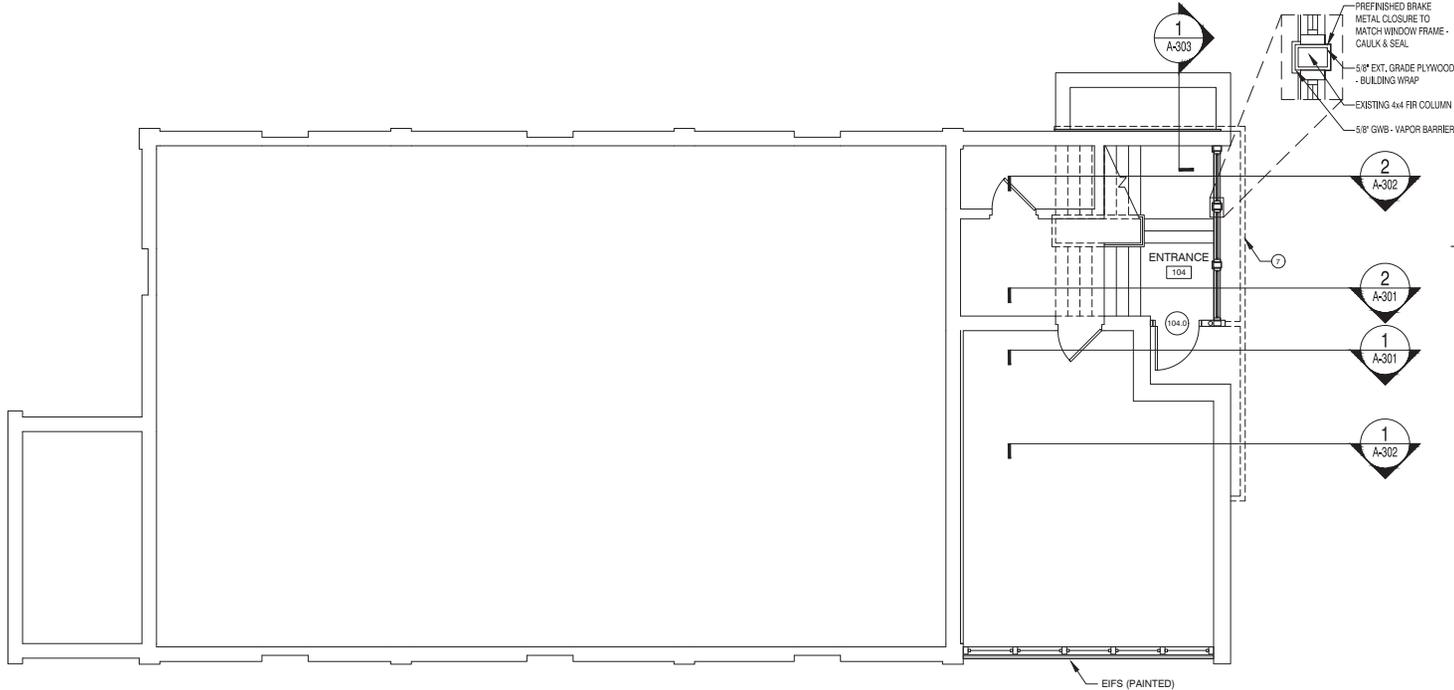
- 1 REMOVE EXISTING INTERIOR LATH/PLASTER, EXTERIOR SHEATHING, FELT PAPER & WOOD LOUVERS
- 2 REMOVE EXISTING WALL
- 3 REMOVE EXISTING DOOR & FRAME
- 4 REMOVE EXISTING WINDOW(S)
- 5 4x4 POSTS TO REMAIN
- 6 RELOCATE CONDENSER
- 7 RELOCATE ELECTRICAL SERVICE
- 8 REMOVE EXISTING WOOD LOUVERS ONLY

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



- PLAN KEYNOTES**
- 1 NEW CONCRETE WALK AND STAIRS
 - 2 NEW METAL HANDRAIL PER ADA REQUIREMENTS
 - 3 NEW RETAINING WALL - MATERIALS TO MATCH EXISTING
 - 4 OMITTED
 - 5 SLOPED PRECAST CAP
 - 6 ROOF SLOPED TO SCUPPER AND/OR DOWNSPOUT
 - 7 EDGE OF CANOPY ABOVE
 - 8 EXISTING WINDOW OPENING EDGE
 - 9 ACCESSIBLE PARKING STALL SIZING WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLIANT WITH ICC/ANSI Section 703.6.3.1

- WALL TYPES**
- WT1 1/2" METAL STUDS, 1/2" BLANKET INSULATION, 5/8" GYP.BD. FULL HT. ONE SIDE, 5/8" PLYWOOD FULL HT. ON EXTERIOR SIDE.
 - WT2 EXISTING MASONRY WALL
 - WT3 3/8" METAL STUDS SET 2" FROM EXISTING WALL, 3/8" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
 - WT3 3/8" METAL STUDS, 3/8" BLANKET INSULATION, 3/8" PLYWOOD EXTERIOR SIDE, 5/8" BLANKET INSULATION, 1/2" METAL STUDS, 5/8" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
 - WT4 3/8" METAL STUDS FROM FLOOR TO ROOF DECK SLIP JOINT AT ROOF DECK, 3/8" BLANKET INSULATION, 3/8" GYP.BD. FULL HT. BOTH SIDES
 - WT5 EXISTING MASONRY WALL
 - WT5 1 1/2" METAL FURRING CHANNELS ON EXISTING WALL, 3/8" PLYWOOD, WEATHER BARRIER AS REQ'D.
 - WT6 5/8" GYP.BD. FULL HT., 5/8" PLYWOOD 3 1/2" BLANKET INSULATION, VAPOR BARRIER
- GENERAL WALL TYPE NOTES:**
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes	Division 10- Misc
01.01 PRECAST CONCRETE 01.02 PRECAST CONCRETE 01.03 PRECAST CONCRETE 01.04 PRECAST CONCRETE 01.05 PRECAST CONCRETE 01.06 PRECAST CONCRETE 01.07 PRECAST CONCRETE 01.08 PRECAST CONCRETE 01.09 PRECAST CONCRETE 01.10 PRECAST CONCRETE 01.11 PRECAST CONCRETE 01.12 PRECAST CONCRETE 01.13 PRECAST CONCRETE 01.14 PRECAST CONCRETE 01.15 PRECAST CONCRETE 01.16 PRECAST CONCRETE 01.17 PRECAST CONCRETE 01.18 PRECAST CONCRETE 01.19 PRECAST CONCRETE 01.20 PRECAST CONCRETE 01.21 PRECAST CONCRETE 01.22 PRECAST CONCRETE 01.23 PRECAST CONCRETE 01.24 PRECAST CONCRETE 01.25 PRECAST CONCRETE 01.26 PRECAST CONCRETE 01.27 PRECAST CONCRETE 01.28 PRECAST CONCRETE 01.29 PRECAST CONCRETE 01.30 PRECAST CONCRETE 01.31 PRECAST CONCRETE 01.32 PRECAST CONCRETE 01.33 PRECAST CONCRETE 01.34 PRECAST CONCRETE 01.35 PRECAST CONCRETE 01.36 PRECAST CONCRETE 01.37 PRECAST CONCRETE 01.38 PRECAST CONCRETE 01.39 PRECAST CONCRETE 01.40 PRECAST CONCRETE 01.41 PRECAST CONCRETE 01.42 PRECAST CONCRETE 01.43 PRECAST CONCRETE 01.44 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09.85 FINISHES 09.86 FINISHES 09.87 FINISHES 09.88 FINISHES 09.89 FINISHES 09.90 FINISHES 09.91 FINISHES 09.92 FINISHES 09.93 FINISHES 09.94 FINISHES 09.95 FINISHES 09.96 FINISHES 09.97 FINISHES 09.98 FINISHES 09.99 FINISHES 10.00 FINISHES	

LOWER FLOOR PLAN 1/4" = 1'-0"



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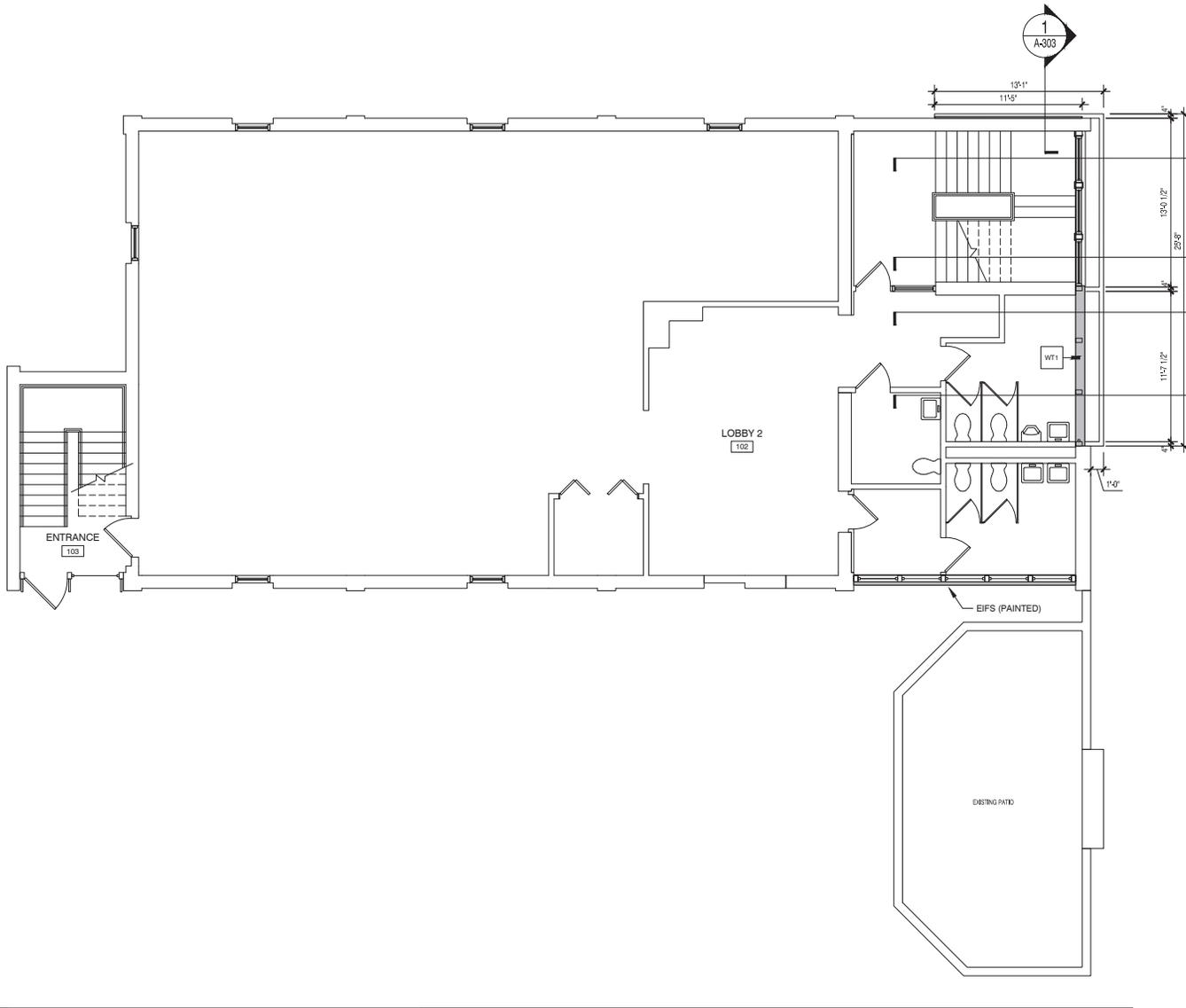


PROJECT ADDRESS:
 PROJECT NAME
 Lake Country Playhouse
 STREET ADDRESS
 221 East Capitol Drive
 CITY, STATE, ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSJ GENERAL MASTER SPECIFICATION.

Date: 3/27/2017 Drawn By: JRM/RRS
 Sheet Title: LOWER FLOOR PLAN
 Sheet Number: A-101
 Project Number: P11452

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



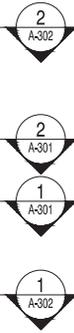
CODED NOTES

- ① NEW CONCRETE WALK AND STAIRS
- ② NEW METAL HANDRAIL PER ADA REQUIREMENTS
- ③ NEW RETAINING WALL - MATERIALS TO MATCH EXISTING
- ④ OMITTED
- ⑤ SLOPED PRECAST CAP
- ⑥ ROOF SLOPED TO SCUPPER AND/OR DOWNSPOUT
- ⑦ EDGE OF CANOPY ABOVE
- ⑧ EXISTING WINDOW OPENING EDGE
- ⑨ ACCESSIBLE PARKING STALL SIGNAGE WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLIANT WITH ICC/ANSI Section 703.6.3.1

WALL TYPES

- WT1 2x4 WOOD STUD INFILL FRAMING BETWEEN EXISTING FRAMING. 1/2" OSB, WEATHER BARRIER, SIDING, R-19 BLANKET INSULATION, VAPOR BARRIER, 5/8" GYP.BD. FULL HT.
- WT2 3" METAL STUDS SET 3" FROM EXISTING WALL. 3" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
- WT3 3" METAL STUDS, 3" BLANKET INSULATION, 1/2" PLYWOOD EXTERIOR SIDE, 3" BLANKET INSULATION, 6" METAL STUDS, 3" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
- WT4 3" METAL STUDS FROM FLOOR TO ROOF DECK (S/LP JOINT AT ROOF DECK) 3" BLANKET INSULATION, 5/8" GYP.BD. FULL HT. BOTH SIDES
- WT5 EXISTING MASONRY WALL
- WT6 3" METAL FURRING CHANNELS ON EXISTING WALL, 1/2" PLYWOOD, WEATHER BARRIER AS REQD
- WT7 EXISTING WOOD STUD WALL TO REMAIN. PROVIDE ADDITIONAL FRAMING AS REQD.
- WT8 5/8" GYP.BD. FULL HT., 5/8" PLYWOOD, 3 1/2" BLANKET INSULATION, VAPOR BARRIER

GENERAL WALL TYPE NOTES:
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



MAIN FLOOR PLAN

1/4" = 1'-0"



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PROJECT ADDRESS:
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 Lake Country Playhouse
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 221 East Capitol Drive
 CITY/STATE/ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

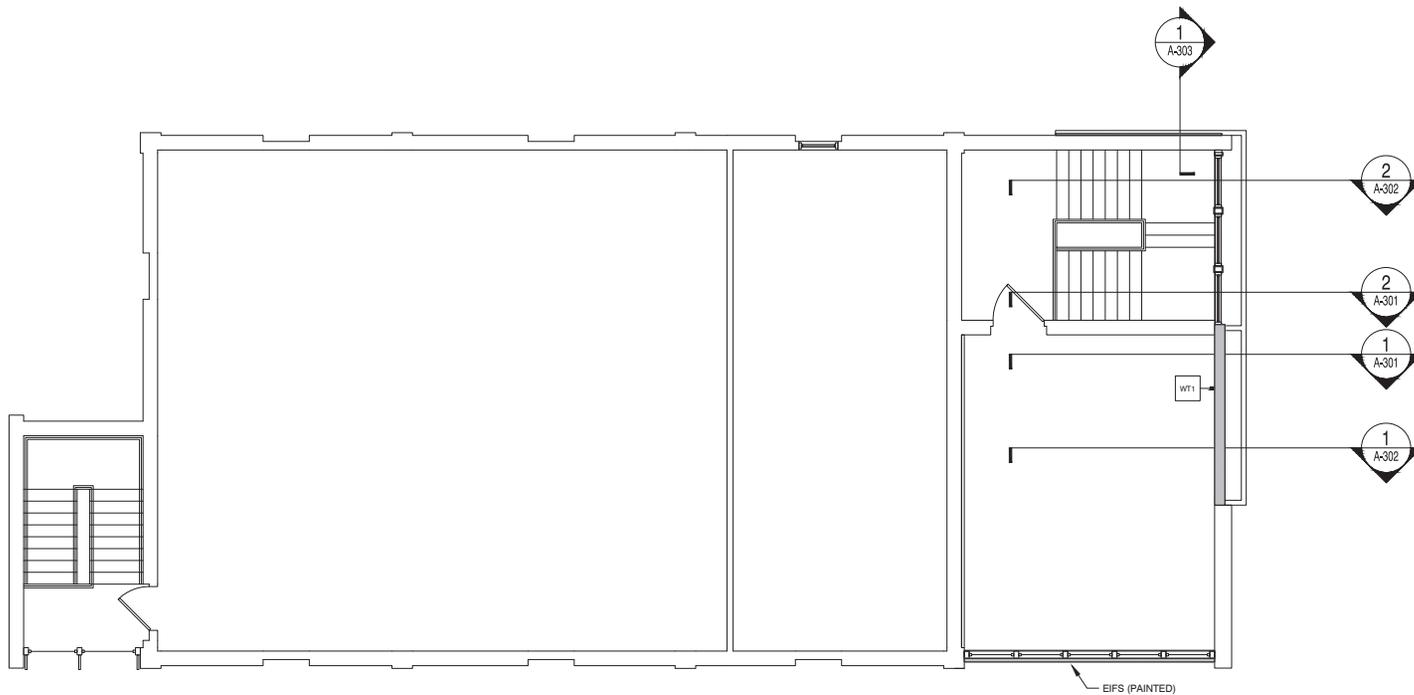
Date: 3/27/2017 Drawn By: JRM/RRS
 Sheet Title: MAIN FLOOR PLAN
 Sheet Number: A-102
 Project Number: P11452

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



1
A-303

2
A-302

2
A-301

1
A-301

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A-302

EIFS (PAINTED)

CODED NOTES

- ① NEW CONCRETE WALK AND STAIRS
- ② NEW METAL HANDRAIL PER ADA REQUIREMENTS
- ③ NEW RETAINING WALL - MATERIALS TO MATCH EXISTING
- ④ OMITTED
- ⑤ SLOPED PRECAST CAP
- ⑥ ROOF SLOPED TO SCUPPER AND/OR DOWNSPOUT
- ⑦ EDGE OF CANOPY ABOVE
- ⑧ EXISTING WINDOW OPENING EDGE
- ⑨ ACCESSIBLE PARKING STALL SIGNAGE WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLIANT WITH ICC/ANSI Section 703.6.3.1

WALL TYPES

- WT1 2x4 WOOD STUD INFILL FRAMING BETWEEN EXISTING FRAMING. 1/2" OSB, WEATHER BARRIER, SIDING, R-19 BLANKET INSULATION, VAPOR BARRIER, 5/8" GYP.BD. FULL HT.
- WT2 3" METAL STUDS SET 2' FROM EXISTING WALL. 3" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
- WT3 3" METAL STUDS, 3" BLANKET INSULATION, 1/2" PLYWOOD EXTERIOR SIDE, 3" BLANKET INSULATION, 6" METAL STUDS, 3" BLANKET INSULATION, 5/8" GYP.BD. FULL HT.
- WT4 3" METAL STUDS FROM FLOOR TO ROOF DECK (SLIP JOINT AT ROOF DECK) 3" BLANKET INSULATION, 7/8" GYP.BD. FULL HT. BOTH SIDES
- WT5 2" METAL FURRING CHANNELS ON EXISTING WALL, 1/2" PLYWOOD, WEATHER BARRIER AS REQ'D
- WT6 5/8" GYP.BD. FULL HT., 5/8" PLYWOOD 3 1/2" BLANKET INSULATION, VAPOR BARRIER

GENERAL WALL TYPE NOTES:
 1. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE
 2. ALL WALLS ARE DRAWN AT NOMINAL WIDTHS ON FLOOR PLANS
 3. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE



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PROJECT ADDRESS:

PROJECT NAME
 Lake Country Playhouse
 STREET ADDRESS
 221 East Capitol Drive
 CITY STATE ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 3/27/2017 Drawn By: JRM/RRS

UPPER FLOOR PLAN
 Sheet Number:
A-103
 Project Number:
P11452

UPPER FLOOR PLAN 1/4" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

EXTERIOR MATERIAL KEY NOTES

- | | | |
|-----------------------------------------------------------------------------------------------|----------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| 1 FRONT SET GRAY TINTED INSULATED GLASS PANEL IN CLEAR ANODIZED THERMAL BREAK ALUMINUM FRAMES | 5 LP SMARTSIDE SIDING W/RUSTIC SERIES by WOODTONE FINISH - COLOR TBD | 10 24 GAGE PREFINISHED (2) PIECE SNAP-ON COPING, "COLORCLAD" OR EQUAL W/ BONDING ADHESIVE |
| 2 FACTORY FINISHED METAL CONTINUOUS CLEAT COPING SYSTEM | 6 COLORED ACRYLIC DIMENSIONAL LETTERED SIGNAGE - WHITE -BY OWNER | 11 PREFINISHED (BLACK) BREAK METAL FASCIA TRIM & CORNER TRIM |
| 3 EIFS | 7 COLORED ACRYLIC DIMENSIONAL LETTERED SIGNAGE - BLACK -BY OWNER | 12 PREFINISHED METAL PANEL (MANUF: MUZA METAL PRODUCTS) |
| 4 EXISTING STONE VENEER TO BE CLEANED AND POINTED AS REQUIRED | 8 EXISTING GUTTER TO BE PAINTED | 13 PAINTED STEEL CHANNEL CANOPY |
| | 9 EXISTING BLOCK WALL TO BE PAINTED | 14 BATHROOM VENT |

ELEVATIONS 3/16" = 1'-0"



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PROJECT ADDRESS:

PROJECT NAME
Lake Country Playhouse
STREET ADDRESS
221 East Capitol Drive
CITY/STATE/ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 3/27/2017 Drawn By: JRM/RRS

EXTERIOR ELEVATIONS

Sheet Number:
A-201
Project Number:
P11452

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



NORTH EAST PERSPECTIVE



NORTH WEST PERSPECTIVE

EXTERIOR PERSPECTIVES



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PROJECT ADDRESS:

PROJECT NAME
 Lake Country Playhouse
 STREET ADDRESS
 221 East Capitol Drive
 CITY STATE ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION.

Date: 3/27/2017 Drawn By: JRM/RRS

EXTERIOR PERSPECTIVES

Sheet Number:
A-202
 Project Number:
P11452

MANAGERS

ENGINEERS

CONTRACTORS

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CAITLIN B SCHWANZ
190 WARREN AVE
HARTLAND WI 53029

CAPITOL MOVE LLC
163 E CAPITOL DR
HARTLAND WI 53029

CONNIE & WARREN HORNBURG JOINT
TRUST
213 WARREN AVE
HARTLAND WI 53029

DONNA M GROSS
SCOTT GROSS ET AL
131 MAPLE AVE
HARTLAND WI 53029

FIRST CONG CHURCH
111 CHURCH ST
HARTLAND WI 53029-1701

GARTH BOWEN II 2001 LIVING TRUST
PO BOX 25
HARTLAND WI 53029

GH HARTLAND LLC
3150 N BROOKFIELD RD
BROOKFIELD WI 53045

HARTLAND RIVERWALK LLC
411 W MAIN ST #106
MADISON WI 53703-3105

HOPKINS SAVINGS & LOAN
C/O US BANK-CORPORATE RE TAX
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LYNN MUENZENBERGER
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DENISE R OEHMCKE
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HARTLAND WI 53029-2110

JAMES WEISKOPF
KATHRYN WEISKOPF
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HARTLAND WI 53029

JOAN DECKER-NOLD
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HARTLAND WI 53029

JONATHAN WOJCIECHOWSKI
JANET WOJCIECHOWSKI
795 GREENWAY TER
HARTLAND WI 53029

KAY A MOEN
121 MAPLE AVE
HARTLAND WI 53029

KEVIN BROWN
SHERRY BROWN
198 WARREN AVE
HARTLAND WI 53029

LAKE COUNTRY PLAYERS INC
221 E CAPITOL DR
HARTLAND WI 53029

MARJORIE PURGETT TRUST
ROBERT J GOETZ
16780 WILD CHERRY DR
BROOKFIELD WI 53005

MARK MANSKE
CHRISTINE MANSKE
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HARTLAND WI 53029

MICHAEL BETKER
JEANNETTE BETKER
137 MAPLE AVE
HARTLAND WI 53029

MICHAEL STOLL
SARAH STOLL
221 LAWN ST
HARTLAND WI 53029

RALPH PIEHL
SARAN PIEHL
203 WARREN AVE
HARTLAND WI 53029

ROBERT F & LINDA J HAMILTON 2010
LIVING TRUST
207 E CAPITOL DR
HARTLAND WI 53029

RUTH R BEHREND 2005 LIVING TRUST
220 E CAPITOL DR
HARTLAND WI 53029-2106

SHERPERS INC
GARY SHERPER ET AL
N49W34291 ROAD P
OKAUCHEE WI 53069

STEPHEN P & CYNTHIA A GARDNER
2010 LIVING TRUST
226 WARREN AVE
HARTLAND WI 53029

TERRY L STELPFLUG
AMY M STELPFLUG
W289N4795 WILD ROSE CT
HARTLAND WI 53029

THOMAS STAWICKI
MARY STAWICKI
225 WARREN AVE
HARTLAND WI 53029

WATERMARKE II LLC
301 E CAPITOL DR
HARTLAND WI 53029