

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA**  
**MONDAY, JANUARY 15, 2018**  
**7:00 PM**  
**BOARD ROOM**  
**MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of December 18, 2017.
2. Architectural Board and Plan Commission review and consideration of site, building and lighting plans for construction of an addition to Austin Plumbing, 530 Norton Drive.
3. Plan Commission review and comment on a concept certified survey map for the property located east of 1270 E. Capitol Drive.
4. Plan Commission review and consideration of a request for amendments to the Comprehensive Land Use Plan to facilitate development north of CTH K (Lisbon Road) and west of Winkleman Road.
5. Review and comment on placement of benches in the Downtown Business Improvement District.
6. Review and comment on options for water tower painting.
7. Selection of a Plan Commission member to serve on the selection committee for the Planning Consultant.
8. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: [www.villageofhartland.com](http://www.villageofhartland.com) (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

## MEMORANDUM

**TO:** Architectural Board and Plan Commission  
**FROM:** David E. Cox, Village Administrator   
**DATE:** January 12, 2018  
**SUBJECT:** Agenda Information – January 15, 2018

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

### Item 2 Related to Austin Plumbing.

**Background:** Austin Plumbing on Norton Drive has submitted plans for a proposed storage warehouse addition and related pavement improvement at its existing facility. Staff has reviewed the proposal and the detailed comments are included in the Engineer's letter to the petitioner in the packet. With respect to the exterior appearance, staff has pointed out the existing masonry detail found on the existing building is not shown as being carried to the new addition. Staff recommends that, at minimum, this feature be continued. Additionally, staff noted that the north and east façades are long blank walls with no windows, architectural features or landscaping to break them up. At minimum, staff recommends that trees and other taller landscaping be added in this area and that the owner consider the addition of high level windows along these façades to allow natural lighting into the space as well as provide some interest to the appearance. Some new trees are appropriately proposed for the southeast corner of the property along the road to obscure the view of the new addition from this direction.

**Recommendation:** Recommend approval of the addition with appropriate conditions as to appearance and other matters in the Engineer's letter.

### Item 3 Related to a concept CSM on E Capitol Drive.

**Background:** A memo is included in the packet to discuss the proposal and the plan that these newly-created parcels would not be served by municipal sewer or water utilities. Staff is recommending that the Commission consider creation of a new zoning category to suit these parcels and to accommodate the Village's willingness to allow development of these parcels without public water and sewer.

**Recommendation:** Approve the concept conditioned on the land division adhering to the requirements of a new zoning district.

Item 4 Related to a Comprehensive Plan amendment for the area north of CTH K.

Background: A memo is included in the packet that discusses the proposed Comprehensive Plan amendment related to development in the northeast area of the Village. The memo recommends consideration of the proposed amendment in the context of the Village's future housing needs and desires. If the Plan Commission is willing to consider the amendment, it will be asked to adopt a resolution regarding that intent and recommending the changes to the Village Board at its next meeting. The Village Board would set and hold a public hearing on the change and consider an ordinance effecting the updates at a number of meetings in the upcoming two months. If the Comprehensive Plan is adjusted, the developer will then seek detailed approval, including zoning and other matters, of a plan for residential housing.

Recommendation: Consider the proposed amendments to the Village's Comprehensive Plan.

Item 5 Related to downtown benches.

Background: The Downtown Business Improvement District (BID) is seeking Village approval of a coordinated plan to replace all seventeen (17) existing benches in the downtown and to add two (2) more benches. The existing benches are of a number of different styles and ages. The BID is proposing a program of shared cost between the Village and BID using business sponsorships for the benches. While the proposed bench and installation plan will present the need for additional concrete pads or footings in some locations, the Plan Commission is asked to consider the proposed bench and the overall plan for replacement and additions. The Village Board will be asked to consider the plan along with the plans for business sponsorship and the Village's share of the installation.

Recommendation: Recommend approval of the proposed bench and the replacement plans.

Item 6 Related to water tower painting.

Background: In the upcoming years, the Village will be repainting at least two of its water towers; Hill Street and Coventry Lane. In preparation for this work, and the eventual repainting of all of the towers, staff is seeking feedback from the Commission on three (3) potential painting schemes including all white as we have now, a green pedestal and a green collar.

Recommendation: Provide feedback to the staff.

Item 7 Related to Planning Consultant Selection Committee.

Background: In the upcoming months, the Village will be reviewing and updating its Comprehensive Plan and its Comprehensive Outdoor Recreation Plan (CORP). Proposals have been received from 6 planning firms and staff is assembling a committee to review those proposals, interview potential firms and make a recommendation to the Village Board. A representative from the Plan Commission is requested to join the already-named representatives from the Park Board and Village Board on the selection committee with the Public Works Director and the Village Administrator.

Recommendation: Identify a volunteer to be appointed the official Plan Commission representative to the Committee.

DC:PC Agenda Info 1-15

cc: Ryan Amtmann, Village Engineer  
Mike Einweck, Public Works Director  
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES  
MONDAY, DECEMBER 18, 2017  
7:00 PM  
BOARD ROOM  
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Tim Hallquist, Jeff Pfannerstill, Randy Swenson, Jack Wenstrom and Tim Fenner.  
Absent: David deCourcy-Bower and James Schneeberger.

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bushéy

Roll Call

**1. Motion (Halquist/Wenstrom) to approve the Jt. Architectural Board/Plan Commission Minutes of September 18, 2017 and November 20, 2017. Carried (5-0).**

**2. Architectural Board consideration of plans for a sign for Albright's Gun Works, 230 Pawling Ave.**

Administrator Cox said Albright Gun Works would like to put up a new sign. He said the BID did already approve it. He said they would like to put a wall sign on the west side of the parking lot and that the sign is acceptable. They are also proposing to put one up on the business sign along with the wall sign. The wall sign will be about 6 ft. tall. Administrator Cox said there really isn't room on the monument sign for a logo, so he said it will probably just say the name of the business.

Motion (Halquist/Swenson) made to approve what the BID approved which is the wall sign and adding the business name to the current monument sign. Carried (5-0)

**3. Architectural Board review and consideration of plans for a restaurant remodel for Silver Oak Properties LLC, 352 Cottonwood Ave., Suite D.**

Administrator Cox said the space was formally leased by Bogars. Now that Bogars is no longer there, they are looking to get the property cleaned up and they would like to put in garage type doors where the current windows are to create a more open air type atmosphere. Their restaurant plan has already been approved by the Business Improvement District.

Motion (Halquist/Swenson) to approve the building plans for a renovation and addition, 1018 Chelsea Circle. Carried (5-0)

**4. Discussion and action related to the development and implementation of Architectural Board/Plan Commission policies.**

Administrator Cox said there had been some discussion during the summer that the board would like to discuss the policies. He said he had made copies of the current existing items with some subtle changes and it outlines the policy procedures for petitioners. He said the Architectural Board and Plan Commission Board policies are very similar. There was discussion on adding several policies such as an initial/date line, wording requiring the petitioner to be present, and wording that if the petitioner is not present the item could be tabled or denied.

Motion (Fenner/Halquist) to approve all the changes discussed for the Architectural Board and Plan Commission Board. Carried (5-0)

**5. Adjourn**

Motion (Wenstrom/Swenson) to adjourn. Carried (5-0). Meeting adjourned at 7:25 PM.

Respectfully submitted by  
Recording Secretary,

Deidre Bush y, Deputy Clerk



ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

APPLICATION FOR  
 PLAN COMMISSION

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <b>5,213 SQFT ADDITION</b>			
Proposed Use <b>Storage, Warehouse,</b>		No. of Employees	
Project Location <b>530 Norton Dr. Hartland, WI 53029</b>			
Project Name <b>Austin Plumbing</b>			
Owner <b>Tom &amp; Jean Smith</b>		Phone <b>262-367-3808</b>	
Address <b>530 Norton Dr.</b>		City <b>Hartland</b>	State <b>WI</b> Zip <b>53029</b>
Engineer/Architect <b>Keller, Inc</b>		Phone <b>262-250-9710</b>	FAX
Address <b>6204 N11509 Goldenlake Rd.</b>		City <b>GERMANTOWN</b>	State <b>WI</b> Zip <b>53022</b>
Contact Person <b>Scott LAUSTEN</b>	Phone <b>262-825-6163</b>	FAX	E-mail <b>slausten@kellerbuilds.com</b>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
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**Village of Hartland  
Professional Services Reimbursement Form**

The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

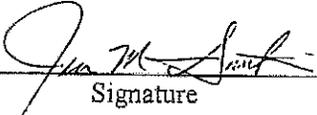
Responsible Party Name, Mailing Address, Signature and Date:

A. Jean Smith  December 8, 2017  
 Printed Name Signature Date

B. 530 Norton Dr. Hartland WI 53029  
 Street City State Zip

C. Phone 262-367-3000 Fax: 262.367.3881 E-Mail jsfl@austinpl.com

Property Owner Name, Mailing Address, Signature & Date:

A. Jean Smith  December 8, 2017  
 Printed Name Signature Date

B. 530 Norton Dr. Hartland WI 53029  
 Street City State Zip

C. Phone 262-367-3000 Fax: \_\_\_\_\_ E-Mail \_\_\_\_\_

Village Official Accepting Form & Date \_\_\_\_\_

**INTERNAL USE ONLY**

Amount Due: \$ \_\_\_\_\_ Check #: \_\_\_\_\_ Date Paid: \_\_\_/\_\_\_/\_\_\_ Rec'd By: \_\_\_\_\_

Plan Commission Project Number: \_\_\_\_\_

January 8, 2018

Mr. Scott Lausten  
Keller, Inc.  
W204 N11509 Goldendale Road  
Germantown, WI 53022

Re: Village of Hartland  
Austin Plumbing – Plan Review Letter

Dear Mr. Lausten:

The Village of Hartland's Staff as well as Ruekert & Mielke, Inc. has reviewed your site plan submittal. The submittal included the following: sheets C1.0, EX1.0, A1.0, A2.0 and A3.0 all dated November 3, 2017; site grading and drainage plan sheet C100 dated December 26, 2017; and lighting plan dated December 27, 2017. In addition, draft storm water calculations were sent via email by Mark Ellena on December 26, 2017. We are providing the following comments as guidance and direction for your design staff in preparation of for the next Plan Commission meeting and for final documents. **Please respond to the comments below, in writing, with your next submittal.**

### **Storm Water Management Plan**

1. A storm water management plan needs to be submitted that documents the existing conditions on the entire parcel, describes the proposed plan and summarizes the storm water facility performance results. A maintenance plan and agreement covering the storm water facilities (all control practices) on the entire site must be completed and recorded with the County.
2. A financial guarantee in the amount of \$5,000 will need to be provided to obtain the storm water permit, prior to beginning construction. This may be released upon stabilization of the swale and storm water facility.

### **Title Sheet C1.0**

1. Add sheets C100 and the lighting plan to the index.
2. Provide the names and contact info for the plan Designers and Owner.

### **Floor Plan Sheet A1.0**

1. There are no sewer and water internal services shown. Please show the routing of the internal sewer and water and note if they are being constructed (by others, ie Austin Plumbing)

Mr. Scott Lausten  
Keller, Inc. - Plan Review Letter  
January 8, 2018  
Page 2

2. If there are any external mechanical units, they need to be shown.

### **Elevation Sheet A2.0**

1. Add West and South elevation views for the Alternate #2 retaining wall and Alternate #3 window configuration.
2. Are there any roof top mechanicals or ground mechanicals? Show them on the drawings.
3. Existing north, west and south building elevations include a “belt” of CMU with metal siding above. Proposed addition specifies metal siding only. The Village’s expectation is that the proposed addition includes similar wall treatment for north, west and south building elevations.
4. The proposed north elevation is long and vast, without architectural or landscape features to break up or soften appearance. The Village’s expectation is for architectural features, such as windows or landscaping to be incorporated into north building elevation.

### **Site Grading & Drainage Plan Sheet C100**

1. Provide PLS stamp on plat of survey.
2. Show the existing pine trees along the south lot line. Do they conflict with proposed swale and/or silt fence?
3. Verify that swale width and depth along southern lot line is adequate for the contributing drainage area and that the existing pine trees are not in conflict. If necessary, consider offsetting the paved parking area to the north to provide room.
4. Show sizes of proposed trees at southwest part of the site.
5. Change reference to “City” to “Village” in general construction note 7.
6. Construction Phasing Sequencing:
  - a. 3. If any topsoil will be reutilized on site, show the stockpile and use perimeter silt fence.
  - b. Add 4. The proposed swales, storm water facility and initially disturbed areas shall be restored and erosion matted prior to further work. Install ditch checks in the swales.
  - c. Add a number, “Sweep driveway and street as necessary or requested by the Village to keep free of debris”.
7. SWM Redevelopment Site Review:
  - a. Change reference from “TTS” to “TSS”.

Mr. Scott Lausten  
Keller, Inc. - Plan Review Letter  
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Page 3

### **Summary**

The following are remaining submittals/permits that the applicant will need to provide to complete the Village approval process:

1. Provide 2 paper copies of the final Storm Water Management Plan and Construction Drawings stamped by a Professional Engineer – submit 2 final copies with all relevant information from previous submittals included.
2. Village storm water permit and erosion control permit.
3. Building permit.

The applicant will be required to obtain any other permits determined to be necessary.

If you have any questions, comments or concerns, please feel free to contact our office.

Very truly yours,

RUEKERT & MIELKE, INC.



Ryan T. Amtmann, P.E. (WI, IL)  
Vice President

[ramtmann@ruekert-mielke.com](mailto:ramtmann@ruekert-mielke.com)

RTA:rta

cc: David Cox, Village of Hartland  
Michael Einweck, P.E., Village of Hartland  
Scott Hussinger, Village of Hartland  
Mark Ellena, P.E., Ellena Engineering Consultants, LLC  
File

**SHEET INDEX**

- C1.0 SITE PLAN
- EX1.0 EXISTING FLOOR & ELEVATIONS
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- T2.0 SPECIFICATIONS

**PROJECT INFORMATION**

**APPLICABLE BUILDING CODE**  
 2009 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS)  
 ASHRE STANDARD 90.1-2007

**BUILDING CONTENT**

**BUILDING & FIRE AREA SQUARE FOOTAGES**

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	N/A	N/A	N/A
FIRST FLOOR	6,709 S.F.	5,213 S.F.	11,922 S.F.
CANOPIES (COLUMN SUPPORTED)	44 S.F.	N/A	44 S.F.
BASEMENT	N/A	N/A	N/A
BUILDING AREA SUB-TOTALS	6,753 S.F.	5,213 S.F.	11,966 S.F.
MEZZANINES	N/A	N/A	N/A
FIRE AREA TOTALS	6,753 S.F.	5,213 S.F.	11,966 S.F.

HIGH PILE STORAGE YES/NO  
 FIRE ALARM SYSTEM YES/NO

**OCCUPANCY**

B - BUSINESS  
 S-1 - MODERATE HAZARD STORAGE  
 NON SEPARATED

**CONSTRUCTION CLASSIFICATION**

TYPE IIB CONSTRUCTION  
 SPRINKLED YES/NO  
 FIREWALL YES/NO

**ALLOWABLE AREA**

TABULAR FLOOR AREA: 17,500 S.F.  
 FRONTAGE INCREASE: 13,125 S.F.  
 SPRINKLER INCREASE: N/A  
 TOTAL ALLOWABLE AREA: 30,625 S.F.  
 ALLOWABLE FIRE AREA: 12,000 S.F.

**BUILDING/SITE CONTENT**

BUILDING SIZE 11,922 S.F. 19.5%  
 HARD SURFACE 19,953 S.F. 32.6%  
 GREEN SPACE 29,368 S.F. 47.9%  
 PARCEL SIZE (APPROX.) 61,243 S.F. 1.41 ACRES  
 PARKING PROVIDED 16 STALLS (1 STALL/747.9 S.F.)

**ZONING INFORMATION**

ZONING: -  
 FRONT YARD SETBACK: --'-"  
 SIDE YARD SETBACK: 15'-0"  
 REAR YARD SETBACK: 25'-0"



**CONCEPTUAL SITE PLAN**  
 1" = 20'-0"



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

**PROPOSED FOR:**

**AUSTIN PLUMBING**

**HARTLAND,**

**WISCONSIN**



**Keller**  
 PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES  
 1216 State Road 55  
 P.O. Box 620  
 Kaukauna, WI 54130  
 PHONE (920) 766-5795 /  
 1-800-236-2534  
 FAX (920) 766-3004

MADISON  
 711 Oak Dr.  
 Sun Prairie, WI 53590  
 PHONE (608) 318-2336  
 FAX (608) 318-2337

MILWAUKEE  
 W204 N11509  
 Colendale Rd  
 Germantown, WI 53022  
 PHONE (262) 250-9710  
 1-800-236-2534  
 FAX (262) 250-9740

WAUSAU  
 5605 Lilac Ave  
 Wausau, WI 54401  
 PHONE (715) 849-3141  
 FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:  
**AUSTIN PLUMBING**  
 HARTLAND,  
 WISCONSIN

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**REVISIONS**

R1	11.07.2017	TDP

**PROJECT MANAGER:**  
 S. LAUSTEN

**DESIGNER:**  
 A. TISLAU

**DRAWN BY:**  
 TDP

**EXPEDITOR:**  
 -----

**SUPERVISOR:**  
 -----

**PRELIMINARY NO:**  
 P17302

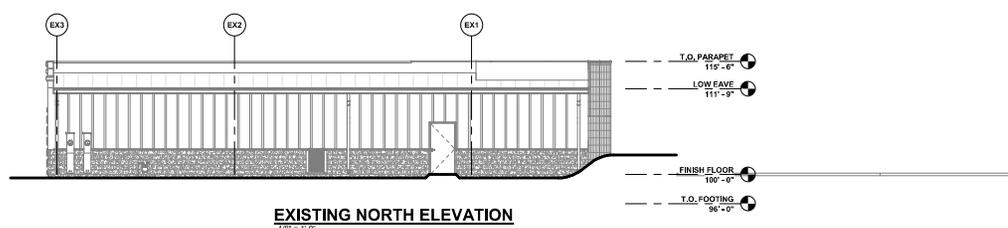
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**DATE:**  
 11.03.2017

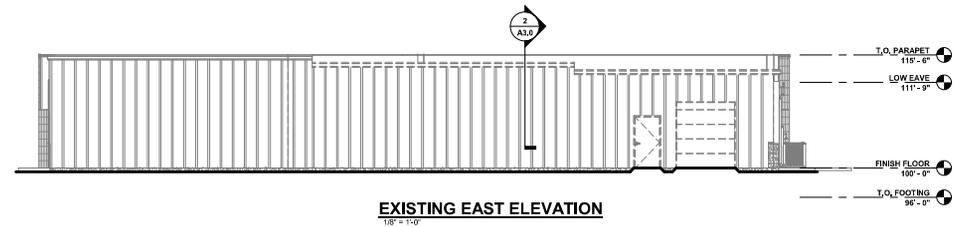
**SHEET:**  
**C1.0**

**PRELIMINARY - NOT FOR CONSTRUCTION**

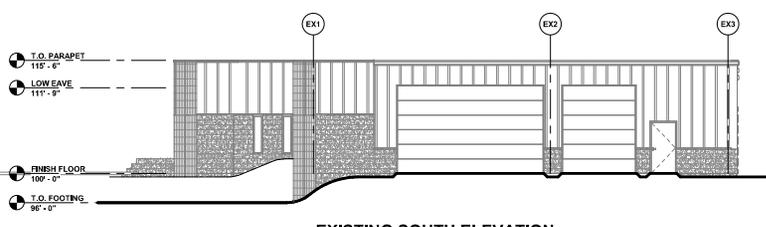
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A3.0



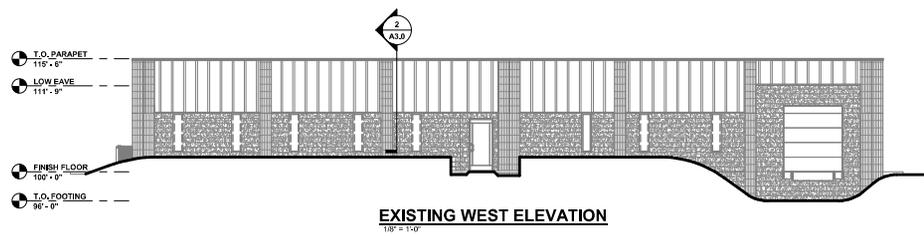
**EXISTING NORTH ELEVATION**  
1/8" = 1'-0"



**EXISTING EAST ELEVATION**  
1/8" = 1'-0"



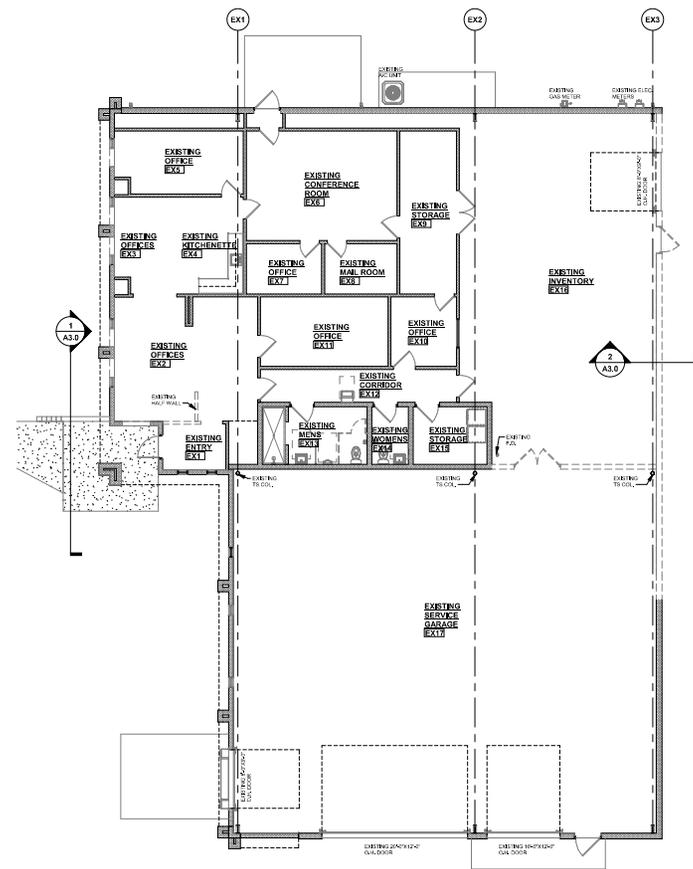
**EXISTING SOUTH ELEVATION**  
1/8" = 1'-0"



**EXISTING WEST ELEVATION**  
1/8" = 1'-0"

**WALL KEY**

	NEW WALL/FURRING
	NEW MASONRY/ VENEER WALL
	NEW COOLER/ FREEZER WALLS
	NEW FOUNDATION WALL
	TYPICAL EXISTING WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER



**NORTH**  
**EXISTING FLOOR PLAN**  
1/8" = 1'-0"

**Keller**  
PLANNING / ARCHITECTS / BUILDERS

FOX OTIS  
Keller Building 35  
P.O. Box 400  
Madison, WI 53701  
PHONE (608) 786-2275  
FAX (608) 786-2274

MADISON  
711 La Grange  
San Francisco, CA 94102  
PHONE (415) 399-2336  
FAX (415) 399-2337

MILWAUKEE  
W2M 41109  
Columbia Rd  
Columbus, WI 53021  
PHONE (608) 256-9700  
FAX (608) 239-0400

MINNESOTA  
505 5th Ave  
Minneapolis, MN 55401  
PHONE (612) 868-3441  
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HARTLAND,  
WISCONSIN

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**REVISIONS**

R1	11.07.2017	TDP

**PROJECT MANAGER:**  
S. LAUSTEN

**DESIGNER:**  
A. TISLAU

**DRAWN BY:**  
TDP

**EXPEDITOR:**

**SUPERVISOR:**

**PRELIMINARY NO.:**  
P17302

**CONTRACT NO.:**

**DATE:**  
11.03.2017

**SHEET**  
**EX1.0**

**PRELIMINARY - NOT FOR CONSTRUCTION**





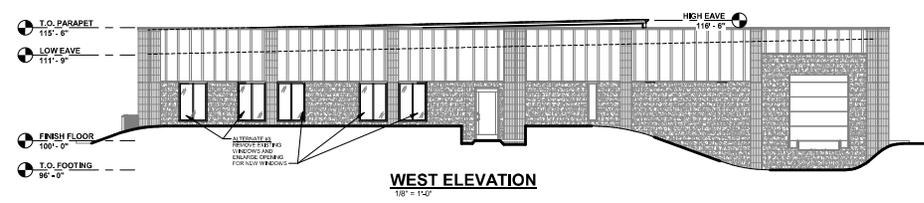
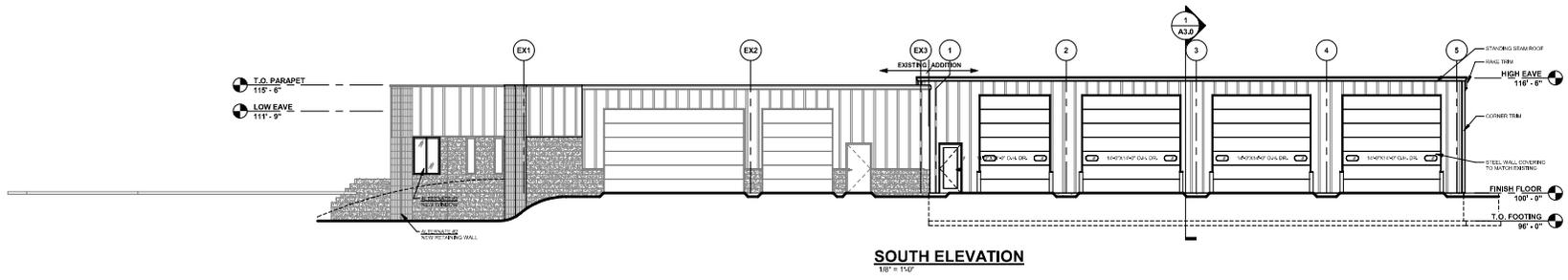
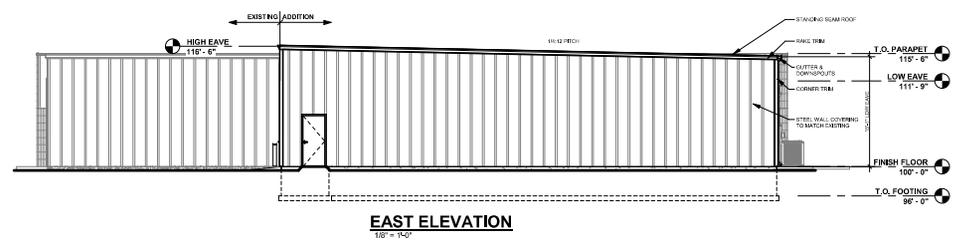
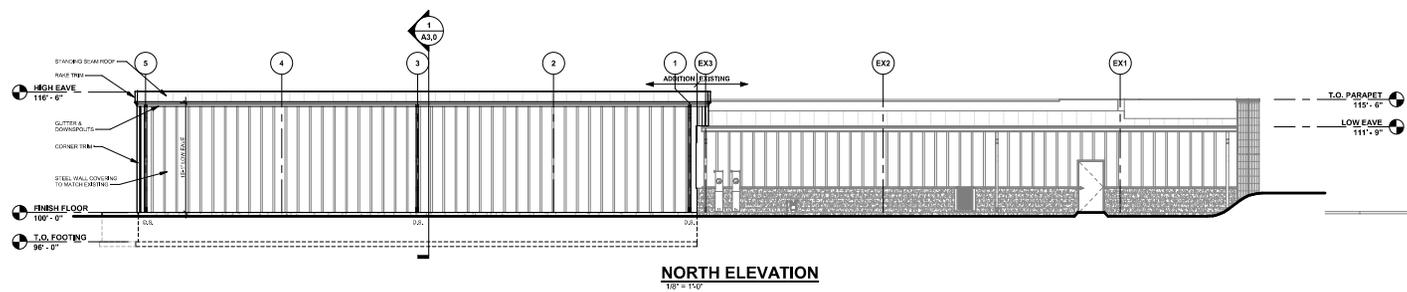
# Keller

PLUMBERS | ARCHITECTS | BUILDERS

FOX OTIS  
Keller Building 35  
P.O. Box 400  
Madison, WI 53701  
PHONE: (608) 239-2356  
FAX: (608) 239-2357

HADSON  
711 La Gr.  
Sauk Prairie, WI 53186  
PHONE: (608) 339-2356  
FAX: (608) 339-2357

www.kellerbuild.com



PROPOSED FOR:

# AUSTIN PLUMBING

HARTLAND, WISCONSIN

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**REVISIONS**  
-R1 11.07.2017 TDP

**PROJECT MANAGER:**  
S. LAUSTEN

**DESIGNER:** A. TISLAU

**DRAWN BY:** TDP

**EXPEDITOR:** ---

**SUPERVISOR:** ---

**PRELIMINARY NO:** P17302

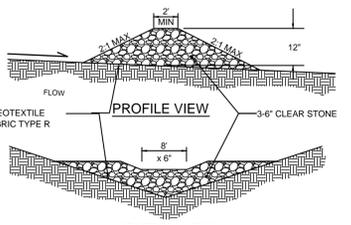
**CONTRACT NO:** ---

**DATE:** 11.03.2017

**SHEET:** **A2.0**

**PRELIMINARY - NOT FOR CONSTRUCTION**





SECTION VIEW  
STONE DITCH CHECK DETAIL  
NOT TO SCALE

PLAT OF SURVEY

Keller, Inc.  
Austin Plumbing

LOCATION: 530 Norton Drive, Hartland, Wisconsin  
LEGAL DESCRIPTION:  
Lot 1 in CERTIFIED SURVEY MAP NO. 4533, being a part of Certified Survey Map No. 3846, Document No. 1128682, located in the Northwest 1/4 of the Southeast 1/4 of Section 3, Town 7 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.  
December 14, 2017

Survey No. 108923

NOTES:  
SILT FENCE AND TRACKING PAD SHALL CONFORM TO TECHNICAL STANDARDS 1056 & 1057 RESPECTIVELY.

IF DEWATERING IS NECESSARY DURING EXCAVATION, THE PRACTICES IDENTIFIED IN THE TECH. STD. 1061 SHALL BE UTILIZED TO MEET THE DE-WATERING PERFORMANCE STANDARD TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE (MEP) AS DEFINED IN NR 151.116(C). ALL PUMPED EFFLUENT FROM DEWATERING OPERATIONS (TRENCH DEWATERING OR OTHERWISE) SHALL BE DISCHARGED TO A GEOTEXTILE FILTER BAG CONFORMING TO WDNR CONSERVATION PRACTICE STANDARD 1061. THE GEOTEXTILE BAG SHALL BE PLACED ON VEGETATED / STABILIZED GROUND AND DISCHARGED TO A SEDIMENT BASIN OR TRAP. SHOULD NO BASIN / TRAP EXIST, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BALE BARRIER CONFORMING TO CONSERVATION PRACTICE STANDARD 1055. THE FILTER FABRIC SHALL BE BROUGHT UP THE SIDES AND OVER THE TOP OF THE HAY BALES AND SECURED. DISCHARGE SHALL NOT BE ALLOWED TO FLOW OVER UNPROTECTED GROUND. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS PRIOR TO SEDIMENT REMOVAL.

THIS GRADING PLAN MUST BE REVIEWED AND APPROVED BY THE VILLAGE ENGINEER.

GENERAL CONSTRUCTION NOTES:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the State of Wisconsin Building Code AND the Village of Hartland Ordinances, unless otherwise called for on the plans, specifications or special provisions.
- Contractor shall obtain all permits prior to commencing any construction from the State, County or Village. Contractor is required to contact all agencies for applicable permits.
- All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth in the Department of Natural Resources Wisconsin Technical Standards.
- All erosion control devices (i.e., gravel encasement, silt fence, etc.), shall be installed prior to commencing any site work on the property.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
- The owner will provide all surveying and construction staking for this contract. The contractor shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, all utilities, Village Departments, and government units whose property may be affected by the contractor's operations at least three (3) days before breaking ground. Diggers Hotline number is 811.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the TRACKING PAD entrance to the property.
- Contractor shall be responsible for maintaining the Streets. The Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs.
- Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed areas and provide seed, fertilizer and erosion control fabric per the WDNR Technical Standards.
- Stabilization of all disturbed areas must follow NR151 erosion control prescriptive standards which require immediate temporary stabilization of disturbed areas which remain inactive longer than 14 working days and within 7 days of final stabilization. Highway mix #40 shall be used for permanent seeding with an application rate of 4.0 lbs/1000 sf.
- All erosion control devices shall be routinely inspected every seven days or within 24 hours of a rainfall greater than 0.5 inches. INSPECTION BY GENERAL CONTRACTOR.
- IF PERMANENT SEEDING (WisDOT #40) IS NOT COMPLETED BY SEPTEMBER 15, APPLY TEMPORARY SEEDING (SEE BELOW). IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15, DORMANT SEED WITH EROSION CONTROL MATTING OR HYDROMULCH SHALL BE APPLIED TO INACTIVE DISTURBED SOILS BETWEEN OCTOBER 15TH AND MAY 1ST AS A TEMPORARY SOIL STABILIZATION MEASURE DURING THE NON-GROWING SEASON.  
WisDOT Temporary Seed Mix:  
Temporary seed shall be a seed mixture conforming to WisDOT 630.2.1.5.1.4. Use winter wheat or rye for fall plantings started after September 1.

CONSTRUCTION PHASING SEQUENCING:

- THE GRADING AND UNDERGROUND CONTRACTORS MUST FOLLOW THIS CONSTRUCTION SEQUENCE AS REQUIRED BY THE WDNR AND THE VILLAGE:
- INSTALL GRAVEL CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN (TRACKING PAD).
- INSTALL SILT FENCE.
- STRIP TOPSOIL FROM THE PROPOSED CONSTRUCTION AREA; CONSTRUCT SWALES, SWM AREA AND OVERTLOW WEIR, STOCKPILE TOPSOIL IN AREA SHOWN WITH PERIMETER SILT FENCE & HAUL EXCESS TOPSOIL OFFSITE.
- THE PROPOSED SWALES, STORM WATER FACILITY AND INITIALLY DISTURBED AREAS SHALL BE RESTORED AND EROSION CONTROL MATTED PRIOR TO CONDUCTING FURTHER WORK. INSTALL DITCH CHECKS IN THE SWALES.
- SWEEP DRIVEWAY AND STREET AS NECESSARY OR AS REQUESTED BY THE VILLAGE TO KEEP FREE OF DEBRIS.
- CONSTRUCT BUILDING.
- INSTALL CONCRETE AREAS & PAVE PARKING LOT.
- RESTORE DISTURBED AREAS WITH TOPSOIL, SEED AND STABILIZE ALL REMAINING DISTURBED AREAS PER PLAN.
- FOLLOWING COMPLETE SITE STABILIZATION AND VILLAGE APPROVE, REMOVE ALL EROSION CONTROL MEASURES.

SWM REDEVELOPMENT SITE REVIEW:

TOTAL SITE DISTURBANCE: 13,280sf  
AREA OF EXISTING PAVEMENT IN THE NEW CONSTRUCTION AREA: 5,000sf (THEREFORE REDEVELOPMENT STATUS)

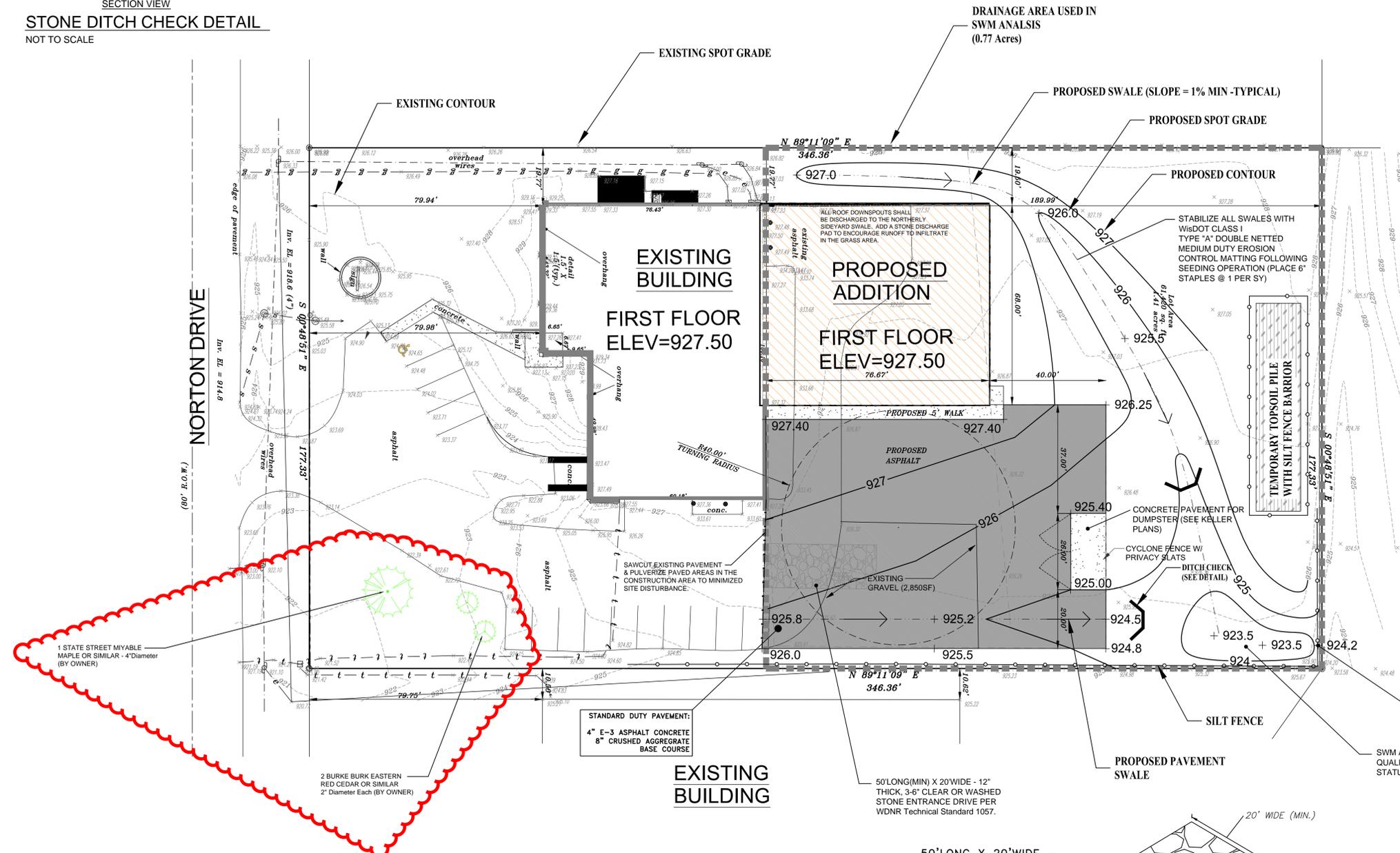
WINDSLAMM MODEL SUBMITTED TO VILLAGE ENGINEER SHOWS AT LEAST 60%TSR AND 30% PHOSPHORUS REDUCTION WITH GRASS SWALES AND DEPRESSED AREA ALONG THE EASTERLY PORTION OF THE PROPERTY, AS SHOWN ON THIS PLAN.

NET BUILDING AREA FOR MODEL=12-0-05=0.07Ac.  
NET PAVEMENT AREA FOR MODEL=12-2-05=0.16Ac.  
(EACH OF THESE AREAS ARE LESS THE EXISTING PAVEMENT AND GRAVEL TO ACCOUNT FOR THE EXISTING CONDITION - NET NEW AREAS FOR INPUT INTO MODEL)

10' WIDE EMERGENCY OVERTLOW WEIR @ EL=924.2 TRM EROSION CONTROL STABILIZATION REQUIRED



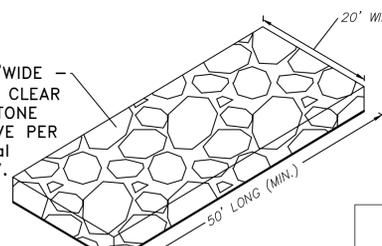
SITE GRADING & DRAINAGE PLAN  
(EROSION CONTROL AND LANDSCAPING INCLUDED)  
1" = 20'



STANDARD DUTY PAVEMENT:  
4" E-3 ASPHALT CONCRETE  
8" CRUSHED AGGREGATE  
BASE COURSE

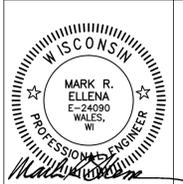
EXISTING BUILDING

50' LONG X 20' WIDE - 12" THICK, 3" CLEAR OR WASHED STONE ENTRANCE DRIVE PER WDNR Technical Standard 1057.



STONE TRACKING PAD  
PER WDNR TECH STANDARD 1057  
(NOT TO SCALE)

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY METROPOLITAN SURVEY SERVICE DATED JUNE, 2017. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.



MARK R. ELLENA  
E-24090  
WISCONSIN  
PROFESSIONAL ENGINEER

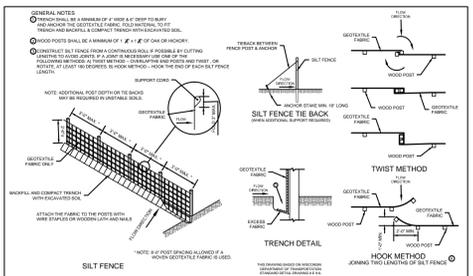


ELLENA ENGINEERING CONSULTANTS, LLC  
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

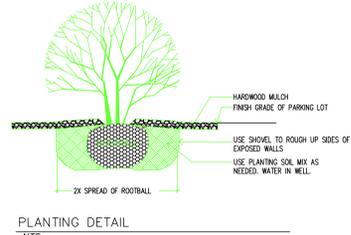
Ellena Engineering Consultants, LLC • 700 Pilgrim Parkway - Suite 100 • Elm Grove, WI 53122  
Phone: 262-719-6183 • Fax: 866-457-2584 • Email: mellenae@eeceng.com

METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS AND CIVIL ENGINEERS  
9415 West Forest Home Avenue, Suite 202  
Hales Corners, Wisconsin 53130  
PH. (414) 529-5380 FAX (414) 529-9787  
email address: survey@metropolitansurvey.com  
● - Denotes Iron Pipe Found  
● - Denotes Iron Rod Found  
○ - Denotes Iron Pipe Set



CONCRETE NOTES: CUT OR REMOVE CONCRETE, & SET BALL ON UNDISTURBED FLOOR IF ROOT COLLAR IS NOT VISIBLE. SCRAPE EXCESS SOIL AWAY FROM THE TANK UNTIL IT IS AND PLANT ACCORDINGLY.



PLANTING DETAIL  
NTS

FOX CITIES  
N216 State Road 55  
P.O. Box 620  
Kaukaun, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5004

MILWAUKEE  
W204 N11509  
Goldenside Rd  
Germanstown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

MADISON  
3308 Nursery Drive  
Middleton, WI 53562  
Phone (608)445-2245

www.kellerbuilds.com

WISCONSIN  
HARTLAND,  
AUSTIN PLUMBING

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REVISIONS  
01-10-18 REVIEW #1

PROJECT MANAGER:  
S. LAUSTEN

DESIGNER:  
MARK ELLENA, PE

DRAWN BY:

EXPEDITOR:

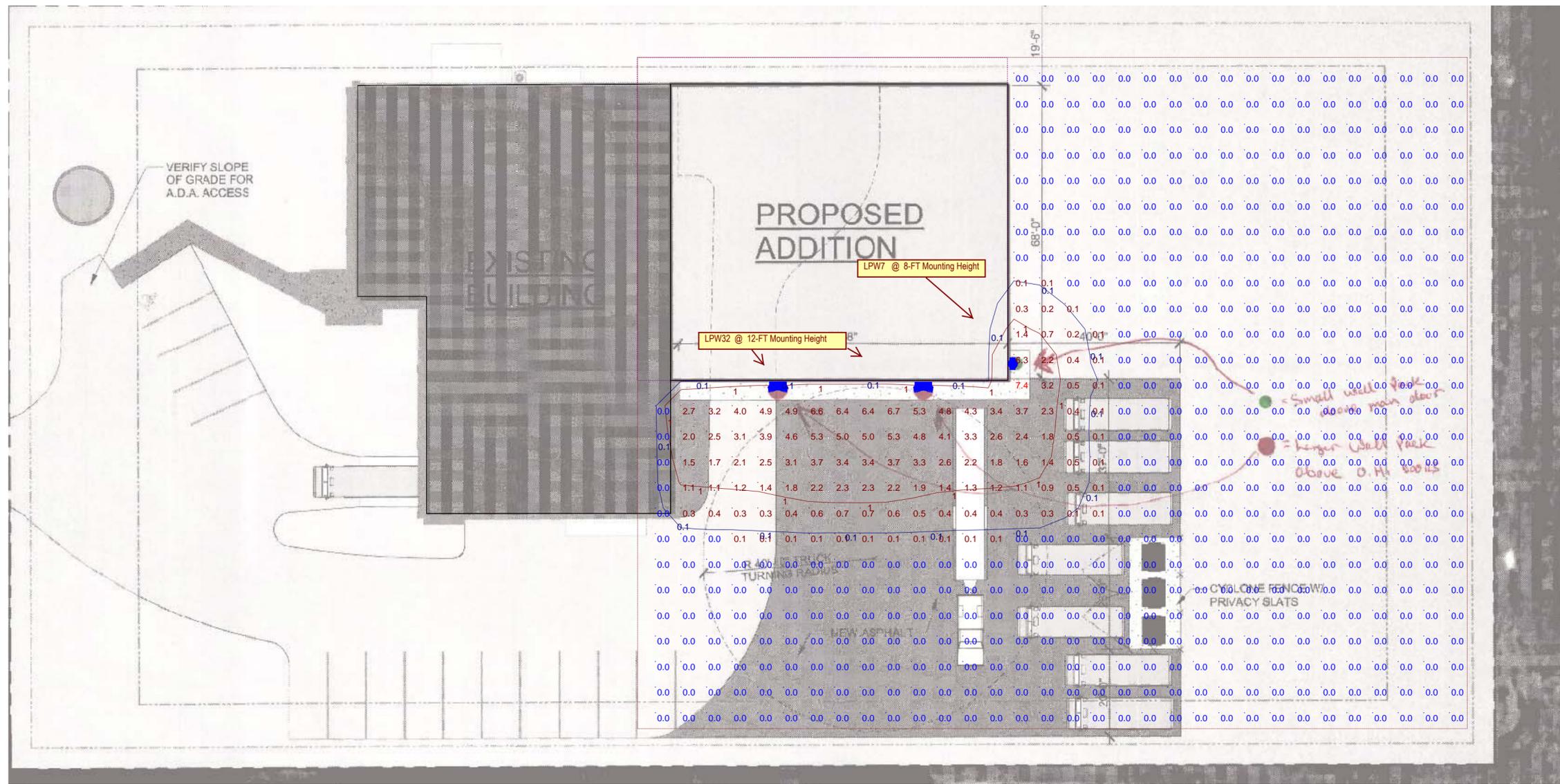
SUPERVISOR:

PRELIMINARY NO:  
P17302

CONTRACT NO:

DATE:  
12.26.2017

SHEET:  
C100



**Plan View**  
Scale - 1" = 20ft

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Lamp
	LPW32	2	PHILIPS STONCO	LPW32-7	LytePro 32 LED Medium Wall Sconce CAST GRAY ENAMEL ALUMINUM AND PLASTIC HOUSING, CLEAR GLASS ENCLOSURE	1	LPW32-7.IES	6911	0.9	70.5	32 WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH
	LPW7	1	PHILIPS STONCO	LPW7	LytePro 7 LED Small Wall Sconce Cast aluminum housing, frosted plastic enclosure	1	LPW7.IES	1153	0.9	14	(1) WHITE COB LED

Designer  
Date  
12/27/2017  
Scale  
Not to Scale  
Drawing No.  
Summary



**PHILIPS**  
**Stonco**

Wall mount

LytePro LED Sconce

LPW7



Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Quantity: \_\_\_\_\_

Notes: \_\_\_\_\_

The Philips Stonco LytePro LED Small Wall Sconce LPW7 features outstanding value in a compact, architectural design. This wall sconce offers chip-on-board (COB) LED technology for outstanding energy savings with good photometric performance. LPW7 is ideal for entryways, corridors, facade and other wall/surface lighting applications.

**Stocked luminaires – Ordering guide<sup>1</sup>**

Catalog Number	Description	Master Pack, Qty	UPC Code
<b>LPW7-8BZ</b>	<b>LPW7, 14W COB LED, 350mA, 4000K, 120-277V, Bronze textured paint</b>	6	786034960441
<b>LPW7-8DGY</b>	LPW7, 14W COB LED, 350mA, 4000K, 120-277V, Dark gray textured paint	6	786034960458
<b>LPW7-1BZPCB</b>	LPW7, 14W COB LED, 350mA, 4000K, 120V, Bronze textured paint, w/button photocell	6	786034960472

**Stocked accessories - Ordering guide (Must be ordered separately)**

Catalog Number	Description	Master Pack, Qty	UPC Code
<b>LPWCVRPLT-BZ</b>	LPW Universal wall cover mounting plate, Bronze textured paint	(none)	786034960618

**Description of catalog codes**

Family	Drive current	Voltage	Finish	Options
LPW7 = LytePro 7 LED Small Wall Sconce	(Blank - standard 350mA drive current)	8 = 120-277V 1 = 120V	BZ = Bronze textured paint DGY = Dark gray textured paint	PCB = Button photocontrol

1. Color availability and options vary by model; consult stock luminaires ordering guide above.

# LPW7 LytePro LED Small Wall Sconce

## Features

- LPW7 wall sconce delivers 1,154 lumens at 14W, with an efficacy of 82 lumens per watt.
- 14W LED may effectively replace 60-200W incandescent, 26-42W compact fluorescent and 35-39W HID luminaires.<sup>2</sup>
- 4000K neutral white at 70 CRI (minimum) is standard.
- Offers two in-stock colors on standard units.\*
- 5-year limited warranty; see philips.com/warranties for specific details.

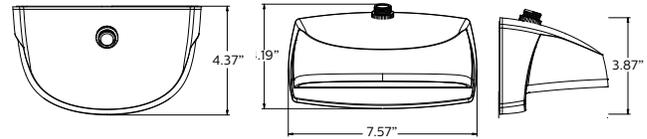
## Performance/Specifications

Distribution	Type 2
Initial Lumens (4000K)*	1,154
Average Wattage*	14
Lumens/Watt	82
BUG Rating*	B1/U0/G1
Luminaire Weight	~4lbs (1.8Kg)

## Ratings/Approbations/Certifications

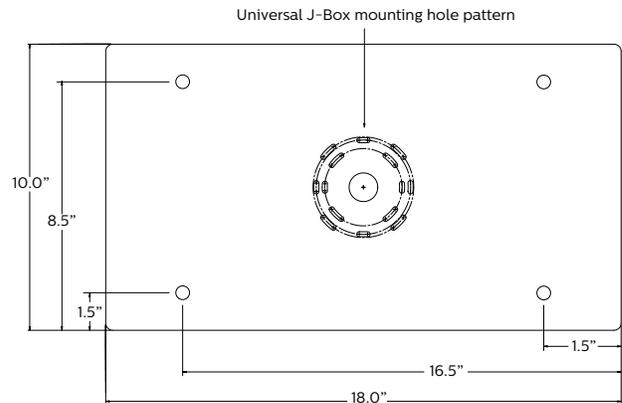
Ingress Protection	IP65 Optical
cETLus	Certified for use in wet locations
Rated Ambient Temperature	-30°C (-22°F) to 40°C (104°F)

## Fixture Dimensions<sup>3</sup>



## Accessory Dimensions (ordered separately)

LPWCVRPLT-BZ LPW Universal wall cover mounting plate, 0.08" aluminum, bronze textured paint (used to cover larger pre-existing opening or surfaces, field installed). Offers same J-Box pattern as luminaire or may lagged to wall using (4) knockouts.



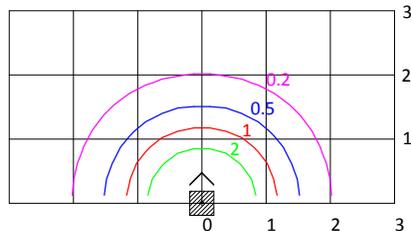
2. Comparable equivalency to HID and other lamp sources depends on multiple criteria including mounting height, fixture spacing, efficiency, performance and classification of the luminaire being replaced and application lighting criteria required for the given project.
3. PCB shown for placement only, available on specific models only (see ordering guide).

## Distribution Pattern

### LPW7 - 8' MOUNTING HEIGHT

MOUNTING HEIGHT	6'	8'	10'
MULTIPLIER	1.78	1.0	0.64

- 4. Isolines shown at 2.0, 1.0, 0.5, & 0.2 FC.
- 5. Choose mounting height. Use MULTIPLIER (X) EXISTING FC VALUE = NEW FC VALUE.
- 6. FC values are based on initial lumen output.
- 7. Gridline spacing is in units of chosen mounting height.



# LPW7 LytePro LED Small Wall Sconce

## General Description

The Philips Stonco LytePro LED Small Wall Sconce LPW7 combines excellent performance, design and value to meet the needs of the energy and budget conscious. The LPW7 is available for use in downward facing, surface wall mount applications, over recessed j-boxes or where power can be directly fed through back surface, whereby connections splices can be made inside the luminaire housing. Three SKU's are available as in-stock configurations (2-day quick ship). Two standard finishes. 120V button photocell is available in bronze only.

## Housing

Die-cast housing houses both the LED and driver assemblies. Design incorporates an integrated heat sink to maximize thermal performance and reliability. Backplate is corrosion free, composite polycarbonate, with built-in level bubble, offers integral interlocking hook and mount design for easy installation.

## Mounting

Easy interlocking hook and mount housing/backplate design for easy installation. Mounts over 3.5", 4" octagonal j-boxes and single gang switch boxes (mounted horizontally) or can be directly lagged to surface. Ensure proper steps for gasket/sealing luminaire to surface.

## IP Rating

Optical compartment is IP65 rated.

## LED Board and Array

Provides up to 82 lm/W at the system level. Standard color temp is 4000K +/- 250K, minimum 70 CRI.

## Electrical

Driver efficiency (>90% standard). 120-277V. Temp range: -30°C (-22°F) to 40°C (104°F). Open/short circuit protection. RoHS compliant.

## Listings

Product is cETLus listed suitable for Wet Locations. Suitable for use in ambients from -30°C to 40°C (-22°F to 104°F).

## Finish

Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Two standard colors are available: Dark Grey, and Bronze. Specific options are only available in bronze.

## Warranty

LPW7 luminaires, the LED arrays, and the drivers are all covered by a 5-year limited warranty. See [philips.com/warranties](http://philips.com/warranties) for details.

## LED Performance:

### PREDICTED LUMEN DEPRECIATION DATA<sup>4,6</sup>

Ambient Temp. °C	Calculated L70 hrs <sup>5</sup>	Reported L70 Per TM-21 <sup>5,6</sup>	Calculated Lumen Maint. % @60,000 hrs
up to 40°C	>200,000 hrs	>36,000 hrs	97%

4. Calculated performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.

5. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.

6. Reported per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours.



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Philips Lighting North America Corporation  
200 Franklin Square Drive, Somerset, NJ 08873  
Tel. 855-486-2216

Philips Lighting Canada Ltd.  
281 Hillmount Rd, Markham, ON, Canada L6C 2S3  
Tel. 800-668-9008



**PHILIPS**  
**Stonco**

Wall mount

LytePro LED Sconce

LPW32



Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Quantity: \_\_\_\_\_

Notes: \_\_\_\_\_

The Philips Stonco LytePro LED Small Wall Sconce LPW32 features outstanding value in a compact, architectural design. This wall sconce features state-of-the-art, long-life and maintenance savings, in a combined discreet LED package with high precision over-optic design. This powerful and precise combination offers outstanding energy savings with excellent photometric performance. LPW32 is ideal for building perimeters and corridors in addition to wall lighting applications requiring strong lateral spacing and forward pattern projection.

#### Stocked luminaires – Ordering guide<sup>1</sup>

Catalog Number	Description	UPC Code
LPW32-78DGY	LPW32, 71W, 700mA, 4000K, 120-277V, Dark gray textured paint	786034960564
LPW32-78WH	LPW32, 71W, 700mA, 4000K, 120-277V, White textured Paint	786034960571
<b>LPW32-78BZ</b>	<b>LPW32, 71W, 700mA, 4000K, 120-277V, Bronze textured paint</b>	786034960588
LPW32-71BZPCB	LPW32, 71W, 700mA, 4000K, 120V, Bronze textured paint, w/button photocell	786034960595
LPW32-7DTBZMR	LPW32, 71W, 700mA, 4000K, 120 or 277V, Bronze textured paint, w/motion response	786034960601

#### Stocked accessories - Ordering guide (Must be ordered separately)

Catalog Number	Description	UPC Code
LPWCVRPLT-BZ	LPW Universal wall cover mounting plate, Bronze textured paint	786034960618

#### Description of catalog codes

Family	Drive current	Voltage	Finish	Options
LPW32 = LytePro 32 LED Small Wall Sconce	7 = 700mA drive current	8 = 120-277V 1 = 120V DT = Dual Tap, 120V or 277V	BZ = Bronze textured paint DGY = Dark gray textured paint WH = White textured paint	PCB = Button photocontrol MR = Motion response

1. Color availability and options vary by model; consult stock luminaires ordering guide above.

# LPW32 LytePro LED Small Wall Sconce

## Features

LPW32 wall sconce delivers 6,913 lumens at 71W, with an efficacy of 98 lumens per watt.

- LP32W-7, 71W LED may effectively replace 150-250W HID luminaires<sup>2</sup>
- 4000K neutral white at 70 CRI (minimum) is standard
- LPW32 offers three in-stock colors on standard units
- Button photocell available in 120V, bronze luminaires only
- Motion sensor available in bronze luminaires only, operates on 120V or 277V input only. After 10 minutes, dims down to 25% of full light output if no occupancy is detected
- 5-year limited warranty, see philips.com/warranties for specific details

## Performance/Specifications

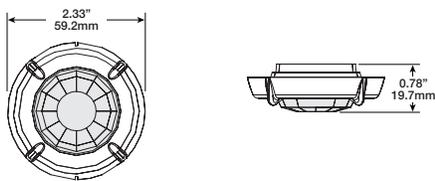
Distribution	Type 3
Initial Lumens	6,913
Average Wattage	71
Lumens/Watt	98
BUG Rating*	B1/U0/G1
Luminaire Weight	~11 lbs (5Kg)

## Ratings/Approbations/Certifications

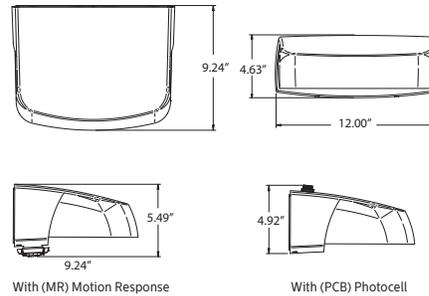
Ingress Protection	IP65 Optical
DLC Listed	DLC QPL
cETLus	Certified for use in wet locations
Rated Ambient Temperature	-40°C (-40°F) to 40°C (104°F)

## Occupancy Sensor

WattStopper<sup>®</sup> FSP-Lx Lens Modules for FSP-211 PIR Occupancy Sensor.

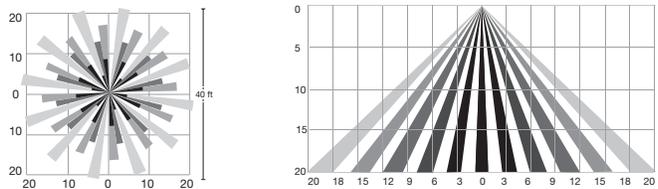
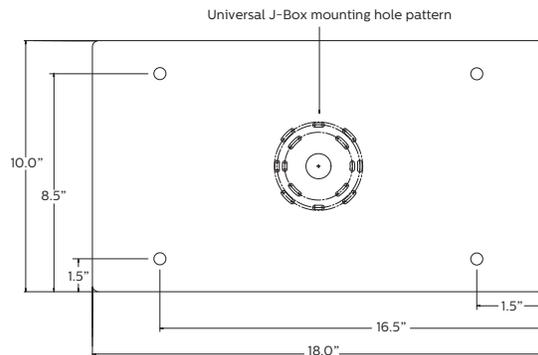


## Fixture Dimensions<sup>3</sup>



## Accessory Dimensions (ordered separately)

LPWCVRPLT-BZ LPW Universal wall cover mounting plate, 0.08" aluminum, bronze textured paint (used to cover larger pre-existing opening or surfaces, field installed). Offers same J-Box pattern as luminaire or may lagged to wall using (4) knockouts.

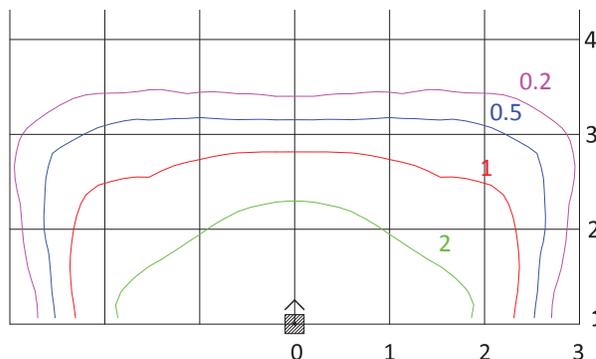


2. Comparable equivalency to HID and other lamp sources depends on multiple criteria including mounting height, fixture spacing, efficiency, performance and classification of the luminaire being replaced and application lighting criteria required for the given project.
3. PCB and MR shown for placement only, available on specific models only (see ordering guide).

## Distribution Pattern

LPW32 15' MOUNTING HEIGHT			
MOUNTING HEIGHT	12'	15'	18'
MULTIPLIER	1.56	1.0	0.67

- Isolines shown at 2.0, 1.0, 0.5, & 0.2 FC.
- Choose mounting height. Use MULTIPLIER (X) EXISTING FC VALUE = NEW FC VALUE.
- FC values are based on initial lumen output.
- Gridline spacing is in units of chosen mounting height



# LPW32 LytePro LED Small Wall Sconce

## General Description

The Philips Stonco LytePro LED Medium Wall Sconce LPW32 combines excellent performance, design and value to meet the needs of the energy and budget conscious. The LPW32 is available for use in downward facing, surface wall mount applications, over recessed j-boxes or where power can be directly fed through back surface, whereby connections splices can be made inside the luminaire housing. Five SKU's are available as in-stock configurations (2-day quick ship).

Three standard units are available in three different finishes. A button photocell is available in 120V in bronze finish only. Motion response with occupancy sensor is available in bronze finish only and is California Title 24 compliant.

## Housing

Die-cast housing houses both the LED and driver assemblies. Design incorporates an integrated heat sink to maximize thermal performance and reliability. Backplate is corrosion free, composite polycarbonate, with built-in level bubble, offers integral interlocking hook and mount design for easy installation.

## Mounting

Easy interlocking hook and mount housing/backplate design for easy installation. Mounts over 3.5", 4" octagonal j-boxes and single gang switch boxes or can be directly lagged to surface. Ensure proper steps for gasket/sealing luminaire to surface.

## IP Rating

Optical compartment is IP65 rated.

## LED Board and Array

Provides up to 98 lm/W in LPW32 at the system level. Standard color temp is 4000K +/- 250K, minimum 70 CRI.

## Electrical

Driver efficiency (>90% standard). 120-277V. Temp range: -40°C (-40°F) to 40°C (104°F). Open/short circuit protection. Inherent surge protection up to (4KVA). RoHS compliant.

## Listings

Product is cETLus listed suitable for Wet Locations. Suitable for use in ambients from -40°C to 40°C (-40°F to 104°F). DesignLights Consortium® qualified. Stocked SKUs of the LPW family are made in China.

## Finish

Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Two standard colors are available: Dark Grey, Bronze and White. Specific options are only available in bronze.

## Motion Response (MR)

LPW32 luminaires with option "MR" include a passive infrared (PIR) motion sensor (WattStopper® FSP-211 equipped with an FS-L3W lens) capable of detecting motion within 15 feet of the sensor around the luminaire, when placed at an 15 foot mounting height. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts. When no motion is detected for 10 minutes, the Motion Response system reduces the wattage by 75%, to 25% of the normal constant wattage reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full power and full light output. Dimming on low is factory set to 75% with 10 minute default in "full power" prior to dimming back to 25%. Reprogramming of the sensor is possible through the Wattstopper FS1R-100 remote handheld programming tool (sold separately). More information on the FS1R-100 is available at [www.wattstopper.com](http://www.wattstopper.com) or contact Philips Technical Support.

## Warranty

LPW32 luminaires, the LED arrays, and the drivers are all covered by a 5-year limited warranty. See [philips.com/warranties](http://philips.com/warranties) for details.

## LED Performance:

### PREDICTED LUMEN DEPRECIATION DATA<sup>4,6</sup>

Ambient Temp. °C	Calculated L70 hrs <sup>5</sup>	Reported L70 Per TM-21 <sup>5,6</sup>	Calculated Lumen Maint. % @60,000 hrs
up to 40°C	>200,000 hrs	>60,000 hrs	94.0%

4. Calculated performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.

5. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.

6. Reported per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours.



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LPW16 09/15 page 3 of 3



Philips Lighting North America Corporation  
200 Franklin Square Drive, Somerset, NJ 08873  
Tel. 855-486-2216

Imported by: Philips Lighting,  
A division of Philips Electronics Ltd.  
281 Hillmount Rd, Markham, ON, Canada L6C 2S3  
Tel. 800-668-9008

WinSLAMM v10-AUSTIN PLUMBING\_12-22-17 - InputData (002)

Data file name: M:\Keller\Auston Plumbing\winSLAMM\winSLAMM v10-AUSTIN  
PLUMBING\_12-22-17.mdb  
WinSLAMM Version 10.1.1  
Rain file name: C:\winSLAMM Files\Rain Files\WI Milwaukee 69.RAN  
Particulate Solids Concentration file name: C:\winSLAMM Files\v10.1 WI\_AVG01.pscx  
Runoff Coefficient file name: C:\winSLAMM Files\WI\_SL06 Dec06.rsvx  
Residential Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
Dec06.std  
Institutional Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
Dec06.std  
Commercial Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
Dec06.std  
Industrial Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
Dec06.std  
Other Urban Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
Dec06.std  
Freeway Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust Dec06.std  
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance:  
False  
Pollutant Relative Concentration file name: C:\winSLAMM Files\WI\_GEO03.ppd  
Cost Data file name:  
Seed for random number generator: -42  
Study period starting date: 01/05/69                      study period ending date: 12/31/69  
Start of winter Season: 12/06                              End of winter Season: 03/28  
Date: 12-22-2017    Time: 15:32:44

Site information:

BIO INFILTRATION POND

LU# 1 - Commercial: Commercial 1                      Total area (ac): 0.770  
1 - Roofs 1: 0.070 ac.      Pitched      Connected      Connected      GS-CP#2  
13 - Paved Parking 1: 0.160 ac.      Connected      Connected      GS-CP#3  
45 - Large Landscaped Areas 1: 0.540 ac.      Normal Silty

Control Practice 1: Biofilter CP# 1 (DS) - DS Biofilters # 1

- 1. Top area (square feet) = 2000
- 2. Bottom area (square feet) = 500
- 3. Depth (ft): 1.5
- 4. Biofilter width (ft) - for Cost Purposes Only: 10
- 5. Infiltration rate (in/hr) = 0.5
- 6. Random infiltration rate generation? No
- 7. Infiltration rate fraction (side): 1
- 8. Infiltration rate fraction (bottom): 1
- 9. Depth of biofilter that is rock filled (ft) 0
- 10. Fraction of rock filled volume as voids = 0
- 11. Engineered soil infiltration rate: 0
- 12. Engineered soil depth (ft) = 0
- 13. Engineered soil void ratio = 0.27
- 14. Percent solids reduction due to flow through engineered soil = 0
- 15. Biofilter peak to average flow ratio = 3.8
- 16. Number of biofiltration control devices = 1
- 17. Particle size distribution file: Not needed - calculated by program
- 18. Initial water surface elevation (ft): 0

Soil Data    Soil Type Fraction in Eng. Soil  
User-Defined Soil Type                              1.000  
Saturation water content percent (Porosity) = 0  
Field capacity (%) = 0  
Permanent Wilting Point (%) = 0  
Infiltration rate (in/hr) = 0

Biofilter Outlet/Discharge Characteristics:  
outlet type: Broad Crested Weir  
1. Weir crest length (ft): 10

winSLAMM v10-AUSTIN PLUMBING\_12-22-17 - Output Summary  
 SLAMM for windows Version 10.1.1  
 (c) Copyright Robert Pitt and John Voorhees 2012  
 All Rights Reserved

Data file name: M:\Keller\Auston Plumbing\winSLAMM\winSLAMM v10-AUSTIN  
 PLUMBING\_12-22-17.mdb  
 Data file description: BIO INFILTRATION POND  
 Rain file name: C:\winSLAMM Files\Rain Files\WI Milwaukee 69.RAN  
 Particulate Solids Concentration file name: C:\winSLAMM Files\v10.1 WI\_AVG01.pscx  
 Runoff Coefficient file name: C:\winSLAMM Files\WI\_SL06 Dec06.rsvx  
 Residential Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
 Dec06.std  
 Institutional Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
 Dec06.std  
 Commercial Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
 Dec06.std  
 Industrial Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
 Dec06.std  
 Other Urban Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust  
 Dec06.std  
 Freeway Street Delivery file name: C:\winSLAMM Files\WI\_Com Inst Indust Dec06.std  
 Pollutant Relative Concentration file name: C:\winSLAMM Files\WI\_GEO03.ppdx  
 Start of winter Season: 12/06 End of winter Season: 03/28  
 Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69  
 Date of run: 12-22-2017 Time of run: 15:32:31  
 Total Area Modeled (acres): 0.770  
 Years in Model Run: 0.99

Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction	Runoff Volume (cu ft)	Percent Particulate Runoff Reduction	Particulate Solids Conc. (mg/L)
Total of all Land Uses without Controls:		21905	-	112.5
153.9	-			
Outfall Total with Controls:		2325	89.39%	129.7
18.82	87.77%			
Annualized Total After Outfall Controls:		2357		
19.08				

WinSLAMM v10-AUSTIN PLUMBING\_12-22-17 - InputData (002)

2. Weir crest width (ft): 5
3. Height of datum to bottom of weir opening: 0.7

Control Practice 2: Grass Swale CP# 1 (SA) - SA Device, LU# 1 ,SA# 1

Total drainage area (acres)= 0.070  
Fraction of drainage area served by swales (ac) = 1.00  
Swale density (ft/ac) = 3570.00  
Total swale length (ft) = 250  
Average swale length to outlet (ft)= 250  
Typical bottom width (ft) = 2.0  
Typical swale side slope (\_H:1V) = 5.0  
Typical longitudinal slope (ft.H/ft.V) = 0.010  
Swale retardance factor: D  
Typical grass height (in) = 6.0  
Swale dynamic infiltration rate (in/hr)= 0.250  
Typical swale depth (ft) for cost analysis (optional) = 0.0  
Particle size distribution file name: Not needed - calculated by program  
Use total swale length instead of swale density for infiltration

calculations: False

Control Practice 3: Grass Swale CP# 2 (SA) - SA Device, LU# 1 ,SA# 13

Total drainage area (acres)= 0.160  
Fraction of drainage area served by swales (ac) = 1.00  
Swale density (ft/ac) = 940.00  
Total swale length (ft) = 150  
Average swale length to outlet (ft)= 150  
Typical bottom width (ft) = 2.0  
Typical swale side slope (\_H:1V) = 5.0  
Typical longitudinal slope (ft.H/ft.V) = 0.010  
Swale retardance factor: D  
Typical grass height (in) = 6.0  
Swale dynamic infiltration rate (in/hr)= 0.250  
Typical swale depth (ft) for cost analysis (optional) = 0.0  
Particle size distribution file name: Not needed - calculated by program  
Use total swale length instead of swale density for infiltration

calculations: False

ILLINOIS TOOL WORKS INC  
PO BOX 110  
HARTLAND WI 53029-0110

AUSTIN REAL ESTATE COMPANY LLC  
7847 ALLEN ROBERTSON PL  
SARASOTA FL 34240

3-D REAL ESTATE INVESTMENTS LLC  
540 NORTON DR  
HARTLAND WI 53029

EYE COMMUNICATION SYSTEMS  
PO BOX 505  
WATERTOWN WI 53094-0505

## MEMORANDUM

**TO:** Plan Commission

**FROM:** David E. Cox, Village Administrator 

**DATE:** January 12, 2018

**SUBJECT:** E Capitol Drive CSM – Non-Utility Properties

Your agenda for Monday includes concept consideration of a CSM to divide the property east of 1270 E Capitol Drive into three parcels. As you will recall, this is the former site of the Sluggers bar. Further, the Village Board has indicated a willingness to allow this property to develop for single family uses without the extension of water and sewer. This memo will provide some information and recommendations for the Plan Commission to consider while it provides direction on the CSM.

Current zoning for the parcel is RS-3 Single Family Residential, which calls for 12,000 square foot lots and 90 feet of frontage. The petitioner is proposing two lots with 110-foot widths and total areas of about 13,750 square feet. The remaining lot would have a frontage of about 113 feet and land area of about 2 acres. These would be compliant in the RS-3 District. However, the RS-3 District, as all of Hartland's current zoning districts do, calls for "municipal sewer and water facilities." (§46-271) As such, staff recommends that the CSM not be considered in the context of the RS-3 District. The Commission should recommend that a new zoning district be created and other amendments to the Village Code be made to accommodate the new policy directive of the Village Board. The concept CSM should be considered within the framework of that new district.

Staff has reviewed area regulations for unsewered property. While Waukesha County has eliminated its own minimum lot size for these parcels in favor of local control, the area towns do maintain regulations. The Towns of Merton and Delafield (from which this property came) maintain a minimum lot size for newly-divided unsewered property of 30,000 feet and 120 feet of lot width. Additionally, the towns regulate the maximum area of a lot allowed to be covered with impervious surfaces. The Town of Delafield allows a maximum of fifteen percent (15%) of the property to be impervious while the Town of Merton uses a maximum Floor Area Ratio of fifteen percent (15%). Based on discussions with the County, the intent of such a size and coverage regulations is to provide adequate space for septic fields and appropriate separation between the fields and the potable water well.

Staff, therefore, recommends that the Plan Commission pursue a new zoning district to be applied to non-sewered and/or non-watered properties in connection with this proposed CSM. The regulations would include:

- Minimum lot size of 30,000 square feet.

- Minimum lot width of 120 feet.
- Maximum impervious surface on the property of fifteen percent (15%).
- Such district would include a statement that the Village's desire is for water and sewer utilities but that when that is impractical this district could be implemented.
- Further, the district or the Code could establish a requirement that the distance from existing utilities would require an increase of 50% or more in the linear feet of utility to be installed (at least 100 extra feet) in order to cross one or more properties where utilities are not present in the ROW before the new zoning category or utility waiver could be implemented.
- Any land division in this district or intended to be in this district must show percolation tests, building/structure envelopes or exclusion zones for septic field protection.
- Any land division must also show potential well installation sites as they relate to the septic areas and building envelopes.
- CSM should show information as required to prove ability to use on site waste disposal.
- In order to prevent this district from being used for larger subdivisions, the district or Code could include additional limiting provisions such as allowing this district to be applied only for minor land divisions (CSM), which include less than 5 lots. Any instance that required a subdivision plat would be ineligible for this allowance. Further, the existing compulsory connection requirement for parcels that are passed by utilities would explicitly apply to these unsewered/unwatered properties in that if the utilities do pass the properties in the future they would be required to connect.

As noted, the currently proposed CSM would not meet the aforementioned lot requirements. Staff recommends that the Commission instruct the staff to draft the zoning regulation as described and direct the petitioner to revise the CSM to comply with the intended regulations. The CSM should also reflect the area of the property encumbered by the Upland Conservancy Overlay zoning, which covers the portion of the property consisting of steep slopes. Both the CSM and the Zoning and general Code changes could then be considered in conjunction with one another.

DCNon-Sewer Development

cc: President and Board of Trustees  
Hector de la Mora, Village Attorney  
Scott Hussinger, Building and Zoning Official  
Craig Eisenhut, Petitioner

VILLAGE OF HARTLAND  
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit  
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00  
Six to Fourteen Parcels - \$300.00  
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary  
Plat Requiring Review \$50.00 (Minimum)  
Reapplication for Previously Reviewed Plat \$10.00

**FINAL PLAT REVIEW**

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat  
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date Filed:	Fee Paid:
Date of Meeting:	Receipt No.:

1. Name: Craig Eisenhut  
Address of Owner/Agent: E. Capitol Dr. Hartland WI 53029  
"Sluggers"  
Phone Number of Owner/Agent: (262) 719-6650

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.

I would like to split off the South West  
Corner 110' wide by 125' deep and a build a home,  
and the South East Corner 110' wide by 125' Deep. 3 Properties

Signature of Petitioner

N46 W 290 96 E. Capitol Dr. Hartland WI 53029

Address

(262) 719-6650

Phone





ROLAND NIEMETSCHKE  
D NIEMETSCHKE  
N47W29111 COUNTY ROAD JK  
HARTLAND WI 53029-2352

JOHN BIEVER  
J BIEVER  
N46W29180 CAPITOL DR  
HARTLAND WI 53029

WILLIAM B HUSSEL  
PATRICIA J HUSSEL  
1301 LISBON AVE  
HARTLAND WI 53029

MARC A CHAPEL  
JENNIFER R CHAPEL  
108 BLUE RIDGE CT  
HARTLAND WI 53029-1830

HABITAT FOR HUMANITY OF  
WAUKESHA  
2020 SPRINGDALE RD  
WAUKESHA WI 53186-2842

WAUKESHA STATE BANK  
PO BOX 648  
WAUKESHA WI 53187-0648

CRAIG EISENHUT  
N46W29096 E. CAPITOL DR.  
HARTLAND WI 53029

## MEMORANDUM

**TO:** Plan Commission

**FROM:** David E. Cox, Village Administrator 

**DATE:** January 12, 2018

**SUBJECT:** Neumann Comprehensive Plan Amendment

At its meeting on Monday, January 15, the Plan Commission will consider amendments to the Comprehensive Plan to facilitate the construction of a proposed condominium development, which has been conceptually reviewed. The amendments needed and requested include a change to the future land use designation to allow more dense development and a change in the future routing of CTH KE in the area. With respect to land use, Neumann has requested Medium Low Density Cluster Development west of the relocated CTH KE and Upper Medium Density (under Two-Family Residential Development) for the area east of the relocated CTH KE.

The current land use plan for the parcels included in this request, as well as the incorporated but undeveloped parcels in the area, identifies the use as Low Density Cluster Development, which calls for density of at least 32,670 square feet (.66 acres) per dwelling unit or about 1.33 units per acre. The proposed Medium Low Density Cluster Development allows density up to 20,000 square feet (.46 acres) per unit or about 2.18 units per acre. The Upper Medium Density would allow just over 5,000 square feet per unit or up to 8.7 units per acre. Additionally, the current Comprehensive Plan calls for the eventual re-route of CTH KE to occur on the property south of CTH K at Winkleman Road. The proposed amendment adjusts that routing to match the Waukesha County Plan, which calls for the route extending north from Jungbluth Road.

The proposed Medium Low Density Cluster Development is the same density category applied to the area that is now the Sanctuary of Hartland. The “cluster” concept allows for the same number of housing units to be applied to a parcel as the Medium Low Density designation but contemplates large amounts of commonly owned open space to buffer parcels from one another and from adjoining roads and subdivisions. The individual lots sizes shrink accordingly. Medium Low Density is the land use category found in Bristlecone Pines and Lake Country Meadows. The proposed Upper Medium Density currently covers the condominiums in the northwestern part of Bristlecone Pines and the Oak Ridge Condominium area south of the railroad tracks east of Maple Avenue.

Staff urges that it is important to consider the amendment proposal in the context of the area and overall goals and realities of the Village. The Commission should consider whether the future of the Village in this area continues exclusively with larger homes on lots that average in size greater than 22,000 square feet or a product that can be smaller and less expensive but is still complimentary to the products around it. If the Commission continues to agree that a greater

density is appropriate in this area, staff recommends that Medium Low Density Cluster Development land use designation be applied to the entire parcel despite the request from Neumann. Further, the designation should indicate that the entire 80 acre area between Mary Hill and Winkleman Road be considered and developed as one site to allow the creation of comprehensive development plan for the area that would address not only the existence of the relocated CTH KE but also take into account the environmental area to the west on this land. Such an amendment to the plan allows an incremental change to the density in the area and allows for a comprehensive plan for the area that provides pockets of density and can maximize the remaining open spaces and mitigate the impact of the major County highways.

As it relates to the relocation of CTH KE, the Village's current Comprehensive Plan acknowledges the SEWRPC version of the future, which shows the new highway location south of CTH K from Winkleman Road. This routing remains in the updated SEWRPC Vision 2050 Plan. The Waukesha County Transportation Plan, however, shows the routing north of CTH K from Jungbluth Road. The Village's previous Comprehensive Plan, which had a 2020 date, included both the route south from Winkleman Road as well as an alternate that showed the alignment extending north from Jungbluth Road. That version was omitted in the update that occurred in 2009, which lead to the adoption of the current 2035 Comprehensive Plan.

As the Commission is aware, discussions have occurred in the past two or so years regarding gaining agreement between the Village and the County as to the route of the road and the time line for installation. It appears that there is general agreement to installing the road at the location indicated in the County Plan and as shown in the Neumann concepts. Based on recent conversations with our County Board representatives, initial actions related to getting the road's construction scheduled by the County could be taken early this year. We would then be working a parallel course with the County to reach definitive agreement on the road in terms of timing and local and developer contribution or action to facilitate the construction. Recent conversations with our representatives indicate a spring timeframe for finalizing an agreement as to the construction of the rerouted CTH KE. As such, it is also recommended that the Commission support a change in the location of the rerouted CTH KE in our Comprehensive Plan.

DCNortheast Comp Plan Amendment

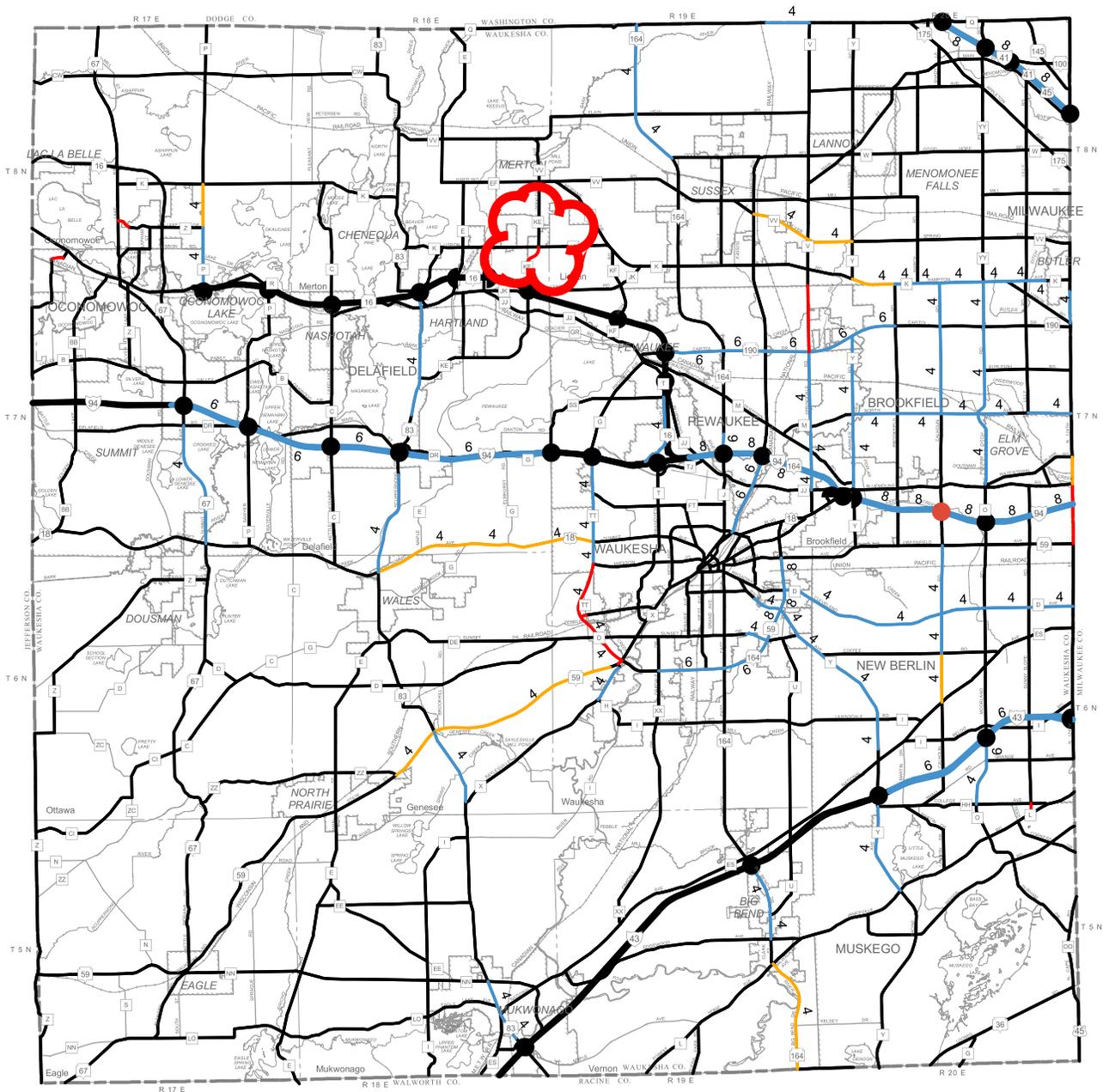
#### Attachments

cc: President and Village Board  
Scott Hussinger, Building and Zoning Official  
Hector de la Mora, Village Attorney – Via E-mail  
Matt Neumann, Neumann Companies – Via E-mail  
Steve DeCleene, Neumann Companies – Via E-mail



# SEWRPC Highway Plan

**Map 1.21**  
**Functional Improvements to the Arterial Street and Highway**  
**System in Waukesha County: VISION 2050**

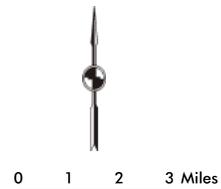


**ARTERIAL STREET OR HIGHWAY**

- NEW
- WIDENING AND/OR OTHER IMPROVEMENT TO PROVIDE SIGNIFICANT ADDITIONAL CAPACITY
- RESERVE RIGHT-OF-WAY TO ACCOMMODATE FUTURE IMPROVEMENT (ADDITIONAL LANES OR NEW FACILITY)
- RESURFACING OR RECONSTRUCTION TO PROVIDE ESSENTIALLY THE SAME CAPACITY
- 4 NUMBER OF TRAFFIC LANES FOR NEW OR WIDENED AND/OR IMPROVED FACILITY (2 LANES WHERE UNNUMBERED)

**FREWAY INTERCHANGE**

- NEW
- ◐ HALF NEW
- EXISTING

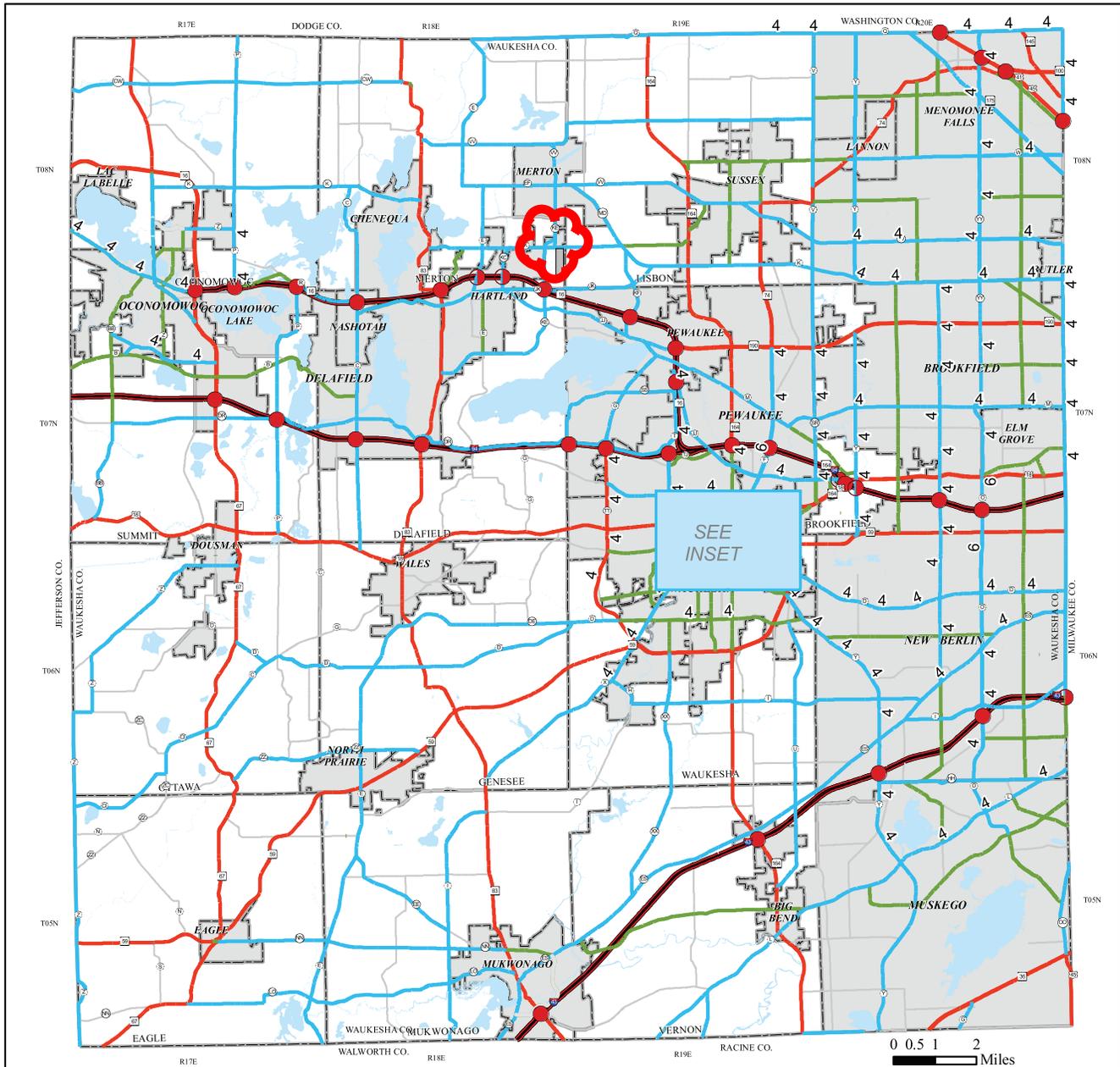


Source: SEWRPC

SEWRPC Highway Plan Close Up



**WAUKESHA COUNTY RECOMMENDED FUNCTIONAL IMPROVEMENTS  
TO THE ARTERIAL STREET & HIGHWAY SYSTEM:  
UNDER THE 2035 REGIONAL TRANSPORTATION SYSTEM PLAN**



<b>Legend</b>	4	Number of Traffic Lanes (2 Where Unnumbered)	
	Major Water Body		Other Major Roads
	Town		County Trunk Highway
	City or Village		Local Trunk Highway
	Interchange		State Trunk Highway - Freeway
	Half Interchange		State Trunk Highway - Standard

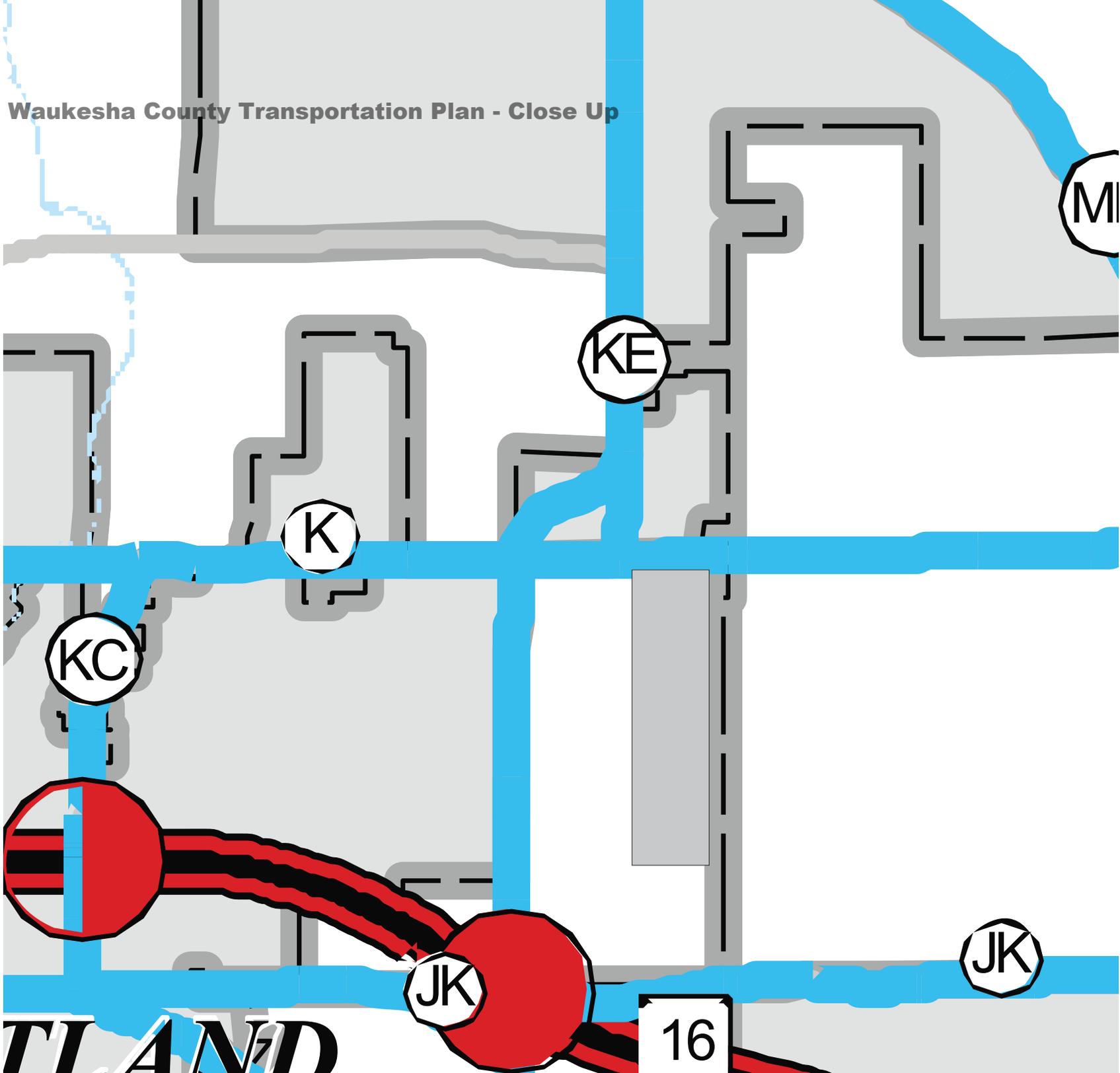
Source: SEWRPC

Civil Divisions as of 12/31/07  
Prepared by Waukesha Co.  
Dept. of Parks and Land Use

**INSET**

0 0.5 1 Miles

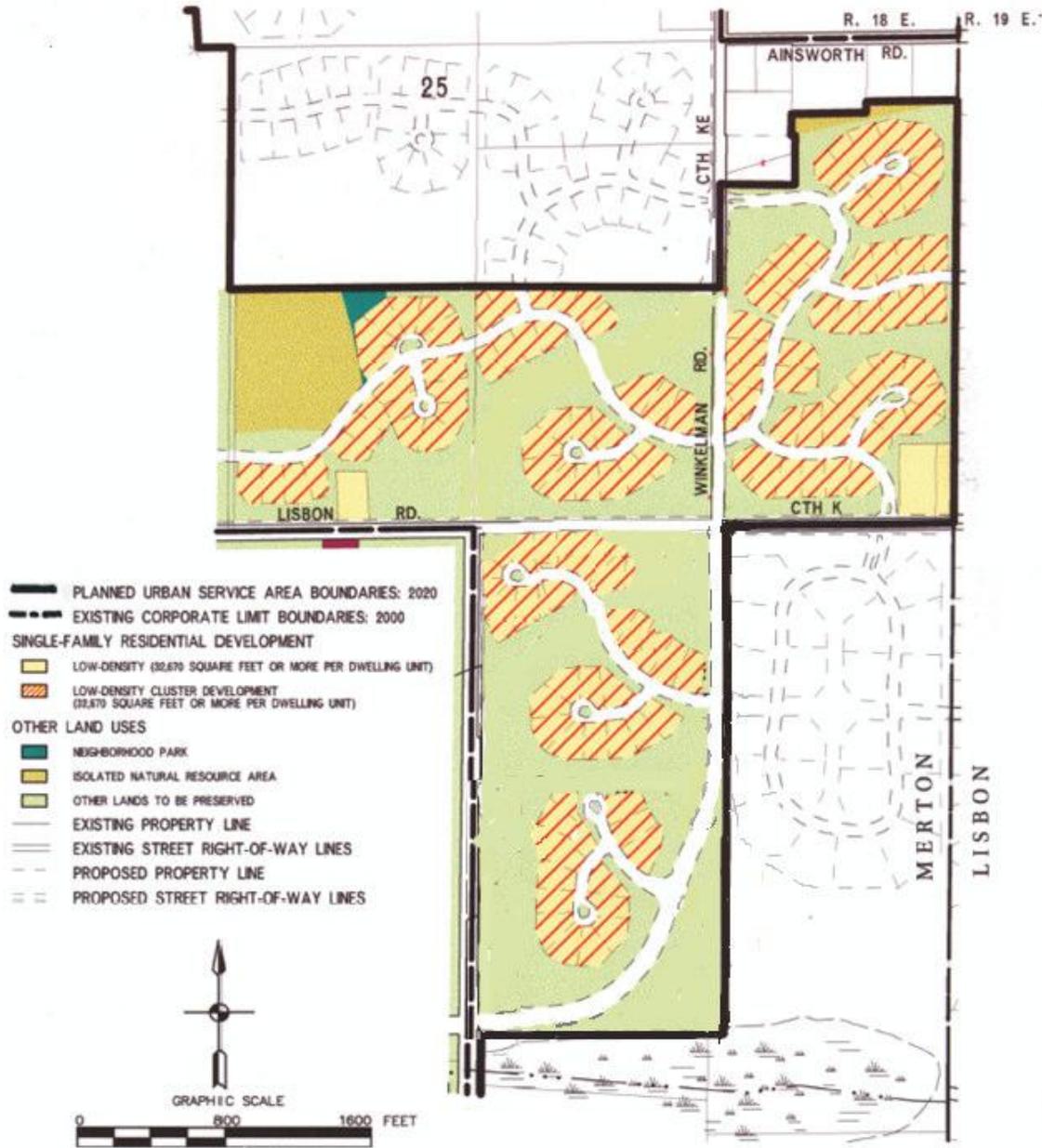
Waukesha County Transportation Plan - Close Up



TIAND

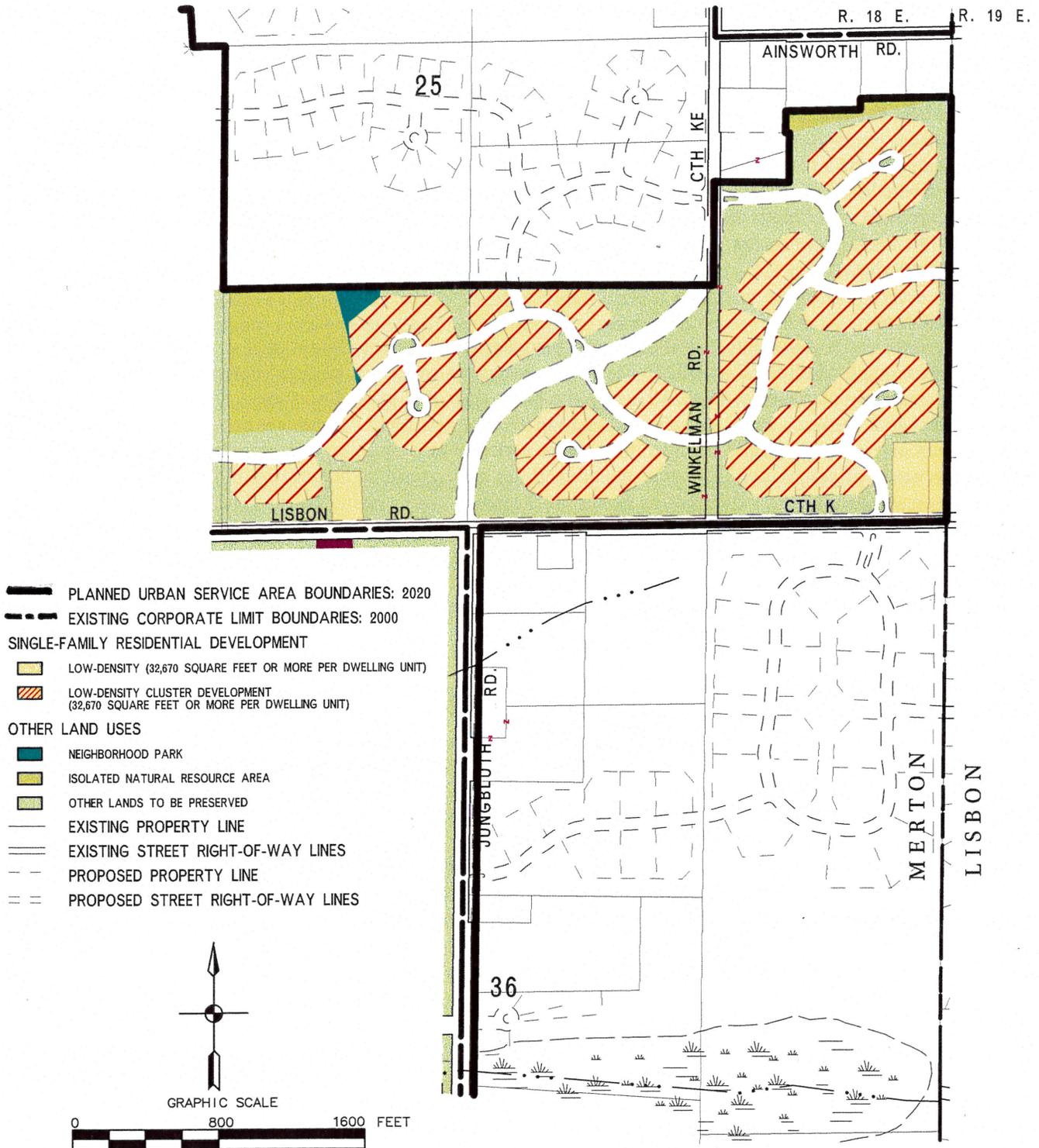
Map 9-7

ALTERNATIVE LAYOUT FOR THE NORTHEAST PORTION OF THE  
 VILLAGE OF HARTLAND PLANNED URBAN SERVICE AREA AND ENVIRONS: 2035



Source: SEWRPC  
 and The Village of Hartland Comprehensive Plan: 2020

ALTERNATIVE LAYOUT FOR THE NORTHEAST PORTION OF THE VILLAGE OF HARTLAND PLANNED URBAN SERVICE AREA AND ENVIRONS





ADMINISTRATION  
 210 COTTONWOOD AVENUE  
 HARTLAND, WI 53029  
 PHONE (262) 367-2714  
 FAX (262) 367-2430

APPLICATION FOR  
 PLAN COMMISSION

pd 12-22-17  
 DB CK# 4122  
 \$ 300

\$300 PLAN REVIEW FEE DUE AT TIME OF APPLICATION

Project Description Residential Development			
Proposed Use Parcel "A" single family condos / Parcel "B" duplex condos		No. of Employees	
Project Location See Exhibit "A"			
Project Name Jungbluth Development			
Owner Jungbluth/Siepmann		Phone	
Address		City	State Zip
Engineer/Architect Trio Engineering		Phone	FAX
Address		City	State Zip
Contact Person Steve DeDeene	Phone 262-542-9200	FAX 262-349-9324	E-mail lute@newmanncompanies.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound site plans and ten (10) sets of reduced site plans (11" x 17") copy must be submitted showing the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------



December 18, 2017

Village of Hartland  
210 Cottonwood Avenue  
Hartland, WI 53029

Dear Village Board,

I am submitting this petition for an Amendment to the Village Comprehensive Land Use Plan in order to change the use of this site from its current contemplated use, Lot Density Cluster Development, to uses that support the concepts on Exhibit A attached.

Parcel A – We request the Plan be amended to change the use on the western parcel to Medium Low Density Cluster Development. Doing so would allow for the construction of 72 single family condominiums.

Parcel B – We request the Plan be amended to change the use on the Eastern parcel to Two-Family Residential Development. Doing so would allow for the construction of 27 duplex condominium buildings (54 units).

This petition is being made after careful consideration regarding the market supply and demand of different residential product types in the Hartland area. In addition, this petition considers the future effect of the inevitable re-routing of County Highway KE through the area.

Please let me know of any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Steve DeCleene", is written over a light blue grid background.

Steve DeCleene  
President

# EXHIBIT "A"

## PROPOSED LAND USE PLAN AMENDMENT

BEING A PART OF THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF SECTION 25, IN TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND AND TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

Subject Site

**Isolated  
Natural  
Area**

**Parcel A**  
Medium Low Density Cluster Development  
(20,000 - 32,669 Sq Ft Per Dwelling Unit)

FUTURE CTH "KE"

**Parcel B**

**TWO-FAMILY RESIDENTIAL DEVELOPMENT**  
Upper-Medium-Density  
(Up to 8.7 Dwelling Units per Acre)

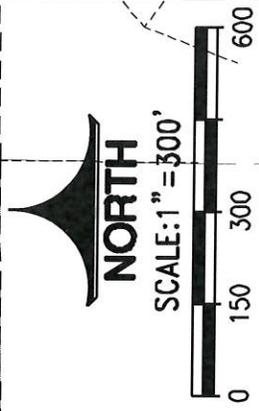
**Other Lands to be Preserved**

**Other Lands to be Preserved**

Subject Site

JUNGLUTH ROAD  
C.T.H. "KE"

LISBON ROAD (C.T.H. "K")



THIS EXHIBIT WAS PREPARED BY TRIO ENGINEERING, LLC

DATE: 12-18-17

ANTHONY J & JILL SIKORSKI  
1702 E BRISTLECONE DR  
HARTLAND WI 53029

BADER REVOCABLE TRUST  
1156 MARY HILL CIR  
HARTLAND WI 53029

BIELINSKI HOMES INC  
1830 MEADOW LN STE A  
PEWAUKEE WI 53072-5575

BRIAN & ERIN DIERICKS  
1140 MARY HILL CIR  
HARTLAND WI 53029-8009

BRISTLECONE PINES COMM.ASSOC. INC  
C/O DON TUSHAUS  
1209 SWEETBRIAR LN  
HARTLAND WI 53029-8635

CHARLES & CAROL JUNGBLUTH  
W282N5811 WINKELMAN RD  
HARTLAND WI 53029-9105

CHONG P YI  
BOBBIE D NEUMANN-YI  
1003 N CYPRESS CT  
HARTLAND WI 53029

CONSTANTINE XYKIS  
KATHERINE XYKIS  
605 SOUTHERN OAK  
HARTLAND WI 53029

CORINNE C MERTEN  
1005 N CYPRESS CT  
HARTLAND WI 53029-8685

CURTIS CORNELLA-CARLSON  
TRACEY CORNELLA-CARLSON TRUST  
1012 N BLUESPRUCE CIR  
HARTLAND WI 53029

DARRELL C LANDRY  
SHERRI J MANN  
1008 N BLUESPRUCE CIR  
HARTLAND WI 53029

DAVID & SUSAN MANN  
W284N5500 JUNGBLUTH RD  
HARTLAND WI 53029

DAVID S ELARIO  
LAURA I REYES  
1162 MARY HILL CIR  
HARTLAND WI 53029

DENNIS F ZAGRODNIK II  
MICHELLE M ZAGRODNIK  
1006 N BLUESPRUCE CIR  
HARTLAND WI 53029

ERIC J & TRACY R EGENHOEFER  
1152 MARY HILL CIR  
HARTLAND WI 53029

GEORGE J JUNGBLUTH REVOCABLE  
TRUST  
N55W28945 COUNTY ROAD K  
HARTLAND WI 53029

GERARD LIVING TRUST  
606 SOUTHERN OAK DR  
HARTLAND WI 53029

GILBERT G AND KRISTIN B ATANASOFF  
1168 MARY HILL CIR  
HARTLAND WI 53029-8009

GLENN R & DEBRA A DOW  
1610 WHISTLING HILL CIR  
HARTLAND WI 53029-2007

GOOD 2008 JOINT TRUST  
N55W28311 CTY K  
HARTLAND WI 53029

HENRY & CAROL LEFEVER  
1700 E BRISTLECONE DR  
HARTLAND WI 53029

J CHANNING TASSONE  
1181 MARY HILL CIR  
HARTLAND WI 53029-8009

JOHN M & TRUDY B GEBHARD  
N56W28754 COUNTY ROAD K  
HARTLAND WI 53029-9108

JOSEPH A & CLARE M WALICKI  
624 SOUTHERN OAK DR  
HARTLAND WI 53029

JOSEPH & CARMEN JUDD  
1004 N CYPRESS CT  
HARTLAND WI 53029

DAVID & KAREN KRAUSE  
N56W28748 COUNTY ROAD K  
HARTLAND WI 53029-9108

LONGMEADOW DEVELOPMENT LLC  
W240N1221 PEWAUKEE RD  
WAUKESHA WI 53188

MARY HILL HOMEOWNERS ASSOC  
6255 UNIVERSITY AVE STE 101  
MIDDLETON WI 53562

MARK & SARAH BORCA  
1004 N BLUESPRUCE CIR  
HARTLAND WI 53029-8681

MARTIN T & ANN V FRANKE  
1148 MARY HILL CIR  
HARTLAND WI 53029

MICHAEL E THORSTENSON  
1607 5TH AVE N  
DENISON IA 51442-1539

MICHAEL PYTLINSKI  
SHARON M KIEFFER  
1167 MARY HILL CIR  
HARTLAND WI 53029-8009

MICHAEL T & CHRISTINE M KEEFNER  
1149 MARY HILL CIR  
HARTLAND WI 53029-8009

MICHAEL T & CONSUELO R LOGELIN  
603 SOUTHERN OAK  
HARTLAND WI 53029

NICHOLAS J ROBERTS  
HEIDI KEESLING  
1161 MARY HILL CIR  
HARTLAND WI 53029

PJEVACH JOINT REVOCABLE TRUST  
1002 N CYPRESS CT  
HARTLAND WI 53029-8685

SCOTT B & TANYA SCHNEIDER  
1180 MARY HILL CIR  
HARTLAND WI 53029

SCOTT & DAWN KRAHN  
1143 MARY HILL CIR  
HARTLAND WI 53029

SCOTT WADE  
607 SOUTHERN OAK DR  
HARTLAND WI 53029-8008

SIDNEY & VALERIE DIXON  
1604 E BRISTLECONE DR  
HARTLAND WI 53029-8677

STEEPLE POINTE HOMES LLC  
2426 N GRANDVIEW BLVD STE G  
WAUKESHA WI 53186-6905

STEVEN J & LAURIE NEWTON  
614 SOUTHERN OAK DR  
HARTLAND WI 53029

SUNRISE DEVELOPMENT LLC  
C/O SIEPMANN REALTY  
W240N1221 PEWAUKEE RD  
WAUKESHA WI 53188-1659

ROGER R & BARBARA J GRUHLE  
1174 MARY HILL CIR  
HARTLAND WI 53029-8009

WALTER ROGERS  
1175 MARY HILL CIR  
HARTLAND WI 53029-8009

WILLIAM A & RUTH M RADEMAN  
N55W28413 CTY K  
HARTLAND WI 53029

WILLIAM & DENISE RADAJ  
1704 E BRISTLECONE DR  
HARTLAND WI 53029-8676

Hartland Downtown BID  
Bench and Waste Can Inventory

Downtown Benches

Red, steel coated benches are 55" long, two seating sections. Concrete pad, where applicable, is 58". **Eight total.**

Traditional style park benches: 6' long, located at Kaiser's, US Bank, two at 155 E. Capitol. **Four total.**

Library along river: **one** 6' metal bench, football sideline style. Same style as ones in Nixon Park.

Bark River by Riverwalk and new covered bridge: 6' steel coated traditional style benches. Two on west side, north of bridge and one on east side, north of bridge. Concrete pads under each bench. Sit closer to river, too far off the IAT paved path. **Three total.**

Village Hall back entrance: **one** 4' flat bench (no back) made of recycled plastic.

Add a bench at Citgo west side along sidewalk at crosswalk and at the RR crossing on Cottonwood by the path/Jenson Motors. **Two total.**

Concrete Garbage Cans

One by Klink's Karpets, one by Kaiser's, one by Palmer's/Zesti, one at Village Center, one of 155 E. Capitol. Can these be painted black? Order new plastic covers in black?

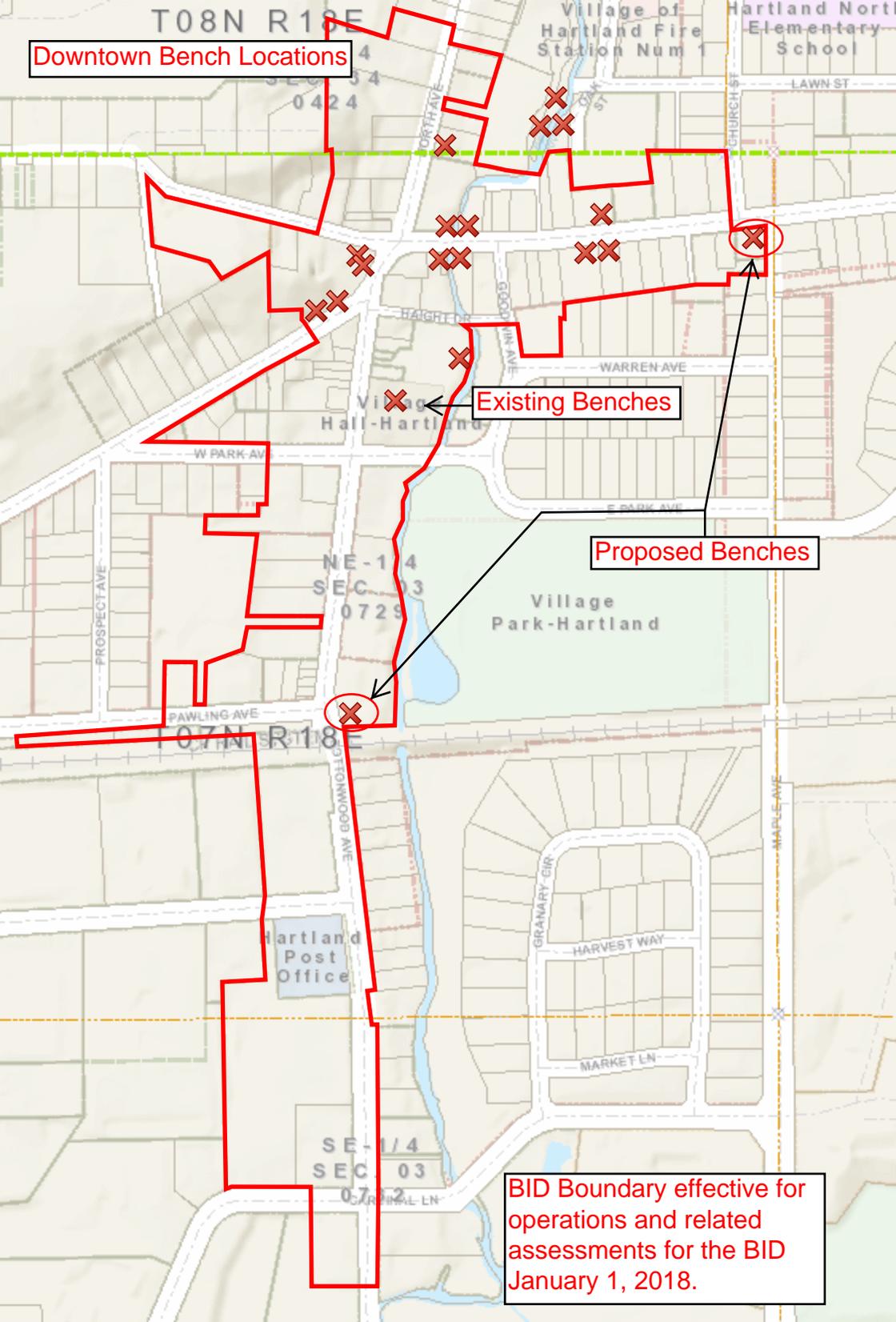
Can the one by Klink's be moved to a better, more noticeable location?

**Downtown Bench Locations**

**Existing Benches**

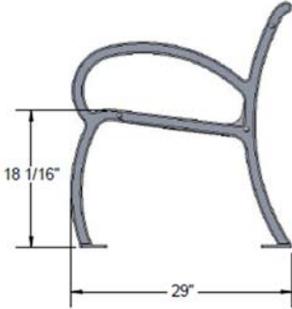
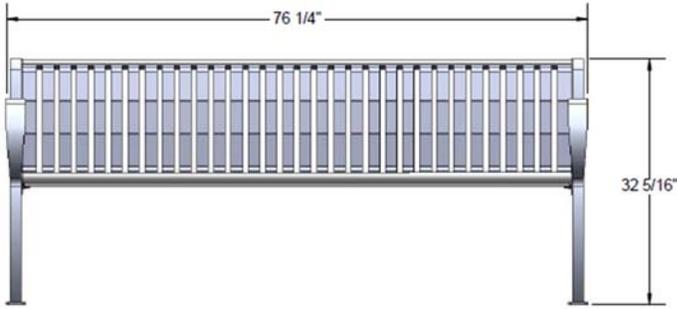
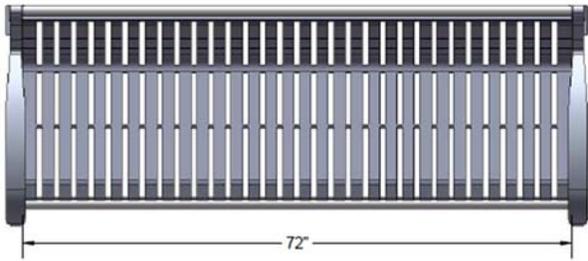
**Proposed Benches**

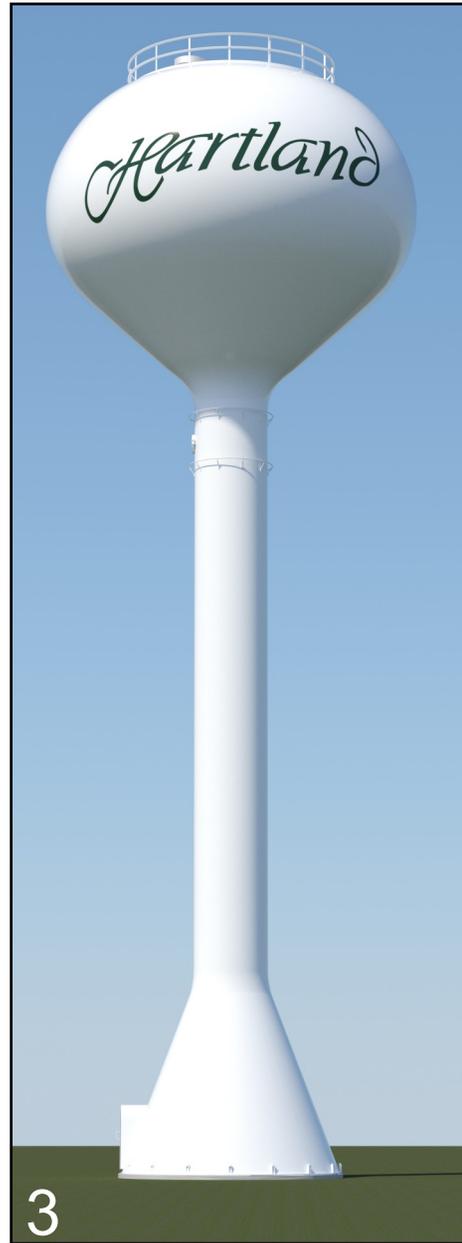
**BID Boundary effective for operations and related assessments for the BID January 1, 2018.**



Hartland Downtown BID

Proposed new bench style





**Village of Hartland, WI**  
**250,000 Gallon Pedisphere**

Revision Date: 11/24/17

*Approval*

Signature \_\_\_\_\_

Name \_\_\_\_\_ Date \_\_\_\_\_

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OF  
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**Village of Hartland, WI**  
**250,000 Gallon Pedisphere**

Revision Date: 11/24/17

*Approval*

Signature \_\_\_\_\_

Name \_\_\_\_\_ Date \_\_\_\_\_

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**Village of Hartland, WI**  
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Signature \_\_\_\_\_

Name \_\_\_\_\_ Date \_\_\_\_\_

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**Village of Hartland, WI**  
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