

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, APRIL 16, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of February 19, 2018 and March 19, 2018.
2. Architectural Board review and consideration of an addition on the Blake & Sarah Rigel residence at 1162 Four Winds Way.
3. Architectural Board review and consideration of construction of a new residence for John Eskau, 513 Memory Lane.
4. Architectural Board review and consideration of construction of a detached garage on the Ed Lentz property at 327 Lawn Street.
5. Plan Commission and Architectural Board review and consideration of site and landscape plans for Hogger's Pub, 375 Cottonwood Ave.
6. Plan Commission review and consideration of a Certified Survey Map to divide the Eisenhut property located east of 1270 E. Capitol Drive into three parcels and to consider a petition to rezone the property to the RSE-2 Single-Family Residential Estate District.
7. Plan Commission review and consideration of a concept Certified Survey Map for the vacant property west of the end Badger Drive and Eagle Pass (Hammer property).
8. Plan Commission review and consideration of façade renovations to the Cottonwood Plaza, 505-525 Cottonwood Avenue.
9. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: April 13, 2018
SUBJECT: Agenda Information – April 16, 2018

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to an addition to the Rigel residence.

Background: Staff notes potential conflicts with on-site utilities, which feed from the northeast (rear) corner of the lot, and neighbor landscaping, which seems to encroach onto the subject property near where staff anticipates construction access would occur. These will be addressed during the permitting process as necessary. Otherwise, staff has no comments on the proposed addition.

Recommendation: Approve the proposed addition plans.

Item 3 Related to a proposed new house for Eskau.

Background: Staff has concerns regarding drainage and localized flooding in the area. In recent years, staff has considered alternatives to improve the drainage and address the localized flooding, which is focused on a regional low spot located on the rear yard of the subject property and on the two properties to the west. In an effort to capture drainage from the west and from these properties, including road and private property runoff, staff has proposed installation of a swale and pipe system that would reduce the level of standing water on these properties and allow existing and new runoff water to drain to the existing storm water and pond system in the Bristlecone Pines golf course. The storm water drainage system for this area currently either infiltrates or is directed to the golf course. It is anticipated that the piped portion of this proposed system would be in an easement from Eskau and would be owned and maintained by the Village. Otherwise, staff has no comments on the proposal.

Recommendation: Approve the proposed house.

Item 4 Related to a proposed garage for Lentz.

Background: Staff observes that the proposed garage is quite close to the minimum required setback for the property. It is anticipated that the permit for the garage will include a condition that the location be set by a surveyor to ensure that the garage is located correctly. Otherwise, staff has no comments on the proposed garage.

Recommendation: Approve of the garage.

Item 5 Related to site and landscape plans for Hogger's Pub.

Background: The Commission will recall that the outdoor uses, site and landscape plan was last considered as part of the August 2017 meeting. At that point, the Commission had questions that were not able to be answered and the Commission requested a better, scaled landscape/site plan. The owner of Hogger's Pub has developed a scaled plan and is prepared to finalize the landscaping and related outdoor use spaces of his site, which staff anticipates he will deliver at the meeting on Monday. The parking lot improvements will be delayed.

Recommendation: Recommend approval of the site and landscape plans.

Item 6 Related to a CSM and rezoning of the Eisenhut property on E Capitol Drive.

Background: As the Commission has discussed previously, the owner of this property intends to divide it into three parcels and to eventually construct single family houses on each of the parcels. The proposed CSM and development without utilities is conditioned on the rezoning of the property from RS-3 Single Family Residential to the new RSE-2 Single Family Residential Estate District. As the Commission will recall, the new RSE-2 district allows construction of the houses without municipal utilities. The Commission is asked to give final consideration to the rezoning and to consider the CSM. Staff has reviewed the CSM and the site plan that shows the on-site water and sewer utility locations and notes that the CSM must be amended to show the environmental area/Upland Conservancy area on the face of the survey. Also, staff has requested the soil tester's report to substantiate the site plan for the utility services.

Additionally, in accordance with the Village Code, it is appropriate that the Commission officially include in the decision to rezone the property a finding that there is no detriment to the public good by granting an exception to allow the development without municipal utilities. Further, in accordance with section 50-33 of the Village Code, the Commission must find that all

of the following are applicable to the situation prior to making the final recommendation to the Village Board.

1. *There are exceptional, extraordinary or unusual circumstances or conditions where a literal enforcement of the requirements of this chapter would result in severe hardship. Such hardships should not apply generally to other properties or be of such a recurrent nature as to suggest that this chapter should be changed.* The property owner has indicated that the extension of these utilities is cost prohibitive as they are not located immediately adjacent to the property but rather are more than 200 feet away.
2. *Such exception or modification is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity.* Only one other property within the Village's corporate limits in this area is similarly situated and it also is not served by municipal utilities, which is a historic situation.
3. *The exception or modification will not create substantial detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this chapter or the public interest.* As noted, nearly all other properties within the corporate limits of Hartland in the area are already served by municipal utilities. If utilities are extended in the future, these parcels could be connected. Based on percolation tests on the site, adequate space and facilities are available for on-site sewer treatment and potable water. Other Hartland properties in this area are served by municipal sewer and water while neighboring properties in the Town of Delafield are on well and septic.

The Village Board has scheduled a public hearing on the rezoning for Monday, April 23 as part of the regular Village Board meeting. It would consider the Plan Commission's recommendation on the CSM at the same meeting.

Recommendation: Make the appropriate findings and recommend approval of the rezoning and CSM conditioned on the appropriate rezoning.

Item 7 Related to a concept CSM for the property west of Badger Drive and Eagle Pass.

Background: The Commission will recall that the division of this parcel was considered in the fall of 2015. At that time, the proposal included seven (7) parcels in a more traditional subdivision layout with a long, central storm water basin. During consideration of the proposal, the Commission also considered neighborhood plans that included the parcels west of the subject parcel. The Comprehensive Plan shows the two roadways (Eagle Pass and Badger Drive) connecting in this area. As the Commission and Village Board consider the approval process,

certain questions should be addressed. Among them will be whether the Right of Way should be dedicated at this time or simply identified in some way. Further, a determination will need to be made on whether the road and utility infrastructure should be extended at this time to the western side of the parcel.

Recommendation: Consider the conceptual land division.

Item 8 Related to façade plans at 505-520 Cottonwood Ave.

Background: The owner of the Cottonwood Plaza shopping center is proposing several upgrades to the building façade for the portion south of the Piggly Wiggly. At the meeting on Monday, the owner's representatives will discuss a proposed change to the plans as presented that would substitute a decorative metal panel for the EFIS system that was proposed in the gables.

Recommendation: Recommend approval of the proposed plans if the change is acceptable.

DC:PC Agenda Info 4-16

cc: Ryan Amtmann, Village Engineer
Mike Einweck, Public Works Director
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, FEBRUARY 19, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Tim Hallquist, Jeff Pfannerstill, Randy Swenson, Jack Wenstrom, Tim Fenner
David deCourcy-Bower and James Schneeberger.

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bushéy

Roll Call

1. Motion (Wenstrom /Hallquist) to approve the Jt. Architectural Board/Plan Commission Minutes of January 15, 2018 meeting. Carried (7-0).

2. Architectural Board and Plan Commission review and consideration of landscape plans for 505-525 Cottonwood Avenue.

Alex Brackman from Wangard was present to explain the landscape plan. Property was purchased in June of 2017. Step 1 was to work with landscaping out in front, however when property was purchased berm was already out of code compliance and there had been some trimming done on trees that had emerald ash borer issues and they got a little aggressive and took out the rest of the trees. They are working with the Board to get it back up to code. He believes they have met the tree requirement code and with the barrier to shield lights from cars for neighbors across the street. Mr. Brackman explained the landscape plan. The proposed shrubs going in are either 18 in or 2 ft. high with maturity at 5-6 ft. high. Evergreen trees going in are 6 ft. high and Deciduous trees are going in at 2.5 ft. height. Discussion on the berm, height of the trees and shrubs in the landscape plan.

Motion (Hallquist/Swenson) to accept landscape plan with reposition of evergreen if needed.
Carried (7-0).

3. Architectural Board and Plan Commission review and consideration of site, building, landscaping and lighting plans for construction of warehouse for MWS Warehouse, 400 Cardinal Lane.

Robert Buchta from Oliver Construction was present to explain construction plans. Owner Mike White is proposing construction of 11,952 sq. foot stand-alone building on adjoining property to be used as storage building. The Proposed construction will access existing parking with additional parking along front of stand-alone building with asphalt access path between the buildings. Metal

building structure with 4 ft. split face decorative block with an off-white color similar to the existing building with a blue band. The Landscaping plan was modified to bring in some additional trees to the existing property, decorative trees out front and plantings around foundation as well as the parking area. All issues from Engineers letter have been addressed. The lighting plan was explained and reviewed.

Motion (deCourcy-Bower/Swenson) to approve plans for construction of warehouse for MWS Warehouse, 400 Cardinal Lane meeting with contingencies. Carried (7-0).

4. Architectural Board and Plan Commission review of a proposed sign for North Shore Middle School, 800 E. North Shore Drive including discussion of current Sign Code provisions.

Steve Hogan from Hartland Lakeside School District was present to explain proposed signage. School District would like a new sign which includes an electronic display board. The board would display school activities as well as Village activities such as the street dance and parade. The School board is also asking to raise the sign by 3 ft. Hussinger said this type of sign is not currently permitted in this zoning district but Administrator Cox said unless Plan Commission would be willing to modify the sign provision and broaden the zoning code to allow it. Hallquist asked if there is anything in the ordinance regarding timing and Administrator Cox said they could set that. Mr. Hogan said they could set a time for it to shut off. Pfannerstill pointed out the setback on the property is considerable, it is 110 feet. Fenner said he is concerned about opening the door to similar properties and should be on a case by case basis. Hussinger and Pfannerstill agreed it should be on a case by case basis.

Motion (deCourcy-Bower/Wenstrom) to recommend change to the Sign Code provisions. Carried (7-0).

5. Plan Commission consideration of an ordinance creating the RSE-2 Single-Family District related to larger lot development without municipal utilities.

Administrator Cox reminded everyone this is the parcel that used to house Slugger's and the petitioner is proposing to divide property into 3 parcels. Ordinance was drafted using concepts that were discussed at the last Plan Commission meeting with this topic. It was initially used with the RSE-1 as a model and attempting to bring the size requirements down to something that was more akin to what was being discussed. Administrator Cox went on to say the operative piece was the provisions in the lot area that allow a CSM to be brought in for a land division that allows the CSM to create lots that are smaller than the standard number, not less than 110 feet wide or 25,000 sq. ft. in size, also if petitioner can demonstrate on the plat that sufficient space exists for onsite sewer, well and house, in which this specific case Mr. Eisenhut thinks he can and the Language matches that of RSE-1. On a side note, Administrator Cox said he has modified the language recently to take all of the Conditional Uses out of this district, which will be a topic of

discussion for the Board as State has changed those rules and the board will need to clean that up a bit in the code in general.

Mr. Eisenhut said everything is still basically the same as before however he would like to reduce a 30 ft. side yard setback requirement to 25 ft. and the 40 ft. setback from the road requirement to 30 ft. Some other points that were discussed were:

1. The setbacks on this property and other properties.
2. The depth and environmental corridor does make it challenging.
3. The min lot size in the proposed RSE-2 is larger than any lot size besides agricultural zoning in the village and the building inspector wasn't sure they want to reduce the setbacks less than the other districts.
4. The possibility of amending the setbacks in the future in the case of a hardship or modifying the front setbacks.
5. Could the 3 lots possibly have different setbacks?
6. 120 ft. vs 110 ft. width
7. The ordinance is drafted that the village board would make the decision on recommendation of the Plan Commission.
8. The default size of the width in the ordinance.

Pfannerstill said Mr. Eisenhut had gone before the Village Board to see if they were open to the changes and was directed to come back to the Plan Commission. Administrator Cox said the language in the ordinance is drafted that the default size of the parcel is 30,000 sq. ft. and 120 ft. in width. And it indicates without reducing the overall density of the parcel which is built on 30,000 sq. ft., the lot area could be reduced to not less than 25,000 sq. ft. and not less than 110 ft. in width by the Village Board based on the recommendation of the Plan Commission when the CSM contains the information. Administrator Cox said there is sufficient space available for doing septic, well and impervious surfaces. He said there is a built in variation process here that grants the Plan Commission and Village Board the ability to change that.

Hussinger said a 30 ft. setback would be helpful. It would shorten the driveway potentially and reduce the impervious surface which he thought would be helpful. Mr. Eisenhut said it would just be for the 1 lot. There was brief discussion on the setbacks.

Motion (Swenson/Schneeberger) to recommend to the Village Board to approve the change pertaining to the zoning code with a 25 ft. side setback, 30 ft. road setback and a minimum 110 ft. lot width. Carried (7-0). This now goes to the Village Board at the 2-26-18 meeting.

6. Items related to a request for amendments to the Comprehensive Land Use Plan for the area north of CTH K (Lisbon Road) and west of Winkleman Road.

- a. **Plan Commission final review and consideration of amendments to the Comprehensive Plan to increase recommended density and identify the future location of CTH KE in this area.**
- b. **Consideration of a "Village Plan Commission Resolution Recommending Adoption of an Amendment to the Village of Hartland Comprehensive Development Plan: 2035".**

Supplementary information was included in the packets and the proposed change was attached to the draft of the resolution in the packet for the Plan Commission. Administrator Cox said he attempted to draft a resolution that captured the conversations. He said he relocated the road and the draft includes going to the medium low density for the entire parcel. He said it also includes the entire parcel plan needing to be produced at one time and it would need to address a park, open space and the other factors of the comprehensive Plan that were already entered in that area.

deCourcy-Bower brought up several points that concern him:

1. The level of detail, how specific the comprehensive plan is and if they are going to make the changes, it's prudent to understand those things, such as what is traffic circulation and what will it look like at a higher density.
2. A future park area shown and referenced to in the existing plan, the Village of Hartland Comprehensive outdoor recreation plan and in the comprehensive development plan.
3. Density transfer and an isolated resource area. Specifically, he was concerned about how the Village should handle determining the level of density allowed to be transferred from environmental areas to be protected to developable land in a given project. By example, he expressed concern about a parcel that might be 70% environmental areas that were not to be developed and 30% area that would be developed and how many housing units would be contained on the 30% area if density were transferred from the environmental area at the maximum rate.

Pfannerstill opened the floor at 8:00 p.m. for public comments:

1. Ann Franke 1148 Mary Hill Circle- asked if the density referred to gross density or net density in regards to the development. Pfannerstill said it is gross density. She also commented on the resolution if it should be state statute 61 which refers to Villages or 62 which refers to cities. Administrator Cox said the section dedicated to Villages said to use City statutes. Mrs. Franke asked for clarification on the term dwelling, expressed her concern for the increased traffic and feels this is not the right area for this development.
2. Bob Pjevach 1002 Cypress Ct- Asked what the thought process is to change the Comprehensive Plan to change the density and if a traffic study has been considered. Pfannerstill said in regards to the thought process there was discussion at the last meeting because someone would like to purchase and develop the land and they need increased density to make it viable. He said this is the first step in the process and if it goes through then a Public Hearing would be held. Regarding a traffic study, Pfannerstill that may have to be done.
3. Dick Landwehr 251 Meadow Lane- Commented that if the Village doesn't do anything regarding KE, the County will put it at the bottom of their list unless they are forced to deal with it.

There was discussion on a traffic study and if one would be done. Matt Neumann said they wouldn't request a density change if the road wasn't changed. He said the County usually does a Traffic Impact Assessment (TIA) but not usually at this point. He said the traffic relocation for that intersection won't happen within the next 5 yrs. He said the time the County would do it would be about the time the development is complete.

There was discussion regarding the Comprehensive Plan and road placement.

Peter Jungbluth N55 W28945 CTH K commented that nothing gets done with the County until someone complains.

Dan Jungbluth N55 W28945 CTH K commented on developing it in Merton if this does not go through.

Motion (Fenner/Swenson) to adopt the resolution as presented. The Public Hearing is set for March 26, 2018 at the Village Board Meeting.

7. Adjourn

Motion (deCourcy Bower/Swenson) to adjourn. Carried (7-0). Meeting adjourned at 9:14 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bushéy, Deputy Clerk

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, MARCH 19, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Present: Jeff Pfannerstill, Randy Swenson, Jack Wenstrom, Tim Fenner and David deCourcy-Bower.

Absent: James Schneeberger and Tim Hallquist

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bushéy

Roll Call

1. Motion (deCourcy-Bower /Swenson) to table the Jt. Architectural Board/Plan Commission minutes of February 19, 2018 meeting until the April 16th meeting. Carried (5-0).

2. Architectural Board and Plan Commission review and consideration of site, building and landscaping plans for a building addition and soccer field shelters at Lake Country High School, 401 Campus Dr.

Dave Boyd from Groth Design Group was present for Lake Country Lutheran High School to explain the proposed addition and soccer field shelters. He said the proposed addition will be a new gym with storage, a stage for performances along with 5 new classrooms, a new Art room and some space for music. One-third of the 2nd story will be for classrooms and the addition will sit a little lower because it will be a practice gym. The exterior on the addition will match existing facade, grading has previously been done in anticipation of an addition, and windows will be added for the classrooms for natural light. Grounds and landscaping was also done in advance for the anticipated addition. Lake Country High School would also like to add two soccer field shelters to the soccer field with the first shelter being 28 ft. in length and the second shelter being 20 ft. in length, with the shelters being comparable to baseball dugouts.

Motion (Wenstrom/Swenson) to approve site, building, and landscaping plans for building addition and soccer field shelters for Lake Country Lutheran High School. Carried (5-0).

3. Plan Commission consideration of rezoning of the property located east of 1270 E Capitol Drive (former Slugger's property) from RS-3 Single-Family Residential District to the newly created RSE-2 Single-Family Residential Estate District.

Administrator Cox stated this is the next step as they move along in the process. The Plan Commission recommended the RSE-2 zoning district to the Village board who will would be

considering that at the 3-26-18 Village Board meeting. Mr. Eisenhut is in the process of finalizing the CSM and the materials that go with that, for April review and he wanted to get this piece moving along as it takes a little longer for a zoning change as it needs several reviews by Plan Commission and the Village Board including the Public Hearing. The goal is to hold the hearing at the end of April along with consideration of the CSM.

Administrator Cox said The RSE-2 district is on the whole site of the property and has carried through the Upland Conservancy overlay on the back of the lot. The next step will be to hold a Public Hearing which will take place on March 26th, 2018. Fenner asked if the CSM that was prepared comply with the Zoning they are considering now in terms of frontage and area, Administrator Cox said yes. Fenner also asked if under the process, if they will assign under the official map this real estate to that district. Administrator Cox said this action will assign this property to this zoning. Fenner said he is reluctant to have any un-sewered development unless there are facts and circumstances that warrant it, but he said clearly in this case those exist. Administrator Cox said the Plan Commission will have one more look at this in April, Mr. Eisenhut will give the Plan Commission a statement that will describe the issue that will help the Plan Commission make that determination. deCourcy-Bower asked if there have been any change in the area of the Conservancy overlay since the previous. Administrator Cox said no, he took that particular version that comes out of the zoning overlays that are in the GIS right now.

Motion (Swenson/Wenstrom) to recommend to the Village Board to schedule a Public Hearing for rezone of property at 1270 E. Capitol Dr. to RSE-2 Single-Family Residential Estate District. Carried (5-0).

4. Plan Commission consideration of an Extraterritorial CSM for the 15-acre parcel on the east side of Campus Drive north of the Lake Country Lutheran vacant property in the Town of Merton.

Administrator Cox stated this is pretty minor and as he stated in his memo the reason this is getting done is that this parcel did not exist before Campus Drive was created and as far they understand there are only 2 things going on in the CSM.

1. To create a lot of record and have a description for that lot including boundary pins and a legal description.
2. A dedication of about 3 ft. of right away adjacent to existing Moraine Drive behind the parcel that fronts on Gail Lane. He said staff has no reason to object and recommends approval. He also said as a reminder the Preliminary plat has previously been approved. The cul-de-sac coming in off of Moraine Drive one of the conditions of the preliminary plat was no vehicular access out on to Campus Drive and that exists on the CSM, and that is a good sign they are willing to accept that and move forward. As staff understands it is still out there and a final plat is anticipated to come through eventually. Hussinger said he suspects the Town requires a greater right of way width so this is the first step in recreating a starting point for their process, he thought. Hussinger said it is important to note that there is no vehicular access allowed out to Campus Drive and it is acknowledged on the CSM.

DeCourcy said he knows they have been through this several times, but if Arrowhead drive were to go thru to Campus Drive at some point was it going to go to the North, Administrator Cox said yes.

Motion (deCourcy-Bower/Wenstrom) to approve the Extraterritorial CSM for the 15-acre parcel on east side of Campus Drive north of Lake Country Lutheran vacant property in the Town of Merton. Carried (5-0).

5. Plan Commission consideration of amendments to the Sign Code related to signage in the Institutional and Park and Recreation Districts.

Administrator Cox said this is the Plan Commission's second look at this and this particular item was discussed at the previous meeting to allow the change in message boards could be considered in an institutional district. The language was looked at the previous meeting and now the Plan Commission will review the ordinance and decide if to recommend approval to the Village Board. Fenner asked if changeable copy reader board includes not only electronic but also letters etc., and Administrator Cox said yes they are all included in on lump.

Hussinger said it is important to note that condition #4 every sign & sign location is unique. He said what might be ok in one area might not be ok in another area like downtown or next to house. Administrator Cox said what they may allow on for example North Shore Ave they may not allow on E. Capitol or E. Imperial. Pfannerstill said each one of these type issues will be case by case because the surrounding areas could be so different.

Motion (Fenner/deCourcy-Bower) to recommend to the Village Board the zoning sign amendment as presented. Carried (5-0)

6. Plan Commission discussion related to Conditional Use Permits and, specifically, Conditional Uses in the Q-1 Quarrying/Extractive District including potential amendments to the Hartland Zoning Code.

Administrator Cox said this discussion is a very preliminary and very early on conversation. He said we are not at a point of hard recommendations at this point. He said he just wanted to introduce the topic and talk a little bit about some of the issues the Village faces with the change in the state law. He said as some background, he sent them the Act and the Villages Conditional Use ordinances. He said Commissioner Fenner provided some material that came from a law firm that works with a number of Towns Associations which talks about the new law and some of its impacts. The author works for the Town of Delafield, and Delafield just moved forward on a moratorium on Conditional Use permits. Administrator Cox said the reason they did that is because they are very heavy users of Conditional Use permits, virtually everything they approve in regards to residential development is done by Conditional Use, and that is not the case in Hartland. Fenner said he read everything including the code and the new law. He said looking at what we have now compared to what the law seems to say we have to have, he identified a number of issues and concerns he would invite staff to address as they attempt to do this. First and foremost

he said when someone comes in for authorization whether it be for a Conditional Use or zoning change, he would like to see our ordinances provide that the applicant has to submit a written narrative with the application which demonstrates how the Conditional Use or zoning requirements will be met and satisfied; and attach any reports, engineering studies, etc. to that application. He said the burden of proof particularly for Conditional Uses, is basically that the applicant has to satisfy those elements and standards that are being imposed. He said rather than have staff try to draft something simply because the applicants have not done anything, he said the burden should be on them to go thru our ordinances and tell us how they are going to satisfy the standards. He said he would like to have that written in somewhere as part of the process of the amendment. One of the other things related to that is juridical issue, he said currently the Commission acts as an advisor board to the Village board. He said if you read the materials in there, you will see that the legislature has essentially made the Conditional Use process not a legislative process but a quasi-judicial process which suggests now when we do things we are going to in essence have something akin to finding some fact and conclusions of support of action that are being taken. He went on to say the materials suggest that perhaps Conditional Uses are no longer to be reviewed by the Village Board and the Plan Commission's action are final because there is a 30 day review to the circuit court. He went on to say some of the materials suggest maybe you could continue to go to the Village Board for approval but he said if that is the case then the Village Board would be acting in the quasi-judicial capacity too.

Hussinger stated, doesn't the Plan Commission dive and expose details and sort of prepare it for the Village Board. Fenner went on to ask when Administrator Cox discusses this with the Village Council, one of the issues should be, is a Conditional Use from the Village Board now or from the Plan Commission because of the juridical issue? Administrator Cox said what was raised in the piece from Eric Larson was, has it now become a quasi-judicial and non-legislative. And every action you have reviewed has been a piece in the legislative cod, because then it goes up to the Village Board and they make a decision based on sometimes factors other than fact.

Fenner said if it does, then the question becomes what is the standard of review by the Village Board now. Administrator Cox said that is certainly the question in the case of Conditional Uses. Fenner said he thinks we need some legal advice, what our attorneys believe is the role of the Village Board assuming it is to continue in some capacity with Conditional Uses. Pfannerstill added that is one of the main reasons that there is a Plan Commission and Arch. Board. He said instead of having an 8 hour Village Board meeting there are commissions that are set up that have people look into these things with people that are more insightful and more familiar. He said what he does agree with, is the way the law is written. He said if everything that has to be met, every stipulation to be provided in a Conditional Use is met, then the Plan Commission does its homework and says yes they have met everything the Village Board can't say no simply because they don't think that is the best use. He went on to say if the Plan Commission missed something and then it is caught then Village Board can say this isn't being met.

Hussinger said in the Q-1 district there are 11 specific Conditional Uses permitted but they are generic, like mixing of asphalt but it doesn't tell us what time of operation, odor, smoke etc., and so we need to develop those standards. He then asked does that get hammered out here at Plan Commission as part of the Site Plan of Operations. Fenner said he thinks in an ordinance. He said what he has seen in communities is they have a section for Conditional Uses like us and then they

have a section of approval standards that are very general in nature. He said then what happens is you go to the Zoning district, you see permitted uses, conditional uses and then you will see specific standards relating to that conditional use in that district. He went on to say he likes the approach the Village has taken here, where there is a general section that simply defines the general standards. He said then you have to go to the next level on the specifics, and that means a district by district review. Hussinger said so you are satisfying both standards, the general and the specific and Fenner said yes. Pfannerstill said with the law change it came up to the discretion of either the Plan Commission or the Village Board, however if you get someone that really wants to mince words, there needs to be more concrete, black and white listings where you go to the general and then the subsection of the specifics that pertain to that item.

Fenner said the one thing they do that is consistent is, that any use/permitted use as well as a Conditional Use requires a site plan. He said because if we were going to make it specific to Conditional Uses, we would have to make it part of the hearing process and after reading this he likes that approach. Administrator Cox said the requirement for a Site Plan is elsewhere in the code for commercial or non-residential.

Fenner said the material suggests that if someone has the opportunity to quarry, if we believe the that operation is going to cause water runoff to Bark River and we are going to deny on that basis; they have the right to come in and say ok here is what I'm going to do to stop that. So as part of the process he said he assumes those kind of things you would want to come to the Plan Commission level rather than the Village Board. Plus we have to figure out procedurally how that is going to fit into the process. Fenner said one thing he would like to see for every Conditional Use permit, is that they have provisions indicating that it can be revoked in the event the conditions aren't satisfied. He said there should be timeframes if the conditions require construction activities and letters of credit, to enhance or enforce construction.

Pfannerstill pointed out there are things in place in the code that address violations and penalties. Fenner brought up the topic of a Public Hearing and that it if is done in a quasi-judicial manor the practice in most businesses is that it is done under oath and that opens the door to examination and cross examination. Administrator Cox said that is one of the comments in there, that it may change the flavor of the Public Hearing.

Fenner said this not only applies to Conditional Uses but to special exceptions also and special exception permits are issued by the Zoning Board of Appeals. He said he didn't know if our ordinance authorizes it, so he asked if we need to be looking at any amendments to the ordinances for the Zoning Board of Appeals. Administrator Cox said he didn't think so, because we don't use exceptions and Hussinger said that is something that is heard at the Village Board level. There was brief continued discussion on Special Exceptions.

Hussinger said we are talking about 2 things, procedurally how to modify our process and code. Plus also, do we want to discuss specific standards down at the gravel pit. Administrator Cox said the issue we are facing is, we are going to have to try move forward on attempting to create standards and one of the things we have been looking at is using some of our previous Conditional Use permit and try to get things laid out. Administrator Cox added that there are performance standards in the code. deCourcy-Bower brought up 2 points –

1. Are the Conditional Use's we currently have or are there Conditional Uses that are not currently captured that need to be captured?
2. Are there Conditional Uses that we can get rid of?

Hussinger said Conditional Uses apply to a lot of different uses and Administrator Cox said the challenge is, if it is not a CU then what is it. Because if it is not a permitted use then it is a prohibited use. There was more general discussion on Conditional Use standards.

Pfannerstill said this is something we will still have to look into more. Fenner suggested focusing on the quarrying one first, since that is the one that is coming up. He went on to say let's tighten up the general one and then look specifically at the quarrying one to see what standards need be done. Administrator Cox said we could look at the moratorium route also. He encouraged everyone to look at what we have, at what is out there, what are some concerns we have and if and how it needs to be addressed.

deCourcy-Bower said it would be useful to be have a list and what we have used Conditional Uses for. Hussinger said we have a copy of every CU that has been issued.

There was discussion on the wording and type of a temporary Conditional Uses. Pfannerstill said we have to address the quarry issue, so let's talk about the quarry issue at the next meeting. He then suggested giving a time-frame of 2 months for staff and everyone to look into things and give their opinions. deCourcy-Bower brought up that maybe a lot of the current Conditional Uses could be more like a permit. Fenner said he would like to see a draft of amendments of what the Plan Commission should recommend to the Village Board, with the first specific one being quarries and then doing the rest at their leisure.

7. Adjourn

Motion (Swenson/deCourcy Bower) to adjourn. Carried (5-0). Meeting adjourned at 7:59 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bush y, Deputy Clerk



DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD

Job Address 1162 Four Winds Way, Hartland WI 53029			
Lot 72	Block	Subdivision Four Winds Way	Key No. HAV
Owner Blake + Sarah Ruge			Phone 917-612-6676
Address 1162 Four Winds Way		City Hartland	State WI Zip 53029
Contractor Mark Worgull		Phone 414 531 7193 FAX 262-369-0227	E-Mail Address
Address N49W31212 Old Steeple Rd		City Hartland	State WI Zip 53029

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

mark_worgull@worgullbuilders.com

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

Application for Architectural Board

Submitted By
Blake & Sarah Rigel
1162 Four Winds Way
917-612-6676

A. Description of Project

- Proposed addition (the "Addition") to Northeast rear corner of house which will serve as a workout room
- The Addition will be approximately 27' wide x 43' long, and 9' height above current ground & 12'-13' foot deep into existing ground (total height of room will be 21'-22').
- The Addition will contain cement poured walls, with a flat pitched roof with a deck above it to match the existing deck. The Addition will have siding and windows that are the same as the existing structure (see Appendix C)
- The Addition will be attached to the existing house and will sit partially below the current deck on the rear of the house
- Offset boundaries – the 20-foot offset to the north and 35-foot offset to the rear/east of the property have been identified and marked by the surveyor. The Addition will be in compliance with these offsets.
- 100-year flood plain – does not currently exist on the property (it is east and outside of the property closer to Bark River)
- Appendix A – surveys of property recently completed, with and without the proposed addition are included
- Appendix B - sketch drawing of the Addition
- Appendix C – pictures of (1) area where Addition will be constructed and (2) current siding and windows which will also be used for the outside of the Addition

B. Other Information

- Builder – Worgull Builders (Mark Worgull)
- HOA Approval – application to the Four Winds Way HOA has been submitted and is pending. Approval is expected to be received within 1 week. Once approval is received, we will pass this along to the Architectural Board prior to the April meeting

Subject: Fw: Re: Rigel HOA Approval - Construction Project

From: sarahrigel@yahoo.com

To: sarahrigel@yahoo.com

Date: Friday, April 13, 2018, 6:40:30 AM CDT

----- Forwarded Message -----

From: Brian Penny <brian.penny@fourwindshoa.org>

To: Blake Rigel <blakerigel@yahoo.com>

Cc: Sarah Rigel <sarahrigel@yahoo.com>; Four Winds Board <theboard@fourwindshoa.org>

Sent: Thursday, April 12, 2018, 11:32:39 PM CDT

Subject: Re: Rigel HOA Approval - Construction Project

Hello Blake

With the understanding that the addition will be consistent with the rest of the house, inclusive of the amount of exposed foundational concrete wall, you have the HOA approval

Thank you for contacting us and providing the information we requested

Regards

Brian

Blake and Sarah Rigel
1162 Four Winds Way
Hartland, WI 53029

Blake cell 917-612-6676

Sarah cell 917-647-6494

Appendix A – Surveys

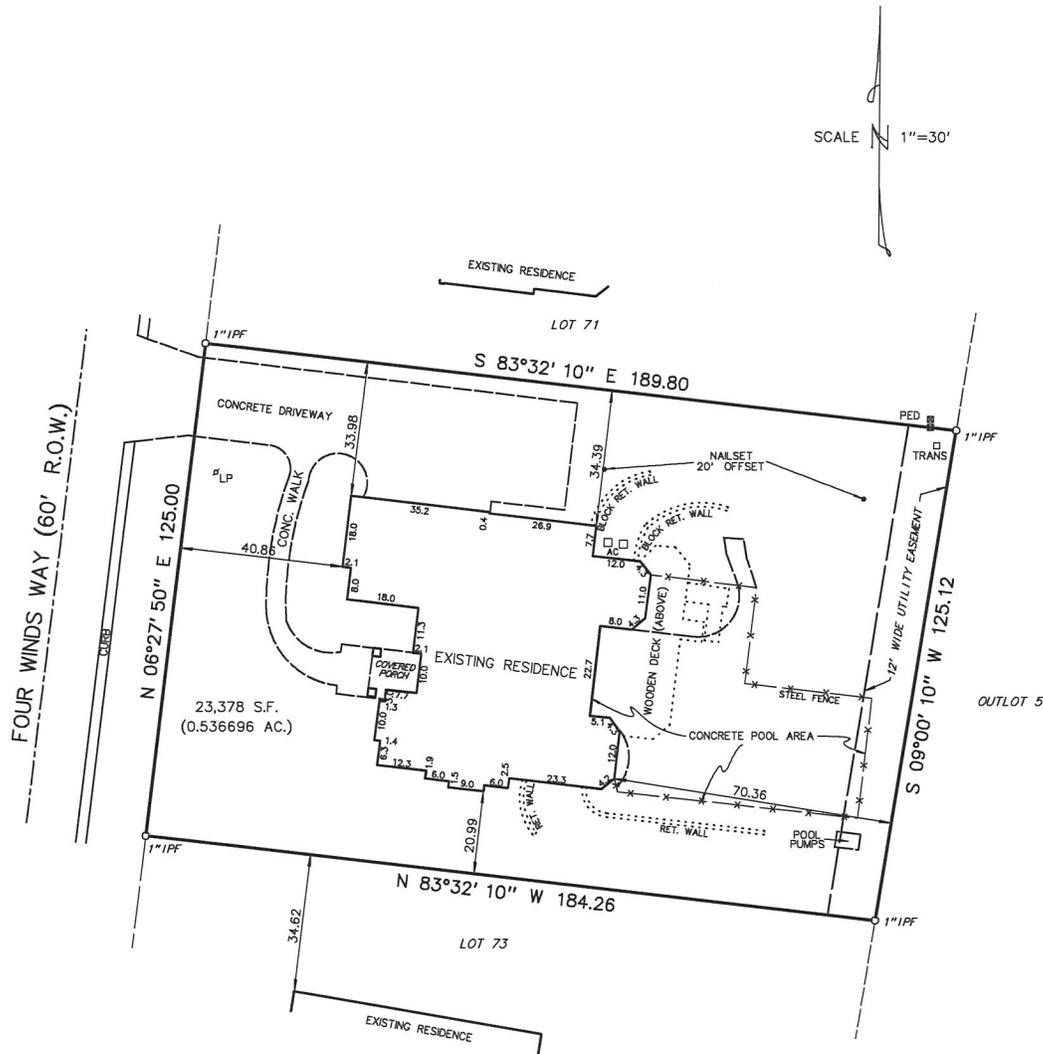
Without Proposed Addition

JANUARY 30, 2018

PLAT OF SURVEY

MR-7280-W

LOT 72, FOUR WINDS, being a subdivision of part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 26, Township 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.



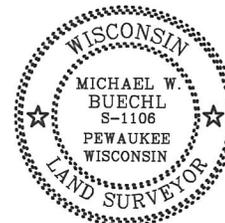
SURVEYED FOR:
WORGULL BUILDERS

SURVEYED BY
MICHAEL W. BUECHL, INC.
233 OAKTON AVE.
PEWAUKEE, WISCONSIN 53072
PHONE
1-262-691-4444
FAX
1-262-691-4465

I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, roadways and visible encroachments.

This survey is made for the exclusive use of the present owners of the property; also those who purchase, mortgage or guarantee the title thereto, within one year from date hereof, and to them I warrant the accuracy of said survey and map.

Michael W. Buechl
PROFESSIONAL LAND SURVEYOR NO. S-1106
STATE OF WISCONSIN



With Proposed Addition

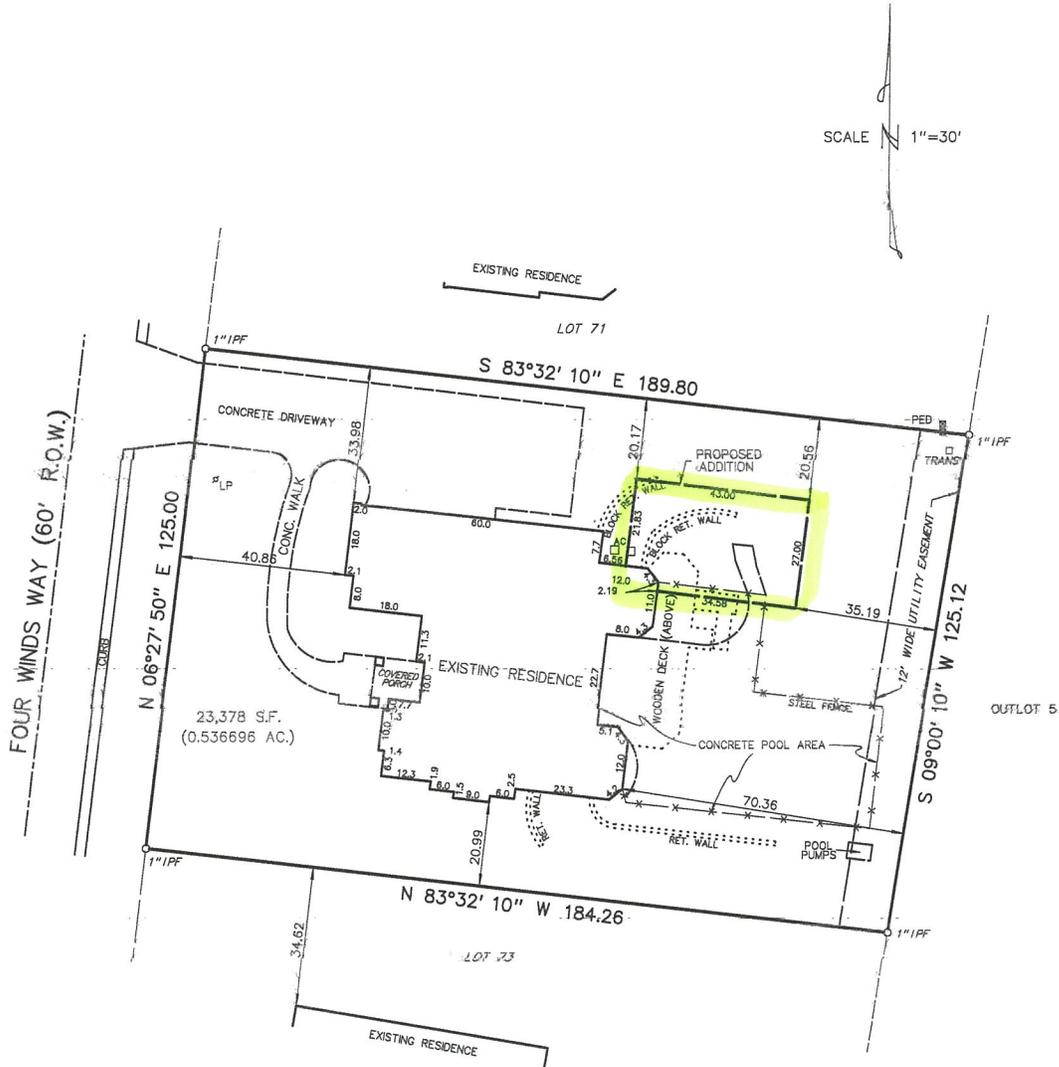
JANUARY 30, 2018
MARCH 8, 2018 REV.
MARCH 13, 2018

PLAT OF SURVEY

MR-7280-W

LOT 72, FOUR WINDS, being a subdivision of part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 26, Township 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.

SCALE 1"=30'



SURVEYED FOR:
WORGULL BUILDERS

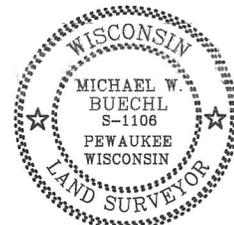
NOTE:
NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100 YEAR FLOOD LIMITS

SURVEYED BY
MICHAEL W. BUECHL, INC.
233 OAKTON AVE.
PEWAUKEE, WISCONSIN 53072
PHONE
1-262-691-4444
FAX
1-262-691-4465

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Michael W. Buechl
PROFESSIONAL LAND SURVEYOR NO. S-1106
STATE OF WISCONSIN



32' 10" E 189.80

North

PED

TRANS

12' WIDE UTILITY EASEMENT

125.12 W

20.56

35.19

PROPOSED ADDITION

43.00
(43' - 0")

27.00
(27' - 0")

34.587"
(34' - 7")

PEN DECK (ABOVE)

20.17

21.83
(21' - 10")

AC

6.56

6' - 6-5/8"

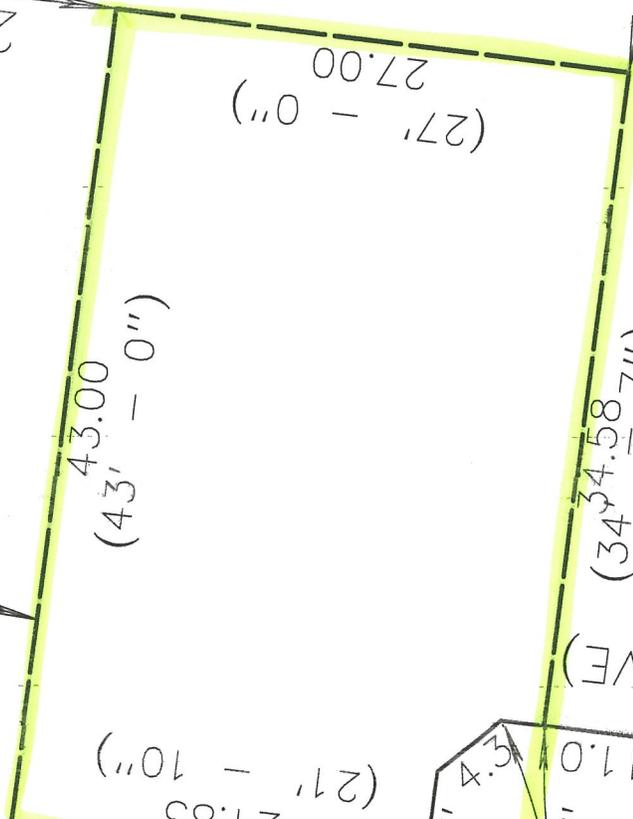
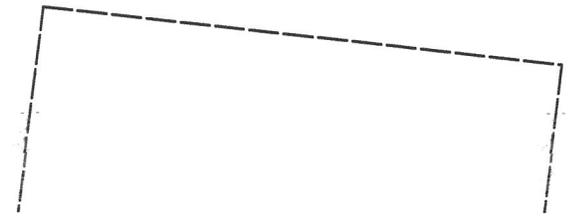
12.0

2.19

2' - 2-1/4"

8.0

DENCE 22.7



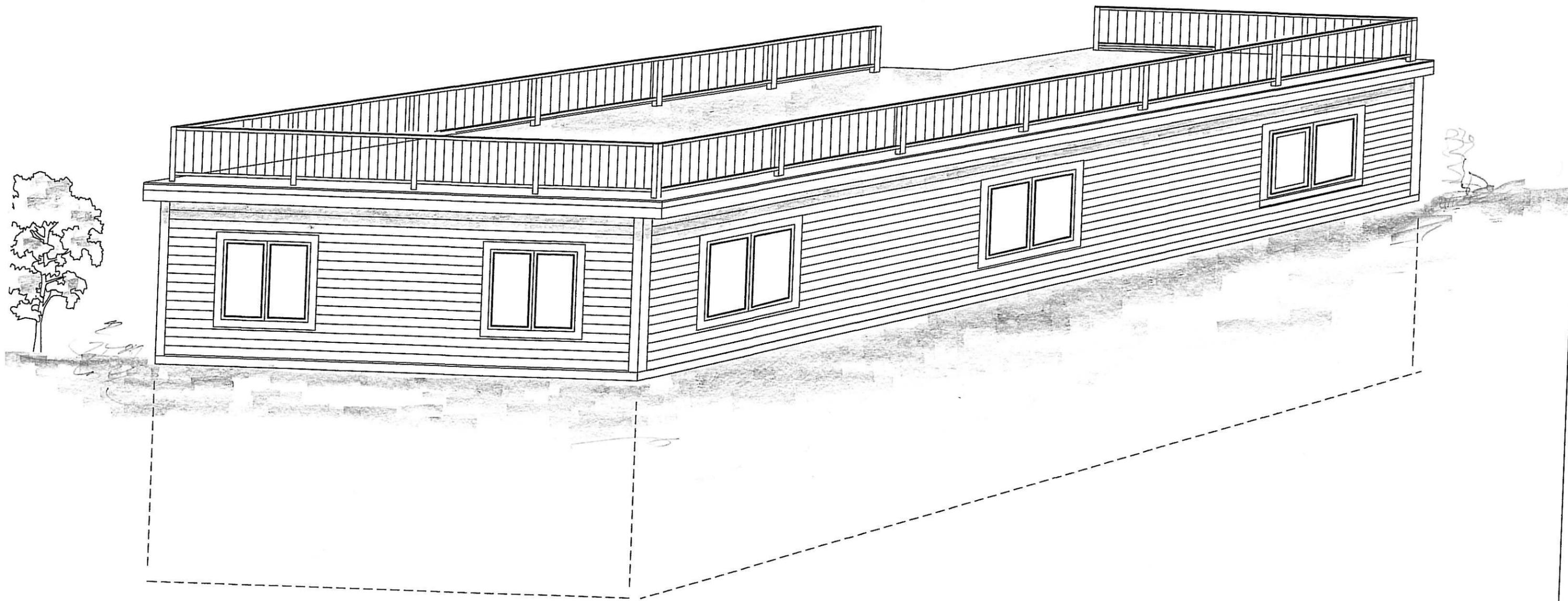
Appendix B – Sketch/Drawing

Appendix C – Pictures









CUSTOMER NAME: BLAKE RIGEL
JOB ADDRESS: 1162 FOUR WINDS WAY. HARTLAND, WI
CONTRACTOR: WORGULL BUILDERS (414) 531-7193
PLAN #18-02-25 DATE: FEB. 2018
SCALE = 1/4" = 1'-0" PAGE 1

ANDERSON REVOCABLE TRUST
DATED JULY 17, 2014
1144 FOUR WINDS WAY
HARTLAND WI 53029-8557

BINOD BALAKRISHNAN
LAKSHMI JAYASREE
401 PRAIRIE GRASS CT
HARTLAND WI 53029-8562

BLAKE A RIGEL
SARAH L RIGEL
1162 FOUR WINDS WAY
HARTLAND WI 53029-8557

CURT L LEBEAU
KATHLEENE M LEBEAU
398 PRAIRIE GRASS CT
HARTLAND WI 53029

DANIEL ADAMSKI
ELIZABETH ADAMSKI
1168 FOUR WINDS WAY
HARTLAND WI 53029

DEBORAH L LANCOUR
DAVID J LANCOUR
N56W29400 WESTVIEW RD
HARTLAND WI 53029-9202

GREGORY J MORANSKI
KARI LEE MORANSKI
1153 FOUR WINDS WAY
HARTLAND WI 53029-8558

GREGORY OOSTERBAAN
CARRI OOSBERBAAN
1152 FOUR WINDS WAY
HARTLAND WI 53029-8557

JAMES R UREDA
SUSAN M UREDA
407 PRAIRIE GRASS CT
HARTLAND WI 53029-8562

JAY B HOFKAMP
KIMBERLY K HOFKAMP
406 PRAIRIE GRASS CT
HARTLAND WI 53029

JOHN QUAST
LINDA QUAST
1156 FOUR WINDS WAY
HARTLAND WI 53029

MICHAEL GUETZKE
REBECCA GUETZKE
1176 FOUR WINDS WAY
HARTLAND WI 53029

RICH HANCOCK
AKA RICHARD B HANCOCK
N56W29390 WESTVIEW RD
HARTLAND WI 53029-9202

ROBERT L & KERRY K MALLOW 2009
LIVING TRUST
W292N5801 DORN RD
HARTLAND WI 53029

ROBERT NORTHRUP
RUTH NORTHRUP
1157 FOUR WINDS WAY
HARTLAND WI 53029

WAUKESHA COUNTY
PARKS & LAND USE
515 W MORELAND BLVD ROOM
AC148
WAUKESHA WI 53188

XIAOXU LIU
YANG ZHANG
1182 FOUR WINDS WAY
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <i>513 MEMORY LA</i>			
Lot <i>1</i>	Block <i>1</i>	Subdivision <i>CSM 8223</i>	Key No. HAV
Owner <i>John R ESTAU</i>			Phone <i>262-367-6346</i>
Address <i>503 MEMORY LA</i>		City <i>HARTLAND</i>	State Zip
Contractor	Phone	FAX	E-Mail Address
Address		City	State Zip

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One & Two Family

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- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

ANTHONY W CASTILLO 2015
REVOCABLE TRUST
1121 SUNNYSLOPE DR
HARTLAND WI 53029-1514

CHARLES N MARTIN
1223 MARQUETTE RD
HARTLAND WI 53029

DAVE KLUF
KAREN KLUF
620 OAKWOOD DR
HARTLAND WI 53029

DONALD SCHULTZ
JANICE SCHULTZ
1212 MARQUETTE RD
HARTLAND WI 53029

FRANCIS J GIESE
548 OAKWOOD DR
HARTLAND WI 53029

JOHN HOTZ
CHRISTIE HOTZ
606 OAKWOOD DR
HARTLAND WI 53029

JOHN K ESKAU REVOCABLE LIVING
TRUST OF 2016
503 MEMORY LN
HARTLAND WI 53029-1505

JOHN W & JOYCE D BARNISH
RECOVABLE LIVING TRUST
1117 MARQUETTE RD
HARTLAND WI 53029

JONATHAN N MOSIER
JESSICA J MOSIER
525 OAKWOOD DR
HARTLAND WI 53029-1509

KATHLEEN ANNE MULLEN
REVOCABLE LIVING TRUST
1104 HILGER RD
HARTLAND WI 53029-1218

KEVIN KURTZ
SHARYL KURTZ
1213 SUNNYSLOPE DR
HARTLAND WI 53029

MICHAEL LECHER
GLORIA LECHER
506 OAKWOOD DR
HARTLAND WI 53029

NANCY C BLOM
503 OAKWOOD DR
HARTLAND WI 53029

PAUL RISTOW
SHARON RISTOW
509 OAKWOOD DR
HARTLAND WI 53029

PETER NEJEDLO
DALE NEJEDLO
520 OAKWOOD DR
HARTLAND WI 53029

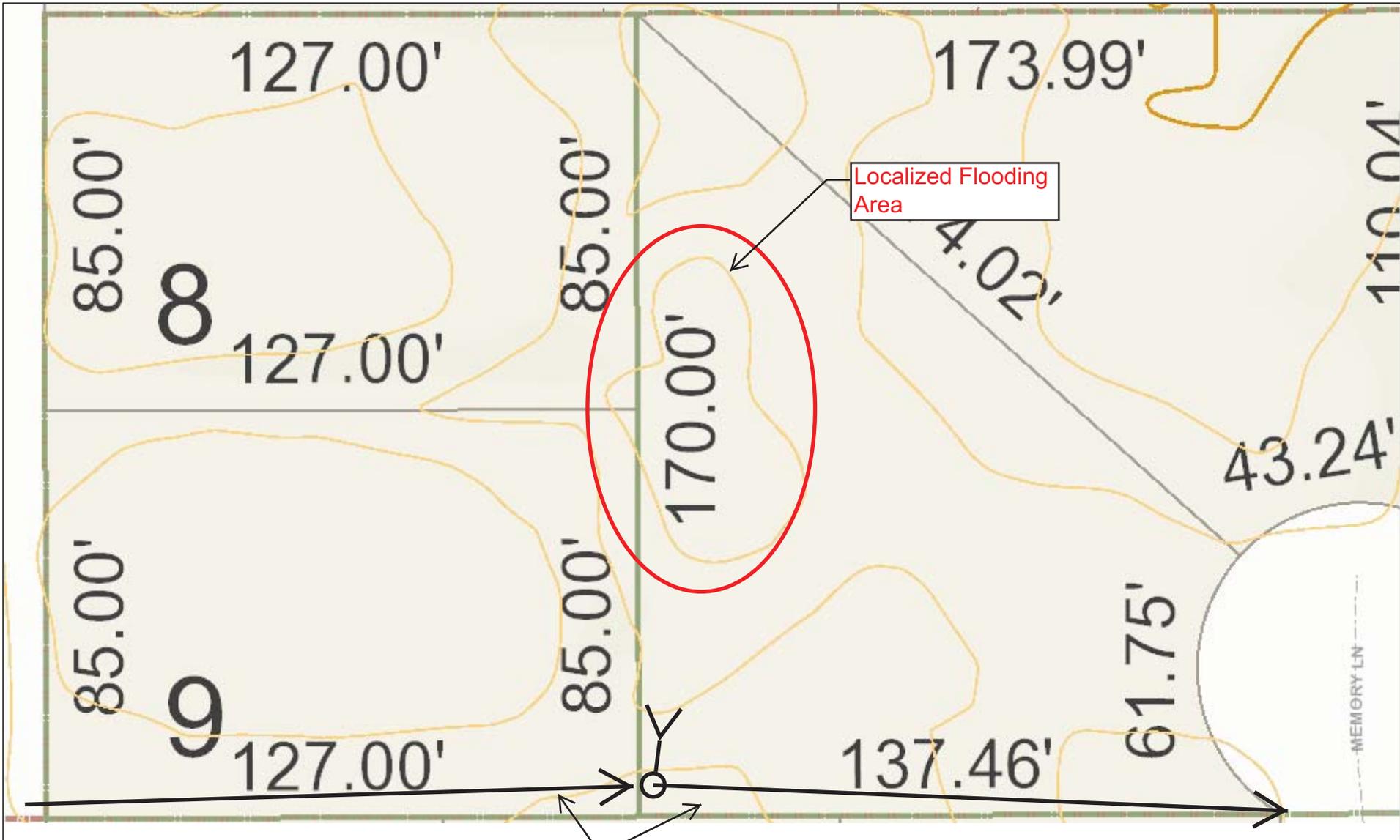
PETER RHYNER
SANDRA RHYNER
613 OAKWOOD DR
HARTLAND WI 53029

SARAH SMITH
JENNY JONES
1216 SUNNYSLOPE DR
HARTLAND WI 53029-1517

TERRY HALLER
KIM HALLER
1112 SUNNYSLOPE DR
HARTLAND WI 53029

THE LEGEND AT BRISTLECONE PINES
LLC
1 LEGEND WAY
WALES WI 53183

THOMAS F WILHELM
CHRISTIN WILHELM
1221 SUNNYSLOPE DR
HARTLAND WI 53029



Village of Hartland
Eskau Property Area

Swale and Pipe system



Village of Hartland
210 Cottonwood Ave
Hartland, WI 53029
262-367-2714

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Hartland does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 30'

Print Date: 4/13/2018



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THE PLANS AND CHECKING THEM FOR ACCURACY, THE OWNER/CONTRACTORS FOR THIS PROJECT MUST CHECK AND VERIFY ALL DETAILS, FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. OWNER/ CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.

ALL STRUCTURAL NOTATIONS ARE FOR REFERENCE ONLY AND ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL STRUCTURAL ENGINEERING TO MEET ALL STATE AND LOCAL CODES AND IS APPROVED BY THE STATE INSPECTOR AND STRUCTURAL ENGINEER.

ALL EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY OR SHEATHING. EXCEPT WHEN RIGID INSULATION IS USED, DIMENSION WILL BE TO FACE OF STUD.

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. WINDOW SIZES ARE FOR REFERENCE ONLY. OWNER/ CONTRACTOR TO VERIFY MANUFACTURER AND SIZE TO MEET ALL CODE REQUIREMENTS, INCLUDING EGRESS, LIGHT AND VENTILATION.

THESE PLANS AND DESIGN ARE COPYRIGHT PROTECTED AND MAY NOT BE USED WITHOUT WRITTEN CONSENT OF DONALD WEYER CONSTRUCTION.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

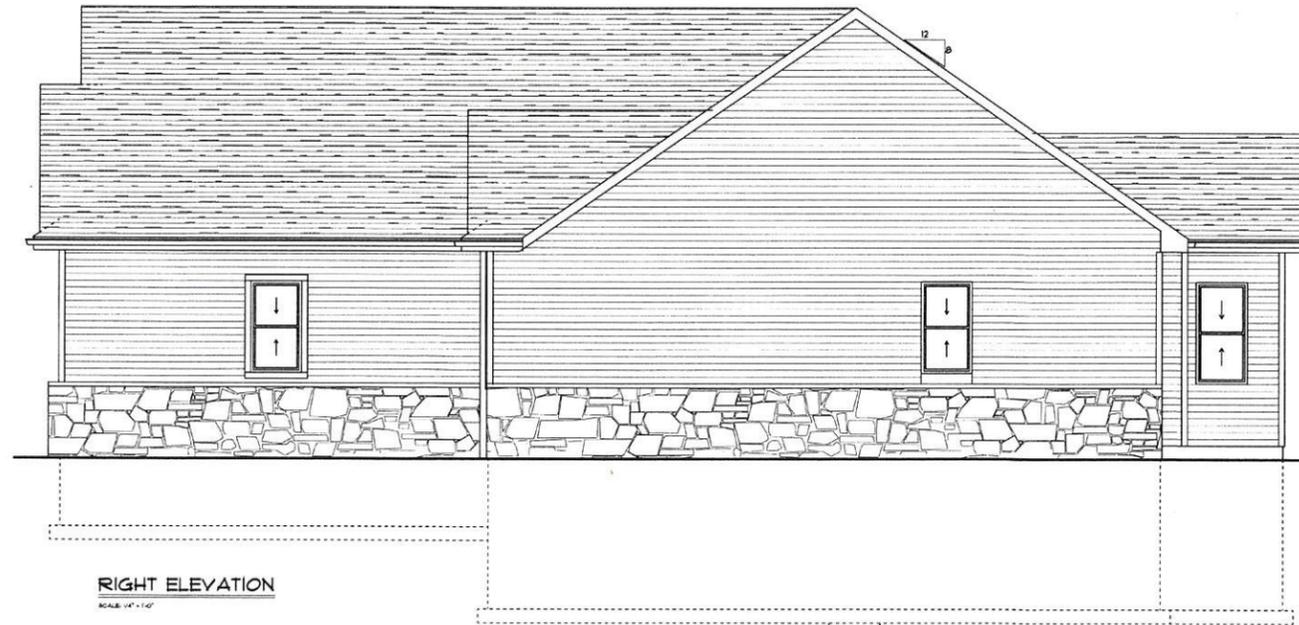
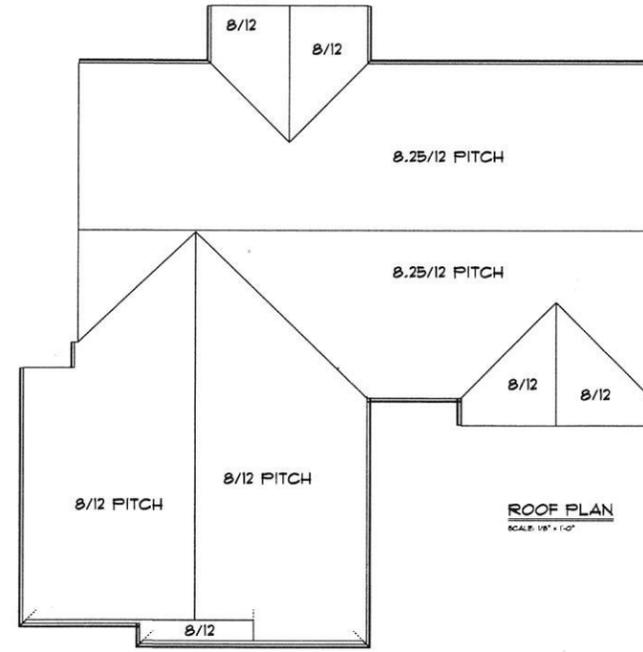
Thursday, March 08, 2018 07:48 AM

John 768-367-6346

DONALD WEYER CONSTRUCTION
262-893-4076

OWNER: **ESKAU RESIDENCE**
583 MEMORIAL LN. HARTLAND
JOHN ESKAU 262-367-6346

DATE: 03/08/18
BY: JWB



Thursday, March 08, 2018 07:48 AM

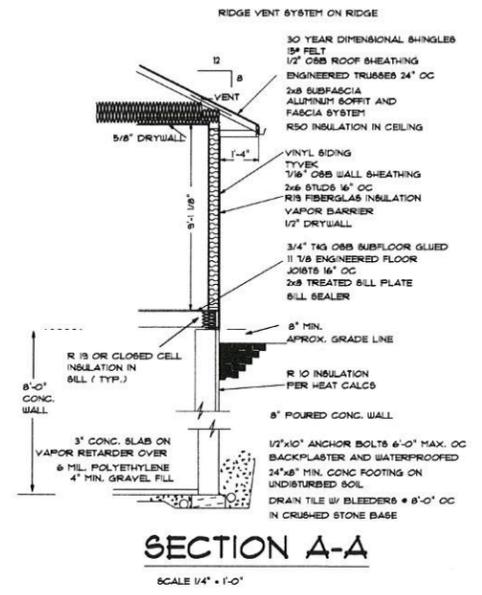
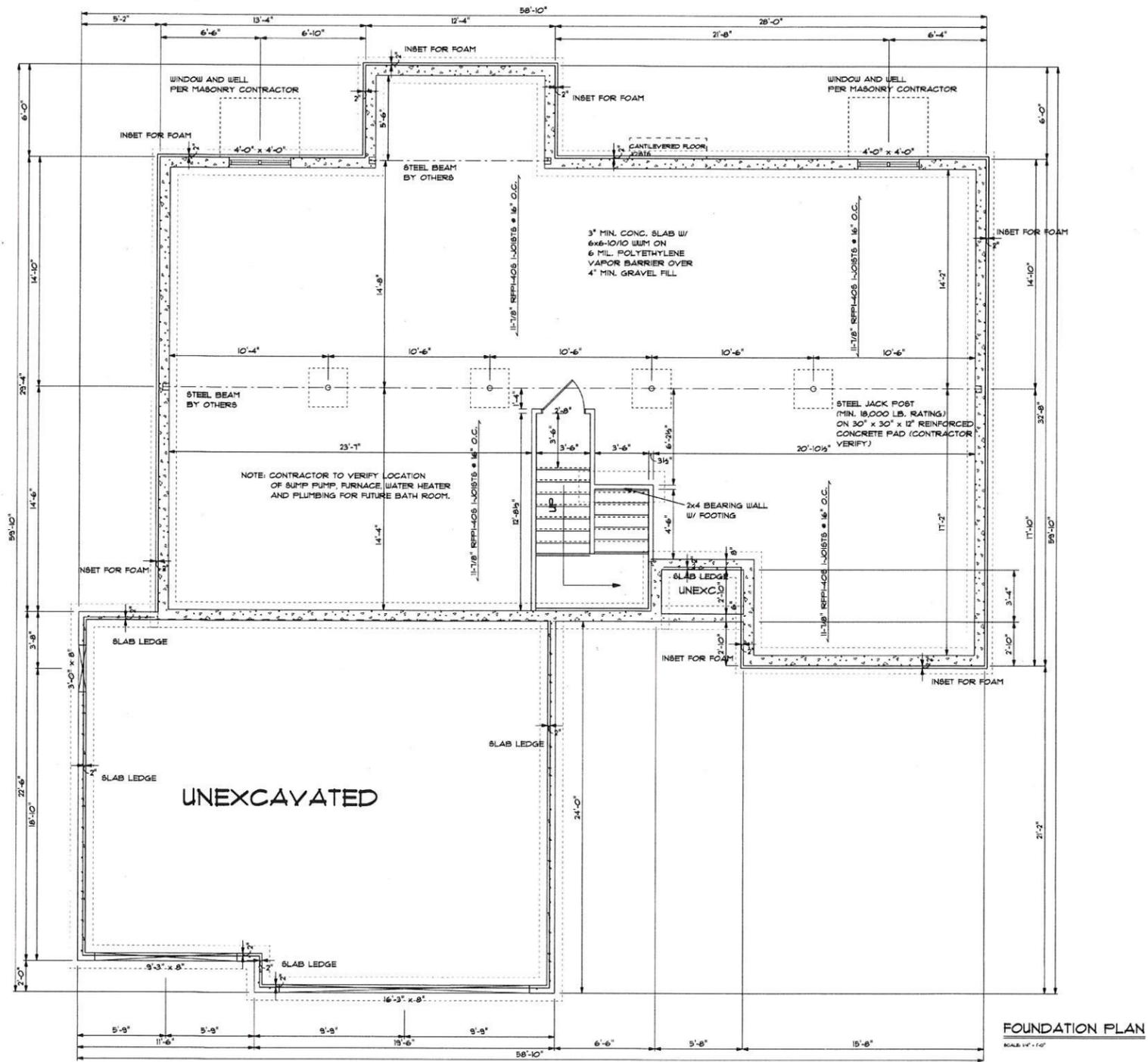
DONALD WEYER CONSTRUCTION
262-893-4076

ESKAU RESIDENCE
517 W. MEMORY LN. HERTFORD
JOHN ESKAU 866-367-6346

OWNER

DATE PLOTTED
03/08/18

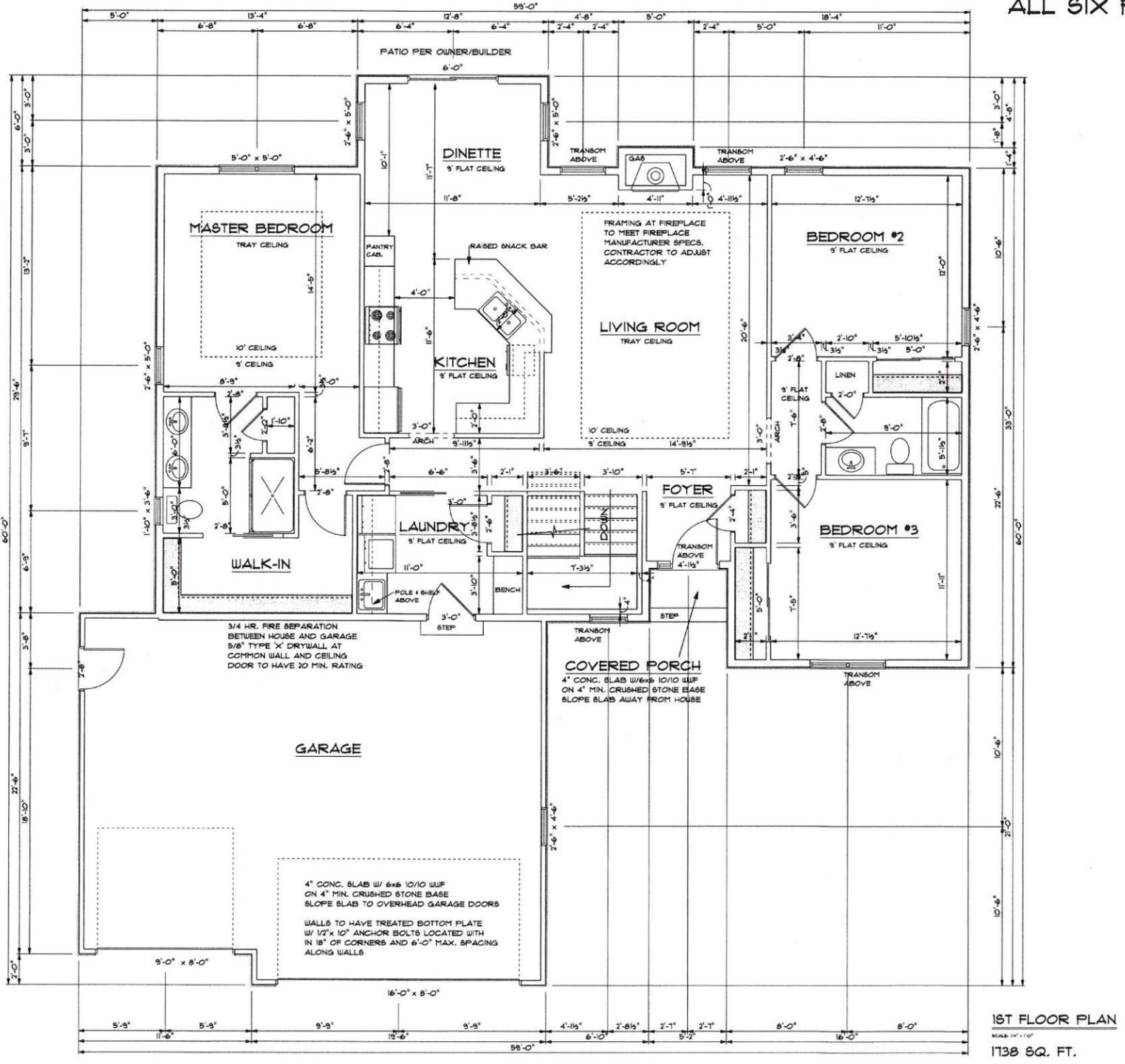
Thursday, March 08, 2018 08:05 AM



DONALD WEYER CONSTRUCTION
262-893-4076

ESKAU RESIDENCE
515 MONROE UN. HARTLAND
JOHN ESKAU 530-507-0340

NOTE:
ALL SIX PANEL INTERIOR OAK DOORS



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
1738 SQ. FT.

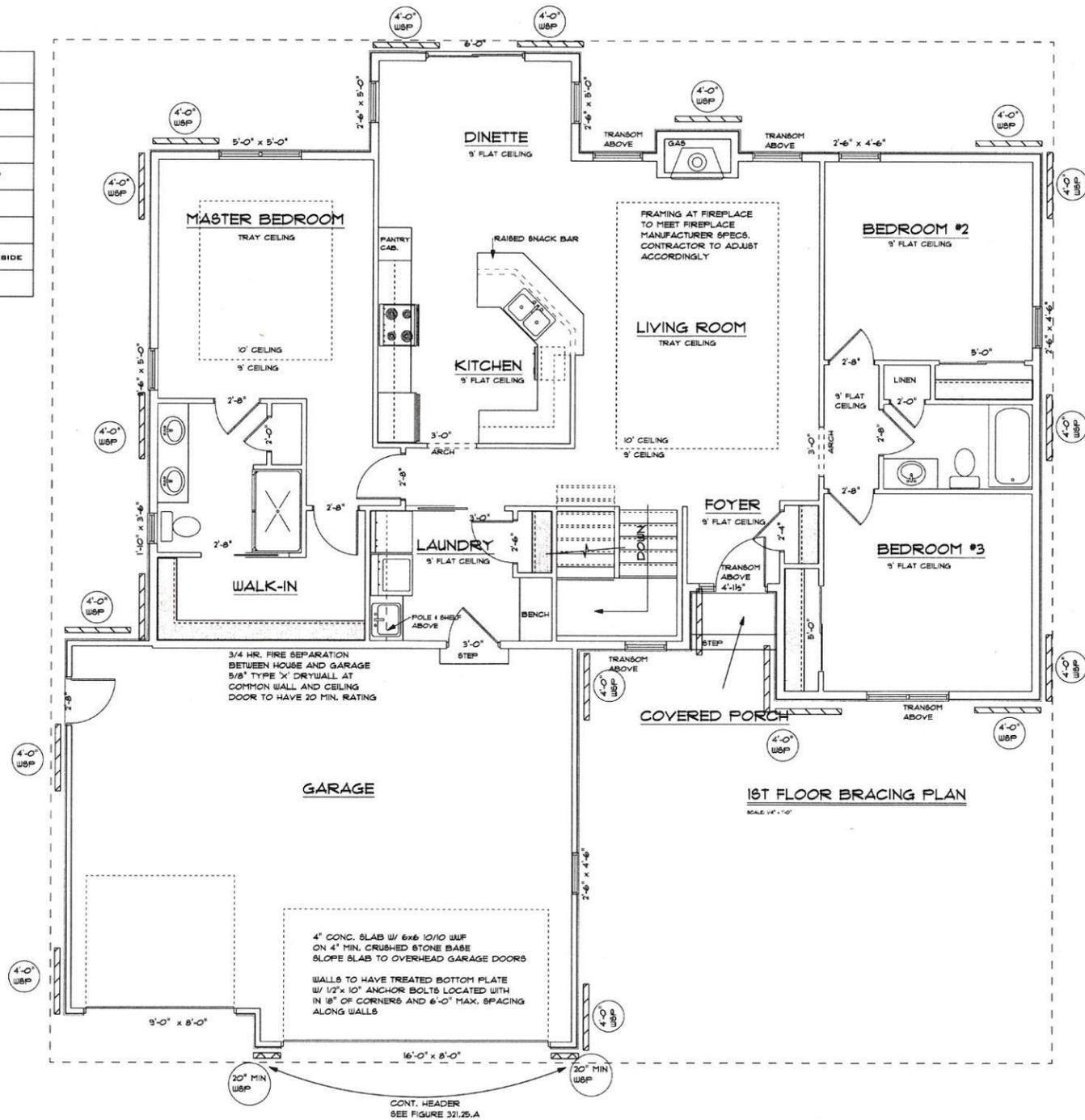
Thursday, March 08, 2018 01:41 AM

CLIENT: **ESKAU RESIDENCE**
 217 MEMORY LN. THRUEND
 JOHN ESKAU 508-307-0346
DONALD WEYER CONSTRUCTION
 262-893-4076

TABLE FROM WALL BRACING COMPLIANCE WORKSHEET

RECTANGLE: A WALL HT. = 9'	ROOF PITCH = 8/12	MAX OPENING HT. = 8'-0"	WIND EXP. = B
WALLS SUPPORTING:	INTERMITTENT METHOD (L.B., D.W.B., W.S.P., S.F.B., G.B., P.C.P.) AND # OF PANELS PER TABLE 321.25-A	CONTINUOUS METHOD (C.S., W.S.P., C.S.-S.F.B.) AND TOTAL LENGTH REQUIRED PER TABLE 321.25-J	PF METHOD (SEE FIGURE 321.25-A). INDICATE NUMBER OF PF PANES 16-24" WIDE PROVIDED. 2-20" MIN. PF WIDTH (FIG. 321.25-A) = 20"
	LONG SIDE SHORT SIDE	LONG SIDE 60' SHORT SIDE 59'	LONG SIDE SHORT SIDE
ROOF AND CEILING ONLY X			

L = LONG SIDE OF RECTANGLE
S = SHORT SIDE OF RECTANGLE



NOTE:

ENTIRE STRUCTURE IS TO BE CONTINUOUSLY SHEATHED. PLEASE NOTE STRUCTURAL PANEL LOCATIONS MEETS MINIMUM CODE REQUIREMENTS.

ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER, AND BE FASTENED TO COMMON STUDS. HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER, AND BE FASTENED TO COMMON BLOCKING OF A MIN. OF 1 1/2" THICKNESS

WALL TYPE ABBREVIATIONS

- WSP: WOOD STRUCTURAL PANEL 7/16" APA SPAN RATED SHEATHING FASTENED PER NAIL SCHEDULE
- CS-WSP: WOOD STRUCTURAL PANEL IN CONTINUOUSLY SHEATHED WALL 7/16" APA SPAN RATED SHEATHING ALONG ENTIRE WALL LENGTH
- G1: GYPSUM BOARD ONE SIDE, 1/2" THICK FASTENED PER NAIL SCHEDULE
- WP: WOOD PLANKING MATERIAL MIN. 3/4" THICKNESS FASTENED PER NAIL SCHEDULE
- G2: GYPSUM BOARD TWO SIDES, 1/2" THICK FASTENED PER NAIL SCHEDULE
- RF: REINFORCED MASONRY WALL
- CS-WSP-I: WOOD STRUCTURAL PANEL IN CONTINUOUSLY SHEATHED WALL 7/16" APA SPAN RATED SHEATHING AND INSULATING PANEL ALONG ENTIRE WALL LENGTH

DONALD WEYER CONSTRUCTION

ESKAU RESIDENCE

OWNER

DATE

REVISED

SCALE

SHEET NO.

TOTAL SHEETS

5 OF 5

202-893-4076

JOHN CSURU, 800-507-5346

07-146-ART

Thursday, March 08, 2018



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>327 Lawn Street</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>Ed Lentz</u>			Phone <u>414 235 1354</u>
Address <u>327 Lawn St</u>		City <u>Hartland</u>	State <u>WI</u> Zip <u>53029</u>
Contractor <u>Owner</u>		Phone	FAX
Address		City	E-Mail Address <u>lentzet@gmail</u>
		State	Zip

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All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 4-2-18 Date of Meeting: _____ Item No. _____



Village of Hartland



Village of Hartland
 210 Cottonwood Ave
 Hartland, WI 53029
 262-367-2714

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Hartland does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 46'

Print Date: 3/21/2018

Items Selected:

Hip roof w/ 4/12 pitch, Standard Trusses 2' O.C.
Truss Design Location Zip Code: 53029
2x6 Wall Framing Material
24' Wide X 28' Deep X 9' High

1/2" OSB Wall Sheathing
Block-It Housewrap
24" overhang
1/2" OSB Roof Sheathing
StormMaster Shake, Weathered Wood Shingles
4' Shingleover Ridge Vent

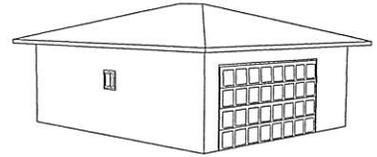
Cedar Overhead Door Jamb

Conquest montery ^{sand} vinyl siding to match house
soffit & fascia - aluminum - sand to match house

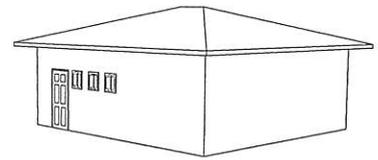
Options Selected:

The options you have selected are:
Deck Defense Synthetic Underlayment
2 Rows Granular Ice & Water Barrier
Standard Concrete Blocks
Anchor Bolts
1 - 16x8 Overhead Door - Premium RP MDP38 EZ Set
1 - 36X80 Service Door - E-1 6-Panel Steel LS
4 - 24x24 Window - White Vinyl Utility

Front View



Back View

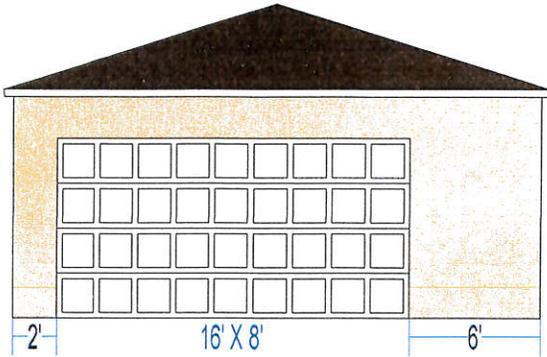


*** Take this sheet to the Building Materials counter to purchase your materials. ***

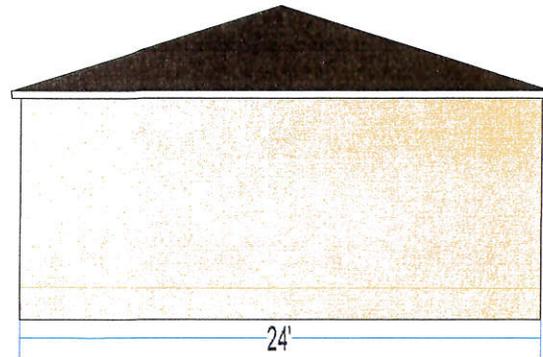
Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUE: BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

*** Here are the wall configurations for your design.

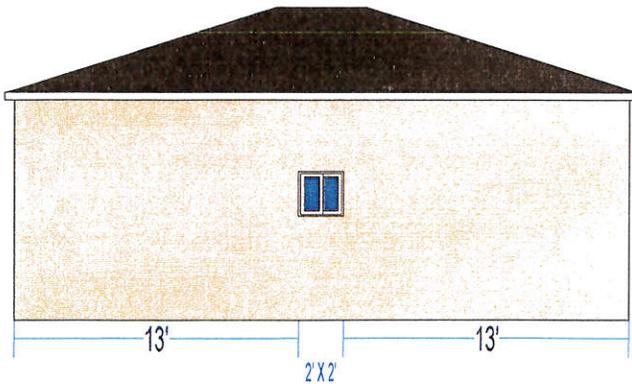
Illustration May Not Depict All Options Selected



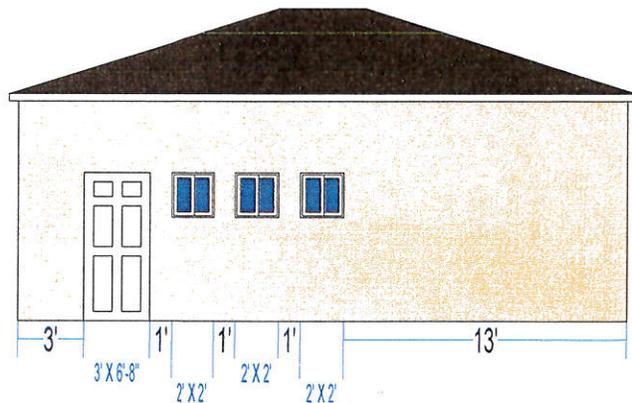
Gable Front View
(1) - GARAGE DOOR WHITE PREM R/P MDP38 16X8 EZSET TORS



Gable Back View



Eave Front View
(1) - WINDOW 24X24 SLIDER UTILITY WINDOW 24X24



Eave Back View
(1) - STEELDOOR 6-PANEL DOO E-1 6-PANEL STEEL DOOR PH 36X80 LH DB
(3) - WINDOW 24X24 SLIDER UTILITY WINDOW 24X24

Building Size: 24 feet wide X 28 feet long X 9 feet high

Approximate Peak Height (includes 1 row of concrete blocks): 14 feet 0 inches (168 inches)

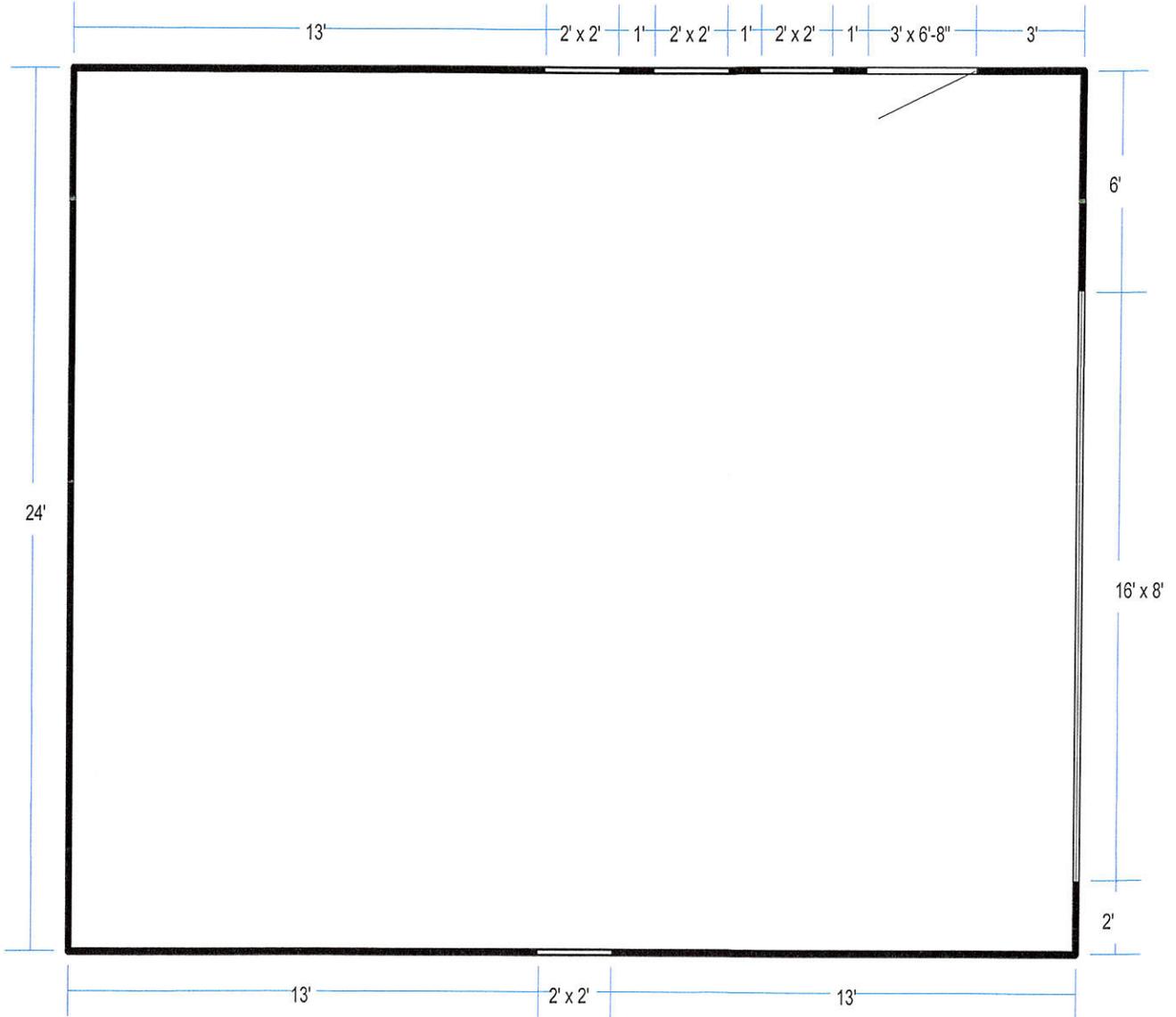
NOTE: Overhead doors may need to be "Wind Code Rated" depending on your building location.

Confirm the door requirements with your local zoning official before construction.

Menards-provided material estimates are intended as a general construction aid and have been calculated using typical construction methods. Because of the wide variability in codes and site restrictions, all final plans and material lists must be verified with your local zoning office. Menards is a supplier of construction materials and does not assume liability for design, engineering or the completeness of any material lists provided. Underground electrical, phone and gas lines should be located and marked before your building plans are finalized. Remember to use safety equipment including dust masks and sight and hearing protection during construction to ensure a positive building experience.

*** Yard Building Floor Plan.

Illustration May Not Depict All Options Selected



Building Size: 24 feet wide X 28 feet long X 9 feet high

Note: Wall construction is 2x6 @ 16" on center

BENJAMIN LYONS
CANDIDA LYONS
123 CHURCH ST
HARTLAND WI 53029

BRICK LAWN LLC
231 LAWN ST
HARTLAND WI 53029-1705

CHARLES OCONNOR
C OCONNOR
331 E CAPITOL DR
HARTLAND WI 53029

DIANE J BIERMAN
204 NIXON AVE
HARTLAND WI 53029-1711

EDWARD LENTZ JR
CAROLYN LENTZ
327 LAWN ST
HARTLAND WI 53029

FIRST CONG CHURCH
PO BOX 568
HARTLAND WI 53029-0568

HELMUT KEIDL
ROBERTA KEIDL
131 NIXON AVE
HARTLAND WI 53029

JACOB R ZUEHL
JENNETT M ZUEHL
306 LAWN ST
HARTLAND WI 53029-1708

JAMES MARSCHALEK
COURTNEY MARSCHALEK
210 NIXON AVE
HARTLAND WI 53029

JEAN BERENDES
345 E CAPITOL DR
HARTLAND WI 53029

JEFFERY L HEIMSCH
LAURA J HEIMSCH
129 CHURCH ST
HARTLAND WI 53029

JOHN R STCLAIR
334 LAWN ST
HARTLAND WI 53029

JOINT SCHOOL DISTRICT NO 3
651 E IMPERIAL DR
HARTLAND WI 53029-2699

KEVIN LINDNER
LINDA LINDNER
120 NIXON AVE
HARTLAND WI 53029

KEVIN MCCLOUD
MEGAN MCCLOUD
314 LAWN ST
HARTLAND WI 53029-1708

MARJORIE M PURGETT LIVING TRUST
ROBERT J GOETZ
16780 WILD CHERRY DR
BROOKFIELD WI 53005

MARK A GAPINSKI
323 E CAPITOL DR
HARTLAND WI 53029-2107

MARY REDDY
130 NIXON AVE
HARTLAND WI 53029

MATTHEW D DANIEL
400 E CAPITOL DR
HARTLAND WI 53029-2202

MATTHEW J WILLERT
328 LAWN ST
HARTLAND WI 53029

PETER D GLOWINSKI
AMANDA R GLOWINSKI
230 LAWN ST
HARTLAND WI 53029

STEVEN & M B ECKELS TRUST
338 E CAPITOL DR
HARTLAND WI 53029

TERRY L STELPFLUG
AMY M STELPFLUG
W289N4795 WILD ROSE CT
HARTLAND WI 53029

THOMAS C COONS
1845 WOODFILL WAY
LOUISVILLE KY 40205-2433

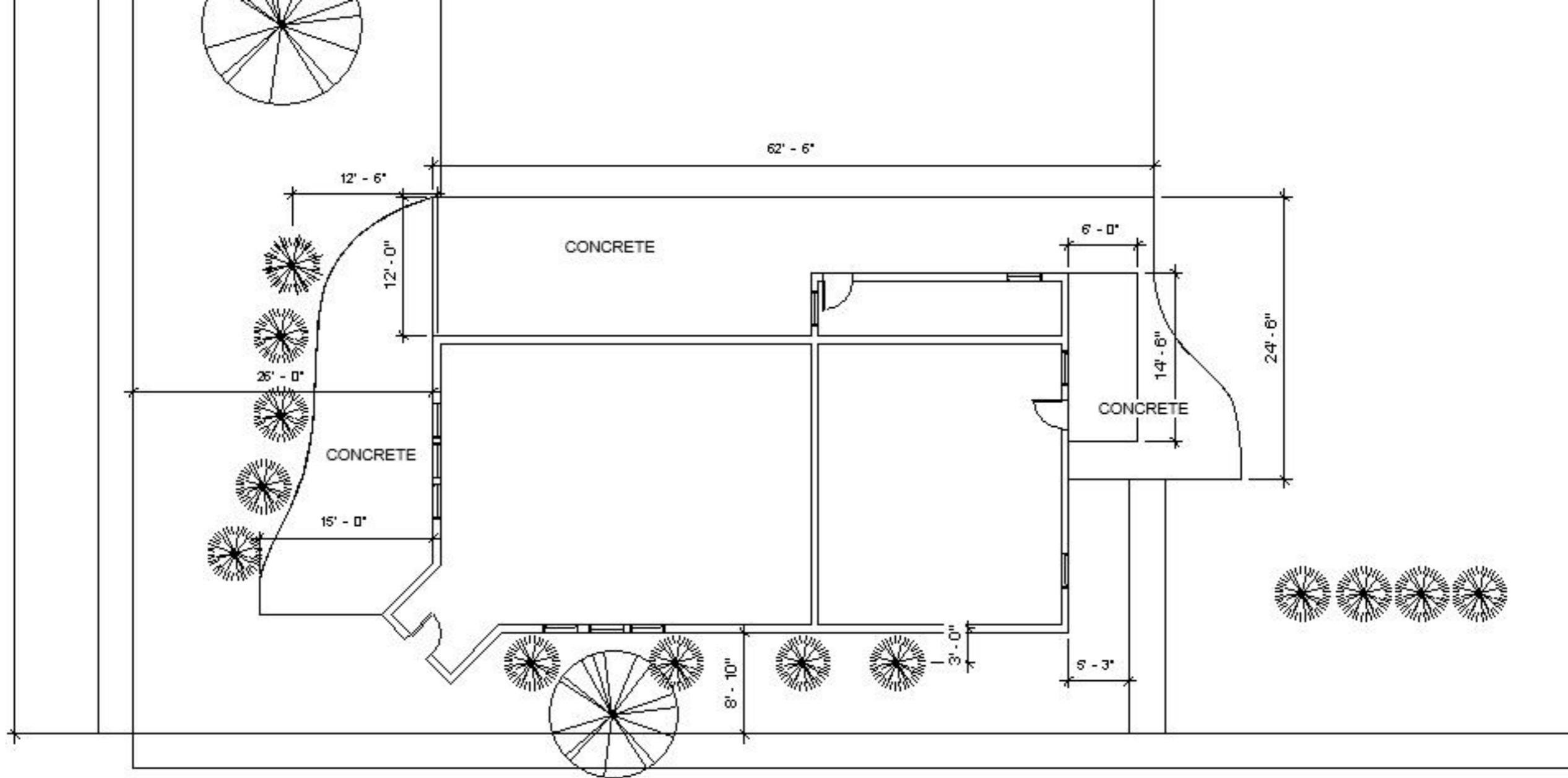
THOMAS KLINK
SANDRA KLINK
318 LAWN ST
HARTLAND WI 53029

THOMAS M FLEMING
322 LAWN ST
HARTLAND WI 53029

THOMAS REIMER
JEANNE GEIGER REIMER
324 E CAPITOL DR
HARTLAND WI 53029

TIMOTHY ELEYET
GWEN ELEYET
340 LAWN ST
HARTLAND WI 53029

TODD A ECKHART
337 E CAPITOL DR
HARTLAND WI 53029-2107





East side, looking north - Cottonwood Ave



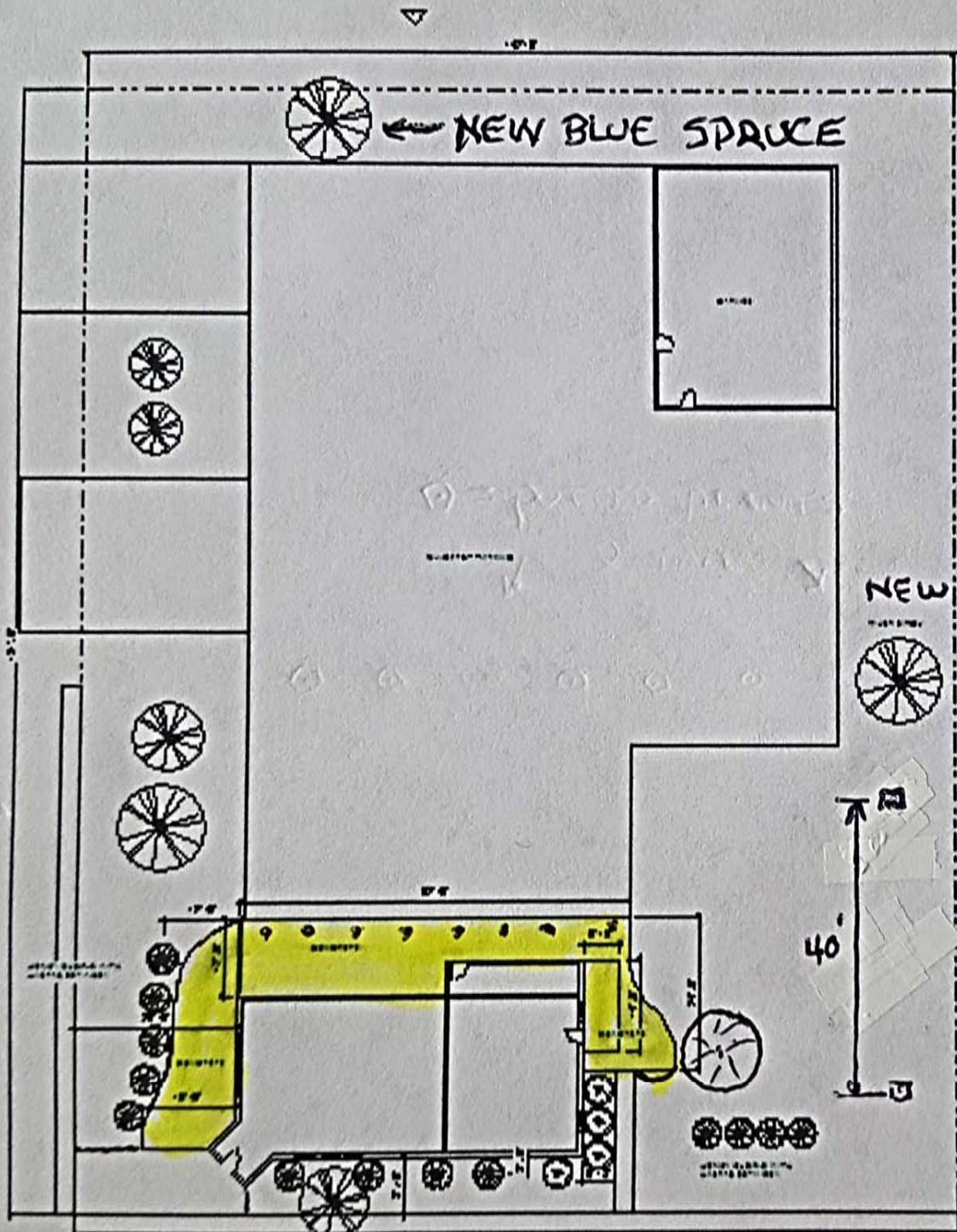
North side, facing southwest



South side, Pawling Ave, west of the entrance. Facing west.



West side, parking lot. Facing north.



← NEW BLUE SPRUCE

NEW RIVER BIRCH

HORSE SHOE PIT

40'

ANDREW J FALLON
KYLE M MILLER
230 PAWLING AVE
HARTLAND WI 53029-2013

BARK RIVER PROPERTIES
C/O J&A MANAGEMENT SERVICES LLC
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

CARL B HAROLDSON
MARILYN K HAROLDSON
N49W28689 CHARDON DR
HARTLAND WI 53029-9161

CHARLES KUHTZ III
DONNA KUHTZ
345 COTTONWOOD AVE
HARTLAND WI 53029

DANIEL FEISTHAMMEL
PO BOX 242
HARTLAND WI 53029

DANIEL R SMITH JR
248 PAWLING AVE
HARTLAND WI 53029

DAVID CATANIA
JEAN CATANIA
328 PROSPECT AVE
HARTLAND WI 53029-2023

DAVID JAMBRETZ
SUSAN JAMBRETZ
338 PROSPECT AVE
HARTLAND WI 53029

DAVID PEERS
ERICA D PEERS
345 PROSPECT AVE
HARTLAND WI 53029-2022

EDWIN & ANNETTE MILLER TRUST
354 PROSPECT AVE
HARTLAND WI 53029

ELIZABETH M TOBOLT
W313N9173 HOFF RD
HARTLAND WI 53029

ELMORE MACHINERY CORP
C/O KELLY BOHRMAN
403 EAST AVE
EAGLE WI 53119-2109

FREDERICK F AND MARY J OTT 2011
LIVING TRUST
229 W PARK AVE
HARTLAND WI 53029-2020

GUY S JENSON & MARIJEAN JENSON
2014 LIVING TRUST
N45W28965 E CAPITOL DR
HARTLAND WI 53029-2249

HARMANN RENTALS LLC
W320N9189 HIGHWAY 83
HARTLAND WI 53029-9737

HARTLAND MEADOWS RETIREMENT
APARTMENTS LLC
W320N1161 BUTTERNUT RIDGE CT
DELAFIELD WI 53018

HARTLAND SELF STORAGE LLC
392 ROYAL ST GEORGE ST
VERNON HILLS IL 60061-4527

HARTLAND STATION LLC
249 PAWLING AVE
HARTLAND WI 53029-2052

HOGGERS PUB PROPERTIES LLC
335 COTTONWOOD AVE
HARTLAND WI 53029-2010

JACK DAHLKE PROPERTIES LLC
336 COTTONWOOD AVE
HARTLAND WI 53029

JAMES KISHLINE
LINDA KISHLINE
434 COTTONWOOD AVE
HARTLAND WI 53029

JRT INVESTMENTS LLC
W354N5095 ROAD T
OCONOMOWOC WI 53066

KOEPPEL HOLDINGS LLC
PO BOX 46
OCONOMOWOC WI 53066-0046

KUSCH INVESTMENTS LLC
N65W30981 BEAVER LAKE RD
HARTLAND WI 53029-9799

LAUDERMILK 428 LLC
W329N3466 LAKELAND DR
NASHOTAH WI 53058

LEROY HUNDLEY
W289S2547 COUNTY ROAD DT
WAUKESHA WI 53188-9210

LINDA J LAVALLEY
335 COTTONWOOD AVE
HARTLAND WI 53029

MAC HOLDINGS LLC
PO BOX 602
HARTLAND WI 53029

MICHAEL J HORVATH
205 W PARK AVE
HARTLAND WI 53029

NICHOLAS GOMEZ
KATELYN GOMEZ
221 W PARK AVE
HARTLAND WI 53029-2020

PAMELA FILO
344 PROSPECT AVE
HARTLAND WI 53029

PARK IT REAL ESTATE INVESTING LLC
N78W29196 FLYNN RD
HARTLAND WI 53029-9551

ROBERT F KALKE JR
370 PROSPECT AVE
HARTLAND WI 53029

RONALD JAEGER
ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029-2329

SARAH J SAUER
360 PROSPECT AVE
HARTLAND WI 53029

SHAWN M HOPPE
320 PROSPECT AVE
HARTLAND WI 53029-2023

SILVER OAK PROPERTIES LLC
C/O CHRISTINE A HENTGES
352 COTTONWOOD AVE
HARTLAND WI 53029-2011

STEPHEN SECOSH
213 W PARK AVE
HARTLAND WI 53029

SUSAN K STERNKOPF
404 COTTONWOOD AVE
HARTLAND WI 53029

THOMAS CANTRELL
DIONNE CANTRELL ET AL
359 PROSPECT AVE
HARTLAND WI 53029-2022

TIMOTHY E MUELLER
330 PROSPECT AVE
HARTLAND WI 53029-2023

UNIQUE SUITES LLC
1318 RIVERS EDGE CT
OCONOMOWOC WI 53066-6912



VILLAGE OF HARTLAND
PETITION FOR:



REZONING

ZONING CODE AMENDMENT

(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

FEE: \$400.00 + \$200 Professional Fee Deposit

Date Filed:	Fee Paid:
	Receipt No.

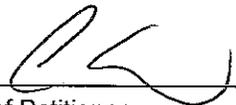
- Name: Craig Eisenhut

Address of Owner/Agent: 1146 W 29096 E Capital Dr.
Hartland WI 53029

Phone Number of Owner/Agent: _____

FAX No. _____ E-mail eisenstein69@yahoo.com
- State zoning change desired. (Example: From RS-1 (Single Family) to B-1 (Neighborhood Business))

From RS-3 to RSE-2
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use. Vacant Land currently,
plan to build homes on the 3 separate
lots.
- State present language change code section and proposed language (use additional paper if necessary).


 Signature of Petitioner
 N46 W29096 E. Capital Dr Hartland WI 53029
 Address
 (262) 719-6650
 Phone

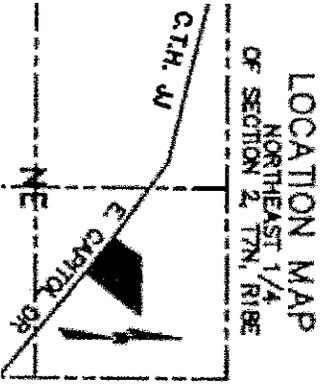
NOTE:

- a. Upon receipt of the petition of rezoning or zoning amendment change, the Plan Commission shall consider the request after the second meeting and make a recommendation to the Village Board. If the Village Board, upon reviewing the Plan Commission's recommendation, determines the request to have merit, it may order publication for a public hearing. After the public hearing held by the Village Board, it will take any action deemed necessary.
- b. Include a Plat Map in triplicate, drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and direction of each boundary thereof, the location of existing buildings and uses of same on such lands. Also, show the proposed building and the plat plans and indicate setbacks and offsets from the lot line. Parking area should also be shown.
- c. Ask for a copy of the Village Ordinance relating to zoning changes.
- d. Include fee payable to **The Village of Hartland**

\$400 for Rezoning + \$200 Professional Fee Deposit

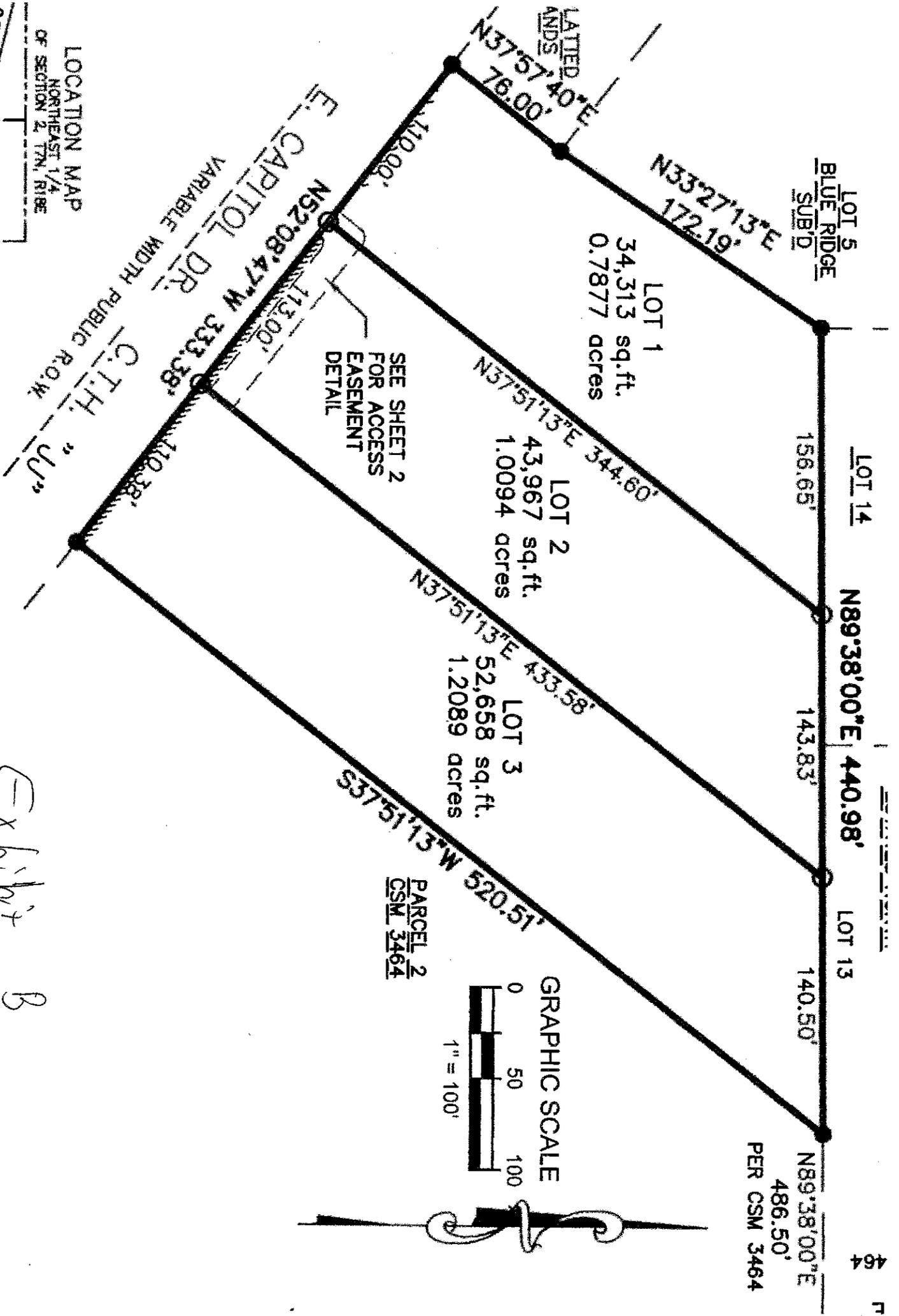
- e. Mail or deliver request, in triplicate, to:

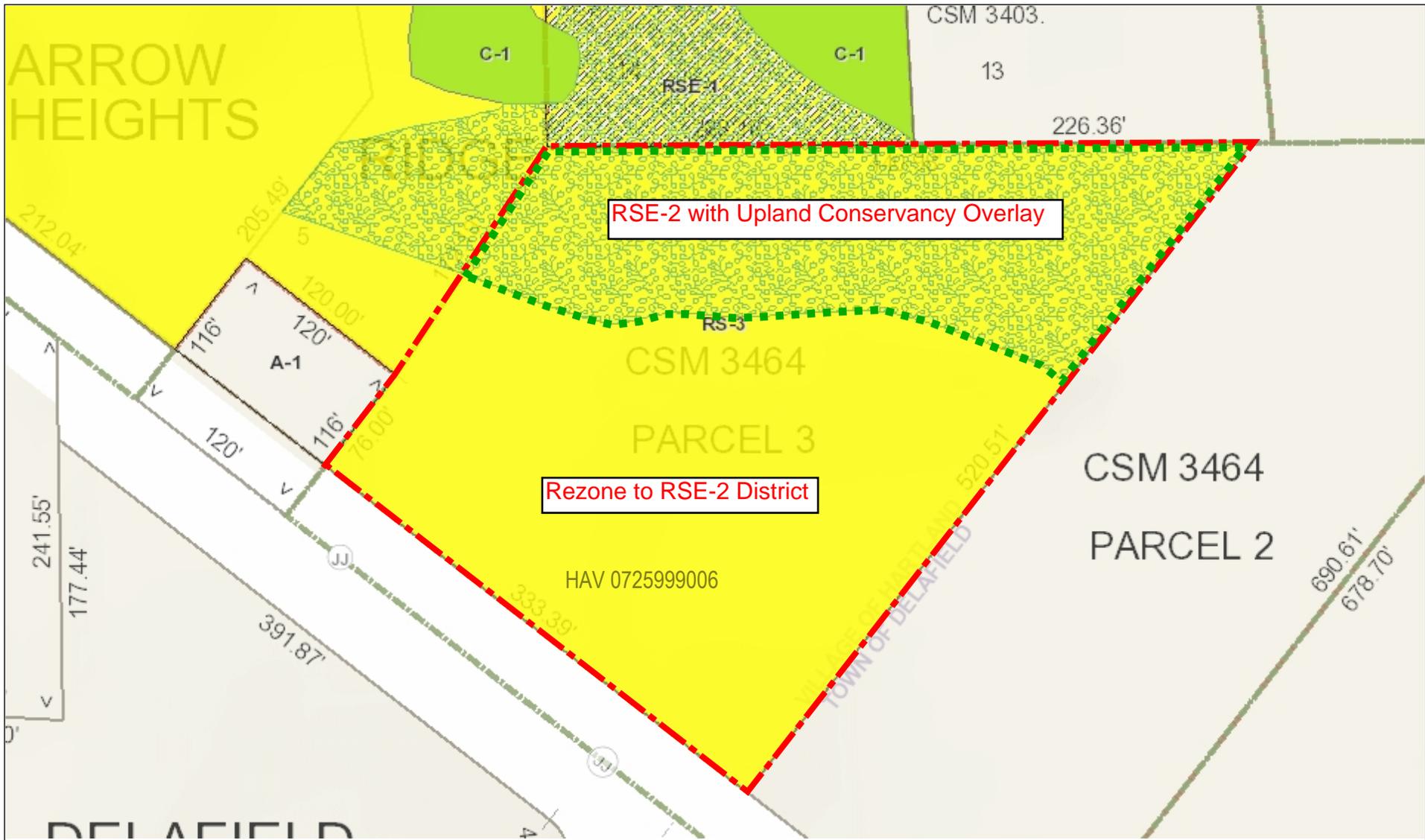
Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029



OWNER:
CRAIG EISENHUT

Exhibit B





Village of Hartland

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Hartland does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 89'



Village of Hartland
 210 Cottonwood Ave
 Hartland, WI 53029
 262-367-2714

Print Date: 3/14/2018

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date: 3-23-18	Fee Paid: \$450
Date Filed: 3-23-18	Receipt No.: 194610

1. Name: Craig Eisenhart
Address of Owner/Agent: N46 W29096 E. Capitol Dr. Hartland

Phone Number of Owner/Agent: (262) 719-6650

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.

Currently vacant lots, splitting into 3
lots and building houses

Signature of Petitioner

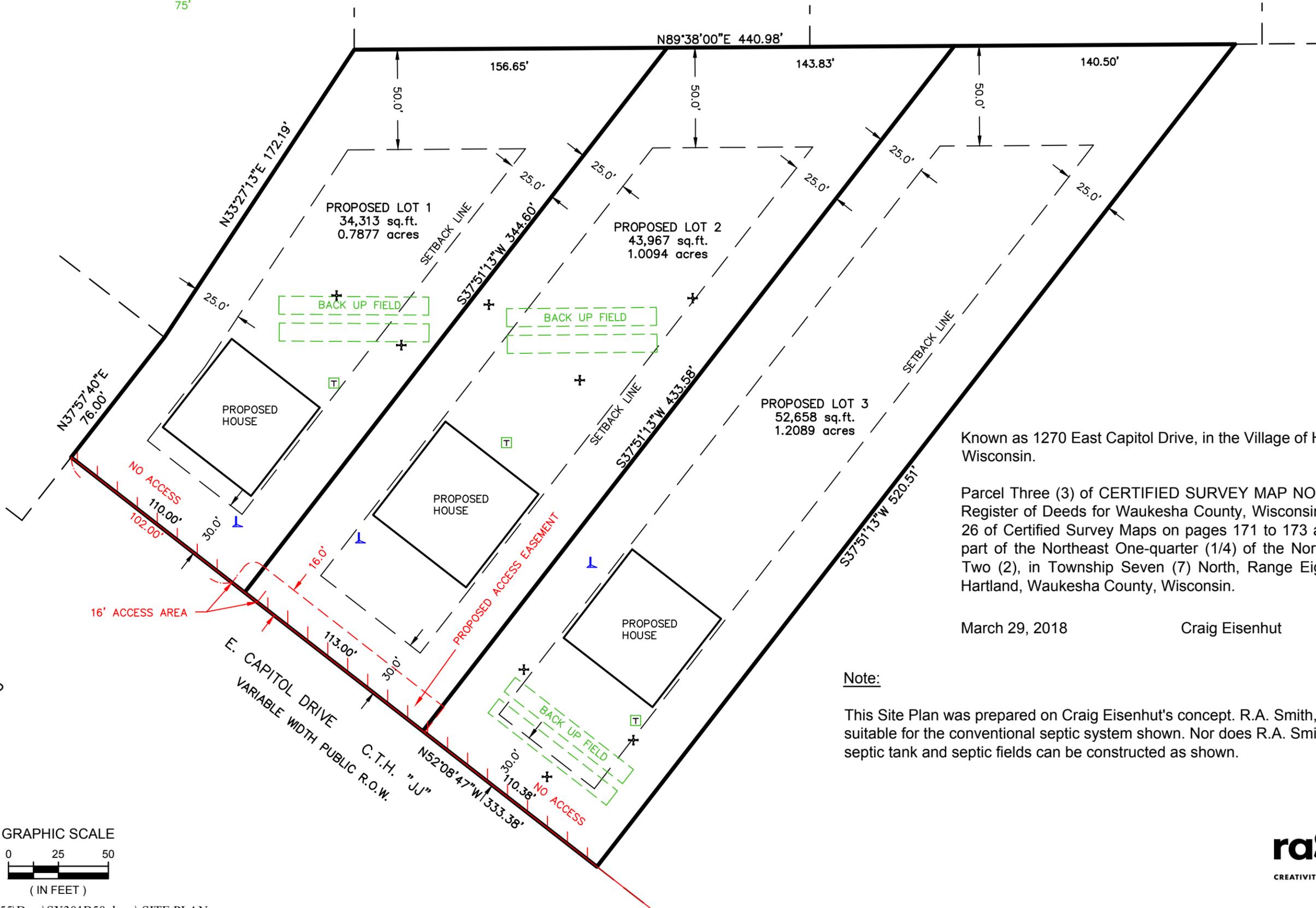
N46 W29096 E. Capitol Dr. Hartland
Address

(262) 719-6650
Phone



SITE PLAN

- ✦ SOIL BORING
- ↓ PROPOSED WELL
- ▭ PROPOSED SEPTIC TANK
- ▭ SEPTIC FIELD
75'



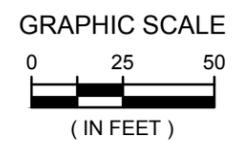
Known as 1270 East Capitol Drive, in the Village of Hartland, Waukesha County, Wisconsin.

Parcel Three (3) of CERTIFIED SURVEY MAP NO. 3464 recorded in the Office of the Register of Deeds for Waukesha County, Wisconsin on November 16, 1978 in Volume 26 of Certified Survey Maps on pages 171 to 173 as Document No. 1073291, being a part of the Northeast One-quarter (1/4) of the Northeast One-quarter (1/4) of Section Two (2), in Township Seven (7) North, Range Eighteen (18) East, in the Village of Hartland, Waukesha County, Wisconsin.

March 29, 2018 Craig Eisenhut Survey No. 166455-RMK

Note:

This Site Plan was prepared on Craig Eisenhut's concept. R.A. Smith, Inc. does not certify that this site is suitable for the conventional septic system shown. Nor does R.A. Smith, Inc. know if the house, well, septic tank and septic fields can be constructed as shown.



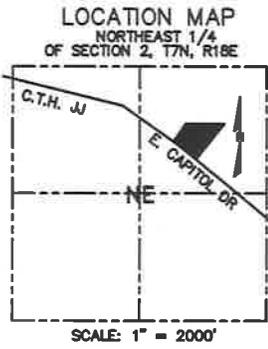
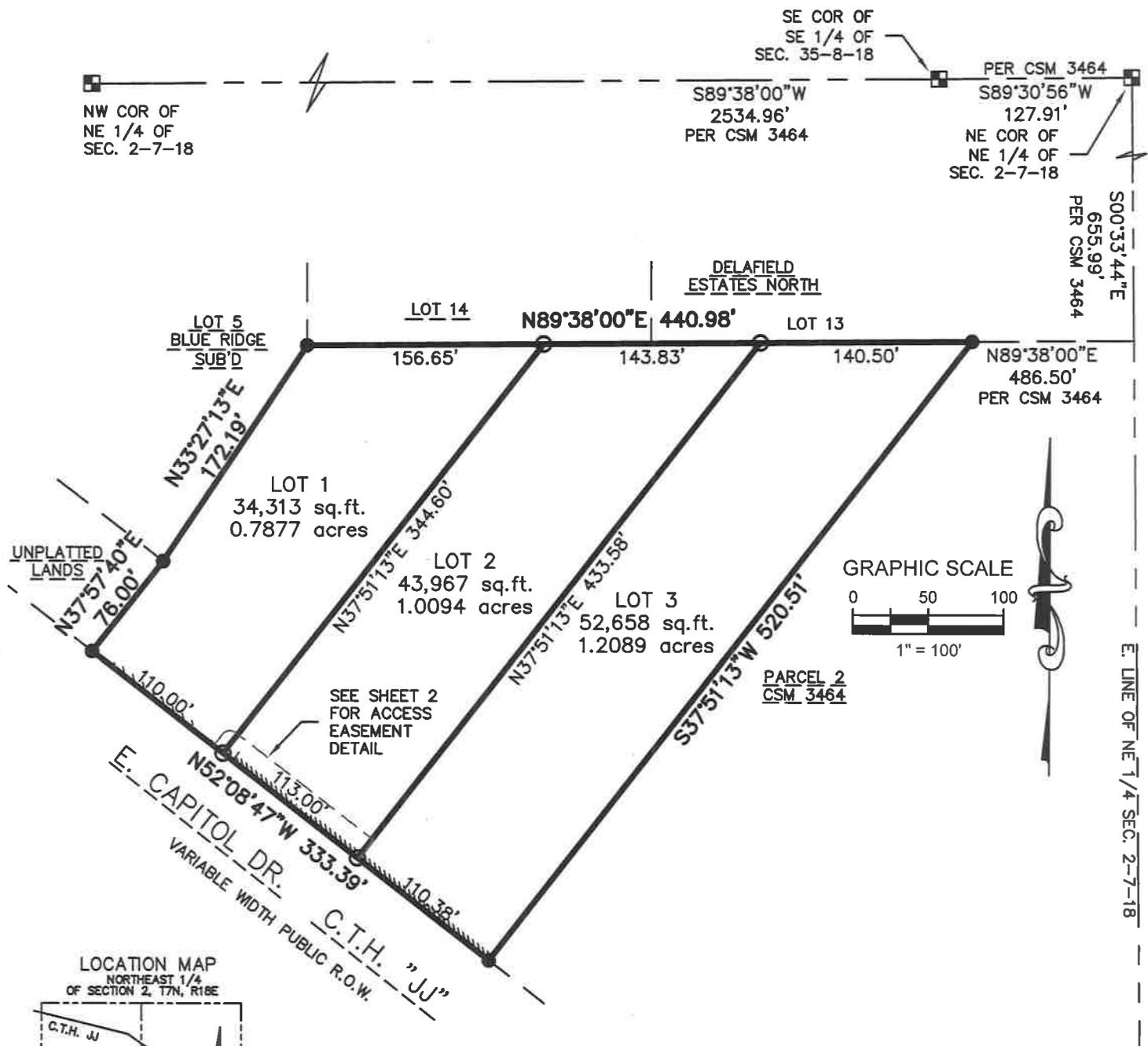
raSmith
CREATIVITY BEYOND ENGINEERING
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

- INDICATES 1" IRON PIPE (FOUND), UNLESS NOTED
 - INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.
- SEE SHEET 2 FOR ACCESS EASEMENT & NO ACCESS DETAIL.

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
 ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NE 1/4 OF SECTION 2, T 7 N, R 18 E, WHICH BEARS S00°33'44"E PER CSM 3464. LEAD-IN SHOWN ARE RECORD DIMENSIONS FROM CSM 3464.



OWNER:
 CRAIG EISENHUT
 N46 W29096 E. CAPITOL DR.
 HARTLAND, WI., 53029

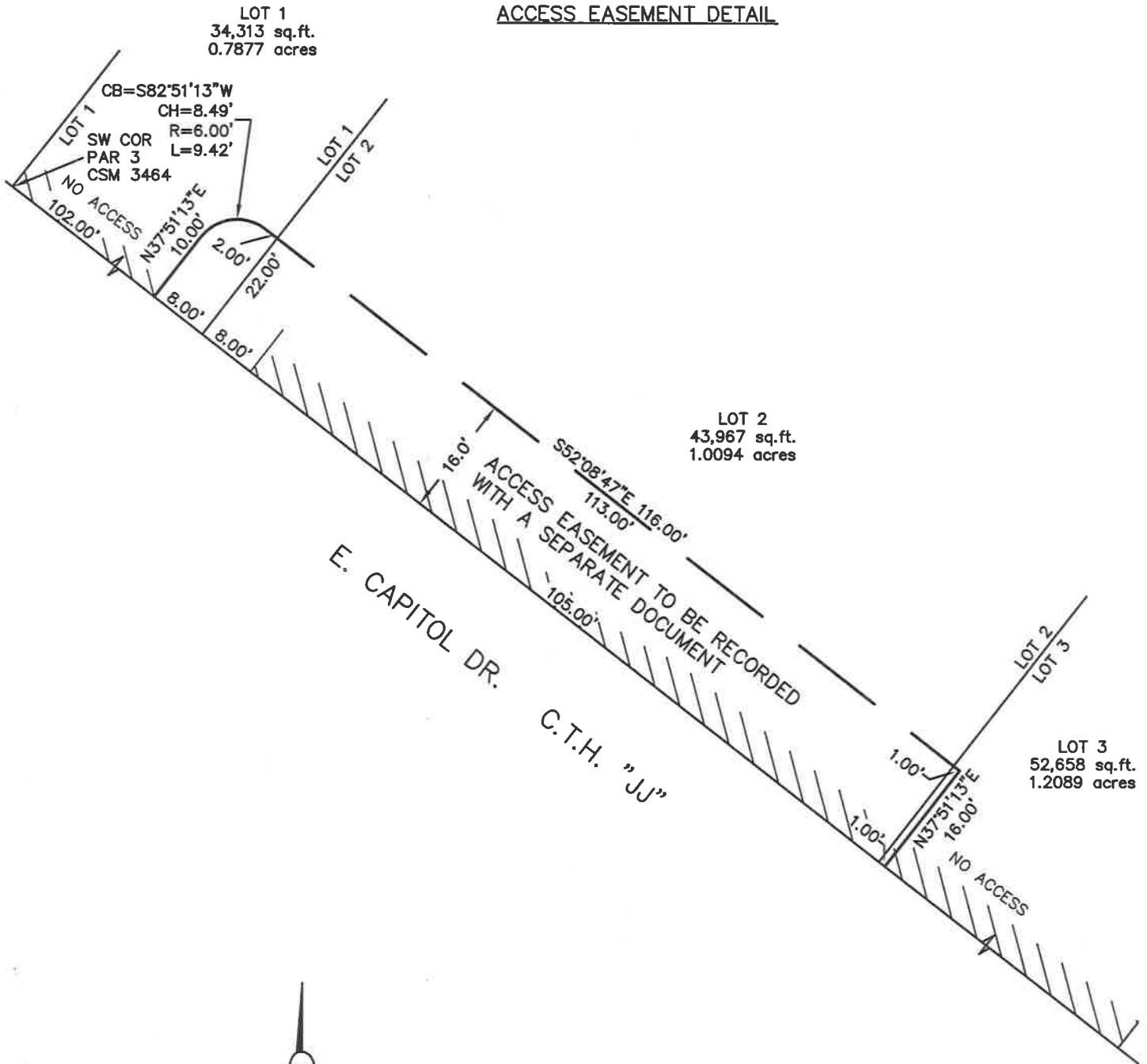
SURVEYOR:
 STEPHAN G. SOUTHWELL
 16745 W. BLUEMOUND RD.
 BROOKFIELD, WI., 53005

raSmith
 CREATIVITY BEYOND ENGINEERING
 16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

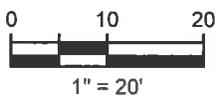
CERTIFIED SURVEY MAP NO. _____

A division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

ACCESS EASEMENT DETAIL



GRAPHIC SCALE



raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
 :SS
WAUKESHA COUNTY }

I, STEPHAN G. SOUTHWELL, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, which is bounded and described as follows:

Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

Said lands contain 130,938 square feet or 3.0060 acres

THAT I have made the survey, land division and map by the direction of CRAIG A. EISENHUT & AMY S. EISENHUT, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and the Land Division Ordinances of the Village of Hartland in surveying, dividing and mapping the same.

DATE

(SEAL)
STEPHAN G. SOUTHWELL
PROFESSIONAL LAND SURVEYOR S-1939

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE

CRAIG A. EISENHUT & AMY S. EISENHUT, as owner, certify that we caused the land described on this map, to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map in accordance with the Land Division Ordinance of the Village of Hartland.

CRAIG A. EISENHUT & AMY S. EISENHUT, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: Village of Hartland.

IN Witness Whereof, CRAIG A. EISENHUT & AMY S. EISENHUT, has caused these presents to be signed, This _____ day of _____, 2018.

CRAIG A. EISENHUT

AMY S. EISENHUT

STATE OF WISCONSIN }
 }SS
MILWAUKEE COUNTY }

PERSONALLY came before me this _____ day of _____, 2018,

CRAIG A. EISENHUT & AMY S. EISENHUT, to me known as the persons who executed the foregoing instrument and acknowledged the same.

_____(SEAL)
Notary Public, State of Wisconsin

My commission expires _____

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 3 of Certified Survey Map No. 3464, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

VILLAGE OF HARTLAND BOARD APPROVAL

This Certified Survey Map is hereby approved by the Village Board of the Village of Hartland

And adopted on this _____ day of _____, 2018

JEFFREY PFANNERSTILL, VILLAGE PRESIDENT

DARLENE IGL, VILLAGE CLERK

VILLAGE OF HARTLAND PLANNING COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the

Village of Hartland on this _____ day of _____, 2018

JEFFREY PFANNERSTILL, CHAIRPERSON

DEIDRE BUSHEY, SECRETARY

BARRY P BABLER
SHARON E BABLER
360 RUSTIC LN
HARTLAND WI 53029

BRETT L AND PAULA E NORDWIG
2017 LIVING TRUST
1250 E CAPITOL DR
HARTLAND WI 53029-2218

CHRIS FOLVAG
JOAN FOLVAG
106 BLUE RIDGE CT
HARTLAND WI 53029

CHRISTOPHER D NELSON
REBECCA J CABLE-NELSON
1270 E CAPITOL DR
HARTLAND WI 53029-2218

CRAIG A EISENHUT
AMY S EISENHUT
N46W29096 E CAPITOL DR
HARTLAND WI 53029-2243

CYNTHIA A GIESEN
THOMAS C GIESEN
103 BLUE RIDGE CT
HARTLAND WI 53029-1830

DAVID & P MANSMITH TRUST
105 BLUE RIDGE CT
HARTLAND WI 53029

GLEN KULKOSKI
JOY KULKOSKI
W291N4616 TOLBERT LN
HARTLAND WI 53029

G MDF TRANSITION TRUST
134 TERRACE LN
HARTLAND WI 53029

GREGORY GURLIK
CHERYL GURLIK
N47W29029 COUNTY ROAD JK
HARTLAND WI 53029-2353

JAMES WATERS
CYNTHIA WATERS
W291N4651 TOLBERT LN
HARTLAND WI 53029

JAMES WATERS
ROBERT WATERS ET AL
PO BOX 805
BROOKFIELD WI 53008-0805

JOHN BIEVER
J BIEVER
N46W29180 CAPITOL DR
HARTLAND WI 53029

JOHN MIKODA
MELISSA MIKODA
W291N4611 TOLBERT LN
HARTLAND WI 53029

JOHN T & JANET KNODL JOINT
REVOCABLE TRUST
112 TERRACE LN
HARTLAND WI 53029

KERRY BENBEN
DIANA BENBEN
N46W29160 CAPITOL DR
HARTLAND WI 53029

KEVIN BAY
DIANNE BAY
W290N4667 COLDWATER CRK
HARTLAND WI 53029

LUKE W ALLENSON
MICHELLE L ALLENSON
104 BLUE RIDGE CT
HARTLAND WI 53029

MARC A CHAPEL
JENNIFER R CHAPEL
108 BLUE RIDGE CT
HARTLAND WI 53029-1830

MARY ELLEN WIDMANN
118 TERRACE LN
HARTLAND WI 53029

MATTHEW J EVANS
WENDY N EVANS
275 RUSTIC LN
HARTLAND WI 53029

MICHAEL J O'SHEA
107 BLUE RIDGE CT
HARTLAND WI 53029-1830

MIKE MCCLEARY
KATHARINE MCCLEARY
W291N4582 TOLBERT LN
HARTLAND WI 53029-2268

MURIEL JOHNSON LIVING TRUST
126 TERRACE LN
HARTLAND WI 53029

NICKOLAS C CADY
AMANDA M CADY
101 BLUE RIDGE CT
HARTLAND WI 53029

PETER FLETCHER
SARAH FLETCHER
102 BLUE RIDGE CT
HARTLAND WI 53029

PRESTON M KLINK
JESSICA A KLINK
150 TERRACE LN
HARTLAND WI 53029

RICHARD STEVENS
DARLENE STEVENS
215 RUSTIC LN
HARTLAND WI 53029

ROLAND NIEMETSCHKE
D NIEMETSCHKE
N47W29111 COUNTY ROAD JK
HARTLAND WI 53029-2352

SCOTT C WHITMORE
JULIE A BONNESS
N46W29120 CAPITOL DR
HARTLAND WI 53029-2245

SHAWN BRUNNER
N46W29247 CAPITOL DR
HARTLAND WI 53029-2246

THOMAS W SCHMIDT
SHARYN K SCHMIDT
230 RUSTIC LN
HARTLAND WI 53029-2288

TIMOTHY RITZERT
1237 E CAPITOL DR
HARTLAND WI 53029

TIMOTHY SCHMIDT
DIANE SCHMIDT
245 RUSTIC LN
HARTLAND WI 53029

WALKER REVOCABLE LIVING TRUST
330 RUSTIC LN
HARTLAND WI 53029

WILLIAM ANDERSON
S ANDERSON
N47W29095 COUNTY ROAD JK
HARTLAND WI 53029-2353

WILLIAM B HUSSEL
PATRICIA J HUSSEL
1301 LISBON AVE
HARTLAND WI 53029



**APPLICATION FOR
PLAN COMMISSION**

\$300 REVIEW FEE DUE AT TIME OF APPLICATION

Project Description			
Proposed Use			No. of Employees
Project Location			
Project Name			
Owner		Phone	
Address		City	State Zip
Engineer/Architect		Phone	FAX
Address		City	State Zip
Contact Person	Phone	FAX	E-mail

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.

Applications that include site plans must depict the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

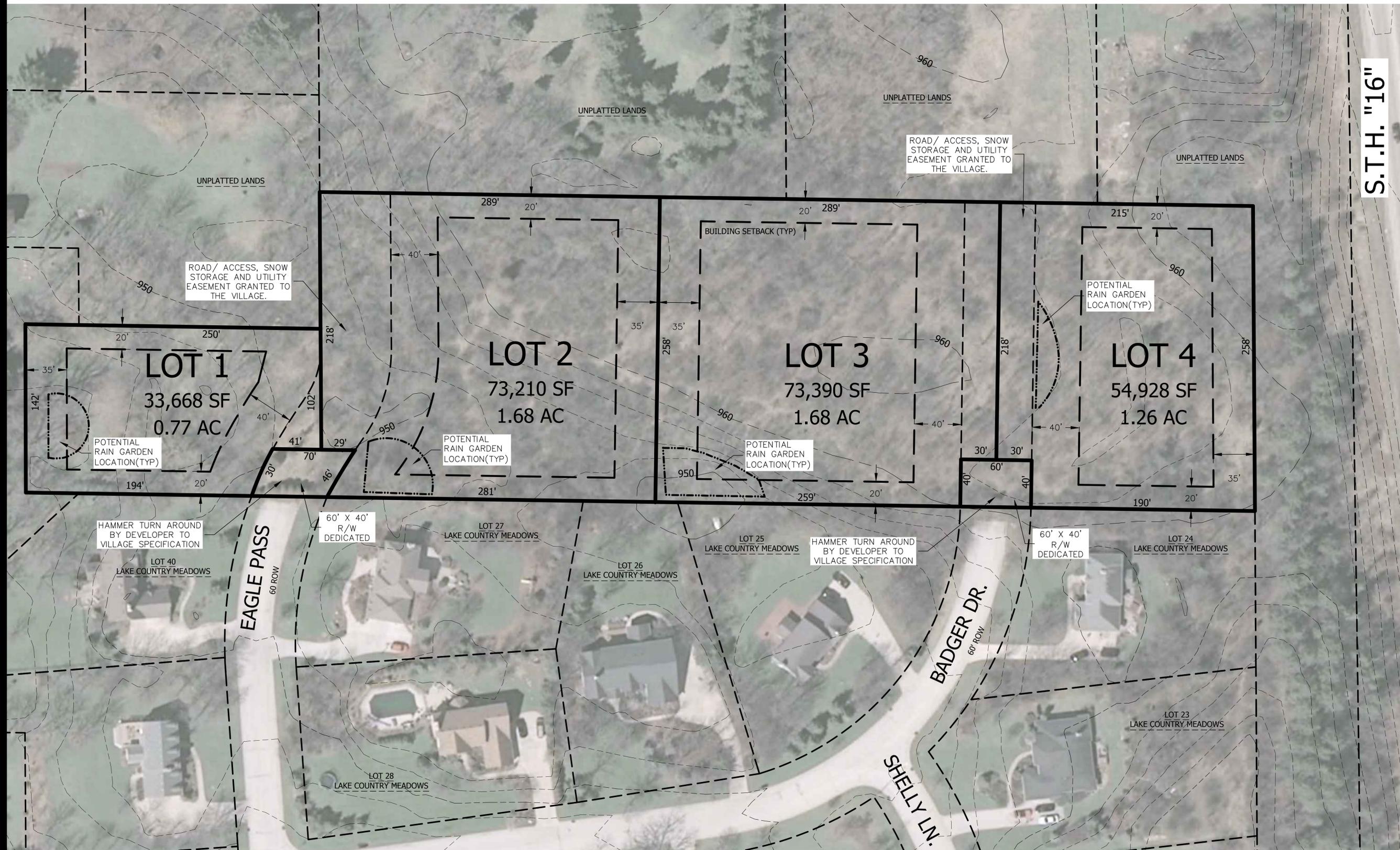
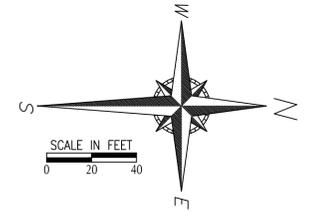
Additional information may be requested by the Plan Commission or Staff.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

NOTES:

1. RAIN GARDEN TO BE DESIGN AND INSTALLED BY HOME BUILDER. LOCATION IS CONCEPTUAL ONLY.
2. UTILITIES TO BE EXTENDED AS APPROVED BY VILLAGE.
3. BUILDING SETBACKS - (PER RS-1)
 FRONT - 40'
 SIDE - 20'
 REAR - 35'



S.T.H. "16"



ENGINEERS • ARCHITECTS
 PLANNERS • SCIENTISTS
 501 MAPLE AVENUE
 DELAFIELD, WISCONSIN 53018
 262-646-6855
 WWW.SEHINC.COM



HAMMER PROPERTY
 VILLAGE OF HARTLAND, WISCONSIN
 PRELIMINARY CSM

PROJECT NUMBER	145707
DATE	MARCH 2018
DRAWN BY	PT
CHECKED BY	
REVISION HISTORY	
	3-22-2018

Peter Tuflee Q:\V\H\HMRP\145707\9--surveys\92-CAD\10-C3A\145707_Conceptual_layout_3--2018_Thursday, March 22, 2018 12:03:16 PM

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HWY 16

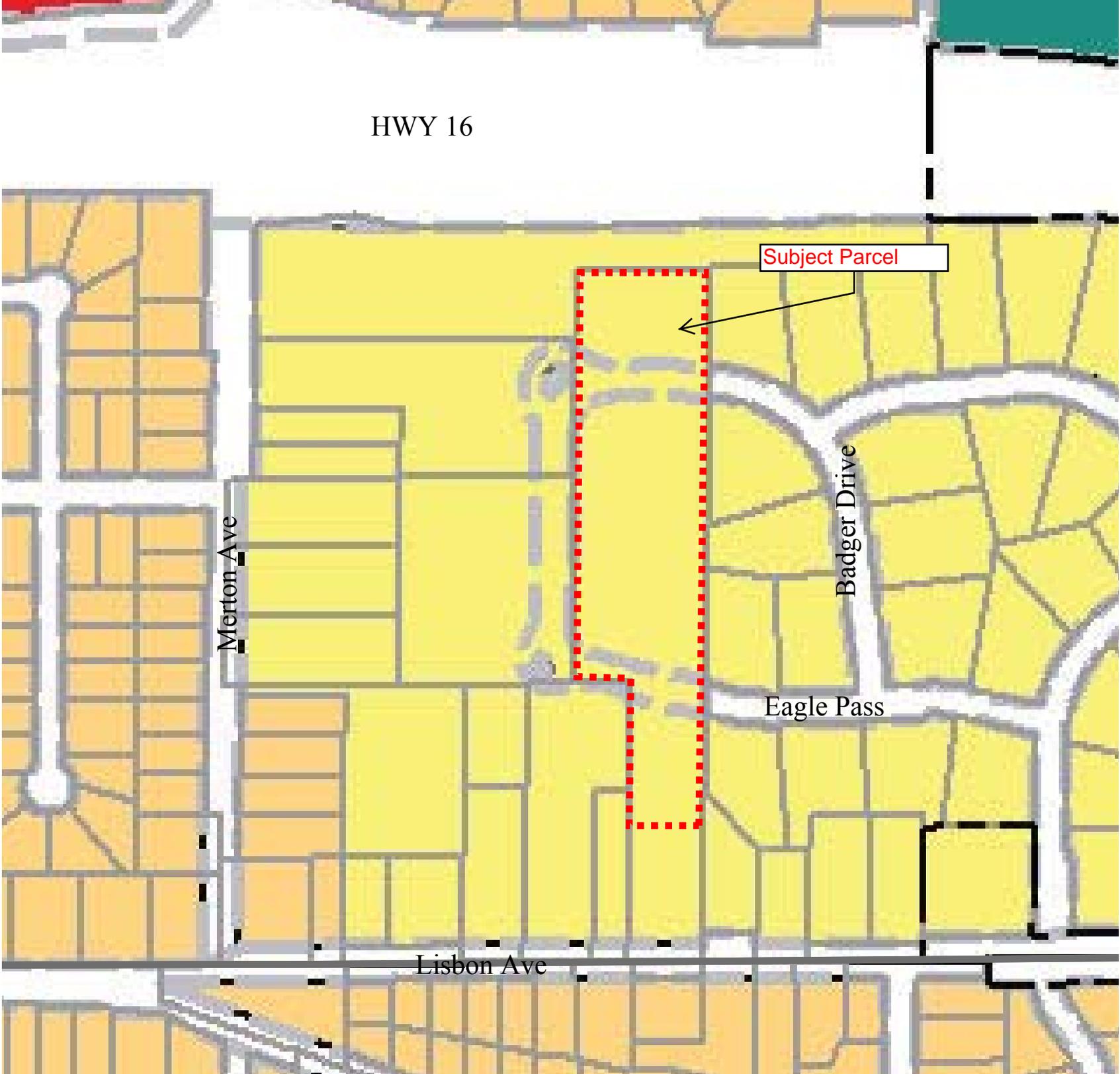
Subject Parcel

Merton Ave

Badger Drive

Eagle Pass

Lisbon Ave



AARON F KUPHALL
KELLEY J KUPHALL
318 MERTON AVE
HARTLAND WI 53029

ANDREW KONOPKA
BRANDICE KONOPKA
1161 EAGLE PASS
HARTLAND WI 53029

ANGELA CORNELL
CHRISTOPHER CORNELL
1031 LISBON AVE
HARTLAND WI 53029-2229

BENJAMIN WEINZ
JESSICA WEINZ
1006 E CAPITOL DR
HARTLAND WI 53029

BRIAN HALVERSON
ANITA HALVERSON
1000 LISBON AVE
HARTLAND WI 53029

BRIAN S RIGGS
TINA M RIGGS
126 MERTON AVE
HARTLAND WI 53029

BRUCE A NEUMANN
N48W29240 COUNTY RD JK
HARTLAND WI 53029

BRUCE R RONKE
1621 FIRST AVE N
GREAT FALLS MT 59401

BRYAN LUFTER
JACQUELINE LUFTER
405 HILL N DALE CIR
HARTLAND WI 53029

CAROLYN TILLMAN
1250 SHELLY LN
HARTLAND WI 53029-1800

CATHY M SCHNEPPER
308 MERTON AVE
HARTLAND WI 53029

CHERYL L RUSSO
918 LISBON AVE
HARTLAND WI 53029-2228

CHRISTOPHER MARK CHERNEY
290 BADGER DR
HARTLAND WI 53029-1841

DAMIAN F BOHMAN
NICOLE A BOHMAN
447 FAIRVIEW CT
HARTLAND WI 53029-1501

DANIEL J DRISCOLL
SUSAN L JASKE
221 CRYSTAL DR
HARTLAND WI 53029

DANIEL KIMMEL
SHARON KIMMEL
1034 LISBON AVE
HARTLAND WI 53029

DAVID FELDMANN
LINDA FELDMANN
1125 LISBON AVE
HARTLAND WI 53029

DAVID J BATZNER III
JENNIFER E BATZNER
1036 E CAPITOL DR
HARTLAND WI 53029-2214

DAVID VANTHIEL
KATHLEEN VANTHIEL
1221 EAGLE PASS
HARTLAND WI 53029

DEWEY L HEMBA
423 HILL N DALE CIR
HARTLAND WI 53029

DIANE B BRANDES 2007 LIVING
TRUST
1018 E CAPITOL DR
HARTLAND WI 53029

EVELYN M ADAMS 2016 LIVING TRUST
435 HILL N DALE CIR
HARTLAND WI 53029-1502

GARY STROMBECK
DAWN STROMBECK
305 BADGER DR
HARTLAND WI 53029

GEORGE BUCKLEY
KAREN BUCKLEY
238 MERTON AVE
HARTLAND WI 53029

GRAUEL LIVING TRUST
C/O REX OR JO ANNE GRAUEL
103 TERRACE LN
HARTLAND WI 53029

GREGORY SANDEN
KRISTIN SANDEN
1014 LISBON AVE
HARTLAND WI 53029

JAMES M. AND LYNN M. PETERMAN
TRUST DATED MAY 7, 2007
1260 SHELLY LN
HARTLAND WI 53029-1800

JAMES T SCHWIND
1209 LISBON AVE
HARTLAND WI 53029

JEAN A DONOVAN
1124 LISBON AVE
HARTLAND WI 53029

JEFFREY A ZEMAN
VICKIE L OTTO
225 BADGER DR
HARTLAND WI 53029

JEFFREY G OTT
NANCY J OTT
265 BADGER DR
HARTLAND WI 53029

JEFFREY J BIERMAN
1222 LISBON AVE
HARTLAND WI 53029-2234

JEFFREY J KOERNER
KAREN J KOERNER
427 HILL N DALE CIR
HARTLAND WI 53029-1502

JEFFREY L PFANNERSTILL
1140 E CAPITOL DR
HARTLAND WI 53029

JEFFREY RADAKOVICH
KATHLEEN RADAKOVICH
1261 SHELLY LN
HARTLAND WI 53029-9161

JEFFREY W JORDAN AND CONSTANCE G
JORDAN 2016 LIVING TRUST
924 LISBON AVE
HARTLAND WI 53029-2228

JENSEN REVOCABLE TRUST
210 MERTON AVE
HARTLAND WI 53029

JOHN LESCH
CANDACE LESCH
220 BADGER DR
HARTLAND WI 53029

JOHN RYAN
TRISTA RYAN
1001 LISBON AVE
HARTLAND WI 53029

JOHN T & JANET KNODL JOINT
REVOCABLE TRUST
112 TERRACE LN
HARTLAND WI 53029

KATHLEEN VANARK
216B MERTON AVE
HARTLAND WI 53029

KELVIN MAAHS
JANE MAAHS
338 MERTON AVE
HARTLAND WI 53029

KENNETH HARPER II
1131 EAGLE PASS
HARTLAND WI 53029-1838

KENNETH W MAUTZ
1124 E CAPITOL DR
HARTLAND WI 53029

KEVIN GORALSKI
LAURA GORALSKI
1245 EAGLE PASS
HARTLAND WI 53029

LAURNA L SCHLIEPP
1104 E CAPITOL DR
HARTLAND WI 53029

LINDA J SCHMITZ
443 FAIRVIEW CT
HARTLAND WI 53029-1501

LORETTA M GRAMBOW
117 TERRACE LN
HARTLAND WI 53029

LYNN C HARTZEL
1101 LISBON AVE
HARTLAND WI 53029

MARCIA MORIARTY
2432 N 89TH ST
WAUWATOSA WI 53226

MARGIT PROPERTIES LLC
580 INDUSTRIAL DR
HARTLAND WI 53029

MARK BARRACK
JOYCE BARRACK
445 FAIRVIEW CT
HARTLAND WI 53029

MARK J HOLZBAUER
KATHLEEN M SHEAHAN
250 BADGER DR
HARTLAND WI 53029

MARK T LILLESAND LIVING TRUST
1210 SHELLY LN
HARTLAND WI 53029-1800

MATTHEW CHRISTOPHER MILLER
419 HILL N DALE CIR
HARTLAND WI 53029-1502

MATTHEW R EVERTS
1021 LISBON AVE
HARTLAND WI 53029

MAUREEN L LAWLER
125 TERRACE LN
HARTLAND WI 53029

MICHAEL BURGETT
LISA BURGETT
300 MERTON AVE
HARTLAND WI 53029

MICHAEL DIGIACOMO
MARY DIGIACOMO
1130 EAGLE PASS
HARTLAND WI 53029

MICHAEL J EAVES
KENDRA S EAVES
230 MERTON AVE
HARTLAND WI 53029-1813

MICHAEL LEACH
JUDITH LEACH
206 MERTON AVE
HARTLAND WI 53029

PATRICIA A OSTERLING
DOROTHY ALLEN
1135 LISBON AVE
HARTLAND WI 53029

PATRICIA HAMMER REVOCABLE TRUST
C/O DANIEL HAMMER
960 GOLDEN MEADOW GLN
BROOKFIELD WI 53045-4614

PHILLIP J DOLESHAL
317 NORTH AVE
HARTLAND WI 53029

RICHARD D EDDY
JESSICA J EDDY
200 MERTON AVE
HARTLAND WI 53029

ROY A HACKBART
415 HILL N DALE CIR
HARTLAND WI 53029-1502

S ANDERSON RATTLE
1013 LISBON AVE
HARTLAND WI 53029

SANDY A CORRIGAN
1007 LISBON AVE
HARTLAND WI 53029-2229

SARAMARIE BURCLAW
330 BADGER DR
HARTLAND WI 53029-1844

SUSAN FLOR
DANIEL FLOR
36543 NORMANDALE DR
OCONOMOWOC WI 53066-9458

TANYA VONRUEDEN
929 LISBON AVE
HARTLAND WI 53029

THE LEGEND AT BRISTLECONE PINES
LLC
1 LEGEND WAY
WALES WI 53183

THOM SAFFRON
IMELDA SAFFRON
1132 E CAPITOL DR
HARTLAND WI 53029

TIMOTHY CULHANE
REBECCA CULHANE
134 MERTON AVE
HARTLAND WI 53029

TIMOTHY M STEFFEN
NICOLE A STEFFEN
231 CRYSTAL DR
HARTLAND WI 53029

TJWK REAL ESTATE LLC
C/O TYLER MORSE
W336N6437 LAKEVIEW LN
OCONOMOWOC WI 53066-1926

TONY R PINK
SUSAN M PINK
1230 SHELLY LN
HARTLAND WI 53029

WALTER ZAWADZKI
JACKIE ZAWADZKI
1229 LISBON AVE
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>505-525 Cottonwood Ave (Cottonwood Plaza)</u>			
Lot	Block	Subdivision	Key No. <u>HAV0732996006</u>
Owner <u>JF Clearcotton LLC, Et Al</u>		EMAIL	Phone
Address <u>200 N Mayfair Rd Ste 310</u>		City <u>Milwaukee</u>	State <u>WI</u> Zip <u>53226</u>
Contractor <u>MSI General Inc.</u>		Phone <u>715-892-5165</u> FAX	EMAIL <u>adam@msigeneral.com</u>
Address <u>PO Box 7</u>		City <u>Oconomowoc</u>	State <u>WI</u> Zip <u>53066</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

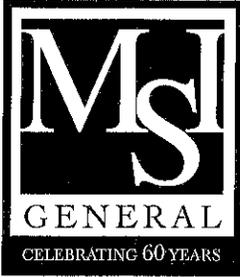
- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 3 Date of Meeting: _____ Item No. _____



Prepared for:
Village of Hartland
Architectural Review Board
Meeting Date: 4/16/18

**Cottonwood Plaza Façade Improvements
Project Summary**

MSI General, on behalf of our client, is proposing the following façade improvements and maintenance items at Cottonwood Plaza:

- Tuckpoint and repair block columns on existing gable overhangs
- Enclose half-moon gable openings with EIFS – color to match block
- Enclose rear-facing gable openings and install metal liner panel soffit to underside of gable overhangs to mitigate water intrusion.
- Paint green striping, roof copings, standing seam roofing and trim (Red to match new awnings)
- Replace existing green fabric awnings with contemporary style triangular red fabric awnings
- Create new storefront opening at location of existing timber planter. Replace existing planter with decorative concrete block planter and re-work sidewalk ramp slope to provide ADA accessibility to new storefront.
- Replace damaged sidewalk sections

Items Enclosed:

Photos of existing site conditions
Floor Plan, Demo Floor Plan, Elevations
Color Renderings of proposed improvements

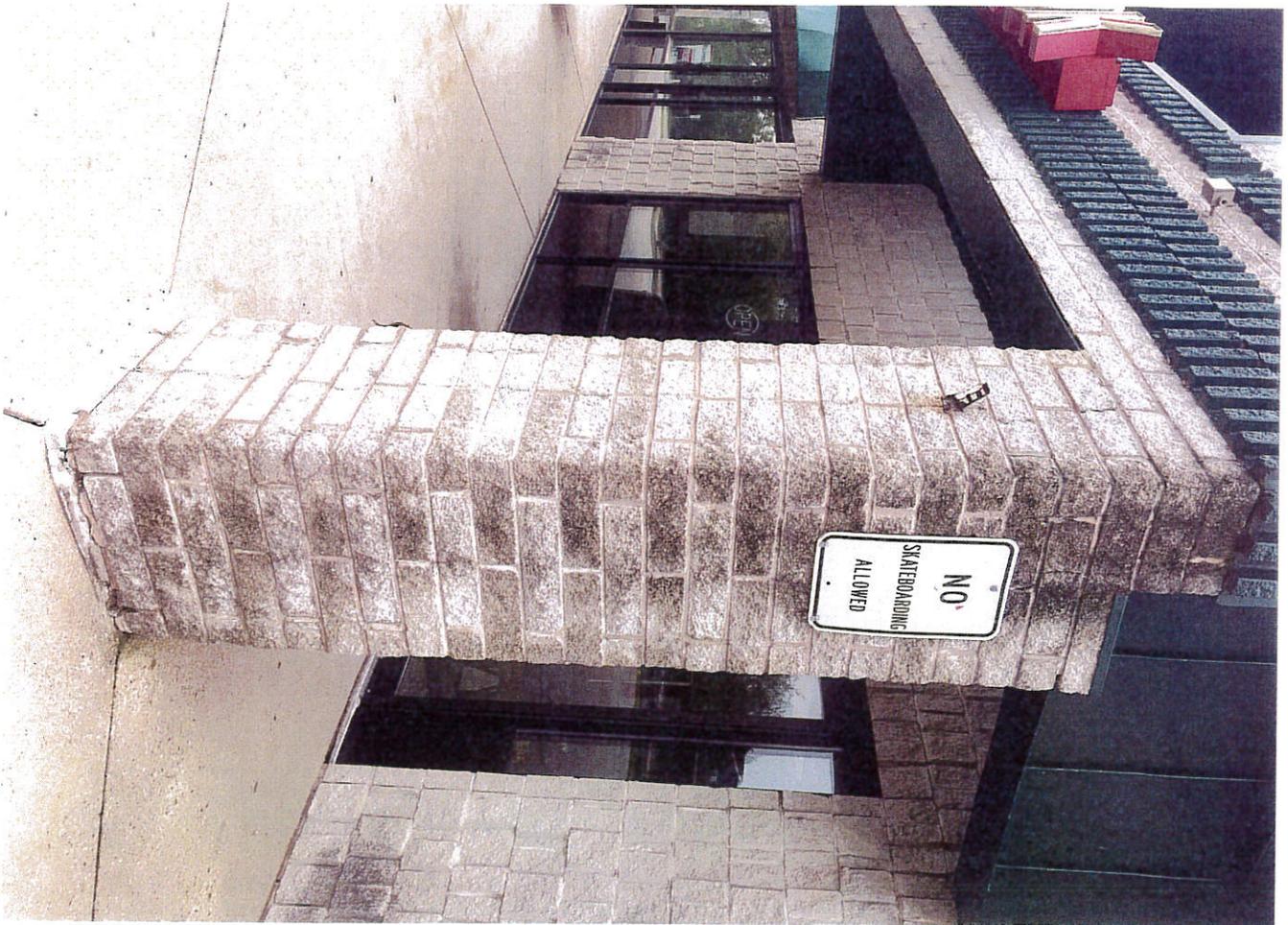
MSI General
Corporation
P.O. Box 7
Oconomowoc
Wisconsin
53066
262.367.3661
Fax 262.367.7390
www.msigeneral.com

Respectfully Submitted,

Adam Reek – Project Director
MSI General, Inc.
715-892-3163
adam@msigeneral.com

Single Source
Responsibility™



















TENANT SIGN

TENANT SIGN





MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 PHONE: 262-367-3661

WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:
 Proposal: 03.12.18
 Bid: 03.19.18
 Contract:
 State Submittal / Permit:
 As-Built:

REVISIONS:

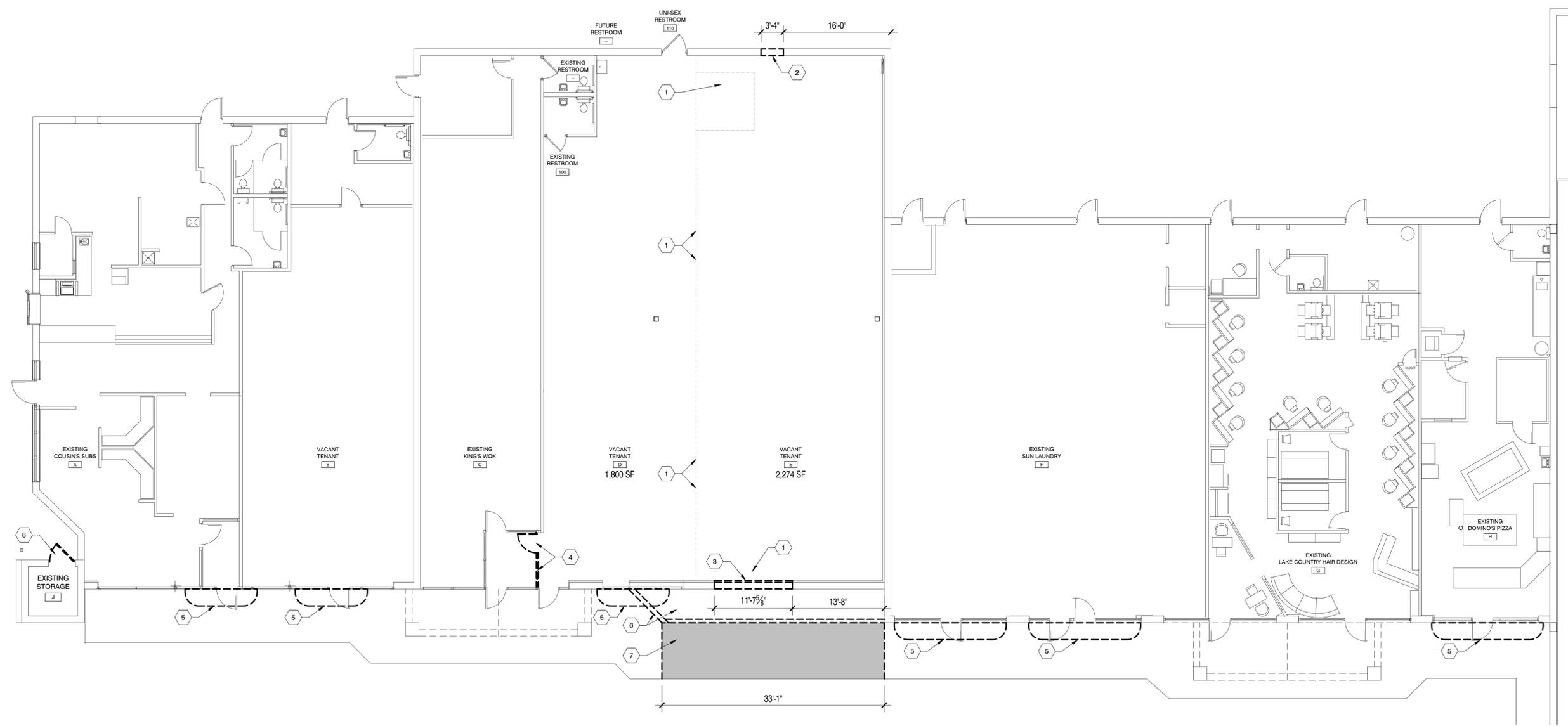
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PROJECT ADDRESS:
 PROJECT NAME
 Cottonwood Plaza
 STREET ADDRESS
 505-525 Cottonwood Ave.
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: KUN
 Engineer: []
 Reviewed By: []
 Sheet Title:
DEMO PLAN
 Sheet Number:
A-001
 Project Number: P11975
P11975

- DEMOLITION NOTES
- Temporarily remove existing suspended ceiling, lighting and HVAC ductwork in areas of new construction and HVAC installation.
 - Create wall opening in existing CMU wall for new 3070 HM Door w/ HM w/ 4" head.
 - Create 11'-8" x 7'-4" tall wall opening in existing CMU wall for new store front. Install steel lintel. See sheets A-101 and A-201. Remove CMU to 4" below concrete floor and fill w/ concrete to match existing concrete floor elevation.
 - Remove existing Aluminum Framed Store front as indicated.
 - Remove existing Fabric Awning. Patch anchor bolt holes in existing CMU as required.
 - Remove existing landscape planter.
 - Remove existing concrete ramp and walkway as indicated.
 - Remove existing HM Door only. Existing HM Frame to remain. Existing hardware to remain. Repair existing HM frame as required.



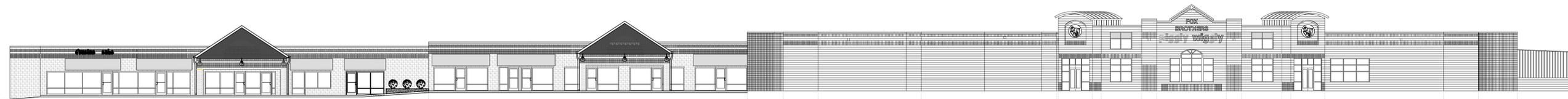
DEMOPLAN 1/8" = 1'-0"

MANAGERS

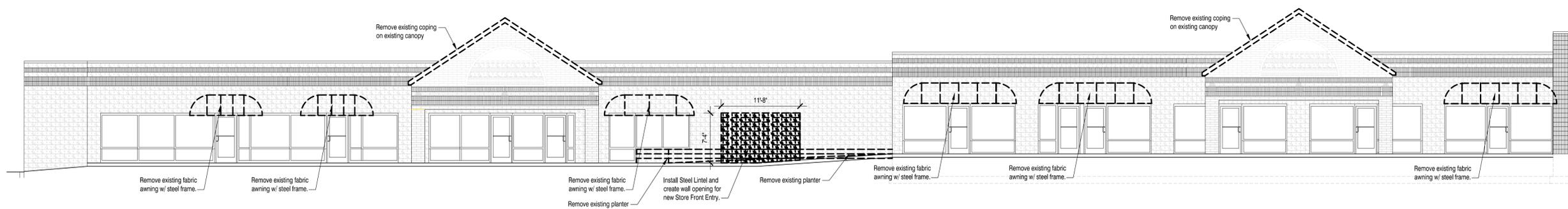
ENGINEERS

CONTRACTORS

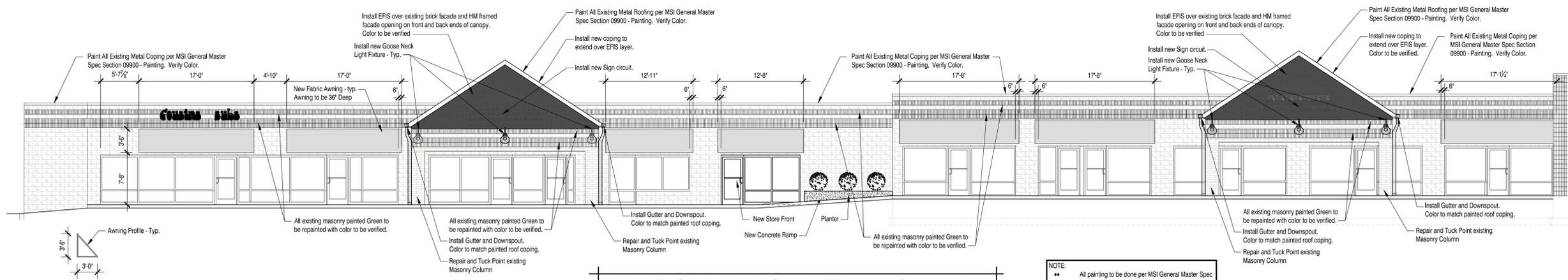
ARCHITECTS



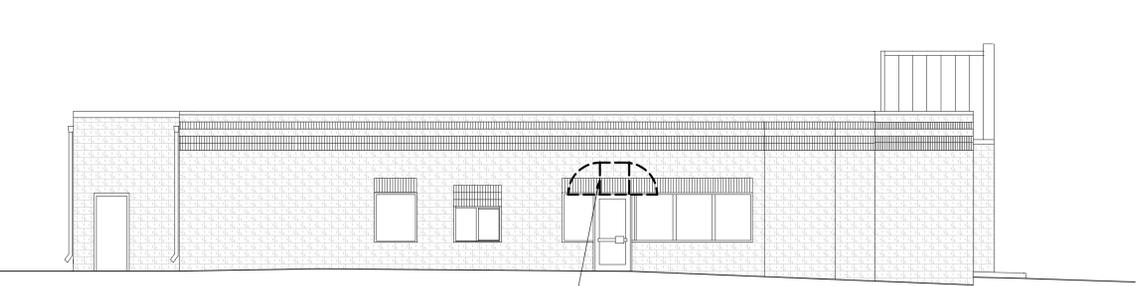
1 - EAST ELEVATION - OVERALL 1/16" = 1'-0"



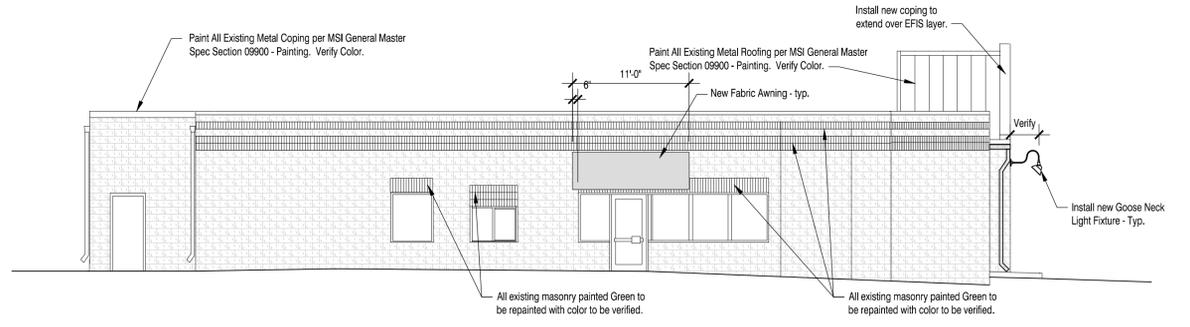
2 - EAST ELEVATION - DEMO 1/8" = 1'-0"



2A - EAST ELEVATION - RETAIL 1/8" = 1'-0"



3 - SOUTH ELEVATION - DEMO 1/8" = 1'-0"



3A - SOUTH ELEVATION - RETAIL 1/8" = 1'-0"

ELEVATIONS 1/8" = 1'-0"



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:
Proposal: 03.12.18
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As-Built:

REVISIONS:

1	--
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24	
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PROJECT ADDRESS:

PROJECT NAME
Cottonwood Plaza
STREET ADDRESS
505-525 Cottonwood Ave.
CITY / STATE / ZIP
Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: _____ Engineer: _____ Reviewed By: _____

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:
A-201

Project Number: P11975

P11975

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS

3-D REAL ESTATE INVESTMENTS LLC
540 NORTON DR
HARTLAND WI 53029

ACM RE HOLDINGS LLC
460 CARDINAL LN
HARTLAND WI 53029-2331

AMERICAN HOMES 4 RENT PROPERTIES
THREE LLC
30601 AGOURA RD
AGOURA HILLS CA 91301

ANDREW FALLON
420 COTTONWOOD AVE
HARTLAND WI 53029

AUSTIN REAL ESTATE COMPANY LLC
7847 ALLEN ROBERTSON PL
SARASOTA FL 34240

BARK RIVER PROPERTIES
C/O J&A MANAGEMENT SERVICES LLC
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

BRET WAGNER
LORI WAGNER
186 GRANARY CIR
HARTLAND WI 53029

CIRCLE J PROPERTIES LLC
PO BOX 131
HARTLAND WI 53029-0131

D&B HAYDEN LLC
425 E INDUSTRIAL DR
HARTLAND WI 53029

DANIEL E SCHWULST
THERESA L SCHWULST ET AL
454 COTTONWOOD AVE
HARTLAND WI 53029

DARYL D ZIGAN
JACKIE L ZIGAN
W752 WASHINGTON RD
RUBICON WI 53078

DIANNA M SUSITTI
440 COTTONWOOD AVE
HARTLAND WI 53029

DONALD STARRY
ROXANE STARRY
188 GRANARY CIR
HARTLAND WI 53029

DREW TIMMERMAN
KAREN TIMMERMAN
184 GRANARY CIR
HARTLAND WI 53029

EHLEN LIMITED PARTNERSHIP
10510 FRANCE AVE S
BLOOMINGTON MN 55431-3538

EYE COMMUNICATION SYSTEMS
PO BOX 505
WATERTOWN WI 53094-0505

G & W LEASING INC
14340 HICKORY FAIRWAY CT
FORT MYERS FL 33912-7827

GARY BURGDORFF
MARY BURGDORFF
180 GRANARY CIR
HARTLAND WI 53029

HARTLAND SELF STORAGE LLC
392 ROYAL ST GEORGE ST
VERNON HILLS IL 60061-4527

ICE AGE PARK AND TRAIL FOUNDATION
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ILLINOIS TOOL WORKS INC
PO BOX 110
HARTLAND WI 53029-0110

JAMES KISHLINE
LINDA KISHLINE
434 COTTONWOOD AVE
HARTLAND WI 53029

JAMIE B THOMSON 2013 LIVING TRUST
530 COTTONWOOD AVE
HARTLAND WI 53029-2309

JEFF WOOD
KATHLEEN WOOD
176 GRANARY CIR
HARTLAND WI 53029

JOHN KOHNKE
KRISTI KOHNKE
31445 S BERMUDA DUNES DR
EVERGREEN CO 80439-8961

JONATHAN M CONGDON
446 COTTONWOOD AVE
HARTLAND WI 53029-2302

KUSCH INVESTMENTS LLC
N65W30981 BEAVER LAKE RD
HARTLAND WI 53029-9799

LAUDERMILK 428 LLC
W329N3466 LAKELAND DR
NASHOTAH WI 53058

MARK BARENZ
BETH A BARENZ ET AL
N6672 COUNTY ROAD W
MT CALVARY WI 53057-9647

MARK HAHM
SARAH HAHM
190 GRANARY CIR
HARTLAND WI 53029

MATTHIAS SCHUETH
ELIZABETH SCHUETH
178 GRANARY CIR
HARTLAND WI 53029

MICHAEL BRANDT
TONIA BRANDT
472 COTTONWOOD AVE
HARTLAND WI 53029

MICHAEL R WHITE REVOCABLE TRUST
OF 1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

PAUL TRAPP
460 COTTONWOOD AVE UNIT A
HARTLAND WI 53029-2314

ROBERT G MORRIS
N1100 NIMM LN
WATERTOWN WI 53098

ROBERT J ANDLER JR
202 CROOKED STICK PASS
NORTH PRAIRIE WI 53153-9622

RONALD JAEGER
ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029-2329

RONALD RADMER
MARY RADMER
174 GRANARY CIR
HARTLAND WI 53029

J F CLEARCOTTON LLC ET AL
C/O STEWART WANGARD
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288

THOMAS A WRIGHT
MICHAEL S WRIGHT
510 HARTBROOK DR STE 206
HARTLAND WI 53029-2309