

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA**  
**MONDAY, JUNE 19, 2017**  
**7:00 PM**  
**BOARD ROOM**  
**MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of May 15, 2017.
2. Architectural Board consideration of an application for an addition on the Moede residence, 416 River Grove Lane.
3. Architectural Board consideration of plans for a sign for Theia Vision Care, 213 E. Capitol Drive.
4. Architectural Board consideration of plans a new entry canopy for Capital Equipment and Handling, Inc., 1100 Cottonwood Avenue.
5. Plan Commission and Architectural Board review and consideration of site, landscape and operational plans for Hoggers Pub, 375 Cottonwood Ave.
6. Plan Commission and Architectural Board actions related to a Conditional Use Permit for a proposed wireless installation on the existing Village water tower at Coventry Lane from Verizon Wireless Personal Communication
  - a. Review and consideration of site and building plans to add a second wireless installation with shelter, back-up generator and antennas on existing water tower site.
  - b. Consideration of a motion to set a Public Hearing regarding the issuance of a Conditional Use Permit for the next regular Plan Commission meeting on Monday, July 17 beginning at 7:00pm.
7. Plan Commission and Architectural Board review and consideration of a request to amend the site plan for a warehouse addition for Blue Ribbon Flooring, 475 Cardinal Lane.
8. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: [www.villageofhartland.com](http://www.villageofhartland.com) (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** Architectural Board and Plan Commission  
**FROM:** David E. Cox, Village Administrator   
**DATE:** June 15, 2017  
**SUBJECT:** Agenda Information – June 19, 2017

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to an addition at 416 River Grove Lane.

Background: The Architectural Board may recall this project from its original consideration in March 2016. At that time, the construction was approved, however, in accordance with the Village Code, that approval expired in March 2017 and permits had not been requested. The homeowner now desires to move forward with the construction. As such, the Architectural Board is asked to review the proposed plans again and to consider its approval.

Recommendation: Approve the proposed addition.

Item 3 Related to Theia Vision Care signage.

Background: The Architectural Board is asked to review the signage for this property which has been purchased by an eye doctor who intends to establish her practice at the location. At this point, the building exterior is not proposed for renovations. The sign is proposed to utilize the existing sign standards and to replace the face. The Business Improvement District (BID) reviewed the original sign and indicated its approval conditioned on the language and icons related to the doctor's website and social media be removed. The version being presented to the Architectural Board at this meeting has been revised to reflect those changes.

Recommendation: Approve the proposed sign.

Item 5 Related to Hoggers Pub site, landscaping and operational plans.

Background: As the Plan Commission is aware, Hoggers Pub has opened in the building located at the northwest corner of Cottonwood Avenue and Pawling Avenue. The owners have proposed site plan amendments for landscaping and parking lot paving as well as site, landscaping and operational plan amendments to facilitate outdoor use of the property for consumption and games. The Commission should consider the outdoor uses of the property, their locations and the potential impacts on neighboring properties. For example, it may be appropriate to consider decorative fencing or some other delineation between the Hoggers

property and the adjacent commercial property to the north. Any determination to allow outside consumption of alcohol will be addressed by the Village Board in an amendment to their liquor licenses to specifically determine the areas on which consumption may occur. Further, staff is aware that Hoggers desires to provide barbequed or grilled food items on a regular basis, which would be cooked on outdoor grills and other equipment at the establishment. It would be appropriate for the Plan Commission to understand that use and consider restrictions or requirements on it. While staff is generally not concerned about smoke or aromas impacting residents in the area, we would want to ensure that the preparation and service is safe in light of the fact that no kitchen exists on the site. Staff recommends that the County Health Department be requested to approve the plan and facilities related to the provision of barbequed, grilled or similar food items if it is to occur on any basis other than very infrequently (i.e., special occasions only).

Recommendation: Recommend approval of the site plan, landscaping plan and operational plan with conditions as appropriate.

#### Item 6 Related to additional cellular antennas on the Coventry Water Tower.

Background: Staff has received a request from Verizon Wireless to add new, additional antennas to the water tower near Coventry Lane in the Hartridge subdivision. With the Village Board's permission, staff has been working with them to develop an acceptable plan and the related agreements to facilitate a long term installation. As the Plan Commission may be aware, similar installations already exist on this water tower as well as the Hill Street tower, which site also house a monopole structure for cellular antennas. In accordance with the Village Code, utility related infrastructure is considered a Conditional Use on properties like the Coventry water tower site, which is zoned I-1, Institutional and because this installation is considered an improvement on Village property, the Plan Commission must review it. Under the proposal, Verizon Wireless would like to replace the existing hand rail (about 14 feet in diameter) and painter's rail (about 16 feet) on the tower with new rails at 20 and 22 feet in diameter respectively. This will facilitate the addition of six (6) new antennas and related equipment to the six (6) antennas already on the tower. The new antennas would be serviced by a ground-level equipment housed in a small building adjacent to the existing building on the site. Staff and a consulting engineer will continue to review the material not only for Plan Commission comment but for the final permission to construct after approval. An Agreement related to the use of the site has been developed and will be considered by the Village Board as part of this process. Under the Conditional Use process, the Plan Commission is asked to give preliminary consideration at this meeting and to establish the date of the next Plan Commission meeting (July 17) as the date of the official Public Hearing on the matter. As it has done in the past, the Plan

Commission has the opportunity to consider a recommendation for the Village Board at the same meeting at which the Public Hearing is held. Once the Plan Commission has made its recommendation, the matter will be referred to the Village Board.

Recommendation: Give initial consideration and set the Public Hearing date as recommended.

Item 7 Related to a request from Blue Ribbon Flooring.

Background: In November 2016, the Plan Commission and Village Board approved the site plan and addition for Blue Ribbon Flooring conditioned on paving of the gravel areas on the lot. Any area of gravel not needed would be removed and restored to vegetation. The construction of the addition is underway and the owner is requesting consideration to be allowed to maintain the existing gravel. He cites two concerns; the first is a maintenance concern due to the sharp turning performed on this area due to site limitations and the second relates to perceived infiltration of storm water through the gravel. Based on the Village Code and implementation policies of the Plan Commission, all vehicle areas (parking, drives, loading) have been paved in the industrial/commercial areas of the Village. As properties have been expanded or improved in the upper industrial/commercial area, gravel areas that may have existed in the past have become paved areas. As a result, only one gravel parking/loading area was observed in a recent survey of this park. When the Plan Commission considered the matter in 2016, its recommendation for approval was conditioned on the paving of the gravel area. This condition was reiterated by the Village Board in its approval. One factor the owner points out is the tendency of asphalt to “push” or tear under the significant lateral pressures of hard turning of the trucks. This is a similar pressure experienced at certain locations on public roads due to hard or downhill braking. A common practice to addressing this issue is the use of concrete in strategic locations. If the Commission is inclined to maintain the condition of paving of this area, staff suggests that the owner consider the strategic use of concrete for this purpose.

Recommendation: Consider the request and determine whether the Plan Commission will consider allowing the gravel.

DC:PC Agenda Info 6-19

cc: Ryan Amtmann, Village Engineer  
Mike Einweck, Public Works Director  
Scott Hussinger, Building and Zoning Official

**VILLAGE OF HARTLAND  
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES  
MONDAY, MAY 15, 2017  
7:00 PM  
BOARD ROOM  
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: David deCourcy-Bower, Tim Fenner, Tim Hallquist, Jeffrey Pfannerstill (First meeting as Chairperson), James Schneeberger, Randy Swenson and Jack Wenstrom.

Others Present: Administrator Cox, Building Inspector/Zoning Administrator Hussinger and Deputy Clerk Meyer.

Roll Call

1. Motion (deCourcy-Bower/Hallquist) to approve the Jt. Architectural Board/Plan Commission Minutes of April 17, 2017. Carried (7-0).
2. Architectural Board consideration of plans for a sign for Studio 83 Pilates, 860 Rose Drive.

There has been a change in the principals of the business, causing a change in the signage. The sign will be the same size, same frame and in the same place. It is internally illuminated.

Mr. Schneeberger brought up that this sign is a different size and location as the other signs on this multi-tenant building. It is an existing sign, but the copy is changing. Some of the signs are on the brick, and others are not.

There should be a sign plan for this building, but there has not been one in the past. It was discussed that the Village may want to have tenants change their signs as they apply in the future in order to be consistent with each other. It was discussed that none of the signs are a nuisance or unsightly. However, the Village would prefer consistency.

Mr. Fenner brought up the issue of vested rights. If this sign is existing and the only change is the copy, it's similar to painting it. He suggested that the next time a new tenant comes in and wants to change a sign, that's when you make a sign plan and have them make a change with their new sign. The Plan Commission agreed.

Ideally, when the building was built before the year 2000, there would have been a sign plan created right away. The Village prefers a sign not cover an architectural feature. The Village would desire a plan similar to Hartbrook/Sendik's Mall, where the signs are all at the same height on the building.

There are two entities here, the building owner and the business owner.

Motion (deCourcy-Bower/Swenson) to approve a sign for Studio 83 Pilates, 860 Rose Drive, directing Scott Hussinger to talk to the building owner to let him know that future business signs will be subject to a sign plan. Carried (7-0).

3. Architectural Board consideration of plans for a sign for Hoggers Pub, 375 Cottonwood Ave.

There are two signs for Hoggers. The Business Improvement District has reviewed them. Their comments were to have the owner straighten and paint the standard for the pole sign and use the cut out sign over the door (as opposed to the square sign). In addition, the lighted sign and the sign lights should be turned off when the business is closed.

Motion (Fenner/deCourcy-Bower) to approve a sign for Hoggers Pub, 375 Cottonwood Avenue, contingent upon following the BID's suggestion of painting the pole and using the cutout sign and staff's recommendation of turning the lights off at business close. Carried (7-0).

4. Architectural Board consideration of an application for a sign for TTP Academy & Dance Movement, 352 Cottonwood Ave.

Option 1 is preferred by the Business Improvement District. This sign and the Social Life Dance Studio sign are one over the other. There are three spaces that access through that same door. The upstairs space is a real estate office and the two dance studios are on the street level. JC Bogars has its own door. The Magic Cottage and an empty space are in the south part of the building. The sign conforms to the code.

Motion (deCourcy-Bower/Schneeberger) to approve a sign for TTP Academy & Dance Movement, 352 Cottonwood Avenue, choosing Option 1 that was preferred by the BID. Carried (7-0).

5. Possible discussion and action regarding deferring jurisdiction to the City of Delafield for a farm stand on the west side of STH 83.

For many years, a farm stand has operated on the south side of Cardinal Lane between STH 83 and Campbell Trace on the west side of the highway. In recent years, the City of Delafield has regulated the farm stand under its zoning regulations. Recently, the Planner for the City contacted Administrator Cox to discuss the ongoing regulation of the stand by the City. The stand probably crosses into the Village corporate limits, which extend west of the highway's pavement quite some distance. Staff will notify the City that it can continue to regulate the use in accordance with their zoning code and that Hartland will not interfere unless there are complaints about activity clearly occurring in the Village

The zoning on the City of Delafield side is Agriculture. The zoning on the Village side is on the east side of STH 83 is commercial/industrial. However, the letter to the City will indicate that if there is a complaint, we reserve the right to investigate if that complaint is in the Village. It was mentioned that the produce stand owner comes from Sullivan, WI.

It was suggested if the use is expanded or changed, the Village will want to review that. Mr. Cox will include the conditions in his letter.

No action was taken. This item is for advisory purposes only.

Discussion:

Scott Hussinger asked if the Village would might want to approve the plan of operation because of enforcement. We could do that and jointly oversee it. It depends upon where the truck is parked. If it's parked too far off the road, then he is in the Village. If it's on the shoulder, he is in the City. If we have a bad experience this year, next year we would say he can't come in the Village. There is also a traffic concern for those parking along the road with people pulling out and those coming into the area to park.

6. Adjourn

Motion (deCourcy-Bower/Swenson) to adjourn. Carried (7-0). Meeting adjourned at 7:29 PM.

Respectfully submitted by

Recording Secretary,

Lynn Meyer  
Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 416 River Grove Lane Hartland, WI			
Lot 62	Block	Subdivision Four Winds	Key No. HAV 0391062
Owner Aaron Moede		EMAIL aaron.moede@ge.com	Phone (262) 893-0779
Address 416 River Grove Lane		City Hartland	State WI Zip 53029
Contractor Worgull Builders	Phone (414) 531-7193	FAX	EMAIL info@worgullbuilders.com
Address P.O. Box 408		City Hartland	State WI Zip 53029

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**One & Two Family**

- Three bound sets of construction plans, additionally 1 (one) set must be reduced to a maximum size of 11" x 17". One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Three site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three plat of surveys are required for new dwellings at time building permit is applied for.

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_

AARON JAMES MOEDE  
PEGGY JEAN MOEDE  
416 RIVER GROVE LN  
HARTLAND WI 53029-8565

AARON T KOWAL  
LAURA C KOWAL  
1217 FOUR WINDS WAY  
HARTLAND WI 53029

BRANDON L JACKSON  
SARA JACKSON  
1205 FOUR WINDS WAY  
HARTLAND WI 53029-8561

DAVID F OURY  
DEBORAH E OURY  
1216 FOUR WINDS WAY  
HARTLAND WI 53029

ERIN ENNIS  
TAMMY ENNIS  
422 RIVER GROVE LN  
HARTLAND WI 53029-8565

JEFFREY KALSCHEUR  
LAURA KALSCHEUR  
1221 FOUR WINDS WAY  
HARTLAND WI 53029

LUKE B SZAFRANSKI  
GWENDOLYN SZAFRANSKI  
1206 FOUR WINDS WAY  
HARTLAND WI 53029

MARK G SIEBOLD  
SARA L SIEBOLD  
1220 FOUR WINDS WAY  
HARTLAND WI 53029-8561

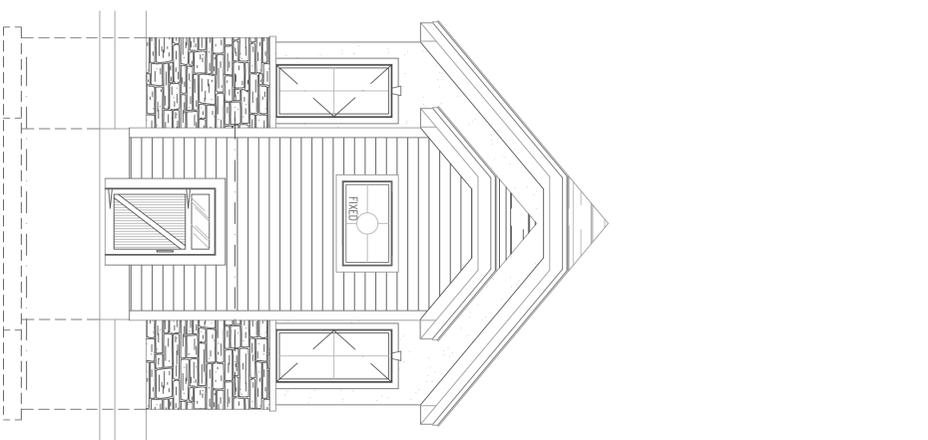
PETER SCHLEICHER  
MARY SCHLEICHER  
1213 FOUR WINDS WAY  
HARTLAND WI 53029

ROBERT L & KERRY K MALLOW 2009  
LIVING TRUST  
W292N5801 DORN RD  
HARTLAND WI 53029

ROBERT N YOUNG  
PATRICIA A YOUNG  
1226 FOUR WINDS WAY  
HARTLAND WI 53029

THOMAS TRUST DATED MARCH 27,  
2007  
1212 FOUR WINDS  
HARTLAND WI 53029-8561

WOODFIELD VILLAGE HOMEOWNERS  
ASSOCIATION INC  
PO BOX 122  
HARTLAND WI 53029-0122

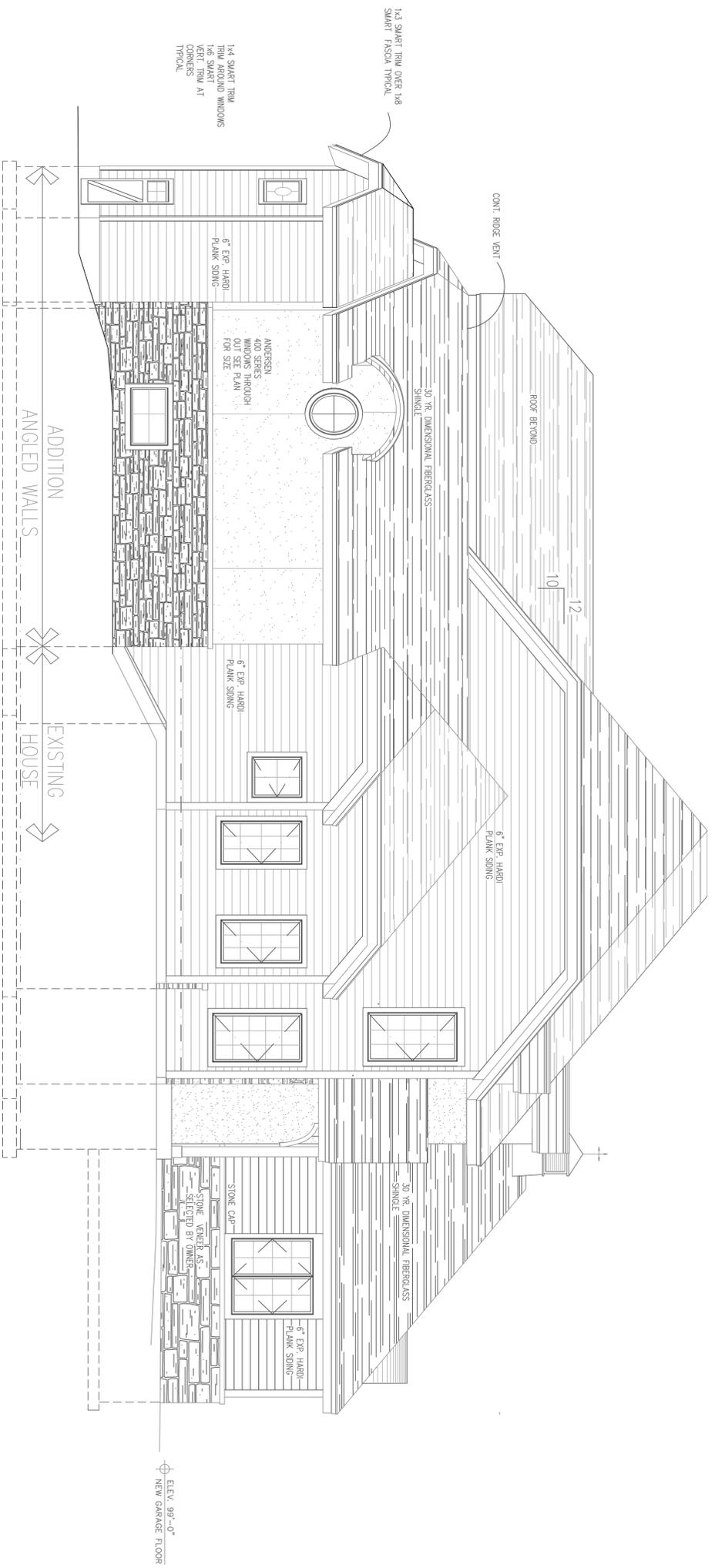


REAR ELEVATION

SCALE 1/4" = 1'-0"

ADDITION  
ANGLED WALLS

EXISTING  
HOUSE

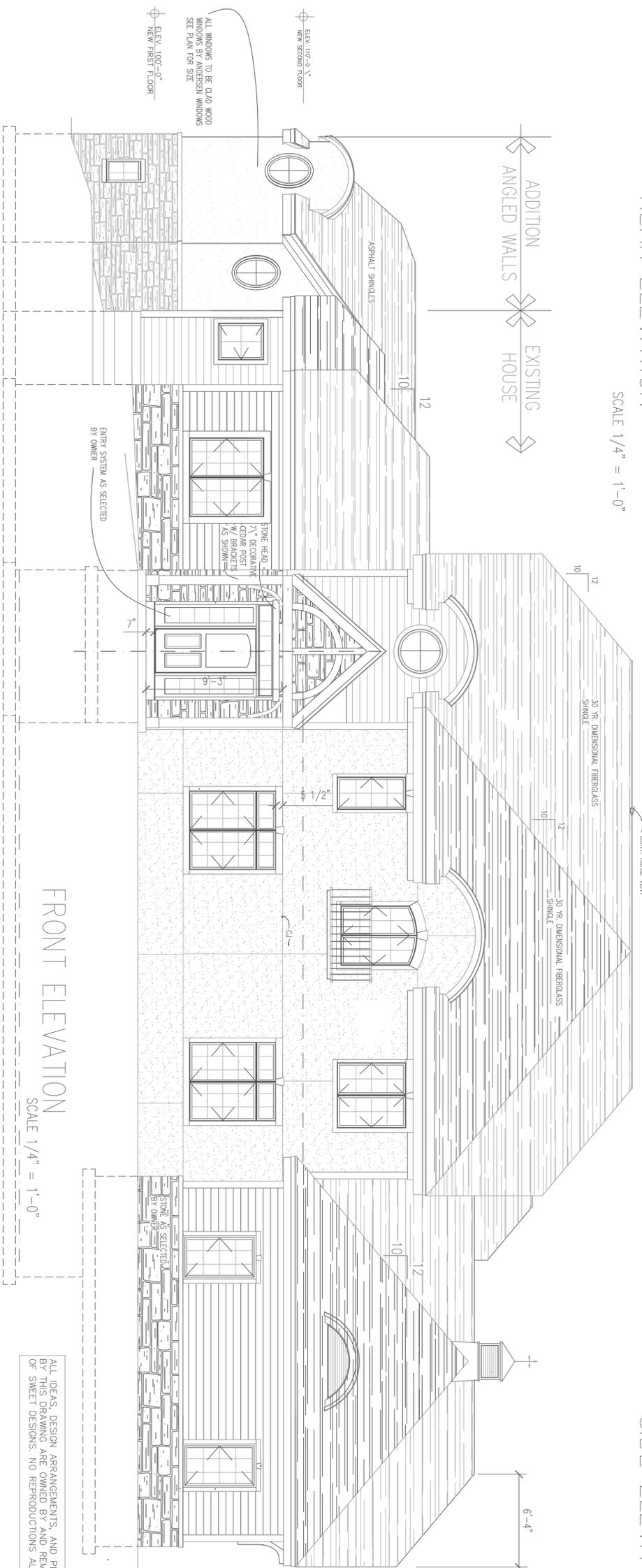


SIDE ELEVATION

SCALE 1/4" = 1'-0"

ADDITION  
ANGLED WALLS

EXISTING  
HOUSE



FRONT ELEVATION

SCALE 1/4" = 1'-0"

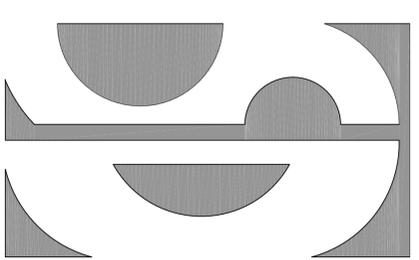
ELEV. 102'-0" NEW SECOND FLOOR

ELEV. 100'-0" NEW FIRST FLOOR

ALL WINDOWS TO BE CLAD WOOD WINDOW CASINGS AND SILLINGS. SEE PLAN FOR SIZE.

ELEV. 99'-0" NEW GARAGE FLOOR

ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY AND REMAIN THE PROPERTY OF SWEET DESIGNS. NO REPRODUCTIONS ALLOWED WITHOUT ARCHITECTS CONSENT.



SWEET DESIGNS  
JOAN M. SWEET  
ARCHITECT

1435 STONEFIELD COURT  
WAUKESHA, WISCONSIN  
53186  
(262) 896-0388

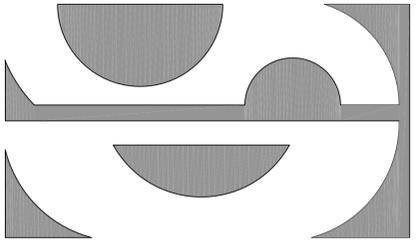
PROJECT:  
Addition to  
Residence  
FOR  
The Moede  
Family  
Aaron & Peggy

Four Winds  
LOT 62  
River Grove LN  
Hartland  
Wisconsin

EXTERIOR  
ELEVATIONS  
DATE :  
01/04/16

SHEET NO

A-4



SWEET DESIGNS  
 JOAN M. SWEET  
 ARCHITECT

1435 STONEFIELD COURT  
 WAUKESHA, WISCONSIN  
 53186  
 (262) 896-0388

PROJECT:

Addition to  
 Residence

FOR  
 The Moede  
 Family  
 Aaron & Peggy

Four Winds  
 LOT 62  
 River Grove LN

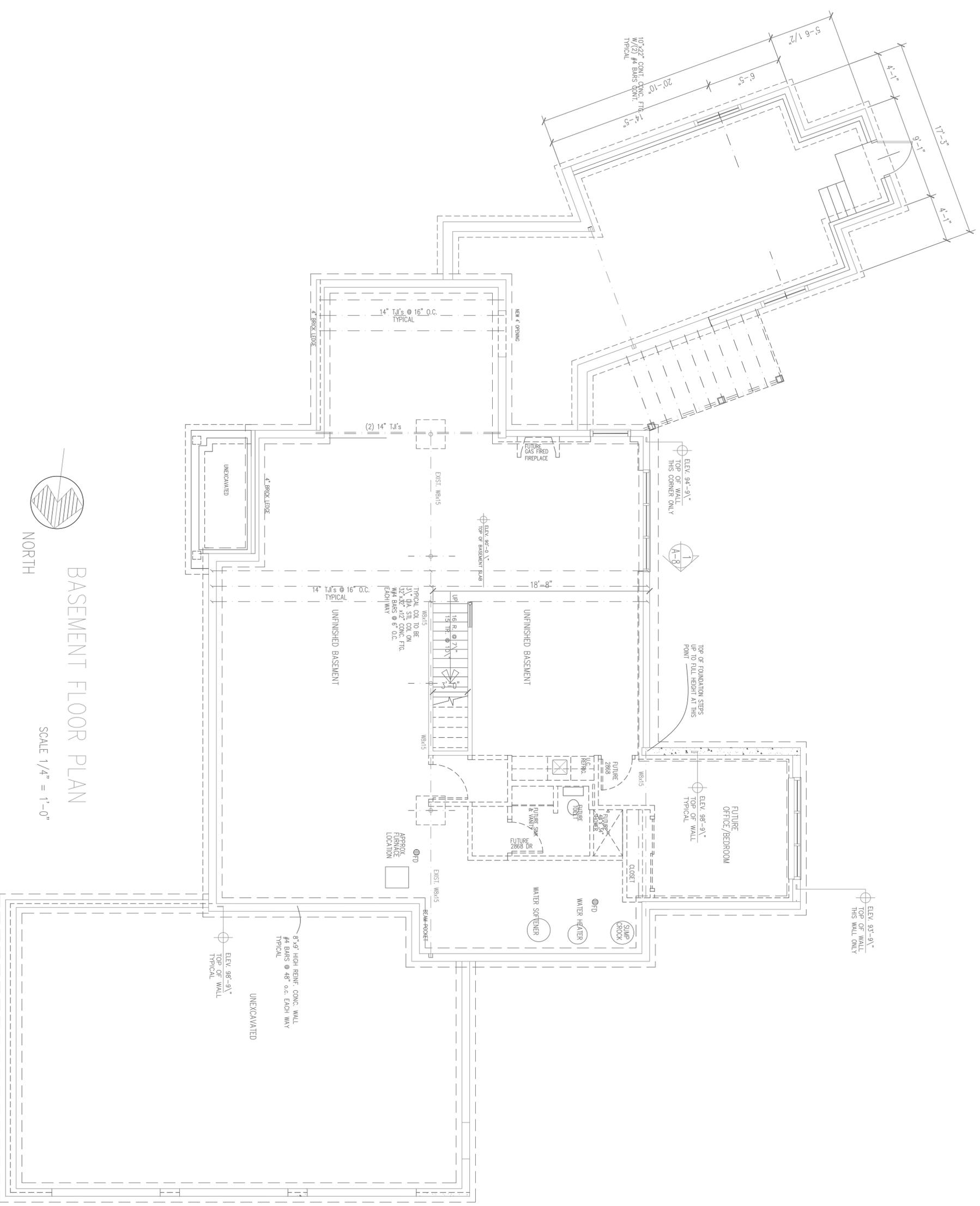
Hartland  
 Wisconsin

BASEMENT  
 FOUND PLAN

DATE :  
 01/04/16

SHEET NO.

A-2

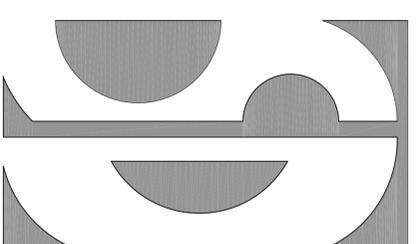


BASEMENT FLOOR PLAN



NORTH

SCALE 1/4" = 1'-0"



SWEET DESIGNS  
JOAN M. SWEET  
ARCHITECT

1435 STONEFIELD COURT  
WAUKESHA, WISCONSIN  
53186  
(262) 896-0388

PROJECT:

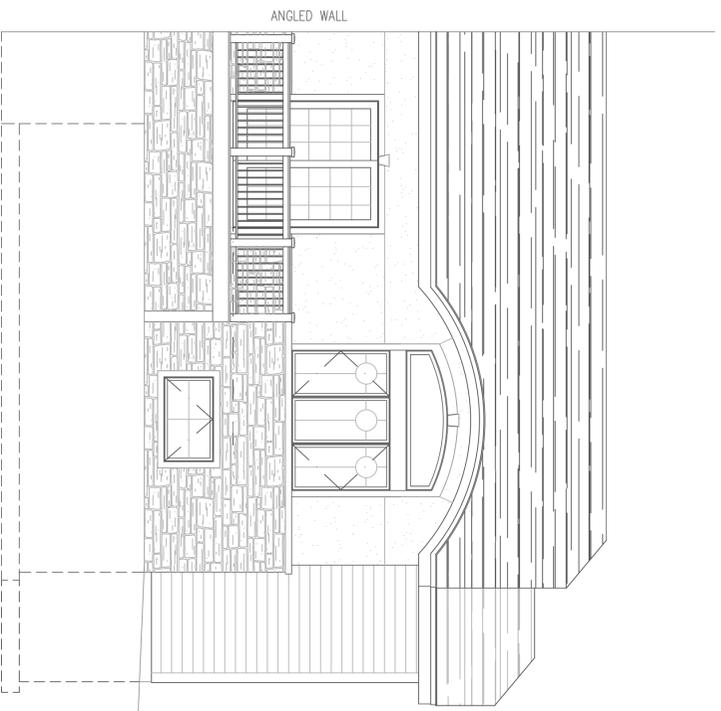
Addition to  
Residence  
FOR

The Moede  
Family  
Aaron & Peggy

Four Winds  
LOT 62

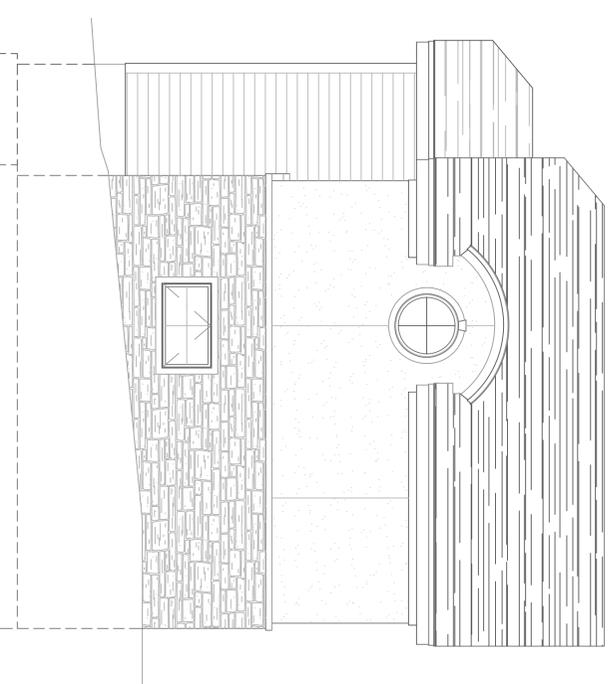
River Grove LN

Hartland  
Wisconsin



SIDE ELEVATION FACING PATIO

SCALE 1/4" = 1'-0"



SIDE ELEVATION FACING ROAD

SCALE 1/4" = 1'-0"

EXTERIOR  
ELEVATIONS

DATE :

01/04/16

SHEET NO.

A-5



**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR SIGN PERMIT**

**PERMIT #** \_\_\_\_\_

JOB LOCATION 213 E. Capitol Dr. TAX KEY # \_\_\_\_\_  
OWNER Their Vision Care PHONE \_\_\_\_\_  
ADDRESS 213 E. Capitol CITY Hartland STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
CONTRACTOR Signworks PHONE 262-677-7318  
ADDRESS 501 W. Sumner CITY Hartford STATE WI ZIP 53027

**SIGN TYPE:**     WALL         PROJECTING         AWNING, CANOPY         GROUND  
 PORTABLE/TRAINING         REAL ESTATE PERM.         REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN: Their Vision Care - logo  
Eyecare because we care - tagline  
Dr. Name + phone # (TBD)

OVERALL DIMENSIONS OF SIGN 36" x 60" COLOR OF BACKGROUND White  
SIZE OF LETTERS IN INCHES see sketch COLOR OF LETTERS H. black & dk. blue  
CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) wood

ILLUMINATED?     YES         NO         INTERNALLY         EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 1230.<sup>00</sup>

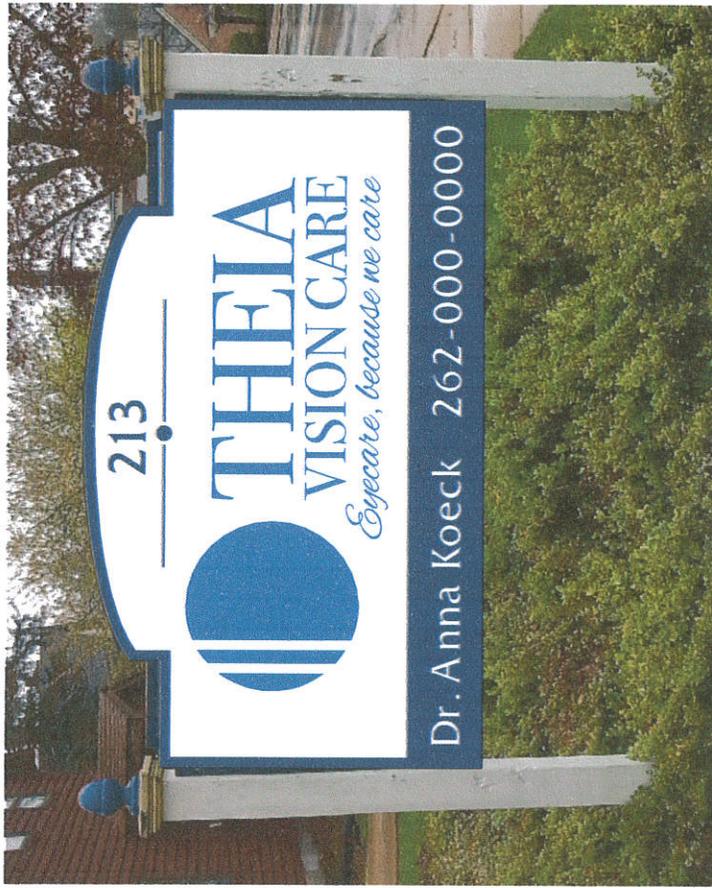
**TO THE BUILDING INSPECTOR:** THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT D. Schaefer DATE 6-2-17

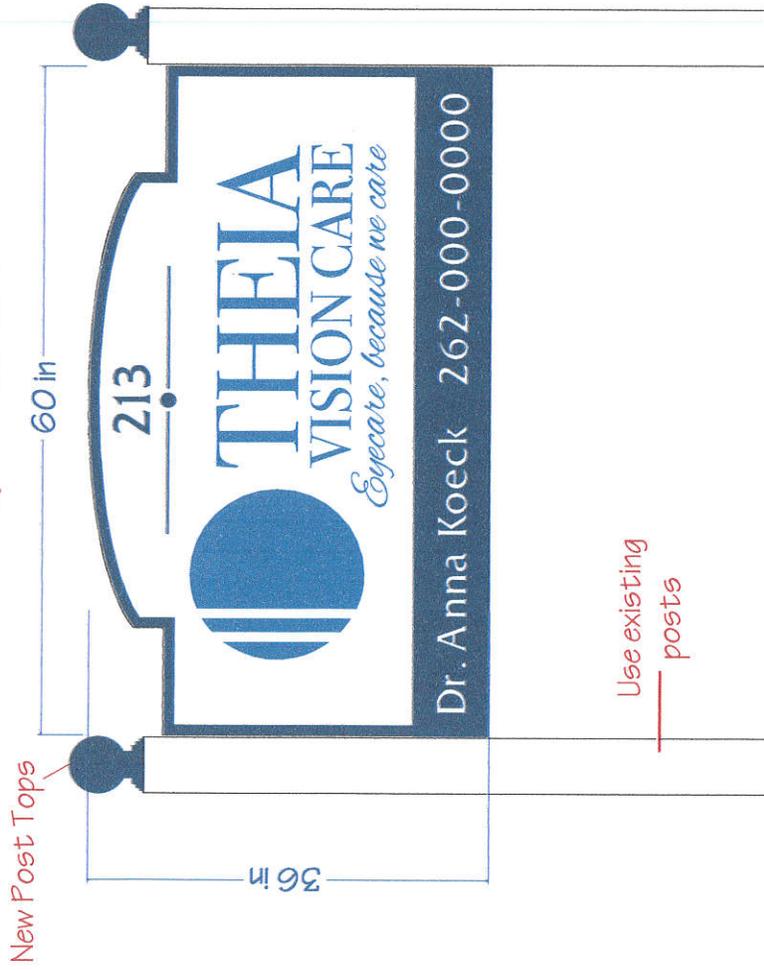
PLANS APPROVED:        ARCHITECTURAL BOARD \_\_\_\_\_

APPLICATION APPROVED: BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL FEES: \_\_\_\_\_ DATE PAID \_\_\_\_\_ RECEIPT # \_\_\_\_\_



Qty 1 - Double Sided



**SIGNworks**  
SIGNS & DIGITAL GRAPHICS

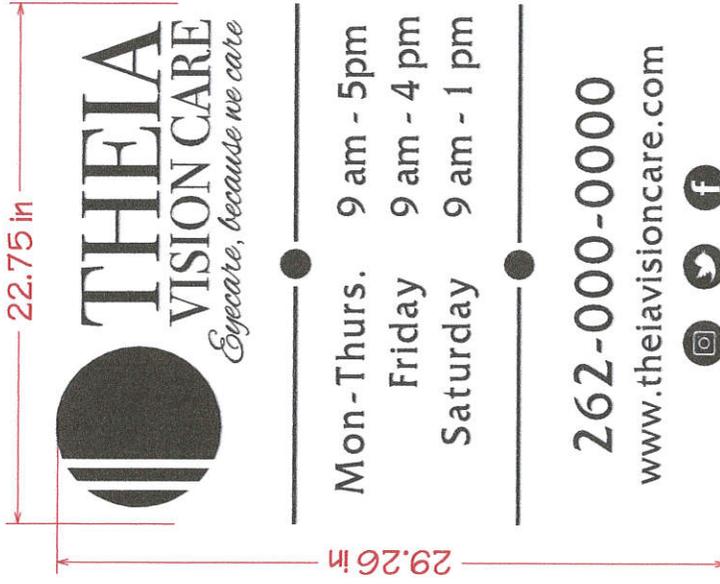
501 West Summer Street  
Hartford, Wisconsin  
**262-673-7318**  
signworkswi.com

Job Name: Theia Vision Care		Sales Person: Heidi Schaefer heid@signworkswi.com	
Date: 5/17/17	Revision: R1	EST #: -	Designer: Kelly
2017 Sketches/By Name Theia /Exterior Sign 2017			

This sign will be a face replacement only. The existing sign for the hair salon will be removed and the new sign mounted between the existing posts.

There will be no size change or physical change to the site.

Qty 1- White Premium Vinyl



2017 Sketches/By Name/Theia Vision Care/Door Lettering 2017



CAPITOL MOVE LLC  
163 E CAPITOL DR  
HARTLAND WI 53029

FIRST CONG CHURCH  
111 CHURCH ST  
HARTLAND WI 53029-1701

GARTH BOWEN II 2001 LIVING TRUST  
PO BOX 25  
HARTLAND WI 53029

HARTLAND RIVERWALK LLC  
411 W MAIN ST #106  
MADISON WI 53703-3105

HOPKINS SAVINGS & LOAN  
C/O US BANK-CORPORATE RE TAX  
DEPT  
2800 E LAKE ST  
MINNEAPOLIS MN 55406

JAMES WEISKOPF  
KATHRYN WEISKOPF  
214 WARREN AVE  
HARTLAND WI 53029

JONATHAN WOJCIECHOWSKI  
JANET WOJCIECHOWSKI  
795 GREENWAY TER  
HARTLAND WI 53029

KEVIN BROWN  
SHERRY BROWN  
198 WARREN AVE  
HARTLAND WI 53029

LAKE COUNTRY PLAYERS INC  
221 E CAPITOL DR  
HARTLAND WI 53029

MARK MANSKE  
CHRISTINE MANSKE  
208 WARREN AVE  
HARTLAND WI 53029

ROBERT F & LINDA J HAMILTON 2010  
LIVING TRUST  
207 E CAPITOL DR  
HARTLAND WI 53029

RUTH R BEHREND 2005 LIVING TRUST  
220 E CAPITOL DR  
HARTLAND WI 53029-2106

STEPHEN P & CYNTHIA A GARDNER  
2010 LIVING TRUST  
226 WARREN AVE  
HARTLAND WI 53029

**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>1100 COTTONWOOD AVENUE</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>BRIORN PROPERTY MANAGEMENT</u>		EMAIL <u>fash@briorn.com</u>	Phone <u>262-790-0500</u>
Address <u>3985 N BROOKFIELD RD Ste 200</u>		City <u>BROOKFIELD</u>	State <u>WI</u> Zip <u>53045</u>
Contractor <u>SAME AS ABOVE</u>		Phone <u>262-790-0500</u> FAX <u>262-790-0505</u>	EMAIL <u>dfernante@briorn.com</u> <u>dhever@briorn.com</u>
Address <u>SAME AS ABOVE</u>		City <u>BROOKFIELD</u>	State <u>WI</u> Zip <u>53045</u>

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is on the SECOND MONDAY of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**Commercial/Industrial/Multifamily:**

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

**Signs:**

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 5-22-2017 Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_

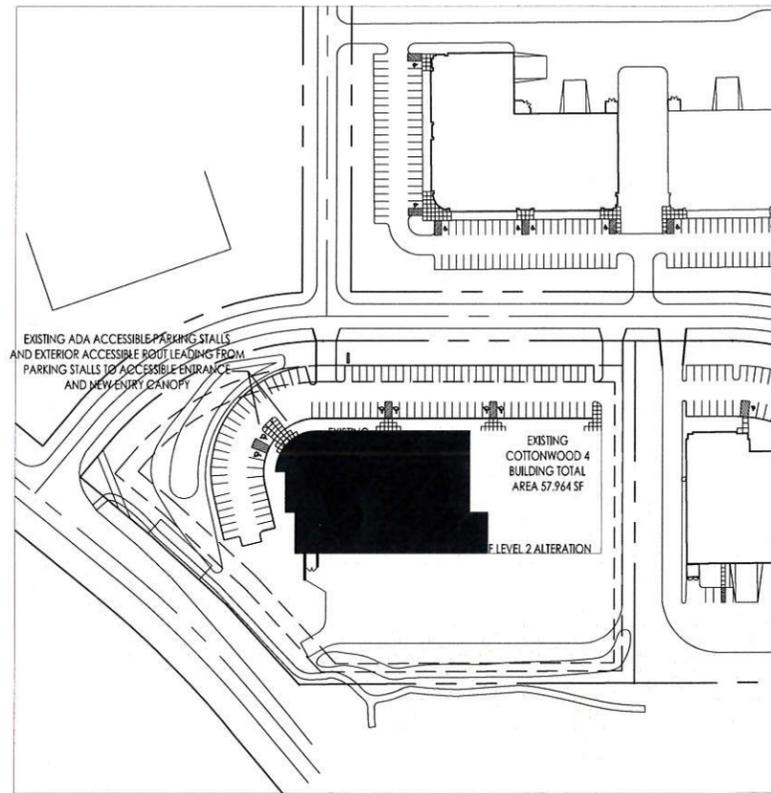
PROPOSED NEW ENTRY CANOPY FOR:

# CAPITAL EQUIPMENT AND HANDLING, INC

1100 COTTONWOOD AVENUE  
HARTLAND, WISCONSIN 53029



TITLE SHEET  
WITH SITE PLAN &  
OVERALL FLOOR PLAN



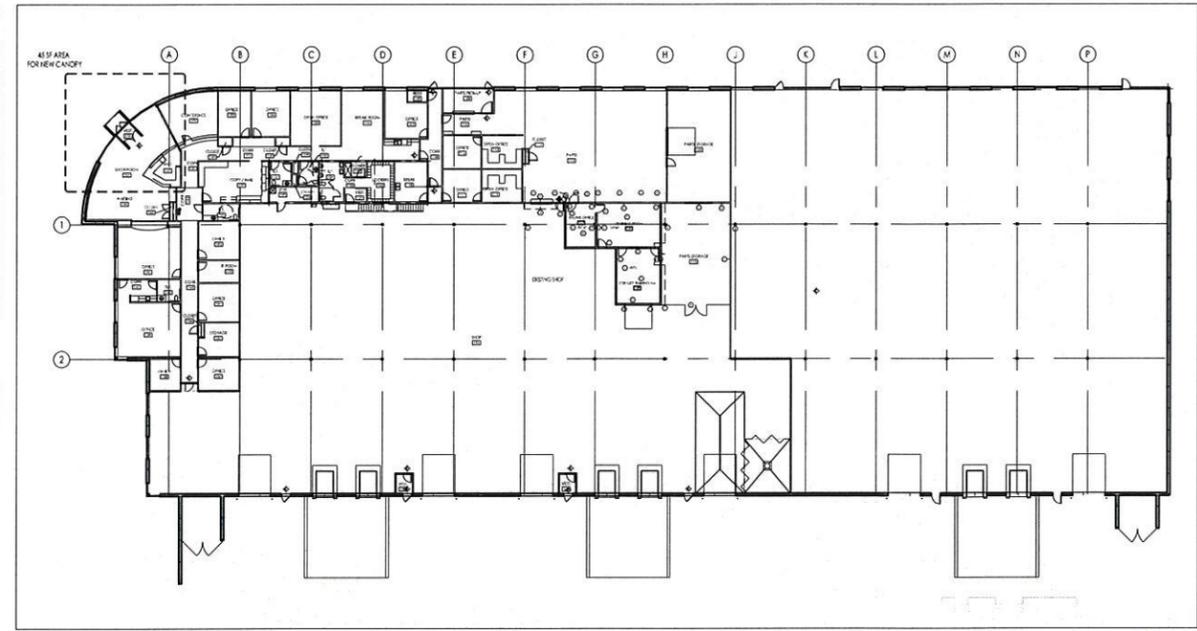
1 OVERALL SITE SCHEMATIC  
1" = 100'-0"



ENLARGED PERSPECTIVE VIEW  
LOOKING NORTH WEST



PERSPECTIVE VIEW OF ENTRANCE CANOPY  
LOOKING NORTH WEST



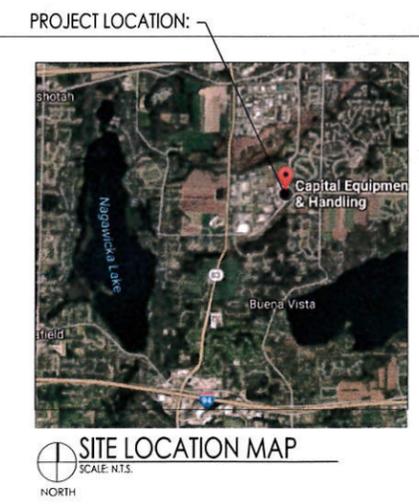
2 OVERALL SCHEMATIC FLOOR PLAN  
1" = 30'-0"

SHEET INDEX :

T1.1	TITLE SHEET WITH SITE PLAN AND OVERALL FLOOR PLAN AND PERSPECTIVE VIEWS
A1.0	ENLARGED FLOOR PLAN, ELEVATIONS, AND NOTES

ARCHITECTURAL REVIEW BOARD, PLAN REVIEW AND PERMIT SUBMITTAL  
MAY 22, 2017

OWNER :	GENERAL CONTRACTOR :	ARCHITECT :
BRIOHN PROPERTY MANAGEMENT TONY ASH	BRIOHN PROPERTY MANAGEMENT DAVID BEVER	BRIOHN DESIGN GROUP LLC DOMENICO FERRANTE AIA
3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX



CODE CALCULATIONS AND ANALYSIS:

ALTERATION LEVEL:  
OCCUPANCY CALCULATION:  
OCCUPANCY S-1 MODERATE HAZARD STORAGE (PRIMARY)  
500 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
21,974 SQUARE FEET GROSS / 500 SQUARE FEET PER PERSON = 44 PERSON MAXIMUM

OCCUPANCY B BUSINESS (ACCESSORY) (LESS THAN 10 PERCENT OF MAIN OCCUPANCY)  
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
12,782 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 128 PEOPLE MAXIMUM

TOTAL OCCUPANCY = 172 PEOPLE MAXIMUM

PLUMBING FIXTURE CALCULATION:  
BASED ON S-1 MODERATE HAZARD STORAGE OCCUPANCY = 172 PEOPLE

TOILET FIXTURES (WC) REQUIRED AND PROVIDED ARE AS FOLLOWS:  
MEN 1 MEN = 1 FIXTURE (WC) REQUIRED AND 5 FIXTURES PROVIDED  
WOMEN 1 WOMEN = 1 FIXTURE (WC) REQUIRED AND 2 FIXTURES PROVIDED

LAVATORY FIXTURES REQUIRED AND PROVIDED ARE AS FOLLOWS:  
MEN AND WOMEN 2 LAVATORY FIXTURES REQUIRED AND 5 LAVATORY FIXTURES PROVIDED

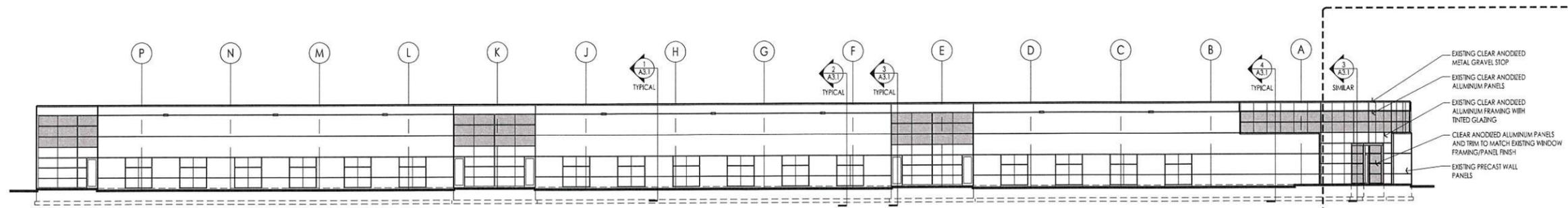
EXIT WIDTH REQUIRED:  
EXIT WIDTH REQUIRED 172 x .20 = 35 INCHES OR INCHES MINIMUM CLEAR X (2) EXITS  
EXIT WIDTH PROVIDED (6) 36" WIDE DOORS x 34" = 204" WIDTH  
TOTAL EXIT WIDTH PROVIDED OF 204" EXCEEDS REQUIRED EXIT WIDTH CALCULATED (35")  
TOTAL NUMBER OF EXISTING EXITS PROVIDED (6) EXCEEDS THE NUMBER OF EXITS REQUIRED (3)

PROJECT INFORMATION:

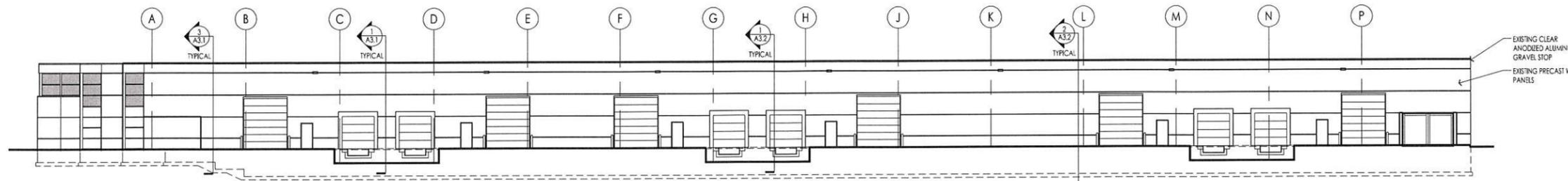
CODE:	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2009, IECC 2009, IBC 2009, IMC 2009 AND IFGC 2009) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	PRIMARY S-1 (MODERATE HAZARD STORAGE)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	NPPFA 13 OVERALL
FLOOR LEVELS:	1
NUMBER OF STORIES:	1
TOTAL BUILDING AREA:	57,964 SF
TOTAL EXISTING TENANT AREA:	34,756 SF
TOTAL AREA OF CANOPY:	45 SF

NOTE:  
ALL MECHANICAL ELECTRICAL PLUMBING  
AND FIRE SPRINKLER ENGINEERING BY  
DESIGN BUILD CONTRACTORS.

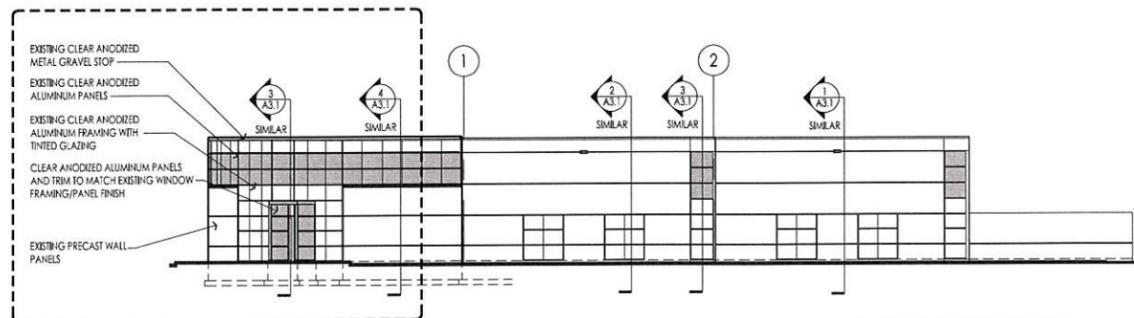
JOB:	2915
DRAWN:	DF
CHECKED:	DF
DATE:	May 22, 2017
SHEET:	T1.1



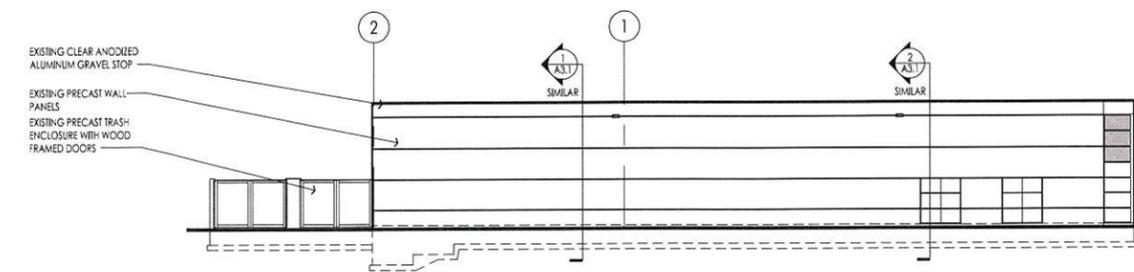
5 WEST ELEVATION  
Scale: 1/16" = 1'-0"



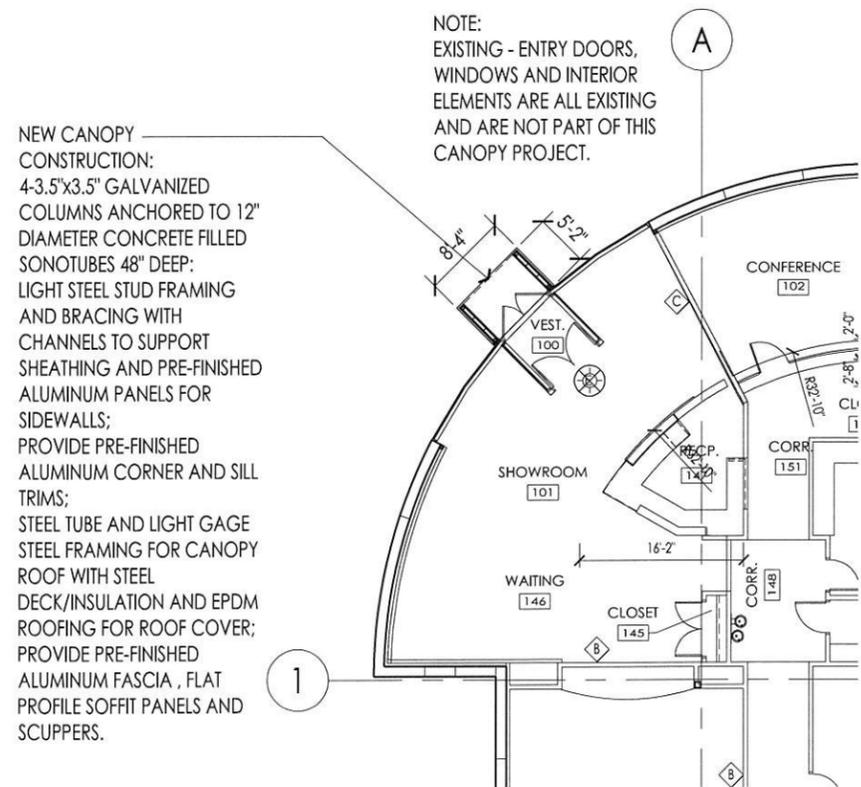
4 EAST ELEVATION  
Scale: 1/16" = 1'-0"



3 SOUTH ELEVATION  
Scale: 1/16" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/16" = 1'-0"



1 FLOOR PLAN  
Scale: 1/8" = 1'-0"



1115 COTTONWOOD LLC  
C/O BRIOHN PROPERTY MGMT  
3885 N BROOKFIELD RD STE 200  
BROOKFIELD WI 53045-1983

COTTONWOOD IV LLC  
3885 N BROOKFIELD RD #200  
BROOKFIELD WI 53045-8364

JAMES LECLAIR  
LYNNETTE LECLAIR  
103 TRAILS EDGE  
HARTLAND WI 53029

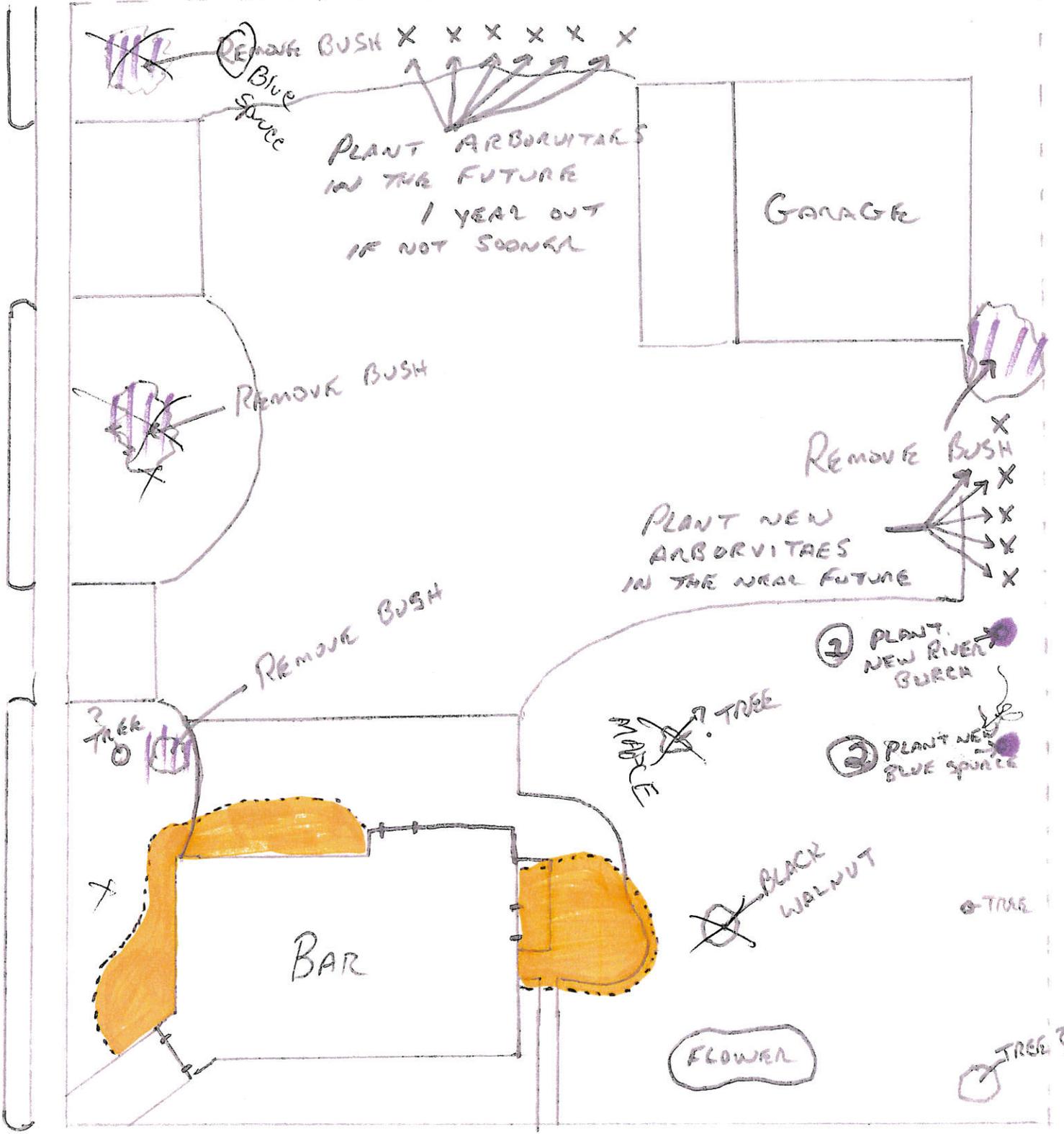
RIVER RESERVE HOMEOWNERS ASSN  
C/O JACK WENSTROM  
PO BOX 82  
HARTLAND WI 53029

TI INVESTORS OF HARTLAND LLC  
710 N PLANKINTON AVE STE 1400  
MILWAUKEE WI 53203-2418

TULSA INVESTORS LLC  
C/O T5 REAL ESTATE SOLUTIONS  
7475 HUBBARD AVE STE 202  
MIDDLETON WI 53562-3146

# LANDSCAPE / TREES - PROPOSED SEATING

DRAWN BY [unclear]



|||| = REMOVE BUSHES (NOT TREES)  
COTTONWOOD AND

● = PROPOSED OUTDOOR SEATING

● = NEW TREES 1 RIVER BURCH, 1 BLUE SPRUCE



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

DEPARTMENT OF PUBLIC WORKS  
 TREE PLANTING/REMOVAL PERMIT  
 (ORDINANCE NO. 696-04)

Permit No.:	Permit Fee: \$50.00
Date: 5-19-17	Receipt No.: 185501
Permit Expires:	

Work Location Address: 375 COTTONWOOD AVE	Lot No.	
Property Owner's Name: LINDA & JEFF ANSON		
Address: 335 COTTONWOOD AVE		
Phone No. Home	Work	Mobile 262-751-4162
FAX:		E-Mail: HOGGERS PUB @ GMAIL

Contractor Name: JEFF ANSON			
Contact Person: SPARK			
Address: 335 COTTONWOOD AVE			
Phone No. Work	Mobile 262-751-4162	Fax No.	
E-Mail: HOGGERS PUB @ GMAIL.COM			

Tree Planting	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Tree Removal	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Tree Work	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Stump Removal	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Species and Number of Trees: 1 RIVER BIRCH, 1 BLUE SPRUCE

Reason for Request: ELECTRIC COMPANY CUT THEM DOWN BECAUSE THEY IMPEDED THE POWER LINES.

Trees/Locations Marked: Yes  No  How? PURPLE HIGHLIGHTER

Replacement Tree Species (Per Approved Street Tree List): \_\_\_\_\_

Bonding: Is bond waived? Yes  No   
 If not, bond of \$ \_\_\_\_\_ is to be given to the Village at the time of application approval.

Applicant Signature  Date 5-14-17

Edit Inspection

Complete Inspection

Print Job Card



**FORESTRY JOB CARD**

WORK REQUEST: 4057063

REQUIRED DATE: 05/05/2017

IO NUMBER: \_\_\_\_\_

**REQUEST DETAILS**

AREA: DES  
 FORESTER: FORESTRY  
 JOB TYPE: FOINSPECT  
 CONTACT NAME: JEFF ANSON  
 CONTACT PH: (262) 751-4162  
 CUSTOMER NAME: \_\_\_\_\_  
 CUSTOMER PH: \_\_\_\_\_  
 JOB ADDRESS: 375 Cottonwood Ave Lowr Hartland, WI 53029-2010  
 MUNICIPALITY: 529 -- HARTLAND (V)  
 COUNTY: Waukesha  
 REQUEST DATE: 03/10/2017

**REQUEST ORIGIN**

- CSS Trim
- CSS Remove Assist
- Trouble/CAD
- Manual

**PROGRAM INFORMATION**

Feeder No. \_\_\_\_\_  
 Voltage: \_\_\_\_\_  
 Year Last Trimmed: \_\_\_\_\_  
 In Program Year

**COMMENTS:**

**FOR:** Verbal with mr.on site.Top marked spruce and river birch below power lines.Leave wood and brush. - MGILBERT (ASP)  
**CUST:** Tree on the south side of property overgrown into OH service. No dogs.

**INSPECTION DETAILS**

INSPECTED BY: Mike Gilbert (Asp)  
 INSPECTOR PH: 414-702-2020  
 Call Before: 03/14/2017  
 Inspection Date: 03/14/2017  
 Call After: 03/14/2017  
 Inspection Card

**FACILITY (check all that apply)**

- Multi phase primary
- Single phase primary
- Secondary
- Service
- Street/Area light

No Work Needed

Work Remark:

**WORK REQUIRED**

Work Type	Tree Type	Inventory	Re-Check	Pole No.	Direction
PARTIAL REMOVAL	VARIOUS				

Wood/Brush: LEAVE BRUSH / WOOD Crew Type: LIFT TRUCK Time Estimate (Hr): 4

**FOLLOW-ON DETAILS**

Initial Required Date: 5/26/2017  
 Assigned To: ASPLUNDH

- Customer Authorization Needed
  - Release Form Mailed/Left/Faxed
  - Release Form Signed on Site



SEATTLE AREA

NEW BUSINESSES & FLOWERS

CLEAN-UP

NEW PITS  
NEW BARR

CITY

DAILY

①

②

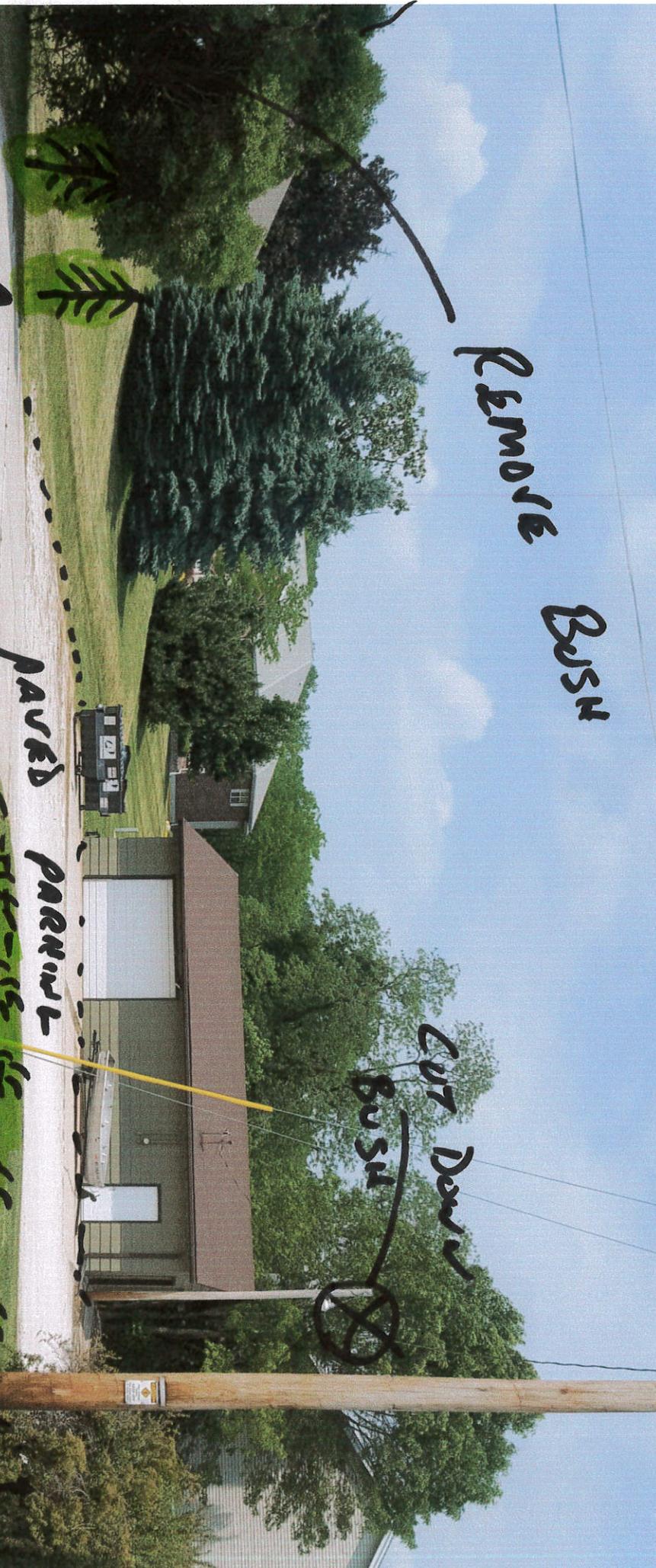
① L = HORSE SHOE PITS

② = OUT DOWN SEATING

③ = NEW TAKES & BUSINESSES

REMOVE BUSH

CUT DOWN BUSH



PAVED DRIVEWAY

2. BLUE SPRUCE



NEW TREES & BUSHES

NEW BUSHES

LEAVE BUSH AND PAVE IT.



FLOWERS

CUT DOWN  
SILVER MAPLE

NEW  
BUSHES & SEATING AREA  
FLOWERS

NEW TREES  
& BUSHES

CUT DOWN  
SEATING



CHARLES KUHTZ III  
DONNA KUHTZ  
345 COTTONWOOD AVE  
HARTLAND WI 53029

GUY S JENSON & MARIJEAN JENSON  
2014 LIVING TRUST  
N45W28965 E CAPITOL DR  
HARTLAND WI 53029-2249

HARTLAND MEADOWS RETIREMENT  
APARTMENTS LLC  
W320N1161 BUTTERNUT RIDGE CT  
DELAFIELD WI 53018

JACK DAHLKE PROPERTIES LLC  
336 COTTONWOOD AVE  
HARTLAND WI 53029

JRT INVESTMENTS LLC  
W354N5095 ROAD T  
OCONOMOWOC WI 53066

KOEPPEL HOLDINGS LLC  
PO BOX 46  
OCONOMOWOC WI 53066-0046

KUSCH INVESTMENTS LLC  
N65W30981 BEAVER LAKE RD  
HARTLAND WI 53029-9799

LAFORE TRUST  
1441 GENESEE ST  
DELAFIELD WI 53018

LEROY HUNDLEY  
W289S2547 COUNTY ROAD DT  
WAUKESHA WI 53188-9210

LINDA J LAVALLEY  
335 COTTONWOOD AVE  
HARTLAND WI 53029

HOGGER'S PUB  
375 COTTONWOOD AVE  
HARTLAND WI 53029

RONALD JAEGER  
ANN JAEGER  
430 INDUSTRIAL DR  
HARTLAND WI 53029

SILVER OAK PROPERTIES LLC  
C/O CHRISTINE A HENTGES  
352 COTTONWOOD AVE  
HARTLAND WI 53029

SUSAN K STERNKOPF  
404 COTTONWOOD AVE  
HARTLAND WI 53029

UNIQUE SUITES LLC  
1318 RIVERS EDGE CT  
OCONOMOWOC WI 53066-6912





VILLAGE OF HARTLAND  
PETITION FOR:



**CONDITIONAL USE**

**With Approval for Location and Plan of Operation**

(REQUIRES 2 PLAN COMMISSION MEETINGS, A PUBLIC HEARING AT THE SECOND PLAN COMMISSION MEETING AND 1 VILLAGE BOARD MEETING)

**FEE: \$150.00 + \$300 Professional Fee Deposit**

Date: <u>5-23-17</u>	Fee Paid: <u>\$450</u>
Date Filed: <u>5-23-17</u>	Receipt No. <u>185543</u>

1. Name: Owner: Verizon Wireless Personal Communications LP  
Agent: Nathan Ward

Address of Owner/Agent: Owner: 1515 Woodfield Rd.  
Schaumburg, IL 60173  
Agent: 1200 Riva Ridge  
Racine, WI 53402

Phone Number of Owner/Agent: Owner: 847-619-3046 Agent: 414-788-1327

FAX No. \_\_\_\_\_ E-mail nward@buellconsulting.com

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

See attached Exhibit A

3. State present use of property and intended use. The site is a municipal water tank with one existing wireless communications provider with equipment shelter and antennas on tank. We propose to add a second wireless installation with shelter, back-up generator and antennas on tank.

Nathan Ward 5/18/17  
Signature of Petitioner

1200 Riva Ridge, Racine, WI 53402  
Address

414-788-1327  
Phone

## Exhibit A

The following described real estate situated in the County of Waukesha and State of Wisconsin, to-wit:

All that part of the Southeast 1/4 of Section 2, Town 7 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin, bounded and described as follows: Beginning at the most Easterly corner of Lot 9, Block 9, Hartridge Addition No. 1; thence North 49° 15' West along the Northeasterly line of Lots 8 and 9 of Block 9, 150.00 feet; thence North 40° 45' East, 250.00 feet; thence South 49° 15' East, 150.00 feet; thence South 40° 45' West, 250.00 feet to the place of beginning. ALSO including the following described strip of land for access easement: Beginning at the most Southerly corner of Lot 9, Block 9, Hartridge Addition No. 1; thence North 43° 45' East along the Southeasterly line of said Lot 9, 119.56 feet; thence North 40° 45' East, 80.44 feet; thence South 49° 15' East, 30.00 feet; thence South 40° 45' West, 81.23 feet; thence South 43° 45' West, 120.35 feet; thence North 46° 15' West, 30.00 feet to the place of beginning. AND BEING the same property conveyed to Village of Hartland, a municipal corporation from Universal Shelter

Corporation by Warranty Deed dated October 26, 1973 and recorded November 01, 1973 in Deed Book 059, Page 447.

AARON C HOEPPNER  
MICHELLE M HOEPPNER  
810 E IMPERIAL DR  
HARTLAND WI 53029

BARBARA L YDE-NOVY 2011 LIVING  
TRUST  
749 CAMBRIDGE CT  
HARTLAND WI 53029

CHRISTOPHER FARIS  
CINDY FARIS  
765 WEXFORD WAY  
HARTLAND WI 53029

CLIFFORD A PAASKE  
VICTORIA L PAASKE  
723 CAMERON CIR  
HARTLAND WI 53029

COLETTE DORIS RICK  
727 CAMERON CIR  
HARTLAND WI 53029-2509

DANE T JENSEN  
ALLIE J JENSEN  
720 COVENTRY LN  
HARTLAND WI 53029-2610

DANIEL L ZASTROW  
10228 BUNNY CT  
HALES CORNERS WI 53130

ERIC S DOESCHER  
ELIZABETH H DOESCHER  
734 CAMERON CIR  
HARTLAND WI 53029

GERARD LUNOW  
757 CAMBRIDGE CT  
HARTLAND WI 53029

HARTRIDGE HOMEOWNERS  
ASSOCIATION INC  
PO BOX 182  
HARTLAND WI 53029

JEFFREY J RASMUSSEN  
JANET I RASMUSSEN  
W284N6574 HAWTHORNE RD  
HARTLAND WI 53029

JEFFREY R KONIECZNY ESTATE  
730 CAMERON CIR  
HARTLAND WI 53029

KIMM S ROBINSON  
KATHLEEN ROBINSON  
740 COVENTRY LN  
HARTLAND WI 53029

MARK A DUFEK  
MALLORY K DUFEK  
753 CAMBRIDGE CT  
HARTLAND WI 53029-2508

MAX T STEPHENSON  
MEGAN R STEPHENSON  
N25W23255 PAUL RD  
PEWAUKEE WI 53072-4074

RICHARD SCHNITTKKE  
KIMBERLY SCHNITTKKE  
724 COVENTRY LN  
HARTLAND WI 53029

ROBERT COX  
DEBORAH COX  
735 CAMERON CIR  
HARTLAND WI 53029

SALVATORE V CRIVELLO  
REBECCA L BRUENER  
732 COVENTRY LN  
HARTLAND WI 53029-2610

SCOTT R POPELKA  
LISA K POPELKA  
736 CAMERON CIR  
HARTLAND WI 53029-2509

THOMAS LAMP  
GAIL LAMP  
729 COVENTRY LN  
HARTLAND WI 53029

VERNON DEBORD  
A DEBORD  
773 WEXFORD WAY  
HARTLAND WI 53029



**LEGEND**

- = 1" IRON PIPE FOUND
- = 6" NAIL SET
- ⊙ = COUNTY MONUMENT FOUND
- ⊠ = ELECTRIC METER
- ⊞ = TELEPHONE PEDESTAL
- ⊕ = FIRE HYDRANT
- ⊙ = GROUNDING PORT
- ⊞ = ELECTRIC TRANSFORMER
- ⊕ = WATER VALVE
- ⊞ = DOOR
- T/E- = BURIED ELEC. & TELE.
- TV- = BURIED CABLE
- B.O.C. = BACK OF CURB
- ⊙ = EXISTING CEDAR TREE

- PROPERTY LINE
- FENCE
- OVERHEAD POWER LINE
- UNDERGROUND TELCO
- UNDERGROUND POWER
- BURIED WATER LINE
- BURIED GAS LINE
- EDGE OF BUSH/TREES

**MERIDIAN SURVEYING, LLC**

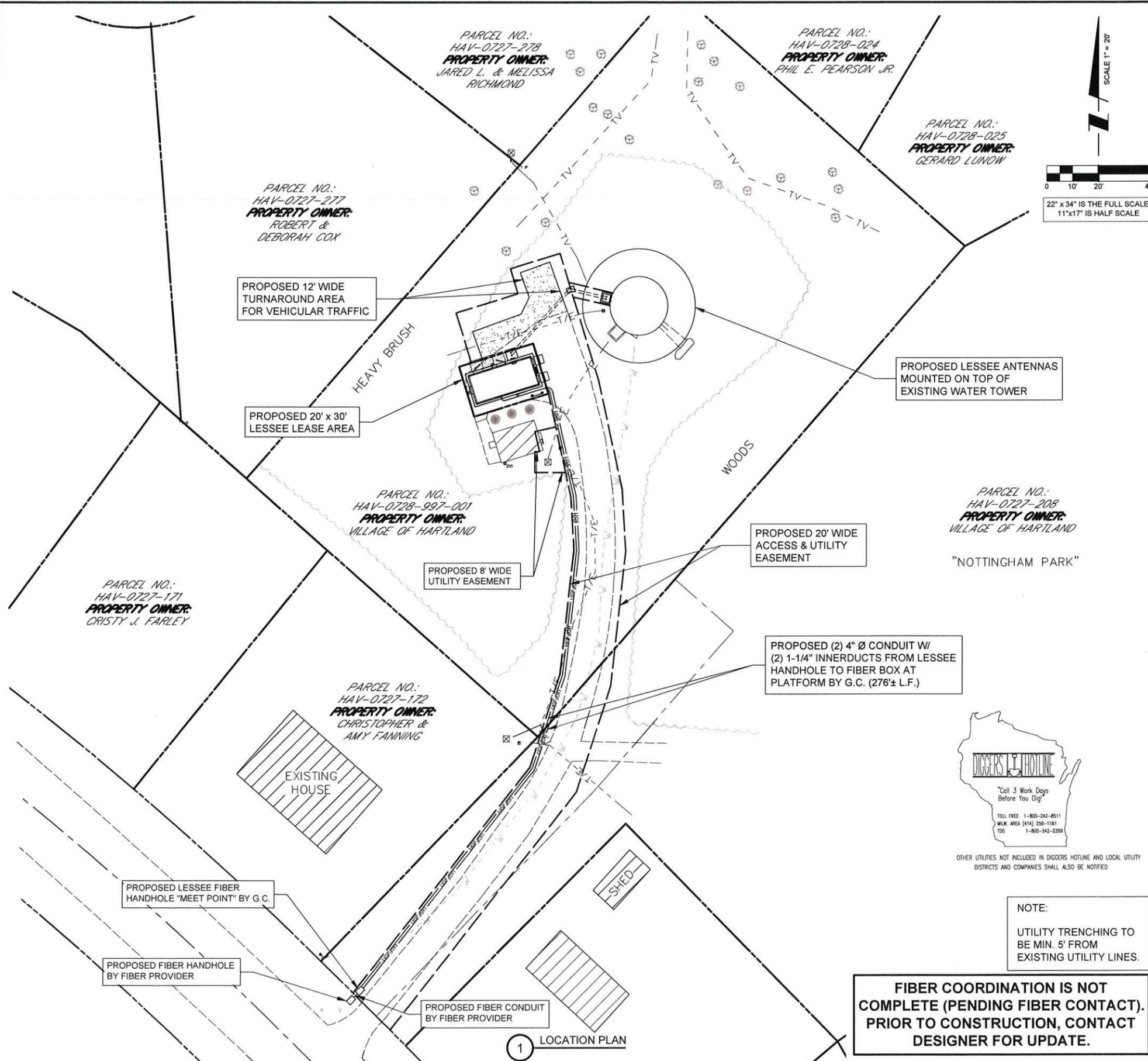
N8774 Firelane 1 Office: 920-993-0881  
Menasha, WI 54952 Fax: 920-273-6037

**BENCHMARK INFORMATION**

SITE BENCHMARK: (BM A)  
TOP OF WATER TOWER ANCHOR  
BOLT NE OF OVERFLOW PIPE

**GENERAL SITE NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT. CONTRACTOR SHALL PHOTOGRAPH AND VIDEOTAPE EXISTING PAVEMENT PRIOR TO CONSTRUCTION. ANY DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPLACED TO EXISTING OR BETTER CONDITION AT NO ADDITIONAL COST.
2. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLANS AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING, AS REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.
3. CONTRACTOR TO PROVIDE APPROXIMATE 50'X50' STAGING AREA AND TEMPORARY ROAD. CONTRACTOR SHALL COORDINATE WITH ANTENNA CONTRACTOR, A STAGING AREA AND TEMPORARY ROAD THAT IS ACCEPTABLE TO THE OWNER. STAGING AREA AND TEMPORARY ROAD SHALL BE RESTORED TO EXISTING CONDITIONS AS NECESSARY UPON COMPLETION OF THE PROJECT.
4. BEFORE AND DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL AS NECESSARY IN THE FORM OF SILT FENCES FOR THE SITE AND BALES AROUND ANY EXISTING MANHOLES, INLETS, OR CATCH BASINS SUSCEPTIBLE TO EROSION. EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED TO ENSURE PROPER FUNCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF WORK.



**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSTRUCTION SERVICES, INC.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

NO.	DATE	BY	DESCRIPTION
1	05/05/17	TJS	ISSUED FOR REVIEW

LOC. # 278150

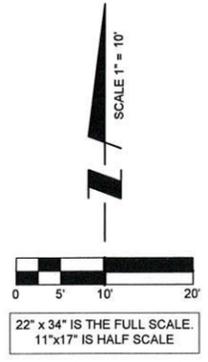
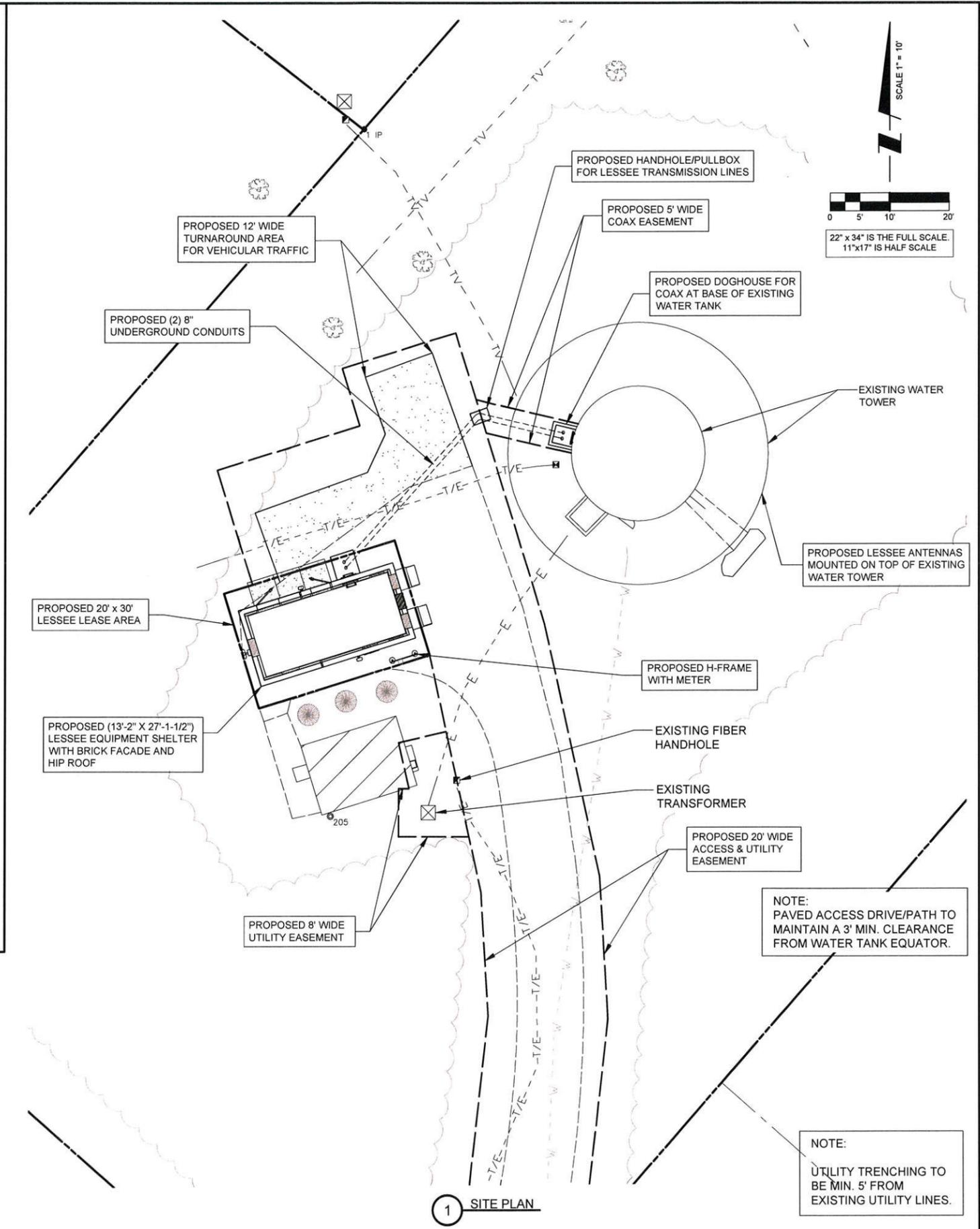
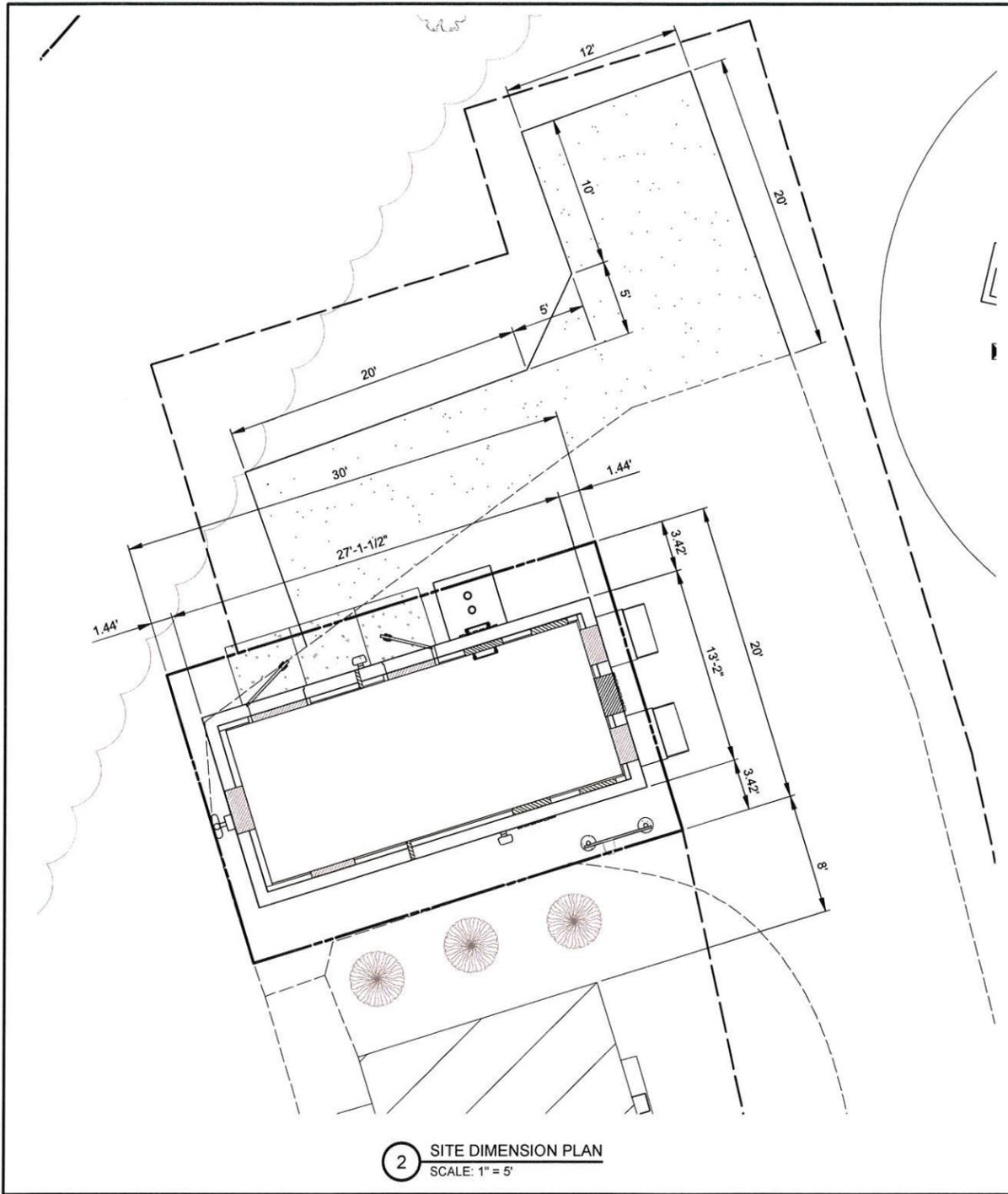
HARTLAND EAST

COVENTRY LANE  
HARTLAND, WI 53029

DRAWN BY: BTE  
CHECKED BY: TAZ  
DATE: 12/02/15  
PROJECT #: 33-1912

SHEET TITLE  
LOCATION PLAN

SHEET NUMBER  
**LP**



**MERIDIAN SURVEYING, LLC**

N8774 Firelane 1 Office: 920-993-0881  
Menasha, WI 54952 Fax: 920-273-6037

**BENCHMARK INFORMATION**  
SITE BENCHMARK: (BM A)  
TOP OF WATER TOWER ANCHOR  
BOLT NE OF OVERFLOW PIPE  
ELEVATION: 1019.48'

**PAVEMENT MATERIALS AND QUANTITIES**

ACCESS ROAD	52 S.Y.
	1 1/2" HMA SURFACE COURSE
	3" HMA BINDER COURSE
	BITUMINOUS PRIME COAT
	6" OF 3/4" CRUSHED AGGREGATE WITH FINES, CA-6
	6" OF SUB-GRADE AGGREGATE
	2000 GRADE SUB-GRADE GEOTEXTILE FABRIC, WOVEN

THE CONTRACTOR ALSO SHALL INCLUDE A SEPARATE UNIT PRICE PER CUBIC YARD TO REMOVE UNSTABLE OR UNSUITABLE MATERIAL AND HAUL-IN GRANULAR BACKFILL UNDER THE ACCESS DRIVE AND/OR APRON.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	05/05/17	TJS

LOC. # 278150

**HARTLAND EAST**

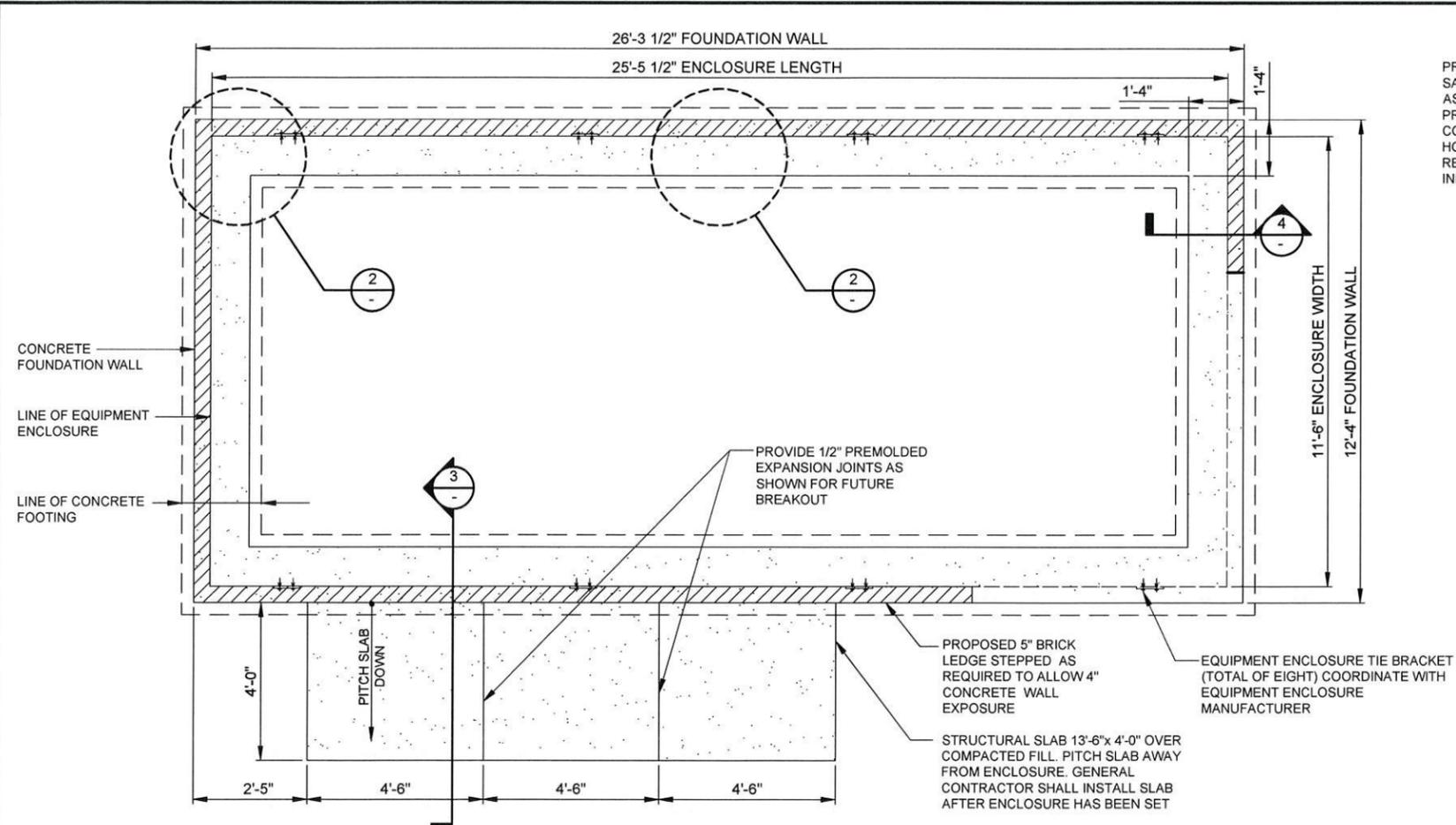
COVENTRY LANE  
HARTLAND, WI 53029

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	12/02/15
PROJECT #:	33-1912

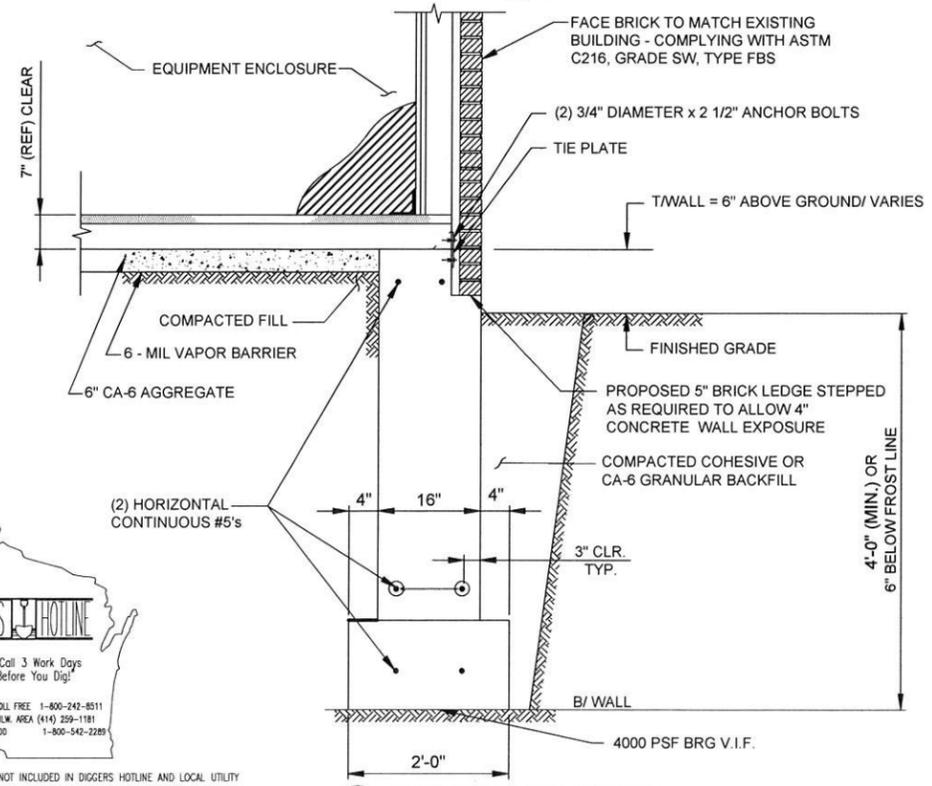
SHEET TITLE  
**ENLARGED SITE PLAN**

SHEET NUMBER  
**C-1**

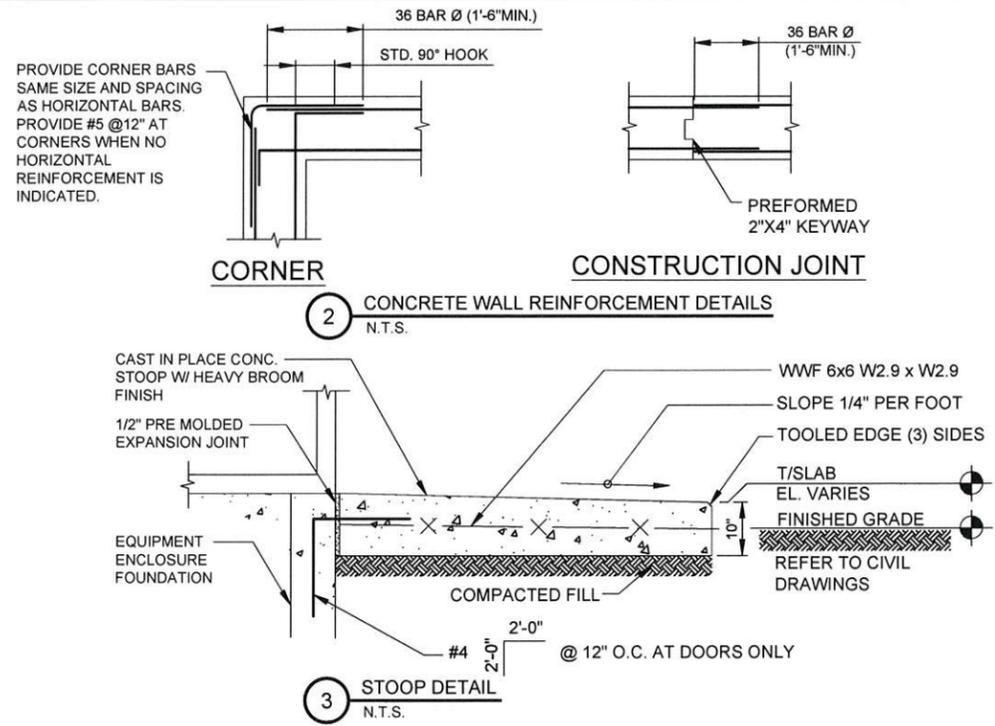




**1 EQUIPMENT ENCLOSURE FOUNDATION PLAN**  
N.T.S.



**4 FOUNDATION WALL SECTION**  
N.T.S.



**2 CONCRETE WALL REINFORCEMENT DETAILS**  
N.T.S.

**3 STOOP DETAIL**  
N.T.S.

**A. EQUIPMENT ENCLOSURE FOUNDATION**

- REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
- EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:  
ENCLOSURE DEAD LOAD: 70,000 LBS.  
ROOF LIVE LOAD: 100 PSF  
FLOOR LIVE LOAD: 135 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF.
- SUBGRADE PREPARATION:  
A. REMOVE ALL SOILS CONTAINING TOPSOIL, ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.  
B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE. (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOFROLLING AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.  
C. BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION. BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.6 AND 4.5.7.

**B. EQUIPMENT ENCLOSURE**

THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FIBREBOND, MINDEN, LOUISIANA.  
THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

**C. CONCRETE NOTES**

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF  $f'_c=4000$  PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

**NOTE:**  
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE BID BEFORE CONSTRUCTION. THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
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FAX: 847-698-6401

NO.	DATE	BY	TJS
1	05/05/17	TJS	

LOC. # 278150  
**HARTLAND EAST**  
COVENTRY LANE  
HARTLAND, WI 53029

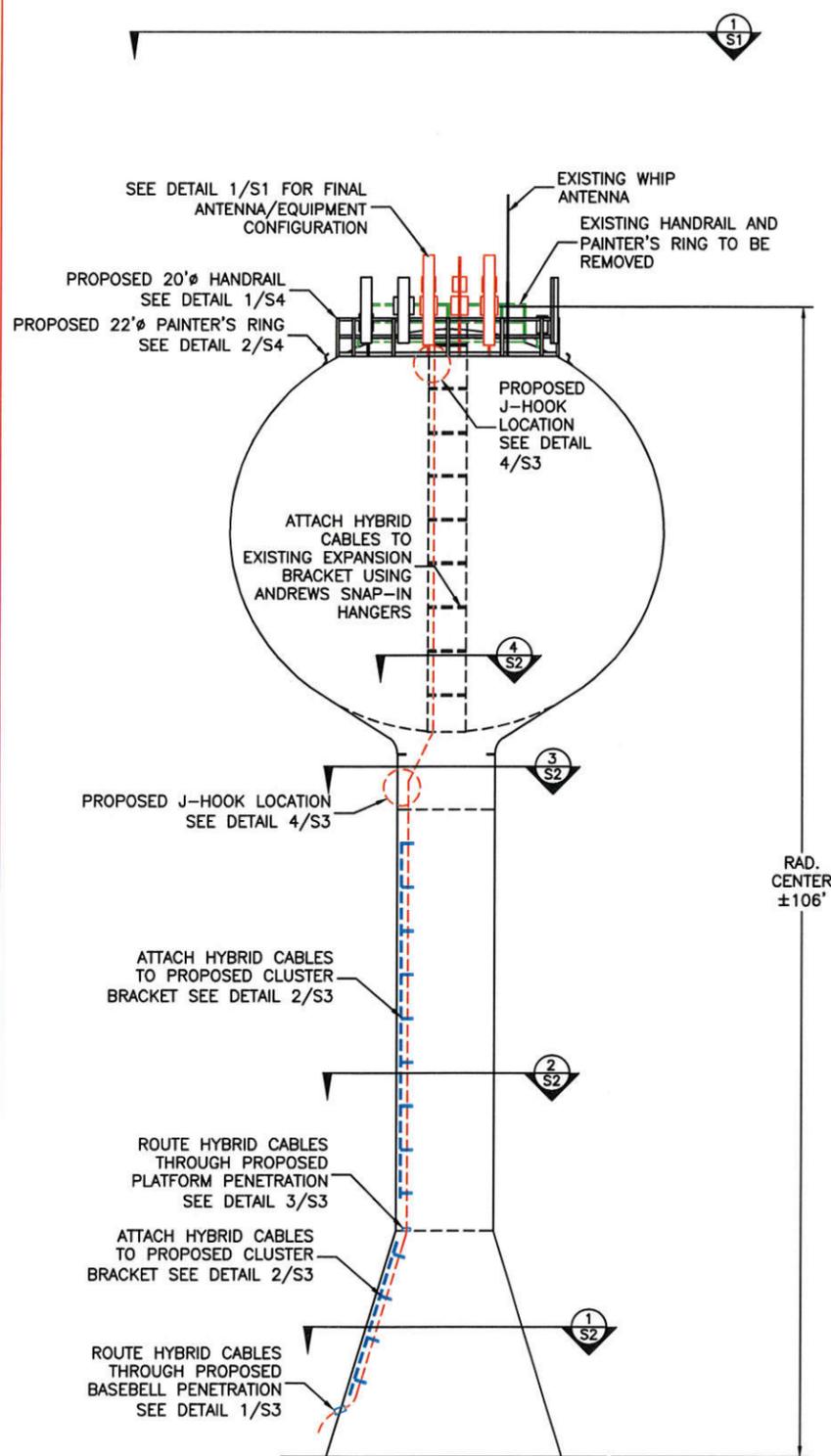
DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	12/02/15
PROJECT #:	33-1912

SHEET TITLE  
**EQUIPMENT ENCLOSURE FOUNDATION PLAN**  
SHEET NUMBER  
**C-3**



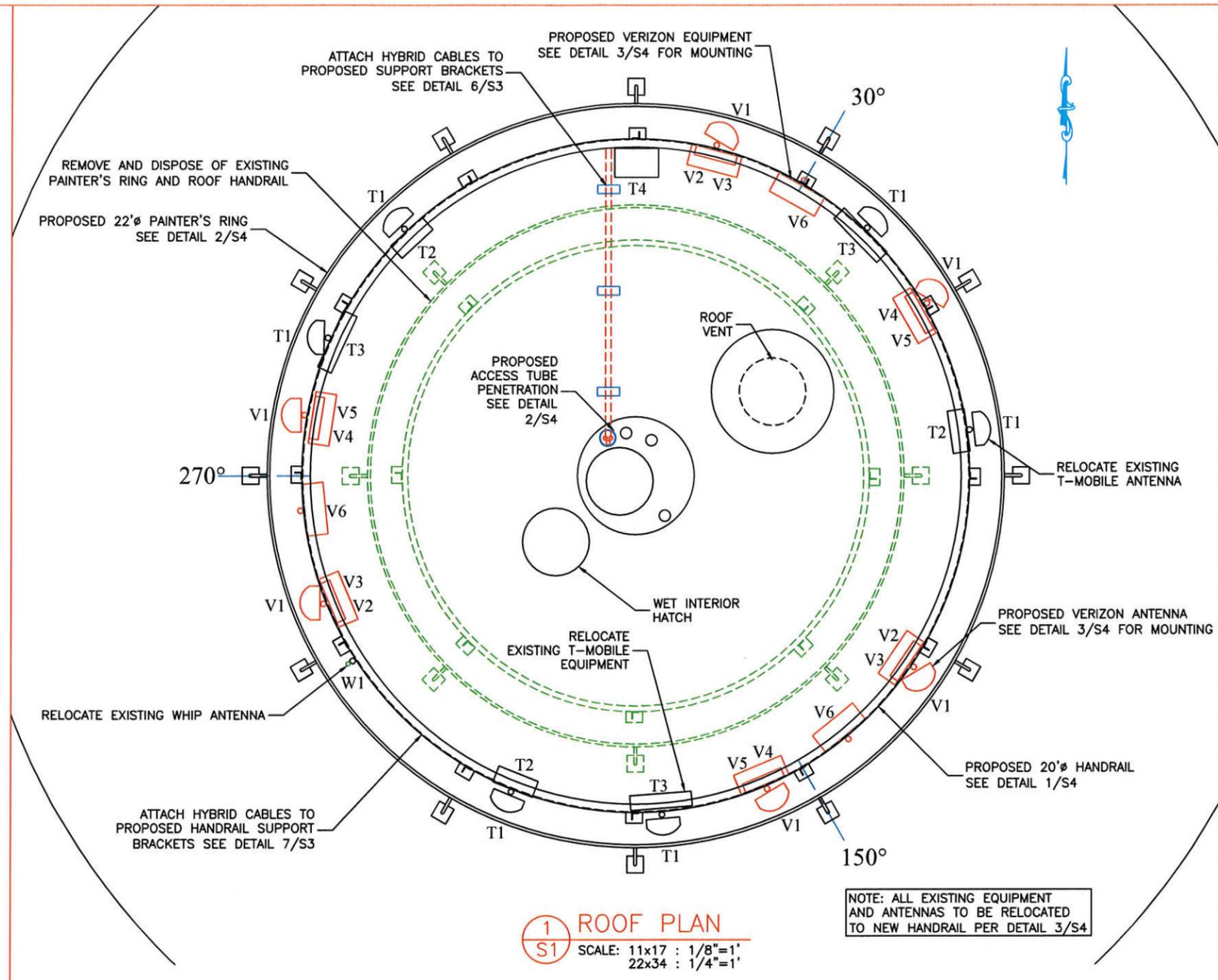
OTHER UTILITIES NOT INCLUDED IN DIGGERS HOTLINE AND LOCAL UTILITY DISTRICTS AND COMPANIES SHALL ALSO BE NOTIFIED





**WEST ELEVATION**

SCALE: 11x17 : 1/16"=1'  
22x34 : 1/8"=1'



**1 ROOF PLAN**

SCALE: 11x17 : 1/8"=1'  
22x34 : 1/4"=1'

NOTE: ALL EXISTING EQUIPMENT AND ANTENNAS TO BE RELOCATED TO NEW HANDRAIL PER DETAIL 3/S4

Mount (key to plan)	Quantity	Status (New or Existing)	Carrier	Manufacture	Model
V1	6	Proposed	Verizon	Amphenol	HEX658CW0000G
V2	3	Proposed	Verizon	Ericsson	RRU B13
V3	3	Proposed	Verizon	Ericsson	RRUSA2
V4	3	Proposed	Verizon	Ericsson	RRUS32 B4
V5	3	Proposed	Verizon	Ericsson	RRUS32 B2
V6	3	Proposed	Verizon	Raycap	RCMDC3315-PF-4
T1	6	Existing	T-Mobile	Andrews	TMBXX-6517-A2M
T2	3	Existing	T-Mobile	Nortel	FRIG
T3	3	Existing	T-Mobile	Nortel	FXFB
T4	1	Existing	T-Mobile	Raycap	3315
W1	1	Existing	City	-	-



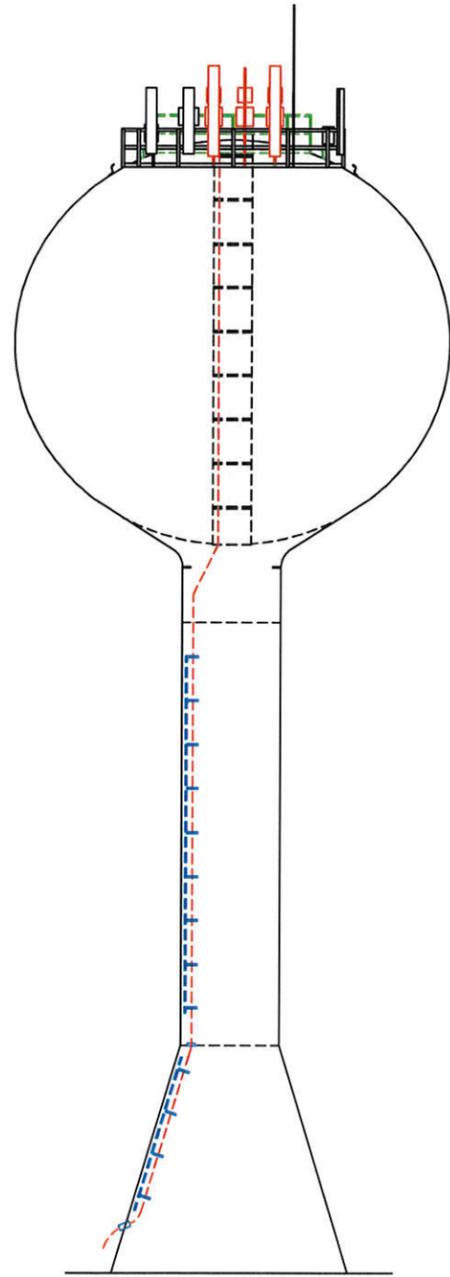
HARTLAND EAST  
COVENTRY LANE  
HARTLAND, WI

NO.	REVISION/DESCRIPTION	DATE
f1.	SUBMITTED FOR REVIEW/BIDDING	02/01/17

CARRIER SITE NO.  
278150  
DIXON PROJECT NO.  
49-20-02-17  
DRAWN BY  
CMK  
CHECKED BY  
IMG  
SHEET TITLE  
STRUCTURAL DRAWINGS

S1





TANK ELEVATION

**EXISTING STEM ANTENNAS:** CARRIER QUANTITY TYPE MODEL SIZE # OF TMA'S # OF RRH'S

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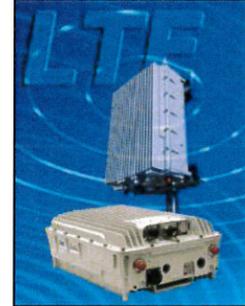
TMA'S



DIPLEXER



RRH



ACCESS TUBE LADDER:

TOE CLEARANCE: RIGHT SIDE: \_\_\_\_\_ LEFT SIDE: \_\_\_\_\_  
 WIDTH OF RUNGS: \_\_\_\_\_ THICKNESS OF RUNGS: \_\_\_\_\_  
 SHAPE OF RUNGS: \_\_\_\_\_

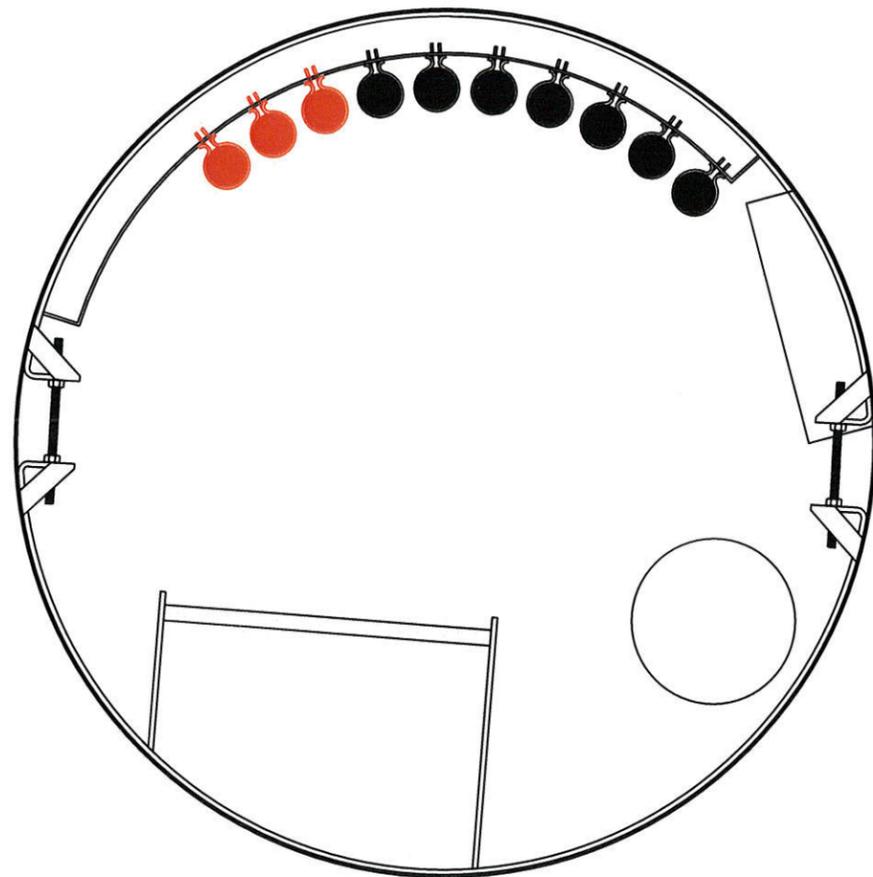
MANWAY TO WET INTERIOR:

LOCATION: \_\_\_\_\_ SIZE: \_\_\_\_\_

ACCESS TUBE ROOF HATCH:

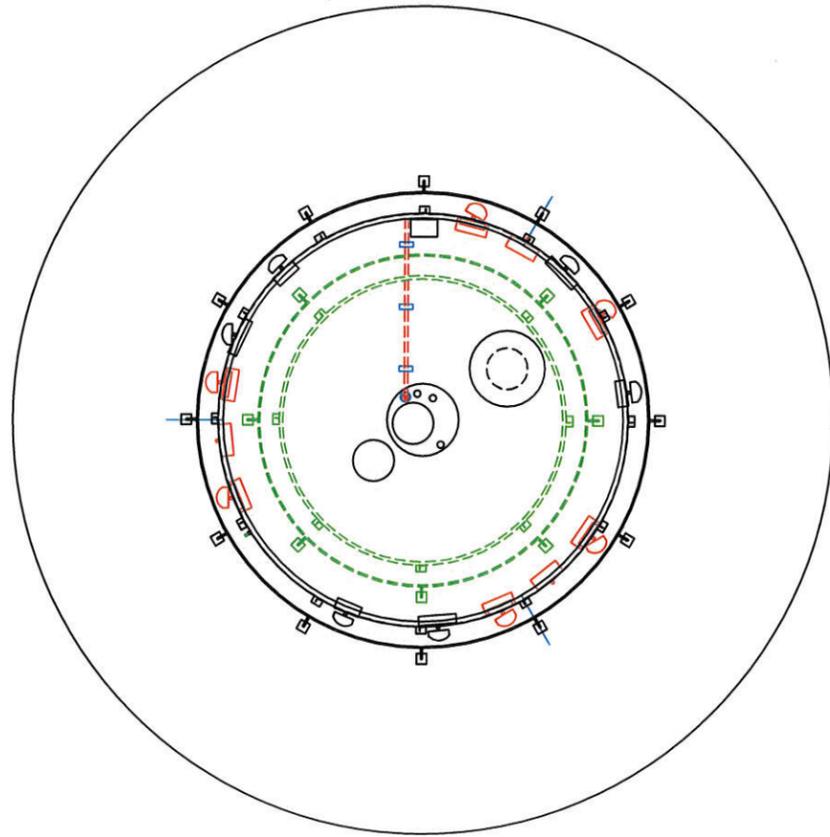
SIZE: \_\_\_\_\_

5



ACCESS TUBE

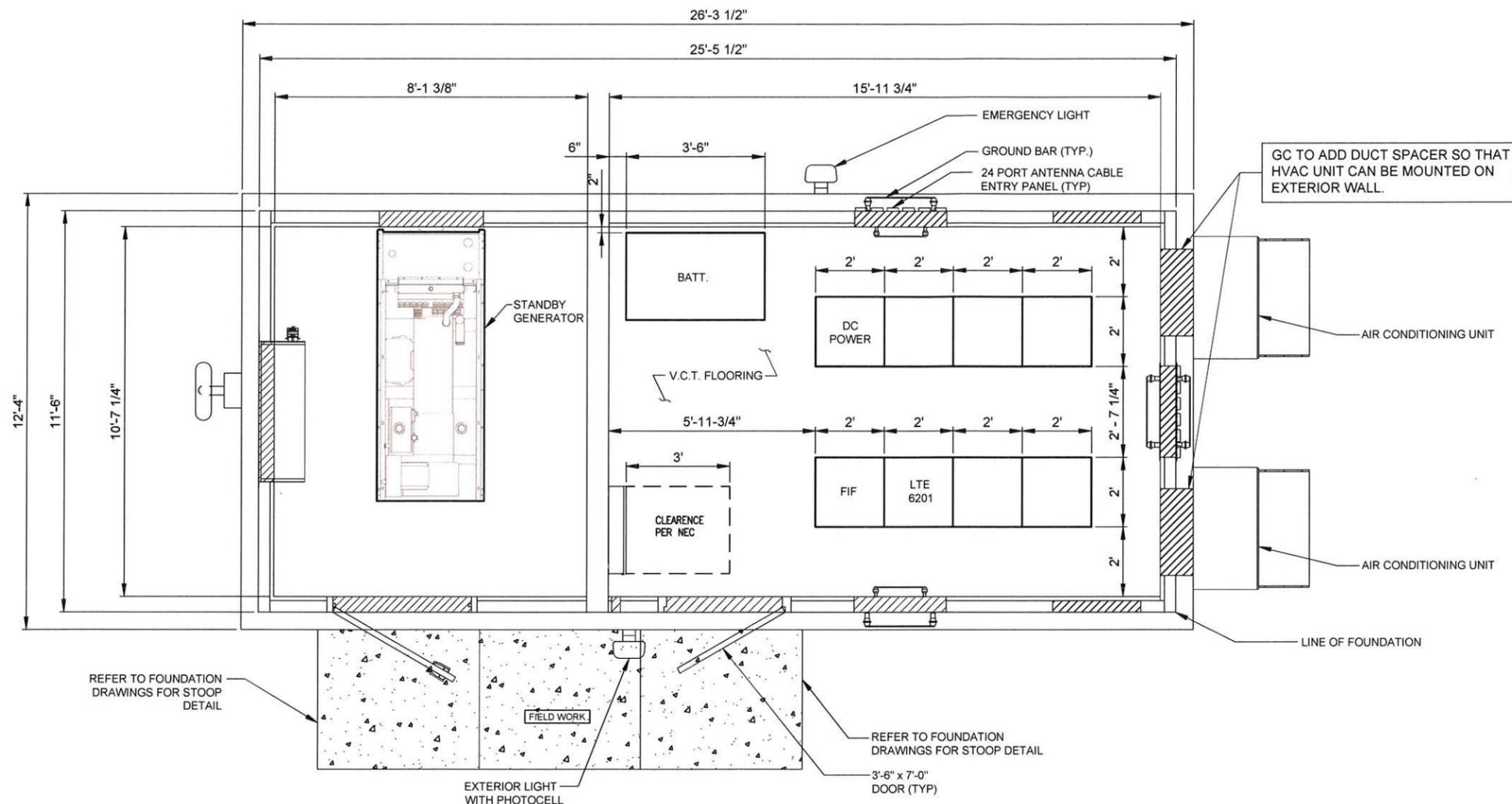




ROOF VIEW



0 1/2" 1" 2"  
 24" x 36" PRINT IS THE FULL SCALE  
 FORMAT. ANY SIZE OTHER THAN  
 THAT IS AT REDUCED SCALE.



NOTE:  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR  
 INSTALLING ALL EXTERIOR ATTACHMENTS FOR  
 GENERATOR (HOODS, MUFFLER, VENT, FILL, ETC.)

1 FLOOR PLAN-EQUIPMENT ENCLOSURE  
 SCALE: 1/2" = 1'-0"

**VENTILATION NOTES:**

- AIR CONDITIONING IS PROVIDED BY A BARD WALL MOUNTED SELF-CONTAINED ENERGY EFFICIENT COOLING SYSTEM, MODEL # WA602-A05EX2X1.5 TON, 120/240 VOLT, 30 AMP, SINGLE PHASE, 57,500 BTUH COOLING CAPACITY, 10.20 SEER, 24" DIA. FAN, 2600 CFM WITH FILTER
- ELECTRIC HEAT IS PROVIDED BY 5 KW, 18,840 BTUH, 240 VOLT, SINGLE PHASE HEAT STRIP, WITHIN BARD UNIT LISTED ABOVE.

- NOTES:**
- EQUIPMENT ENCLOSURE IS MANUFACTURED BY FIBREBOND CORPORATION, 1300 DAVENPORT DRIVE, MINDEN, LA, 71055. THIS SHEET IS PROVIDED AS GUIDE ONLY. REFER TO ACTUAL FIBREBOND DRAWINGS FOR FULL BUILDING PLANS.
  - EPS BOARD INSULATION IS LISTED TO HAVE A FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED OF 450 OR LESS WITH A MAXIMUM THICKNESS OF 2 INCHES AT 1 PCF DENSITY. POLYISOCYANURATE FOAM INSULATION HAS BEEN TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 1.9 PCF AND HAS A FLAME SPREAD OF 25 AND A SMOKE PRODUCT OF 395.
  - INTERIOR PANELING IS LISTED TO HAVE A FLAMESPREAD OF 200 OR LESS.
  - THIS ENCLOSURE IS CLASSIFIED AS USE GROUP B, TYPE 5B CONSTRUCTION; AND IS IN COMPLIANCE WITH 2012 INTERNATIONAL BUILDING, MECHANICAL, FUEL GAS, FIRE CODES.
  - DESIGN CRITERIA  
 WIND LOAD = 125 MPH FLOOR DEAD LOAD = 35 PSF  
 ROOF LIVE LOAD = 100 PSF WALL DEAD LOAD = 35 PSF  
 FLOOR LIVE LOAD = 135 PSF SNOW LOAD = 80 PSF  
 ROOF DEAD LOAD = 45 PSF SEISMIC EXPOSURE GROUP = III
  - $F_c = 5000$  PSI @ 28 DAYS (EQUIPMENT ENCLOSURE)
  - ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER SEPARATE CONTRACT. EQUIPMENT ENCLOSURE INFORMATION INDICATED HEREIN IS PROVIDED FOR REFERENCE ONLY AND IS TAKEN FROM MANUFACTURER'S AVAILABLE DATA. REFER TO CIVIL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT.
  - PRIOR TO PROJECT CLOSE OUT AND SHELTER INSTALLATION, THE GENERAL CONTRACTOR IS TO CLEAN THE SHELTER FLOOR AND APPLY A STATIC-FREE WAX TO THE FLOORS.

VENTILATION SCHEDULE						
ROOM PURPOSE	AREA	VENTILATION				REMARKS
		NATURAL		MECHANICAL		
		ACTUAL	REQUIRED	ACTUAL	REQUIRED	
WIRELESS TELEPHONE EQUIPMENT ENCLOSURE (NON-INHABITED)	292.8 S.F.	0 CFM	0 CFM	2600 CFM	0 CFM	SEE NOTE 1.

**CHICAGO SMSA**  
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 d/b/a VERIZON WIRELESS

**TERRA**  
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 FAX: 847-698-6401

NO.	REVISIONS	DATE	BY	TJS
1	ISSUED FOR REVIEW	05/05/17		

LOC. # 278150

HARTLAND EAST

COVENTRY LANE  
 HARTLAND, WI 53029

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	12/02/15
PROJECT #:	33-1912

SHEET TITLE  
 EQUIPMENT ENCLOSURE  
 PLAN & SECTION

SHEET NUMBER  
**B-1**

OPERATES 24 HOURS  
 A DAY 365 DAYS A YEAR

**Call Before You Dig**

**JULIE**  
 ILLINOIS ONE CALL SYSTEM

CALL JULIE TOLL FREE  
 1 (800) 892-0123  
 48 HOURS BEFORE YOU DIG











**GROUNDING ELECTRODE SYSTEM NOTES:**

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF PLATFORM AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID. THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
  1. ONE (1) COPY TO OWNER REPRESENTATIVE
  2. ONE (1) COPY TO ENGINEER
  3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

**TYPICAL KEYED GROUNDING NOTES** △

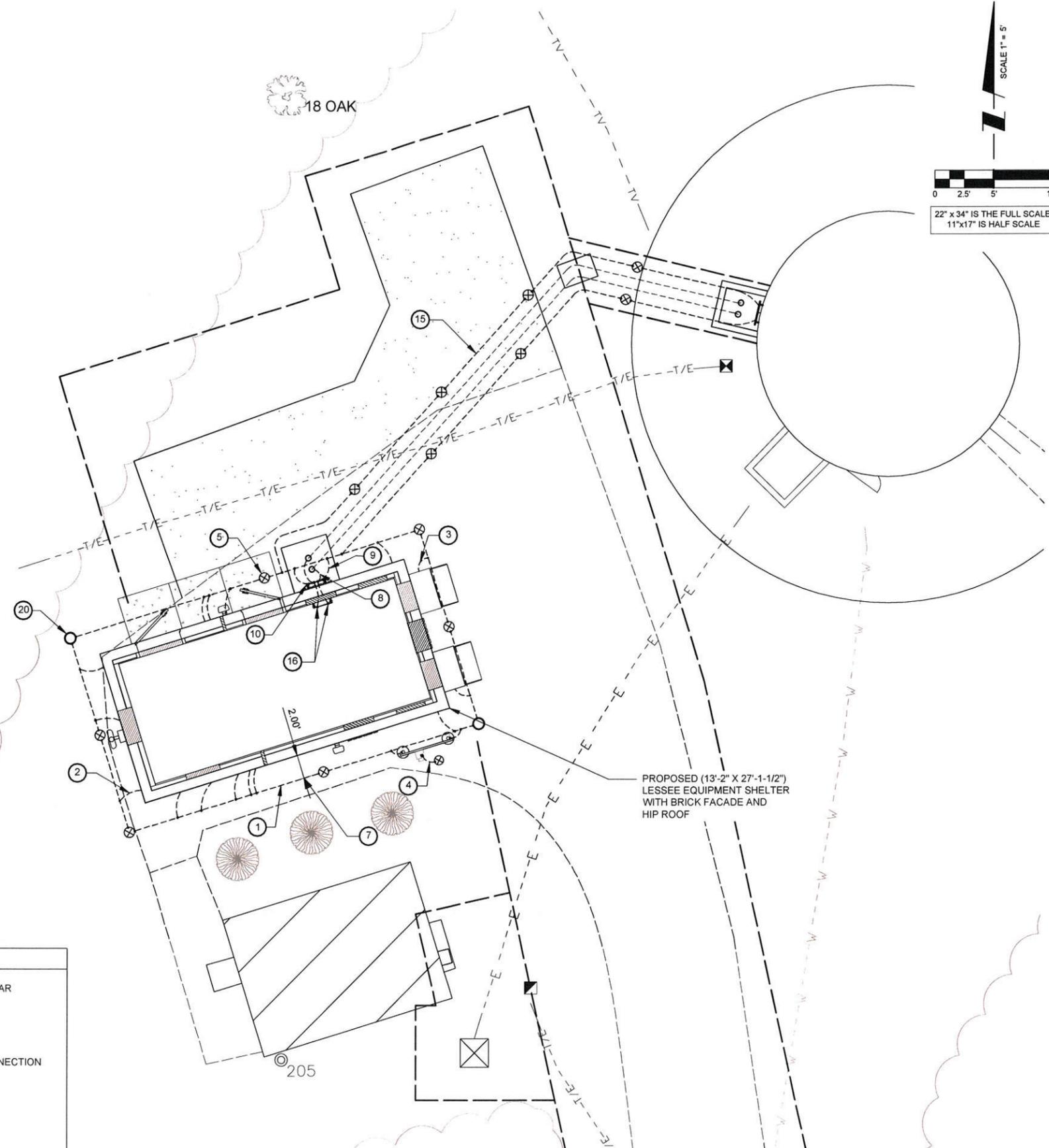
- ① #2 AWG T1NND SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (TYPICAL) MINIMUM 24" BENDING RADIUS
- ② ENCLOSURE GROUND (TYP.) IN 1/2" DIAMETER SCHEDULE 40 PVC CONDUIT
- ③ GROUND EQUIPMENT ENCLOSURE HVAC WITH MECHANICAL CLAMP (SEE DETAIL, SHEET E-3).
- ④ DISCONNECT AND ELECTRIC SERVICE GROUND TO GROUND ROD
- ⑤ 5/8" x 10' COPPER CLAD GROUND ROD  
GROUND CHAIN LINK FENCE (TYPICAL) EXOTHERMIC CONNECTION
- ⑥ (TYPE VS) GROUND FENCE POSTS WITHIN 6 FEET OF PLATFORM AND 25 FEET OF TOWER. (SEE DETAIL, SHEET E-5.)
- ⑦ MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES.
- ⑧ GROUND COAXIAL ANTENNA CABLES TO GROUND BAR BY ANTENNA CONTRACTOR TERMINATE CABLES 1'-0" FROM PLATFORM AND INSTALL LIGHTNING SURGE ARRESTORS ON EACH CABLE GROUND.
- ⑨ EXOTHERMICALLY WELD COPPER GROUND BAR TAIL TO HALO GROUND RING (EXOTHERMIC CONNECTION TYPE TA) BY ANTENNA CONTRACTOR. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
- ⑩ 4"x20"x1/4" T1NND INSULATED COPPER GROUND BAR, NON ISOLATED WITH 10.0' LONG #2 AWG T1NND SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VW)
- ⑪ GROUND CABLE WAVEGUIDE BRIDGE (TYP.) BY ELECTRICAL CONTRACTOR.
- ⑫ PROPOSED PERIPHERAL GROUND RING SHOULD BE INSTALLED 1' TO 2' INSIDE THE FENCE LINE. THE TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM 2' OFF OF ANY STRUCTURES.
- ⑬ EXISTING TOWER OR COMPOUND GROUND RING (V.I.F.)
- ⑭ GATE JUMPERS (SEE DETAIL, SHEET E-4)
- ⑮ BOND EXISTING/ PROPOSED TOWER GROUND RING TO PROPOSED PLATFORM GROUND RING WITH #2 AWG T1NND SOLID COPPER CONDUCTOR IN 2 LOCATIONS.
- ⑯ TWO #2 LEADS FROM THE EGR TO THE GROUND BAR AT UTILITY FRAME LOCATED ON PLATFORM STEEL. CADWELD AT EGR AND DOUBLE HOLE LUGS ON PLATFORM.
- ⑰ BOND RAYCAP TO MGB.
- ⑱ EACH TOWER FOUNDATION REBAR MESH/CAGE TO BE BONDED TO TOWER GROUND RING WITH #2 T1NND SOLID COPPER CONDUCTOR
- ⑲ EACH TOWER FOUNDATION TO HAVE AT LEAST ONE ANCHOR BOLT BONDED TO TOWER GROUND RING WITH #2 T1NND SOLID COPPER CONDUCTOR
- ⑳ COPPER CLAD GROUND ROD WITH INSPECTION WELL TOP OF GROUND ROD MAX 24" BURY.
- ㉑ EXTEND GROUND CONDUCTORS IN 1/2" RIGID H.W. CONDUIT ADJACENT TO PAD, OFFSET AND ATTACH TO EXTERIOR OF GENERATOR HOUSING AND EXTEND TO GROUND LUGS AS REQUIRED, VERIFY LOCATION WITH GENERAC.
- ㉒ MGB MOUNTED UNDER PERIMETER BEAM



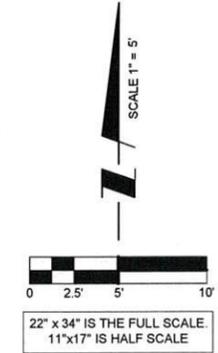
OTHER UTILITIES NOT INCLUDED IN DIGGERS HOTLINE AND LOCAL UTILITY DISTRICTS AND COMPANIES SHALL ALSO BE NOTIFIED

NOTE:  
SEE GROUNDING DETAILS ON SHEETS E-3 & E-4

LEGEND:	
	GROUND BAR OR ARRESTOR BAR
	5/8"Ø x 10'-0" GROUND ROD
	GROUND SYSTEM TEST WELL
	CADWELD OR APPROVED CONNECTION
	SPARE GROUND LEAD
	MECHANICAL CONNECTION
	EXISTING GROUNDING
	NEW GROUNDING



1 SITE GROUNDING PLAN  
SCALE: 1" = 4'



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d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
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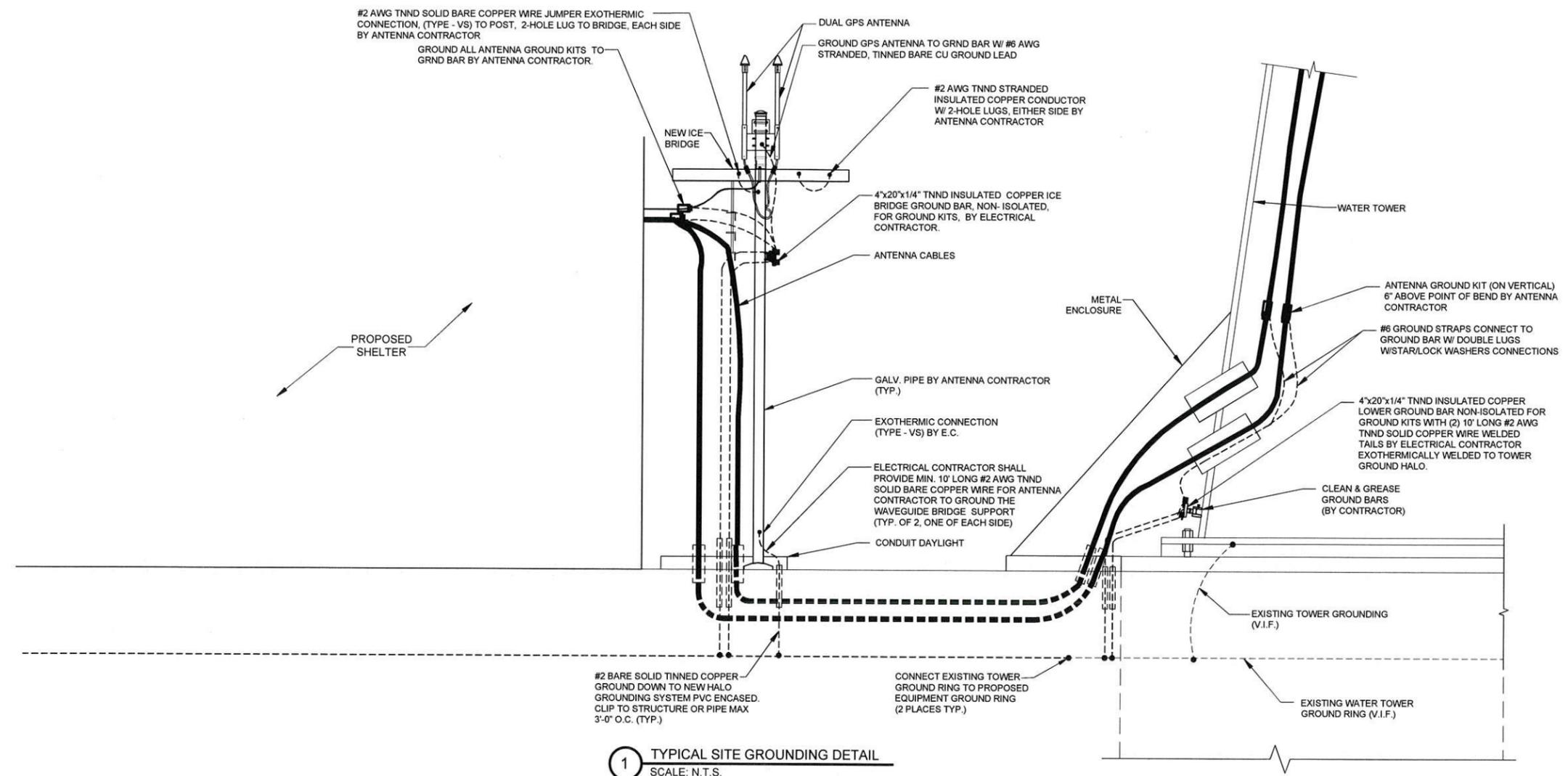
NO.	DESCRIPTION	DATE	BY	TJS
		05/05/17		

LOC. # 278150  
**HARTLAND EAST**  
COVENTRY LANE  
HARTLAND, WI 53029

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	12/02/15
PROJECT #:	33-1912

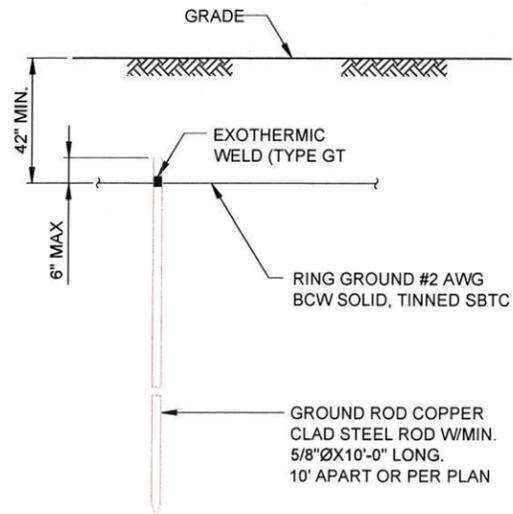
SHEET TITLE  
**SITE GROUNDING PLAN**

SHEET NUMBER  
**E-2**



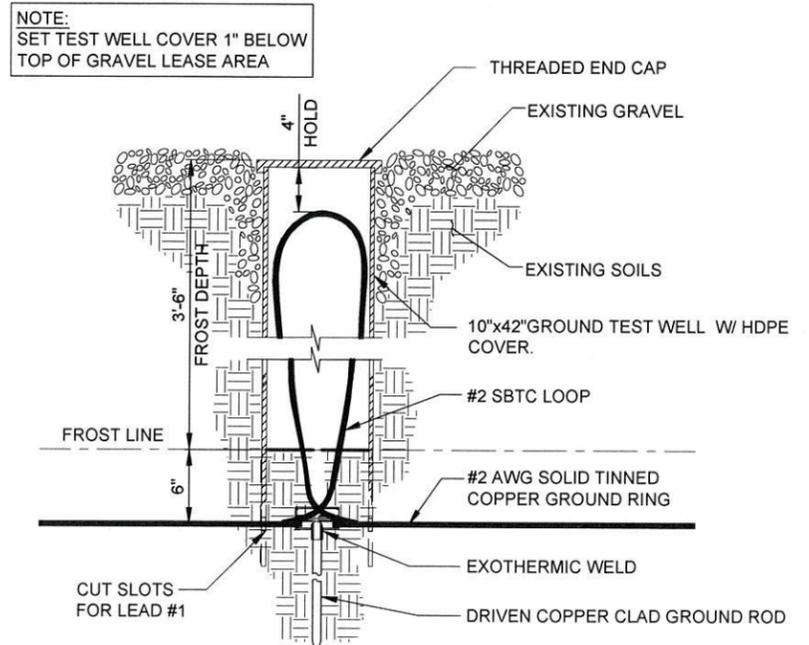
**1** TYPICAL SITE GROUNDING DETAIL  
SCALE: N.T.S.

NO.	REVISIONS	DESCRIPTION	DATE	BY	TJS
		ISSUED FOR REVIEW	05/05/17		



**NOTE:**  
GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.

**2** GROUND ROD DETAIL  
SCALE: N.T.S.



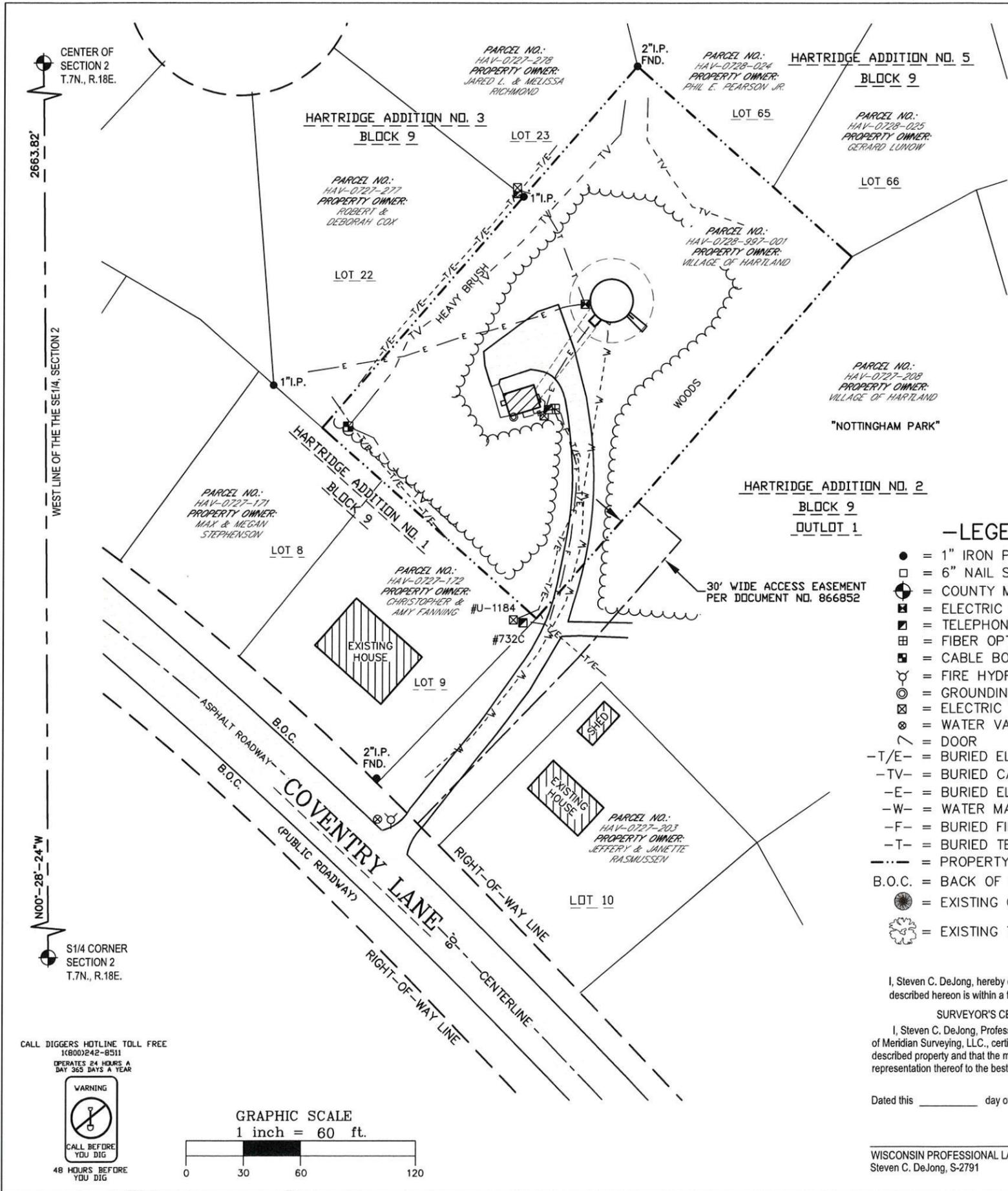
**3** TEST WELL DETAIL  
SCALE: N.T.S.

LOC. # 278150  
**HARTLAND EAST**  
COVENTRY LANE  
HARTLAND, WI 53029

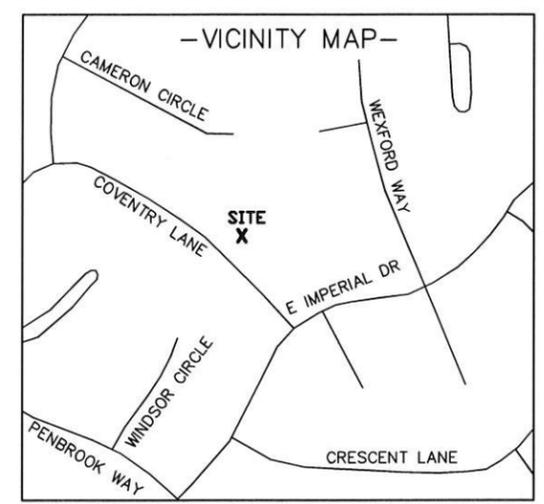
DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	12/02/15
PROJECT #:	33-1912

SHEET TITLE  
**GROUNDING DETAILS**

SHEET NUMBER  
**E-3**



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD27) - SOUTH ZONE AND THE WEST LINE OF THE SE1/4, SECTION 2, WHICH BEARS: N00°-28'-24"W



**EXISTING WATER TOWER BASE**  
 LATITUDE: 43°-05'-35.63"  
 LONGITUDE: 88°-19'-56.11"  
 (Per North American Datum of 83/91)  
 Top of Antenna Elevation: 1127.5'  
 (Highest Point)  
 Top of Tower Elevation: 1120.9'  
 Ground Elevation: 1018.0'  
 (Per North American Vertical Datum of 1988)

- LEGEND-**
- = 1" IRON PIPE FOUND
  - = 6" NAIL SET
  - ⊙ = COUNTY MONUMENT FOUND
  - ⊠ = ELECTRIC METER
  - ⊞ = TELEPHONE PEDESTAL
  - ⊞ = FIBER OPTIC PEDESTAL
  - ⊞ = CABLE BOX
  - ⊞ = FIRE HYDRANT
  - ⊞ = GROUNDING PORT
  - ⊞ = ELECTRIC TRANSFORMER
  - ⊞ = WATER VALVE
  - ⊞ = DOOR
  - T/E- = BURIED ELEC. & TELE.
  - TV- = BURIED CABLE
  - E- = BURIED ELECTRIC
  - W- = WATER MAIN
  - F- = BURIED FIBER OPTIC
  - T- = BURIED TELEPHONE
  - - - = PROPERTY LINE
  - B.O.C. = BACK OF CURB
  - ⊙ = EXISTING CEDAR TREE
  - ⊙ = EXISTING TREE

**SURVEY NOTES:**

-THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.

-DIGGERS HOTLINE TICKET NO. 20170404151.

-PRIVATE UTILITIES MARKED ON 2-01-2017.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

FEMA NOTE:  
 -ACCORDING TO FEDERAL EMERGENCY AGENCY MAPS, THE PROPOSED TELECOMMUNICATIONS SITE IS LOCATED IN ZONE "X", COMMUNITY PANEL NO. 55133C0179H, DATED NOVEMBER 05 2014, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. ZONE "X" IS DESIGNATED AS: "AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAIN".

WETLAND NOTE:  
 -THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

I, Steven C. DeJong, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**  
 I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
 Steven C. DeJong, S-2791

SURVEYED FOR:

600 Busse Highway  
 Park Ridge, IL 60068  
 OFFICE: (847) 698-6400  
 FAX: (678) 444-4472

SURVEYED FOR:

1515 WOODFIELD ROAD  
 SUITE 1400  
 SCHAUMBURG, IL 60173

**MERIDIAN**  
 SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881  
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: HARTLAND EAST  
 SITE NUMBER: 278150  
 SITE ADDRESS: COVENTRY LANE  
 HARTLAND, WI 53029

PROPERTY/TOWER OWNER:  
 VILLAGE OF HARTLAND  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029

PARCEL NO.:  
 HAV-0728-997-001 (LEASE)  
 HAV-0727-208 (EASE.)

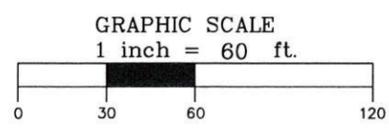
ZONED: MUNI  
 DEED: DOCUMENT NO. 866852

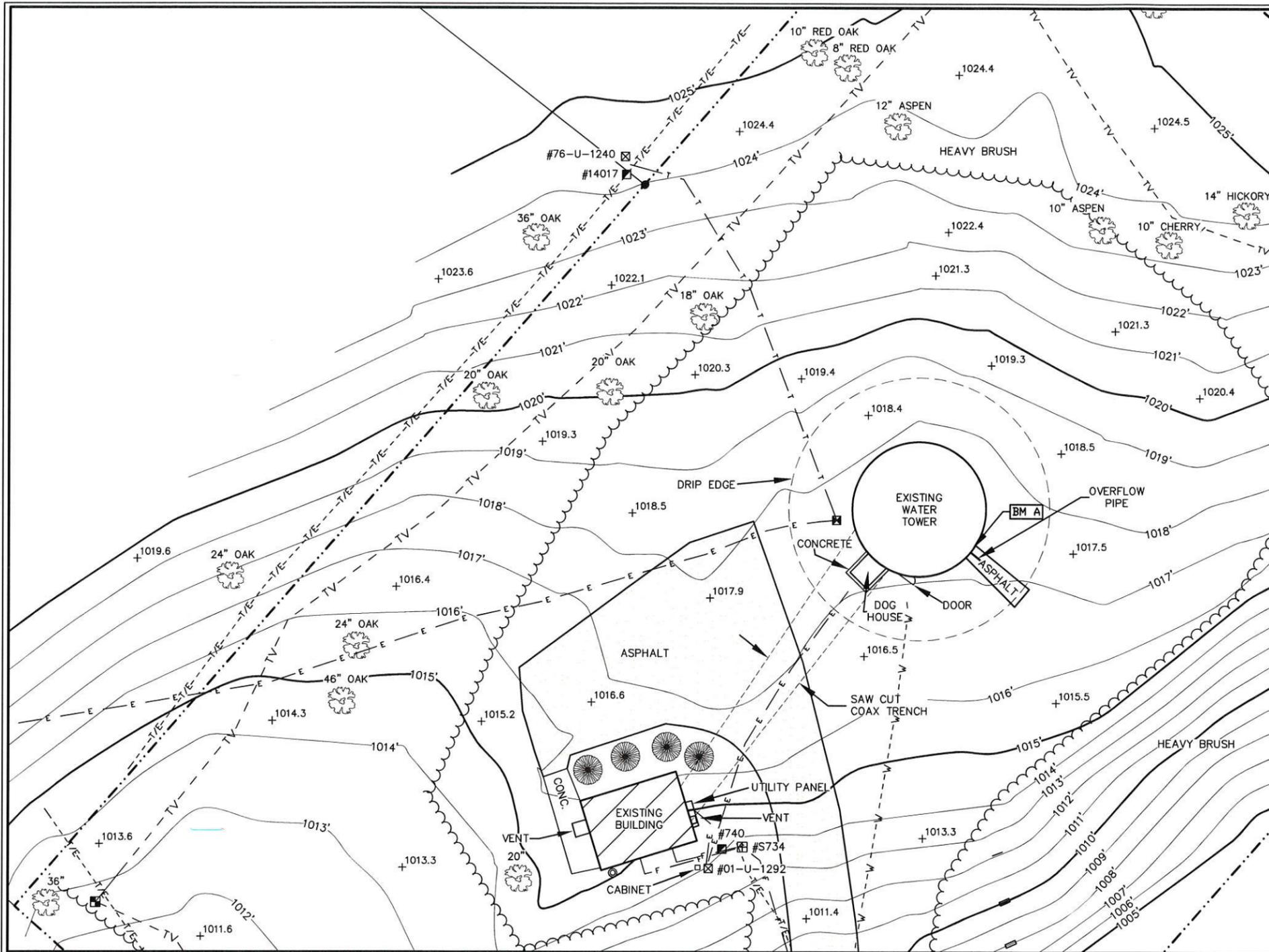
**LEASE EXHIBIT**  
 FOR  
 VERIZON WIRELESS PERSONAL  
 COMMUNICATIONS LP d/b/a VERIZON WIRELESS  
 BEING A PART OF THE SW1/4 OF THE  
 SE1/4, SECTION 2, T.7N., R.18E.,  
 VILLAGE OF HARTLAND,  
 WAUKESHA COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
2	2/2/17	Added Field Locates	J.D.
1	3/19/14	Preliminary Survey	A.E.

DRAWN BY: JD FIELD WORK DATE: 2/01/17  
 CHECKED BY: S.C.D. FIELD BOOK: M-29 PG 62  
 JOB NO.: 9299 SHEET 1 OF 3

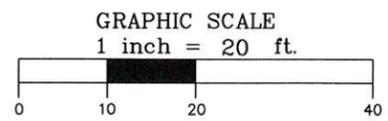
CALL DIGGERS HOTLINE TOLL FREE  
 1(800)242-8511  
 OPERATES 24 HOURS A DAY 365 DAYS A YEAR





- LEGEND-**
- = 1" IRON PIPE FOUND
  - = 6" NAIL SET
  - ⊕ = COUNTY MONUMENT FOUND
  - ⊞ = ELECTRIC METER
  - ⊞ = TELEPHONE PEDESTAL
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  - ⊙ = EXISTING CEDAR TREE
  - ⊙ = EXISTING TREE

**BENCHMARK INFORMATION**  
 SITE BENCHMARK: (BM A)  
 TOP OF WATER TOWER ANCHOR  
 BOLT NE OF OVERFLOW PIPE  
 ELEVATION: 1019.48'



BEARINGS REFERENCED TO THE WISCONSIN  
 STATE PLANE COORDINATE SYSTEM  
 (NAD27) - SOUTH ZONE AND THE WEST  
 LINE OF THE SE1/4, SECTION 2,  
 WHICH BEARS: N00°-28'-24"W

I, Steven C. DeJong, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**  
 I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
 Steven C. DeJong, S-2791

SURVEYED FOR:

600 Busse Highway  
 Park Ridge, IL 60068  
 OFFICE: (847) 698-6400  
 FAX: (678) 444-4472

SURVEYED FOR:

1515 WOODFIELD ROAD  
 SUITE 1400  
 SCHAUMBURG, IL 60173

**MERIDIAN**  
**SURVEYING, LLC**

N8774 Firelane 1 Office: 920-993-0881  
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME:	HARTLAND EAST
SITE NUMBER:	278150
SITE ADDRESS:	COVENTRY LANE HARTLAND, WI 53029

PROPERTY/TOWER OWNER:  
 VILLAGE OF HARTLAND  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029

PARCEL NO.:  
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ZONED: MUNI

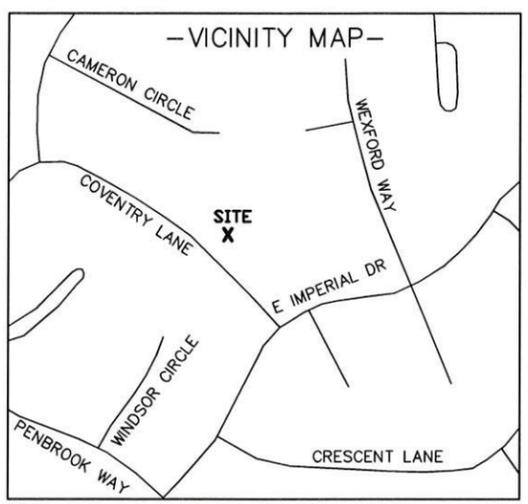
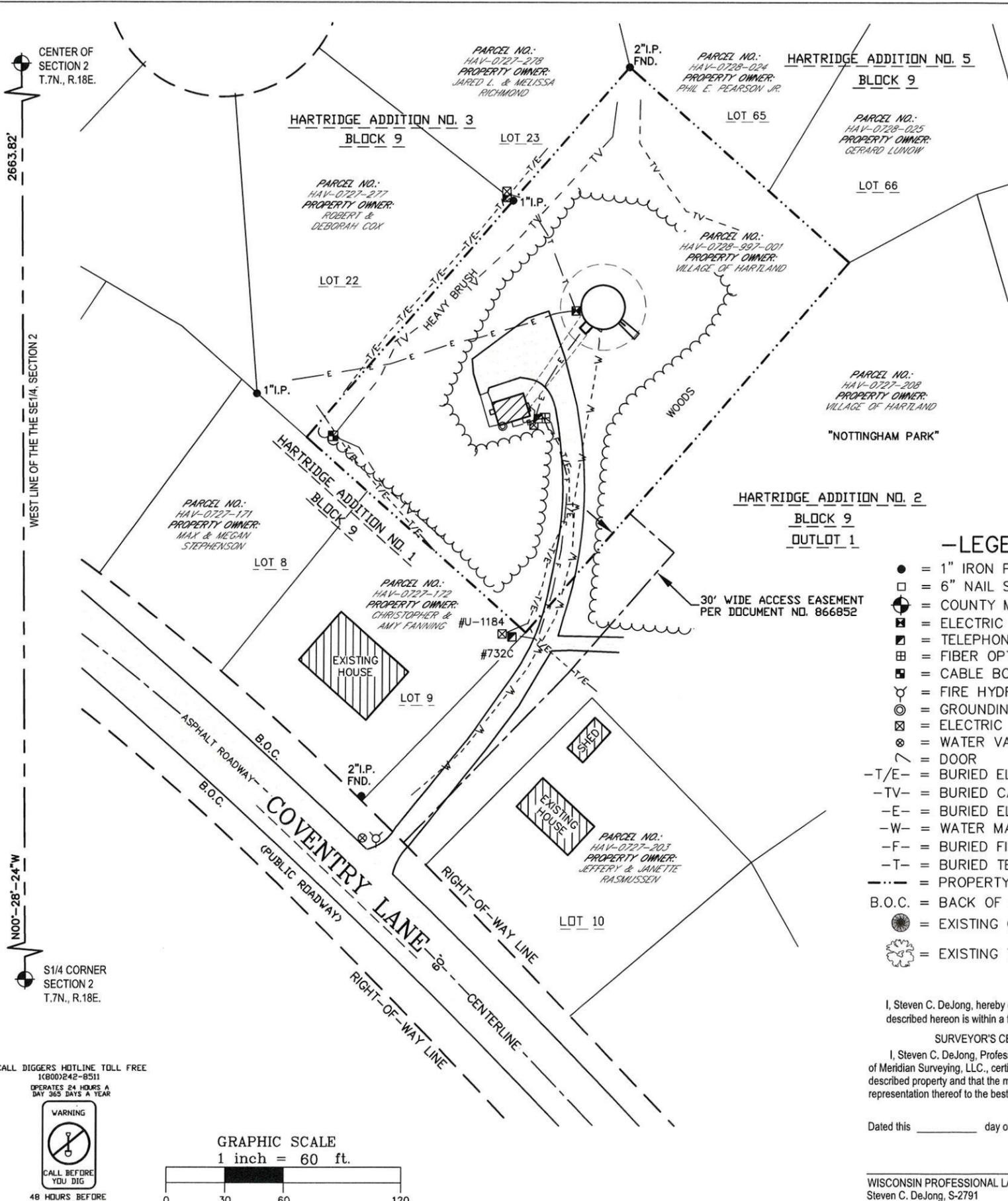
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 FOR  
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BEING A PART OF THE SW1/4 OF THE  
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DRAWN BY: JD	FIELD WORK DATE: 2/01/17
CHECKED BY: S.C.D.	FIELD BOOK: M-29 PG 62
JOB NO.: 9299	SHEET 2 OF 3



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD27) - SOUTH ZONE AND THE WEST LINE OF THE SE 1/4, SECTION 2, WHICH BEARS: N00°-28'-24"W

**EXISTING WATER TOWER BASE**  
 LATITUDE: 43°-05'-35.63"  
 LONGITUDE: 88°-19'-56.11"  
 (Per North American Datum of 83/91)  
 Top of Antenna Elevation: 1127.5'  
 (Highest Point)  
 Top of Tower Elevation: 1120.9'  
 Ground Elevation: 1018.0'  
 (Per North American Vertical Datum of 1988)

- LEGEND-**
- = 1" IRON PIPE FOUND
  - = 6" NAIL SET
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  - ⊞ = FIBER OPTIC PEDESTAL
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  - - - = PROPERTY LINE
  - B.O.C. = BACK OF CURB
  - ⊙ = EXISTING CEDAR TREE
  - ⊙ = EXISTING TREE

**SURVEY NOTES:**

-THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.

-DIGGERS HOTLINE TICKET NO. 20170404151.

-PRIVATE UTILITIES MARKED ON 2-01-2017.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

FEMA NOTE:  
 -ACCORDING TO FEDERAL EMERGENCY AGENCY MAPS, THE PROPOSED TELECOMMUNICATIONS SITE IS LOCATED IN ZONE "X", COMMUNITY PANEL NO. 55133C0179H, DATED NOVEMBER 05 2014, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. ZONE "X" IS DESIGNATED AS: "AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAIN".

WETLAND NOTE:  
 -THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

I, Steven C. DeJong, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**  
 I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
 Steven C. DeJong, S-2791

SURVEYED FOR:

600 Busse Highway  
 Park Ridge, IL 60068  
 OFFICE: (847) 698-6400  
 FAX: (678) 444-4472

SURVEYED FOR:

1515 WOODFIELD ROAD  
 SUITE 1400  
 SCHAUMBURG, IL 60173

**MERIDIAN**  
 SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881  
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: HARTLAND EAST  
 SITE NUMBER: 278150  
 SITE ADDRESS: COVENTRY LANE  
 HARTLAND, WI 53029

PROPERTY/TOWER OWNER:  
 VILLAGE OF HARTLAND  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029

PARCEL NO.:  
 HAV-0728-997-001 (LEASE)  
 HAV-0727-208 (EASE.)

ZONED: MUNI  
 DEED: DOCUMENT NO. 866852

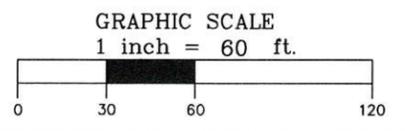
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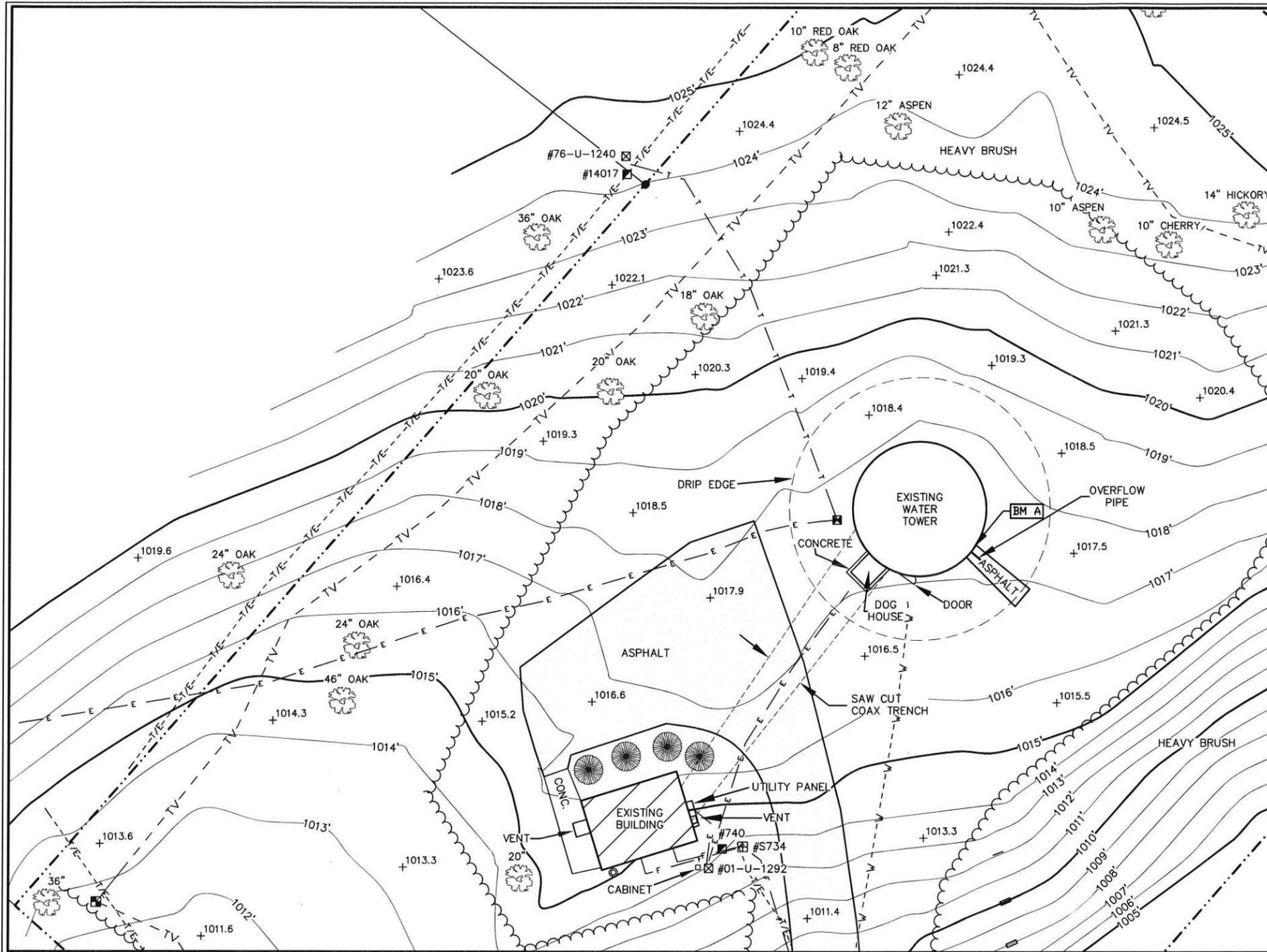
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DRAWN BY: JD FIELD WORK DATE: 2/01/17  
 CHECKED BY: S.C.D. FIELD BOOK: M-29 PG 62  
 JOB NO.: 9299 SHEET 1 OF 3

2663.82'  
 WEST LINE OF THE SE 1/4, SECTION 2  
 S 1/4 CORNER SECTION 2 T.7N., R.18E.  
 N00°-28'-24"W

CALL DIGGERS HOTLINE TOLL FREE  
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SURVEYED FOR:

**TERRA**  
CONSULTING GROUP, LTD.

600 Busse Highway  
Park Ridge, IL 60068  
OFFICE: (847) 698-6400  
FAX: (678) 444-4472

SURVEYED FOR:

**verizon**

1515 WOODFIELD ROAD  
SUITE 1400  
SCHAUMBURG, IL 60173

**MERIDIAN**  
SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881  
Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: HARTLAND EAST

SITE NUMBER: 278150

SITE ADDRESS: COVENTRY LANE  
HARTLAND, WI 53029

PROPERTY/TOWER OWNER:  
VILLAGE OF HARTLAND  
210 COTTONWOOD AVENUE  
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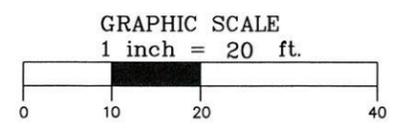
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Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
Steven C. DeJong, S-2791

**BENCHMARK INFORMATION**  
SITE BENCHMARK: (BM A)  
TOP OF WATER TOWER ANCHOR  
BOLT NE OF OVERFLOW PIPE  
ELEVATION: 1019.48'



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD27) - SOUTH ZONE AND THE WEST LINE OF THE SE1/4, SECTION 2, WHICH BEARS: N00°-28'-24"W



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

APPLICATION FOR  
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <b>BLUE RIBBON FLOORING</b>			
Proposed Use <b>WAREHOUSE ADDITION</b>		No. of Employees	
Project Location <b>475 CARDINAL LANE</b>			
Project Name <b>REQUEST FOR GRAVEL AREA</b>			
Owner <b>DAVID SMITH</b>		Phone <b>262-367-2100</b>	
Address <b>475 CARDINAL LANE</b>		City <b>HARTLAND</b>	State <b>WI</b> Zip <b>53029</b>
Engineer/Architect <b>MSI GENERAL</b>		Phone <b>262-367-3661</b>	FAX
Address <b>PO BOX 7</b>		City <b>DONOMONOC</b>	State <b>WI</b> Zip <b>53066</b>
Contact Person <b>JOHN KUTZ</b>	Phone <b>920-650-5032</b>	FAX	E-mail <b>JOHN@MSIGENERAL.COM</b>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

REQUEST  
 FOR  
 SITE PLAN  
 DISCUSSION.

PROJECT IS  
 UNDERWAY  
 AND PERMITTED

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

Plan Commission - Request for Consideration

6.13.17

Blue Ribbon Flooring

475 Cardinal Lane

Hartland, WI 53029

David Smith, Owner

To Whom it May Concern,

Blue Ribbon Flooring is currently in the process of doubling the size of it's current facilities to better serve the Village of Hartland and surrounding Lake Country residents. We would like to ask that the plan commission review our request to leave a part of our lot as gravel, in lieu of asphalt.

Our site is located at the curve of Cardinal Lane. Since purchasing the property, we have maintained a gravel loading area for our delivery trucks to turn around on site prior to unloading of materials. This allows for safe entrance and exiting from our property on to Cardinal Lane. We receive fifteen to twenty semi-truck deliveries per week.

We are concerned that turning the gravel area into asphalt will negatively impact our site in a couple of ways. First of all, the site is narrow and our trucks have to turn sharply to reposition. The gravel is easily maintained by re-grading the gravel on a consistent basis as needed. The asphalt will not hold up to the constant pressure of heavy trucks turning in a concentrated matter. Secondly, our site is designed for sheet draining storm water away from our building. The gravel infiltrates storm water nicely on the edge of our property and asphalt will create increased runoff to the marsh area to the south.

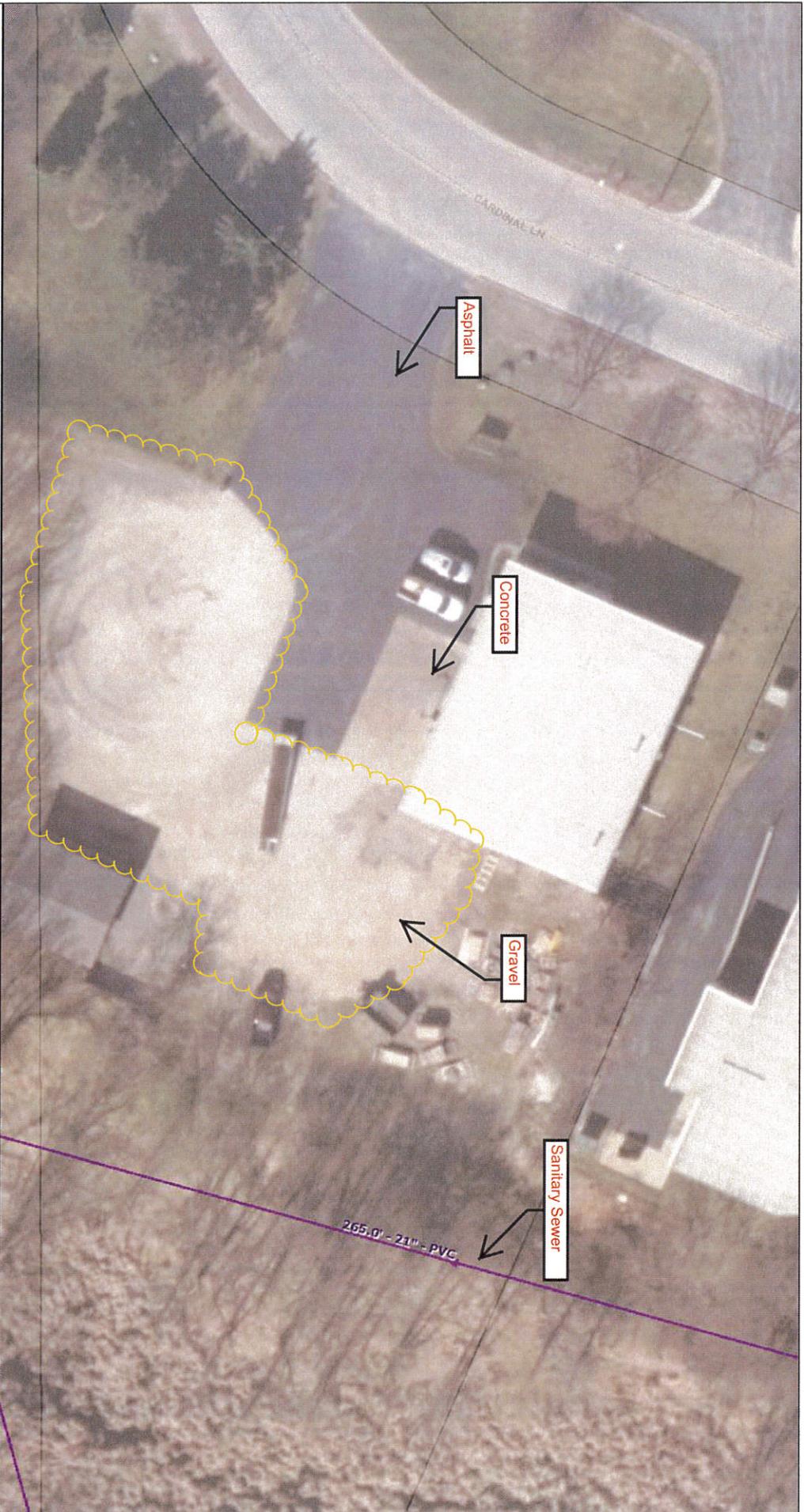
We recognize that the gravel area must be properly maintained, and a well established groundcover is currently in place for additional erosion control. We have had the existing gravel loading area in place for decades, it is not connected to Cardinal Lane, and the gravel does not track into the Village roadways.

Our request is to have our revised site plan (C-101) approved with the existing gravel remaining as shown. New Asphalt will be added in front of the addition in the same manner as we currently have on our existing building.

We appreciate your time and look forward to your favorable consideration

Sincerely,

David Smith, Owner



**Village of Hartland**  
Blue Ribbon Flooring

**DISCLAIMER:**

This map is not a survey of the actual boundary of any property. This map depicts the Village of Hartland does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SCALE: 1 = 27'



**Village of Hartland**  
210 Cottonwood Ave  
Hartland, WI 53029  
262-367-2714

Print Date: 11/19/2016

This sign has been approved by the BID and is replacing the existing sign. Initially Cresthaven Homes had planned two lights above their sign, but they did not followed through. It appears that those two electrical boxes have been covered. It is not clear if the intent of the new owner is to use them for their lighting. There is nothing on the application regarding a lighting plan. When the lighting plan is confirmed, the applicant should be advised that the lighting must be on a timer and turned off at the time of closing or no later than 10 PM.

Motion (de-Courcy-Bower/Hallquist) to approve an application for a sign for Birch & Banyan at 150 E. Capitol Dr., pending clarification of illumination and lighting to be turned off no later than 10 PM. Carried (6-0).

6. Plan Commission consideration of an application for approval of the Plan of Operation for Bicycle Barn at 130 E. Capitol Dr.

The Bicycle Barn is an exercise facility in the lower level of this building. The use is acceptable and similar to others in the building. The main question relates to parking capacity in the area. Most of the scheduled classes do occur in the morning hours before businesses in the area are functioning. However, some classes do occur during early evening hours, which seem to fall after many businesses are closed, but during the dinner serving times at area restaurants. The evening classes are less attended than the morning activities. The Village operates a large parking lot across the river from this facility linked to the building by a bridge and a path. Additionally staff continues to work toward development of additional public parking options in the area including immediately east of the Bicycle Barn location.

Motion (Hallquist/Schneeberger) to approve an application of the Plan of Operation for Bicycle Barn at 130 E. Capitol Dr. Carried (6-0).

7. Architectural Board and Plan Commission review and consideration of site and building plans for construction of an addition to Blue Ribbon Flooring, 475 Cardinal Lane, Dave Smith, Owner, MSI General, Engineer/Architect.

The owners of Blue Ribbon Flooring are proposing a 4,594 s.f. addition to their facility. The proposed addition will match the look of the existing facility (metal siding) and will include outdoor lighting in the same character. The addition will be about three feet higher than the current building. Staff noted that some technical issues include the need for proper erosion control permits and tracking pads. Additionally, it was noted that the proposed building will be constructed over the existing sewer lateral, which should be protected. Also staff noted there does not appear to be plans to pave the area in front of the new addition. While the parcel has included a gravel area in the past, staff believes it is appropriate (and it is a Village Code requirement) to now pave the area for the new addition to allow the anticipated truck traffic to maneuver and removal of unnecessary gravel with restoration in the grass. There will be no outdoor storage. This space is warehouse only, with no additional employees or parking needed.

There was concern about storm water runoff into the wetlands. Administrator Cox stated that he would work with the engineer to work out a resolution.

Motion (Swenson/de-Courcy-Bower) to recommend to the Village Board approval of site and building plans for construction of an addition to Blue Ribbon Flooring, 475 Cardinal Lane, Dave Smith, Owner, MSI General, Engineer/Architect, contingent upon staff receiving the asphalt layout. Carried (6-0).

8. Plan Commission consideration of a request to amend the conditions on the Final Plat for the Windrush Subdivision to remove the provision allowing corner lots driveway access only to one street to allow a circular drive at 1650 Whistling Hill Circle and other locations in the subdivision.

The owner of one of the corner lots in Windrush is requesting an amendment to the conditions on the Final Plat for the Windrush subdivision. As part of the review process for the subdivision, staff had made a recommendation that access for corner lots be restricted to only one street. The intent of the restriction, as it is with any access restriction, is to minimize potential traffic conflicts. The Village's Comprehensive Plan and Code address the limitation in the context of arterial streets only and do not discuss dual access on minor streets. While staff believes that the prohibition should absolutely remain in place for any arterial street, it does not feel as adamant with regard to subdivision or minor streets. If the Plan Commission is willing to allow the condition to be removed a corrected version of the Final Plat or an affidavit of correction will be filed with the Register of Deeds Office. Setback requirements will still need to be met.

Motion (de-Courcy-Bower/Hallquist) to recommend to the Village Board approval of a request to amend the conditions on the Final Plat for the Windrush Subdivision to remove the provision allowing corner lots driveway access only to one street to allow a circular drive at 1650 Whistling Hill Circle and other locations in the subdivision. (Carried 6-0).

9. Plan Commission review of a concept plan for a 13 unit single family home development at 1270 E Capitol Drive.

Diane McGee, from Habitat from Humanity, presented the background and vision of the non-profit organization.

She described the proposal for 13 units along a private road on the 3.2 acre site. The proposal calls for single family homes under condominium-style ownership whereby a small area of "limited common area" is dedicated to each home and a building pad is defined therein. Under the concept, houses would be set back 20 feet from the road edge and 20 feet from the rear of the individual limited common area (lot). Additionally, they would be 10 feet from the side of the "lot" or 20 feet between houses. The individual lot sizes average about 5,300 s.f. each and the building envelopes average 2,165 s.f. The developer would also request approval using the Planned Unit Development zoning process.

There were about 75 residents present from the Village of Hartland and the nearby areas of the Town of Delafield.

Kitty Kollmeyer, a resident from Rustic Lane, was the spokesperson for numerous people who signed petitions against the Habitat for Humanity project. Others who spoke were Scott Whitmore, Town of Delafield, Carol Taavola, Highland Avenue (in favor

3. Consideration of actions related to Licenses and Permits
  - a. Consideration of applications for Operator's (Bartender) Licenses with a term ending June 30, 2018

Motion (Wallschlager/Compton) to approve the Operator's (Bartender) Licenses as presented. Carried (7-0).

Items referred from the November 21, 2016 Plan Commission meeting

4. Motion (Stevens/Swenson) to approve site and building plans for construction of an addition to Blue Ribbon Flooring, 475 Cardinal Lane.

Discussion: It was clarified that the Plan Commission's recommended condition was that they pave with a hard surface the area that is currently gravel and what they need for a truck turn around. The Village Engineer has stated that the project is small enough that it does not need storm water management.

All in favor, Carried (7-0).

5. Motion (Landwehr/Swenson) to amend the conditions on the Final Plat for the Windrush Subdivision to remove the provision allowing corner lots driveway access only to one street. Carried (7-0).

6. Motion (Stevens/Wallschlager) to affirm denial of the concept plan for a 13-unit single family home development at 1270 E Capitol Drive.

Discussion: President Lamerand stated that when the Board takes this action, it is denying this project. This plan is officially "dead." It does not remove the fact that the Village does need to have new affordable housing stock, which we do not have. It was agreed that the density was too much for that parcel. No one at the Plan Commission meeting or Village Board meeting seemed to be opposed to Habitat for Humanity trying to find affordable housing in the Village. We will continue to work with them at their request when they come to us to review plans and we will go through this process. They may figure out a way to lower the costs either through a CDBG grant through the County or something from the State or the Feds. If they can receive funds to lower their costs, they may come back with a lower density for this parcel. That's only speculation. It may not happen.

Ann Wallschlager asked President Lamerand what his definition of "affordable housing" is. Affordable housing according to the standards by the Feds, HUD and the County, would be a house in the range of \$175,000 to \$225,000. Condominiums could be in this category.

All in favor, Carried (7-0).

Other items for consideration

DAVID P SMITH  
35303 W PABST RD  
OCONOMOWOC WI 53066

G & W LEASING INC  
14340 HICKORY FAIRWAY CT  
FORT MYERS FL 33912-7827

ICE AGE PARK AND TRAIL  
2110 MAIN ST  
CROSS PLAINS WI 53529-9596

MICHAEL R WHITE REVOCABLE TRUST  
OF 1992  
3787 CAMPBELL TRCE  
HARTLAND WI 53029-8826

SULLIVAN LEASING LLC  
2108 SILVERNAIL RD UNIT 316A  
PEWAUKEE WI 53072-5526



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 PHONE: 262-367-3661  
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WWW.MSIGENERAL.COM  
 SINGLE SOURCE RESPONSIBILITY™

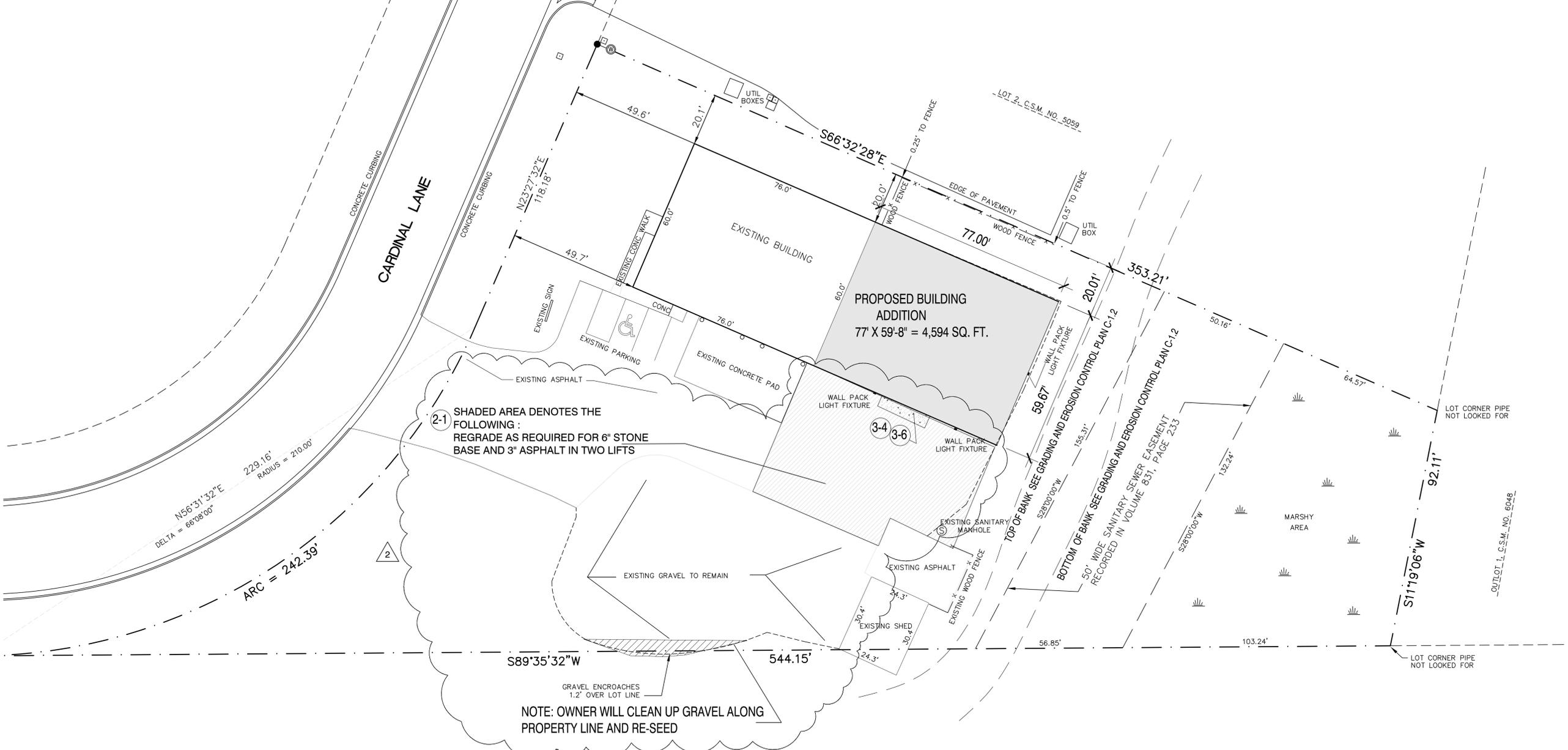
REVISIONS:	
1	04.25.17 Revise column spacing, footing sizes and pier sizes
2	06.12.17 Revise area of asphalt and clean up a South property line
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**PROJECT ADDRESS:**

PROJECT NAME  
 Blue Ribbon Flooring  
 STREET ADDRESS  
 475 Cardinal Lane  
 CITY / STATE / ZIP  
 Hartland WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Date: 04-06-2017 Drawn By: Tony Zulli  
 Sheet Title: **SITE PLAN**  
 Sheet Number: **C-101**  
 Project Number: P-16658  
**4426**



2-1 SHADED AREA DENOTES THE FOLLOWING:  
 REGRADE AS REQUIRED FOR 6" STONE BASE AND 3" ASPHALT IN TWO LIFTS

NOTE: OWNER WILL CLEAN UP GRAVEL ALONG PROPERTY LINE AND RE-SEED

SITE AREA	66,652 SQ.FT. ( 1.5 AC.)
EXISTING BUILDING	= 4,500 SQ.FT.
BUILDING ADDITION	= 4,594 SQ.FT.
TOTAL BUILDING AREA	= 9,094 SQ.FT.
PARKING	4 PARKING STALLS
NEW PAVING AREA	APROX. 3,930 SQ.FT.

**REFERENCE KEYNOTES**

Division 01- General	Division 03- Concrete	Division 04- Masonry	Division 05- Metals	Division 06- Woods and Plastics	Division 07- Thermal and Moisture Protection	Division 08- Doors and Windows	Division 09- Finishes	Division 10- Misc
(1) 50 LB PRECAST LIVE LOAD(03410) (2) 60 LB PRECAST LIVE LOAD(03410) (3) 100 LB PRECAST LIVE LOAD(03410) (4) 125 LB PRECAST LIVE LOAD(03410) (5) 150 LB PRECAST LIVE LOAD(03410) (6) 250 LB PRECAST LIVE LOAD(03410)	(3-1) CONCRETE OVERPOUR, HOLD FOUNDATION WALL 4" BELOW FINISHED FLOOR(0300 & 0300) (3-2) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" T.B. LIFT(02200, 03000) (3-3) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" T.B. LIFT(02200, 03000) (3-4) 4" POURED CONCRETE FLOOR W/ 4" STONE & 2" T.B. LIFT(02200, 03000) (3-5) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (3-6) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (3-7) CONCRETE REINF. W/ #6 @ 10 W.F.(03000) (3-8) CONCRETE REINF. W/ #6 @ 10 W.F.(03000) (3-9) CONCRETE REINF. W/ #6 @ 10 W.F.(03000) (3-10) CONCRETE REINF. W/ #6 @ 10 W.F.(03000)	(4-1) 4" STANDARD CONCRETE MASONRY UNIT(04000) (4-2) 8" STANDARD CONCRETE MASONRY UNIT(04000) (4-3) 12" STANDARD CONCRETE MASONRY UNIT(04000) (4-4) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-5) 4" DECORATIVE CONCRETE MASONRY UNIT(04000) (4-6) 12" CONCRETE BRICK UNIT(04000) (4-7) 4" CONCRETE BRICK UNIT(04000) (4-8) 8" CONCRETE BRICK UNIT(04000) (4-9) 12" CONCRETE BRICK UNIT(04000) (4-10) FACE BRICK(04000) (4-11) 4" PRECAST PLANK(03410) (4-12) 12" PRECAST PLANK(03410) (4-13) 12" PRECAST PLANK(03410) (4-14) 8" CONCRETE FILLED BOND BEAM REINF. W/ 2 #5 BARS CONT. AND LAPPED(0300, 03000) (4-15) 12" CONCRETE FILLED BOND BEAM REINF. W/ 2 #5 BARS CONT. AND LAPPED(0300, 03000)	(5-1) 6" DIA. CONCRETE FILLED PIPE BOLLARD SET IN 30" DIA. CONC. MASS(0300, 05120 & 05000) (5-2) 20 GAUGE METAL DECK, BAR JOISTS AND TRUSS GIRDERS(0510, 0510, 05000 & 07000) (5-3) METAL STAIR UNIT W/ "GRIP STRIP" TREADS CLOSED RISERS(05000) (5-4) CONCRETE FILLED METAL PAN STAIR UNIT W/ CLOSED RISERS(03000, 05000) (5-5) 1 1/2" DIA. METAL BALUNGS(05000)	(6-1) PLASTIC LAMINATE WINDOW(S) (06000) (6-2) PLASTIC LAMINATE COUNTERTOP AND BASE CABINET(06100, 06400, 06400) (6-3) PLASTIC LAMINATE WALL CABINET(06100, 06400, 06400) (6-4) SHELF AND POLE(06100, 06000)	(7-1) FIBERGLASS INSULATION(07000) (7-2) PERITE LOOSE FILL INSULATION R. CORES OF BLOCK(07200) (7-3) 20 GAUGE METAL DECK, BAR JOISTS AND TRUSS GIRDERS(0510, 0510, 05000 & 07000) (7-4) 1 1/2" SD INSULATION + 3.5" EPS INSULATION(07300) (7-5) 24 GAUGE CONCEALED FASTENER METAL ROOF PANEL (7-6) 24 GAUGE SIDE LAP FASTENER METAL ROOF OR WALL PANEL(07410) (7-7) 24 GAUGE SCULPTURED STEEL/ALU METAL WALL PANEL (7-8) 28 GAUGE PREFINISHED METAL LINER PANEL (7-9) VINYL FACED BLANKET INSULATION(07500) (7-10) 4" VINYL FACED BLANKET INSULATION(07500) (7-11) 2" FRICTION FIT INSULATION(07500) (7-12) EIFS EXTERIOR INSULATION FINISH SYSTEM(DRYVIT)(07240)	(8-1) BRONZSTONE INSULATED LOW E GLASS(08410,08000) (8-2) GREY/TE INSULATED LOW E GLASS(08410,08000) (8-3) CLEAR INSULATED LOW E GLASS(08410,08000) (8-4) BRONZSTONE ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-5) CLEAR ANODIZED ALUMINUM THERMAL BREAK FRAMING(08410) (8-6) H.M. BROWPOWDER LITE	(9-1) SUSPENDED CEILING SYSTEM(09100) (9-2) METAL SOFFIT PANEL	(10-1) FLAG POLE (10-2) MONUMENT SIGN (10-3) DAMPSTER ENCLOSURE (10-4) ROOF HATCH AND LADDER

**SITE PLAN 1" = 20'-0"**

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS