

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, JULY 16, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of June 18, 2018.
2. Architectural Board review and consideration of a sign for First Baptist Church, 780 Tenny Ave.
3. Architectural Board review and consideration of revised plans for construction of a detached garage on the Ed Lentz property at 327 Lawn Street.
4. Architectural Board reconsideration of plans for a new entry canopy for Capital Equipment and Handling, Inc., 1100 Cottonwood Avenue.
5. Architectural Board and Plan Commission review and consideration of a request for a Conditional Use for concrete crushing and other operations for Lafarge Aggregates/Meyer Material Co., 700 W. Capitol Drive.
 - a. **Public Hearing** to hear comments on the request for a Conditional Use
 - b. Consideration of a motion to approve the Conditional Use for Lafarge Aggregates/Meyer Material Co.
6. Plan Commission consideration of an Extraterritorial CSM for the combining of parcels west of Oakwood Grove Road in the Town of Delafield.
7. Plan Commission review and consideration of a CSM (lot line adjustment/easements) for two properties on Cardinal Lane at Norton Drive.
8. Plan Commission review and consideration of the location for a temporary cellular tower to be located on the Coventry Water Tower site during upcoming tower painting scheduled for fall 2018.
9. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator
DATE: July 11, 2018
SUBJECT: Agenda Information – July 16, 2018



The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to a proposed replacement sign for First Baptist Church.

Background: The church is proposing replacement of its existing sign (shown in the screen capture included with the packet) with one that is very similar and at the same location. The proposed sign meets the Sign Code requirements. Staff notes that the current sign is oriented parallel to the street as is shown in the hand-drawn landscaping plan in the church's submission. The site survey shows the sign oriented perpendicular to the street. This item should be clarified during the meeting.

Recommendation: Approve the proposed replacement sign.

Item 3 Related to revised garage plans at 327 Lawn Street.

Background: In April, the Architectural Board considered and approved a version of this proposed garage. The owner has since revised both the building plans and the location of the proposed structure. The Architectural Board is asked to consider the revised proposal.

Recommendation: Consider and approve the revised garage plans.

Item 4 Related to an entry canopy at Capital Equipment.

Background: In June 2017, the Architectural Board considered and approved this proposed entry canopy at Capital Equipment in the southern commercial park at 1100 Cottonwood Avenue. Approvals by the Architectural Board expire in one year and the work has not been completed. The company wishes to pursue the project and requests reconsideration and a new approval. They have submitted identical plans.

Recommendation: Consider and approve the canopy plans.

Item 5 Related to crushing and other operations at 700 W Capitol.

Background: The owner is seeking a temporary Conditional Use Permit to crush existing remnant concrete on the site and to ship that material off site for use in construction. Also, the proposed Conditional Use Permit would authorize the other existing operations that are ongoing at the property including a ready mix concrete plant and vehicle storage and office operations related to the ready mix operation and a separate utility contractor. All uses in the Q-1 Quarrying/Extractive District are Conditional Uses. Based on review of the existing and proposed uses on the site, a draft Conditional Use Permit (CUP) has been written showing the terms under which the existing uses and proposed crushing use will be allowed. As a reminder, the Commission considered the matter preliminarily at its June 2018 meeting and will hold a public hearing at this meeting to receive comment. After the hearing, the Commission is asked to consider recommending approval of the CUP including the conditions outlined therein as being those of the Commission. Should the commission want any of those changed, it may do so at the meeting.

Recommendation: Recommend approval of the CUP.

Item 6 Related to an extraterritorial CSM in the Town of Delafield.

Background: Under its authority to approve land divisions and other similar actions within the extraterritorial zone around the Village (up to 1.5 miles from out limits) the Village is asked to consider this CSM, which combines four small properties into one parcel. The use of the property is not changing and there is no increase in the number of developable parcels.

Recommendation: Recommend approval of the CSM to the Village Board.

Item 7 Related to a CSM for the two properties on Cardinal Lane.

Background: The owner of the two properties in question intends, as staff understands it, to sell the western of the two properties and is attempting to clarify existing easements and other matters prior to marketing the parcel. While there is no change to the number of parcels as a result of the CSM, it does partially eliminate the need for an easement that was required by the Village when the original CSM was approved in 1993. At that time, the Village required an ingress and egress easement on the property to accommodate the fact that the existing driveway from the western parcel to Cardinal Drive encroached onto the eastern parcel. At staff's suggestion, the new CSM moves the lot line in the front to allow the driveway to exist entirely on the western parcel. However, it should be noted that the access to the rear part of the

structure on the western parcel would no longer have the blanket access it had in the past. The owner of the parcels intends to extinguish the blanket easement granted under the 1993 CSM, which granted access for each parcel over the paved areas of the other parcel. The blanket easement would be replaced with a specific easement area in the rear of the lot that would outline the terms of the easement including maintenance and other obligations. That is intended to be handled separately as a private matter. The easement related to sanitary sewer on the property is shown on the new CSM in addition to WE Energies easements.

Recommendation: Recommend approval of the CSM to the Village Board.

Item 8 Related to a temporary tower for cellular facilities at the Coventry Water Tower site.

Background: As the Commission may recall, the Village has issued two Conditional Use Permits that allow the operation of two cellular carriers on the water tower at Coventry Lane. As part of the Permits and the leases for the use of the Village water tower, the carriers are required to temporarily remove and relocate their facilities off the tower if we deem it necessary. This fall, the Village will be removing the paint from the water tower and repainting it. This process, which requires installation of a shroud over the tower, requires the removal and relocation of the antennas. The temporary installation of facilities to hold the antennas while they are off the tower is considered by staff to be related to the previously issued CUP and therefore, does not require issuance of a separate CUP. The two carriers are working together to install a temporary monopole tower on the site to hold their antennas and equipment while being served by the existing ground facilities on the site. It is anticipated that the temporary monopole tower will be up for about four months including the time to install the monopole tower, move the equipment, strip and paint the water tower (a several week process), reinstall the cellular equipment back on the water tower and remove the temporary monopole. The Plan Commission, and ultimately the Village Board, is asked to affirm the staff determination and approve the general location of the temporary tower subject to final siting by the staff in coordination with the water tower maintenance company.

Recommendation: Recommend approval of the tower location to the Village Board.

DC:PC Agenda Info 7-16

cc: Ryan Amtmann, Village Engineer
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JUNE 18, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, Ann Wallschlager, David deCourcy-Bower, James Schneeberger and Tim Hallquist

Absent: Jack Wenstrom and Tim Fenner

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bush y

Call to Order-

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of May 21, 2018 and May 29, 2018.

Motion (Hallquist /Swenson) to approve the Jt. Architectural Board/Plan Commission minutes of May 21, 2018 and May 29,2018 with amendments to be made to the May 21, 2018 minutes regarding there were some things that didn't match with what was on file for the Riverwalk project and what was built. Carried (5-0).

2. Architectural Board review and consideration of signs for the Chamber of Commerce, 300 Cottonwood Avenue.

Hartland Chamber of Commerce leases office space and is looking to add two 24 x 19 mounted signs, one would be located adjacent to the door on Cottonwood and the other would located adjacent to the door by the parking lot behind the building. Wallschlager said the lettering on the multi-tenant sign tends to get lost and that people should know they are in that building. Hussinger said the multi-tenant sign is not in the best spot and if the new sign is allowed it could open it up for other signs. Hussinger said it would be ok to approve a smaller sign, and Pfannerstill said he is open to allow the bottom one even if they are still working on the west one. It was suggested that the Hartland Chamber of Commerce talk to the BID.

Motion (Wallschlager /Hallquist) to approve the exterior lower (eastern) sign with the west sign being turned over to the owner for a sign plan. Carried (5-0).

3. Architectural Board review and consideration of a detached garage on the John Lange property located at 757-759 Penbrook Way.

The detached garage will be 22 x 22 ft with a 24 x 24 overhang in the southwest corner. It will have a gable roof line, and the colors of the exterior will match the existing structure. They are

not planning on putting in a driveway this year because of cost consideration but plan to do it next year. Pfannerstill asked if they plan on putting in the driveway within a year and they said yes. Driveway will be an extension and come off of the existing driveway. The garage will be used for storage for tenants, and Hussinger pointed out that the garage must be used for storage for someone that occupies the building. Administrator Cox said he received a call from a neighbor, Mr. Hubert who wanted it conveyed to the Plan Commission that he said would rather see it as an attached garage vs a detached garage. Pfannerstill said the side yard should not be used as a driveway. Hussinger agreed and said it needs to be solid surface. Brief discussion on how the Plan Commission can ensure the driveway is installed within 12 months. deCourcy-Bower asked about the HOA, Hussinger said the petitioner would have to check with his HOA and it was pointed out that the Village Code does not supersede the HOA. Brief discussion on the HOA. Pfannerstill said it should be put in the minutes that the owner needs to check with the HOA and the Village standpoint is only to match our ordinances and that the owner should get a letter of approval from the HOA. Hussinger said the Plan Commission could approve it if the HOA acknowledges it, because everything appears to be in order. There was brief discussion on whether the HOA is still active. Hussinger said he would like to see a date put in for the driveway to be finished.

Motion (deCourcy-Bower /Hallquist) to approve the detached garage with the following conditions- the driveway being finished by August 1, 2019, it is verified by the Building Inspector and contingent on HOA approving the garage. Carried (5-0).

4. Architectural Board and Plan Commission review and consideration of site improvements for Bravo Company, 340 Maple Avenue including authorization for a wider drive opening.

Bravo Company is proposing to add gates across the entrances to prevent unauthorized vehicles from accessing the property and to widen the existing south entrance to the loading dock area to accommodate truck turning movements because currently trucks have difficulty making the turn. Hallquist said he received a call from a neighbor that said trucks are going from the North to the South on Maple in order to make the turn. The distance required to be away from the Railroad tracks was briefly discussed. deCourcy-Bower asked when they plan on installing the gate and it was stated that it is on the plan but won't be doing it this year that it would come next year. There was brief discussion on fencing. Hussinger reminded him the Plan Commission approval expires in 12 months.

Motion (deCourcy-Bower/Schneeberger) to approve the widening of the driveway and the concrete work but not the gates at this time. Carried (5-0).

5. Architectural Board review and Plan Commission consideration of a request for a Conditional Use for concrete crushing and other operations for Lafarge Aggregates/Meyer Material Co., 700 W. Capitol Drive.

Randy Willey explained that Lafarge Aggregate/Meyer Material Co acquired the property in the early 2000's when a previous company left the site. There are approx. 45 acres of formally mined out property there and over the years historically as a concrete batch company, there has been a stockpile of leftover concrete. They are requesting a Conditional Use permit to recycle the concrete on a temporary basis. They would do the crushing all in one shot and then look at distributing it out and then they would be done. He said it is a benefit to the site because that site will be a great redevelopment project. Mr. Willey was asked how long it would take from start to finish and he said maybe 6 months depending on the hours of operation. The hours they would like to work are M-F, from 7am-4pm and they will not be trucking in anymore concrete to crush. It will be mostly watered down and will be using a nomadic hammer to chop it up with the decibels being 68-70. There is also an approximate 50 ft. high wall and the hammer would be sitting on the floor. There was brief discussion about if it would be possible to change the time of operation to 8am-5pm.

Mr. Willey was asked about dust and he said there is a dust suppression system. There was brief discussion on noise and Hussinger said they can go with a 7 a.m. start time but if they receive complaints then he would enforce an 8am start time. Wallschlagler asked what the elevation of the floor is and Mr. Willey stated 18 ft. and the wall is twice that. Administrator Cox pointed out that the Village Code has performance standards and depending on the frequency of the sound there are standards they can't exceed and the number they gave seem to be below that. Administrator Cox said there is a Conditional Use permit there but no conditions were set because no one knows where that permit is. Administrator Cox said he gave them a list of conditions to look at and think about which include legitimize Ozinga's and Inter-con's presence there.

Motion (deCourcy-Bower/Schneeberger) to set a Public Hearing to be held at the regular Plan Commission meeting on July 16, 2018. Carried (5-0)

6. Plan Commission review and consideration of a request for a Planned Unit Development amendment for Riverwalk to allow not less than 3,000 square feet commercial space and six residential units or up to full commercial use in the mixed use building.

This is the Plan Commissions second review of the proposed amendment to the PUD. Administrator Cox handed out a last minute document from the Village Attorney and said the petitioner had some concerns over some of the language. He went on to say that what the attorney has suggested is the addition of some change drawings be attached to the PUD that would show basically what the 2 configurations of what the building will look like. He also said the one of concern is the additional suggested requirement in addition to periodic attendees of large events, that all employees be required to park over in the Village parking lot, and that was the piece that was of some concern.

Mr. Hodgson said it wasn't really an issue when they were talking the 1st floor having commercial space and the parking spots being used by the tenant and the commercial tenant. He said he isn't sure where that change came from, and it was the first they saw of it today and was hoping the

Plan Commission could answer that for him today. Administrator Cox said it came out of discussions with the Village attorney and Village Board over however many weeks in effort to try to address the underlying parking concern in the area. Mr. Hodgson then asked how does the Village decide who parks where on private property and Pfannerstill said there is a long history and obviously for all intent and purposes it is private property but also a big project with several players and the Village being one of them. He said there are a lot of moving parts here, one of them the way it was listed has a certain amount of parking and if it is all commercial it has a different amount of parking compared to if we went up to the 6 like it was built, that is a different amount of parking; at least based what is written on paper so that is where some of that is coming from. He went to say he didn't know how many units of the original PUD, not the way it was built but the original PUD, he thought it was 1.4 spaces per unit and he thinks that were that is coming from, and it is definitely a concern. Wallschlager asked what the square footage for office space on the 1st floor was, and was told 3000 sq. ft. is. She said with all the space added together the minimum needed would be 23.5 spaces and it already doesn't have enough parking.

Administrator Cox pointed out that the PUD agreement changes all of those standards and that the PUD agreement is a negotiated zoning for this property so you can't look at that and say it is already under the zoning code because the zoning code doesn't apply anymore. Wallschlager asked if they didn't need to follow the rules the village has in place. Administrator Cox said no because there is special zoning on the property and the Plan Commission would have to use its judgement in determining what should change here. He went on to say certainly if there were a change in the density of the parking, the Plan Commission would have to decide how to address that. He said but overall the parking has been granted a variation or variance on the site.

deCourcy-Bower said specifically in the B3 zoning it references the intent is to have the Plan Commission use that kind of zoning as using the guidance of the downtown revitalization plan and in that plan it talks about a parking strategy and it talks how the village should implement that parking strategy. It specifically says there is more than enough parking for on and off street parking to meet the needs of current and additional uses of the Village center. He went on to say that it also talks about how some proposed uses of the property have been denied because there was insufficient off-street parking & onsite to meet the requirements of the zoning code for off-street parking. He said the whole intent of the parking strategy of this plan was to leverage the concept of shared parking to fulfill the needs of not only of whatever the redevelopment of the village is going to occur but to also best leverage the municipal parking lot that is available. And the reason they recommended putting in the bridge was to make sure people could get from the municipal parking lot that was underutilized to the property. deCourcy-Bower then said to address Mr. Hodgson's question about it being private property he said, yeah it is private property but it is also designed to be part of a broader concept of shared parking that has been designed and laid out within the village so it's not just these spaces, we are ultimately trying to get to a point where there is a continuous shared parking lot behind those buildings.

deCourcy-Bower went on to say the language that was inserted that required all employees and attendees to park in the municipal lot was a little stricter and wondered if it couldn't be capped at a certain number.

Rick Stallé of Keller Williams was present and asked to speak for a few minutes. He passed out a document to the Plan Commission. He said on pg. 1 of the document is what is logged in the PUD and said they didn't get involved until April of this year. On pg. 2 he said are the plans that were originally approved along with the parking agreement.

He said pg. 3 contains the approval for the 2nd floor and what was approved for the first floor. He said lease able space on the first floor was approx. 3400 sq. ft. and approx. the same on the 2nd floor. He said they got involved in early April.

Mr. Stallé said they want to come into Hartland, help grow the downtown and bring a lot of people in from all over the country. They want to do here what they have done in Whitefish Bay and New Berlin. He went on to say no one knew in 2015 and maybe the Plan Commission in 2015 didn't know that Keller Williams was the fastest growing real estate company in the country was going to come knocking on the door. He said conceptually to have the 2nd floor use as commercial or residential is a benefit to Hartland. He said why restrict the use is point number 1, they are asking for full commercial use of the building. He then commented on the sentence that was changed and that the sentence won't allow them to park on the parking spaces in the PUD original plan because it says they would have to park in the village's municipal lot. He went on to say with the way it is written they would probably back out of the project, because what that sentence says is they will not be allowed any parking on the private party that they are trying to negotiate a lease for and that all of their parking would have to take place in the municipal lot. He said he didn't know if there was a Plan Commission meeting this weekend where this changed, but he would like to see memo's between Village board members and village attorney, between when the packet that came out on Friday and this sentence was changed at 11 this morning. Mr. Stallé said the sentence is burdensome and restrictive, more restrictive as it is currently written than the original PUD had on pg. 1 when there was zero parking.

Brief recess taken from 8:10-8:14.

Mr. Stallé commented again on the sentence regarding the parking and how he really takes issue with it, and then turned it over to Bruce Gallagher from Keller Williams. Wallschlager asked who changed the sentence and Administrator Cox said it's a comment that came from the attorney's office and he passed it on.

Bruce Gallagher said they are really excited to bring this into Hartland, after looking at several different areas this is where they want to be and parking appears to be a hang-up. He said as Mr. Stallé stated they can't operate and expect people in all kinds of weather and everything to always park far from the building. He said he has driven thru several times in the last month during the day and the parking lot seemed to have a lot of spaces open. Wallschlager commented how she has seen no parking spaces before. He commented on the coming and going of the agents and how they don't need a large number of spaces but to have absolutely none they can't operate like that.

deCourcy-Bower said the concept has always been a continuous parking lot, a shared parking lot but doesn't want to see one company impacted by another regarding the parking. He went to say

from his perspective he feels there is plenty of parking and thinks the way it is written right now doesn't make sense.

Pfannerstill spoke a few minutes on the bridge being built and how a lot has changed since 2014. He pointed out that since the beginning people have worried where they are going to park. He said with what the attorney sent over there was no meeting he was involved other than a meeting on conception of parking behind all the areas on E. capitol, but when it comes to board discussion he himself was not in any discussion to take it away from Keller Williams or anything of that matter. He went on to say there are other issues even based on the codes that were adjusted, when there were 3 units upstairs and full commercial downstairs that was the proper amount of parking spaces. He said it was then changed to 1 unit downstairs and 5 upstairs and to increase it by 3, it short some spaces. However it never came before the Plan Commission and approved, and that is how it was built with 5 units upstairs.

deCourcy-Bower wanted to clarify he said it was discussed at the Plan Commission as a concept plan. He said they did see a plan that showed the change to from the 3 units upstairs because there was an ADA requirement, that required 1 unit to be downstairs, and then the developer at the time said there was more of a market of smaller units in that kind of building so they showed the Plan Commission the plan for the 5 or 6 upstairs. He said so they did see it and there were a whole bunch of other discussions going on at that time, and said he doesn't think they took formal action on it now that he is thinking about it. But he said the point is the general agreement during that concept review that the concept was ok from the Plan Commission perspective. Wallschlager asked, but it wasn't voted on? And deCourcy-Bower said correct.

Pfannerstill said we have that going on and there are some inside that Village that aren't a big deal and there are others that say it has to be voted on by the Plan Commission and go before the Plan Commission and Village Board several times. Pfannerstill said mistakes do happen but they need to be addressed. He said at the last meeting was the first he had heard that there was a problem with the PUD and is doing the best he can to address it with the village board. He said with the attorney sending over the letter, he is not sure about that but can only speculate. He said if the letter came when it came, he is guessing it was included to provide as much information could be put forth to everyone as possible.

Wallschlager asked if it came through as a result of a conversation with the Administrator or did he call. Administrator Cox said it was recommended based on conversations the Village attorney had individually with one or more trustees, the requirement of specifically as it relates to employees, he said that is where it came from. He said it can go away, it doesn't need to be there, and the Plan Commission has heard some support of taking it out. It a fairly onerous requirement and it wasn't by any accident it was sent to you at time it went out.

Stallé brought up that the agenda item made no mention to the word parking it just stated commercial use, and felt that may be the majority of what is discussed tonight.

He said procedurally the village has this situation to clean up how the PUD language went from where it was to where it is now, he then asked if that had a direct impact on Keller Williams getting approval for what they are looking for and what they need, he said that sounds like that has a life of its own. Pfannerstill said he will be requesting from the board that it be separated and said he wanted to look into. He said mistakes happen, it does so happen when they came before the

board they increased the unit, McCormick came before the Plan Commission and it was only for discussion so it was not voted on. He said some may say that is enough to hold it legally binding some may say it is not, Pfannerstill said he is more for the procedures it should go through and voted on. Pfannerstill said also that what was in that discussion that is not being talked about is when McCormick came forward or whoever the person was, what spurred it on was the fact that they realized their attorney's made the mistake which is in the minutes from that meeting that realized that they needed an elevator if they didn't change it and that is what spurred it on. He said it wasn't about the market, or for example after a CMA is done, the real truth is that an elevator needed to be put in and it was cost prohibited.

deCourcy-Bower said his recollection of that was that they had Scott Hussinger the building inspector reach out to the state to see whether the need for a ground ADA unit was necessary unless it could be covered by the fact that right next door within the same 2 buildings in the same development you have plenty of ADA accessible units, and Hussinger said it came back no, and deCourcy-Bower said so you have to have that lower unit. Stallé pointed out the diagram that on the last page of their submission if the plan commission choses to keep with the original PUD with 3 units. He said if you look at the 3 highlighted units, their intentions subject to state and municipal approval is to preserve in its entirety 3 residential units that they will convert for commercial office suites. So even if they were to leave 7 years from now, there will be 3 units there. There are currently 5 units there and their plan is to go in and take walls down and it will remain with 3 units. Pfannerstill it would be part of the agreement that the units be put back together. There was discussion on the 3 units, ADA requirements and if uses could be restricted. Discussion on the deadline dates in the original PUD.

deCourcy-Bower pointed out the issues:

1. Parking
2. Commercial on 2nd floor changing it from residential to commercial
3. Is the Plan Commission supposed to rely on the zoning code permitted uses or the guidance provided in the downtown revitalization plan?

On issue number 3 Administrator Cox said there is no absolute there, it can go either way, and rely on one or the other. Stallé asked what they can do to move this along so they can find a home.

There was more discussion on the parking and the original 24 spots on the plan.

Stallé said let it be on record that they would be willing to share the parking spots.

deCourcy-Bower read a section from the plan from 2007 regarding parking and discussion continued on parking and shared parking.

Discussion also occurred on letting attendees of events know there is municipal parking across the bridge.

There was discussion on scraping what came from the attorney's office today and keeping the original language.

Motion (deCourcy-Bower/Hallquist) to recommend approval of the changes to the PUD agreement as presented in version sent by the Attorney with modifications to revert back to the

original language for the parking with exception of and including the location of the parking lot at 142 North Ave and the drawings to be included. Carried (4-1). Wallschlager opposed.

7. Select Plan Commission member representative to the Comprehensive Planning/CORP Updated Steering Committee.

Pfannerstill nominated David deCourcy-Bower.

Motion (Wallschlager/Pfannerstill) to approve David deCourcy-Bower as Plan Commission representative to the Comprehensive Planning/CORP Updated Steering Committee. Carried (5-0)

8. Adjourn

Motion (Hallquist/Schneeberger) to adjourn. Carried (5-0). Meeting adjourned at 9:07 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bush y, Deputy Clerk

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 780 Tenny Ave			
Lot	Block	Subdivision	Key No. HAV
Owner FIRST BAPTIST CHURCH INC OF HARTLAND WISCONSIN			Phone
Address 780 Tenny Ave		City Hartland	State WI Zip 53029
Contractor Innovative Signs		Phone 262-432-1330 FAX 262-432-1331	E-Mail Address office@innovative-signs.com
Address 21795 Doral Rd Suite B		City Waukesha	State WI Zip 53186

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is on the **SECOND MONDAY** of the month at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

Commercial/Industrial/Multifamily:

- Three bound sets of plans (one of the sets must be reduced to a maximum size of 11" x 17"). Plans must show all sides of building, materials and colors, exterior HVAC locations, appearance, and dumpster location.
- Three site plans. Plans must be dimensioned.
- Three landscape plans.
- Three exterior lighting plans. Include type, location, number and wattage of fixtures.

Signs:

- Three renderings (one of the renderings must be reduced to a maximum size of 11" x 17"). Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Three site plans. Not required for wall signs. Plans must be dimensioned.
- Three sets of lighting details. Include type, location, number, and wattage of fixtures.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 780 Tenny Ave **TAX KEY #** _____
OWNER FIRST BAPTIST CHURCH INC OF HARTLAND WISCONSIN **PHONE** _____
ADDRESS 780 Tenny Ave **CITY** Hartland **STATE** WI **ZIP** 53029
CONTRACTOR Innovative Signs **PHONE** 262-432-1330
ADDRESS 21795 Doral Rd Suite B **CITY** Waukesha **STATE** WI **ZIP** 53186

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

FIRST BAPTIST

OF HARTLAND

Sunday Morning Worship: 10:00 a.m Wednesdays Bible Studies: 6:30 p.m- Digitally Printed

OVERALL DIMENSIONS OF SIGN Top Portion: L48" x H 24" (Background) Sensational Sand: SW6094
Bottom: L48" x H4" **COLOR OF BACKGROUND** Burgundy SW6300
SIZE OF LETTERS IN INCHES FIRST BAPTIST- 4" OF HARTLAND- 3"
SUNDAY MORNING LINE- 1.5" **COLOR OF LETTERS** Dress Blue SW9176

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
HDU, Dibond, Vinyl

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 3,494.00

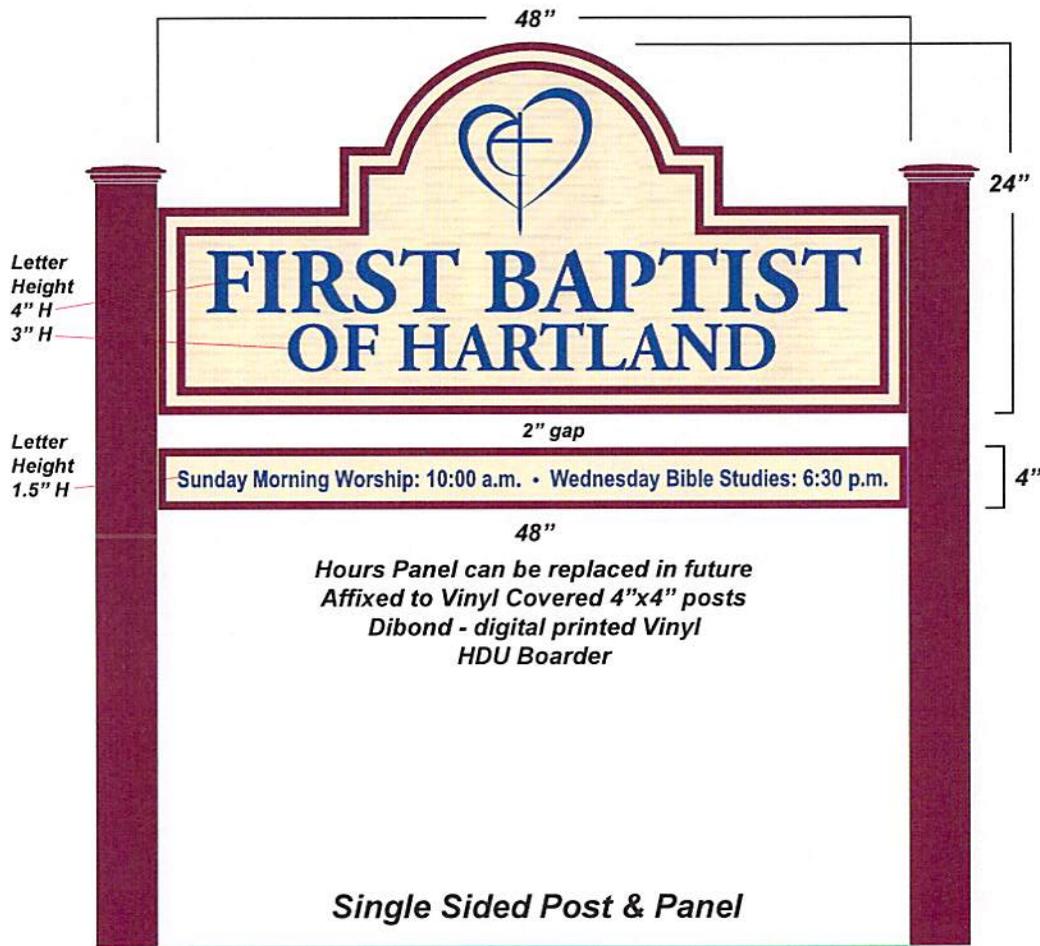
TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Nicole Simmerman **DATE** 07/06/2018

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ **DATE** _____

TOTAL FEES: _____ **DATE PAID** _____ **RECEIPT #** _____



HDU Panels 1" thick
Main panel has wood texture
■ Raised ■ Lowered



www.innovative-signs.com

Client

First Baptist of Hartland

EST/INV #

#EST-620

Size

See Above

Quantity

■ 1 □ 2 □ 3 □ 4 □ 5 □ 88

Materials & Specs

HDU Post & Panel
4'x4' posts vinyl wrapped w/ Caps

Hours panel is HDU Boarder with Dibond digital print Vinyl

Colors

- Dress Blues - SW 9176
- Burgundy - SW 6300
- Sensational Sand - SW 6094

Revisions

- REVISION
- REVISION
- REVISION
- REVISION
- REVISION

Representative

Michelle H.

Designer

Michelle Hunt
Date: 6-10-18

REC'D AS S 00°13'00" W
S 00°26'04" E
WEST LINE HIGHLAND HEIGHTS

877.80'
877.425'
647.475'

PROPERTY LINE

ARC 103.844'
CHD 101.833'
BRG N 71°03'12.5" W
RAD = 151.892°
I = 39°10'17"

S 89°21'39" W
13.825'

SETBACK LINE

EXISTING GARAGE
EXISTING RESIDENCE

PROPOSED ADDITION
905.6 (100'-0") FIRST FLOOR ELEV
943.6 (89'-0") LOWER LEVEL ELEV

EXISTING CHURCH
985.6 (100'-0") FIRST FLOOR ELEV
944.9 (89'-4") LOWER LEVEL ELEV

TOTAL PARKING
81 STALLS

LINE OF FUTURE PARKING
(ADDITIONAL 45 STALLS)

LINE OF EXISTING
ASPHALT TYPICAL

M 51°28'04" W
REC'D AS N 80°30' W
TENNY AVENUE
CONCRETE CURB & GUTTER & ASPHALT PAVEMENT

330.491'
317.77'

LOCATION
OF SIGN
(replacing existing sign)

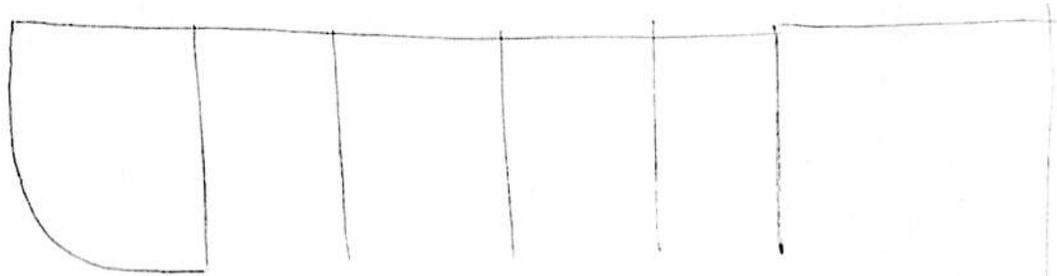
SITE STATISTICS:

TOTAL SITE AREA: 282,454 S.F.
TOTAL EXIST. IMPERVIOUS AREA: 8,243 S.F.
TOTAL NEW IMPERVIOUS AREA: 51,544 S.F.
TOTAL SITE IMPERVIOUS AREA: 59,787 S.F.
LOT COVERAGE: 21%

EAST LINE THE WOODLANDS OF HARTLAND

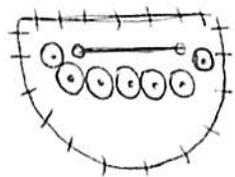
SUBDIVISION MONUMENT
SIGN EASEMENT (42'x42')

Church Building



Property Entrance

Property Exit



side walk

Tenny Ave

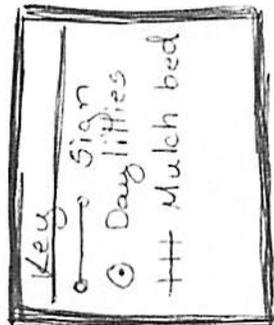




Image capture: Oct 2012 © 2018 Google

Hartland, Wisconsin



Google, Inc.

Street View - Oct 2012



TODD BEILKE
RENEE BEILKE
231 HIGHLAND AVE
HARTLAND WI 53029

ANDREW G GLEISNER
CARRIE A GLEISNER
704 TENNY AVE
HARTLAND WI 53029

ANDREW M HETTWER
MILENA HETTWER
823 E CAPITOL DR
HARTLAND WI 53029-2209

CHRISSTOPHER SACHARSKI
LISA SACHARSKI
815 E CAPITOL DR
HARTLAND WI 53029

CHRISTOPHER J LEAMAN
ANDREA M LEAMAN
237 HIGHLAND AVE
HARTLAND WI 53029-2225

CRAIG T STEFAN
JAMIE M PANTON
149 HIGHLAND AVE
HARTLAND WI 53029

DEAN RINDAHL
THERESE RINDAHL
727 E CAPITOL DR
HARTLAND WI 53029

DOUGLAS A BOVA
AMY C BOVA
745 TENNY AVE
HARTLAND WI 53029-2235

DUANE HACHTEL
LINDA HACHTEL
771 TENNY AVE
HARTLAND WI 53029

FIRST BAPTIST CHURCH INC OF
HARTLAND WISCONSIN
780 TENNY AVE
HARTLAND WI 53029-2236

FRED BOMBERG SR
MARY BOMBERG
209 HIGHLAND AVE
HARTLAND WI 53029

GLENN DURANT JR
PAMELA DURANT
715 E CAPITOL DR
HARTLAND WI 53029

G MDF TRANSITION TRUST
134 TERRACE LN
HARTLAND WI 53029

HANSEN TRUST
217 HIGHLAND AVE
HARTLAND WI 53029

HARTLAND/NASHOTAH LLC
W312N6422 BEAVER LAKE RD
HARTLAND WI 53029-9761

HOSTAVISTA LLC
32289 W OAKLAND RD
NASHOTAH WI 53058-9726

JEANNE E CALHOUN
733 E CAPITOL DR
HARTLAND WI 53029

JEFFREY ROLERAT
LAURA ROLERAT
145 WOODLANDS CT
HARTLAND WI 53029

JOHN WARDMAN
225 HIGHLAND AVE
HARTLAND WI 53029

JOSEPH NIEMCZYK
CAROL NIEMCZYK
119 HIGHLAND AVE
HARTLAND WI 53029

JOSEPH W MICALE
ALEXIS M MICALE
148 WOODLANDS CT
HARTLAND WI 53029

KATHLEEN A RICHARDSON
127 HIGHLAND AVE
HARTLAND WI 53029

KIM L KLAWITTER
807 E CAPITOL DR
HARTLAND WI 53029

LEONARD J OSTOPOWICZ
135 HIGHLAND AVE
HARTLAND WI 53029

LINDA M ZWIEG
763 TENNY AVE
HARTLAND WI 53029

M & V 2015 LIVING TRUST
721 E CAPITOL DR
HARTLAND WI 53029-2207

MARK MCCORMACK
GEORGIA MCCORMACK
800 TENNY AVE
HARTLAND WI 53029

PATRICK DRAKE
ROBIN R BROOKS-DRAKE
703 TENNY AVE
HARTLAND WI 53029

PETER G HOHM
LINDA SUE HOHM
141 HIGHLAND AVE
HARTLAND WI 53029

SCOTT NUGENT
HEIDI NUGENT
146 WOODLANDS CT
HARTLAND WI 53029

STEPHANIE HARTIG
820 TENNY AVE
HARTLAND WI 53029-2238

THOMAS A STEFAN & ROBIN R
STEFAN 2013 LIVING TRUST
203 HIGHLAND AVE
HARTLAND WI 53029-2225



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 327 Lawn Street			
Lot	Block	Subdivision	Key No. HAV 0427959
Owner Ed Lentz		Phone 414-235-1354	
Address 327 Lawn St		City Hartland	State WI Zip 53029
Contractor Owner	Phone	FAX	E-Mail Address lentze@gmail
Address		City	State Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

Items Selected:

Hip roof w/ 4/12 pitch, Standard Trusses 2' O.C.
Truss Design Location Zip Code: 53029
2x6 Wall Framing Material
24' Wide X 30' Deep X 9' High

7/16" OSB Wall Sheathing
Tyvar Housewrap
24" overhang
1/2" OSB Roof Sheathing
StormMaster Shake, Weathered Wood Shingles
4' Shingleover Ridge Vent

Snow White Fiber Cement Overhead Door Jamb, 15yr.

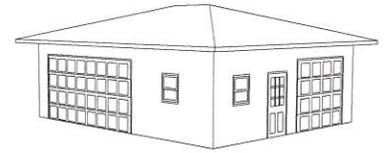
Options Selected:

The options you have selected are:
Deck Defense Synthetic Underlayment
2 Rows Granular Ice & Water Barrier
Truss Spacers
Standard Concrete Blocks
Anchor Bolts
1 - 9x8 Overhead Door - MDP68-W1 EZ Set
1 - 36x80 Service Door - I4 9-Lite 2-Panel LS
1 - 16x8 Overhead Door - Premium RP MDP38 EZ Set
3 - 30x36 Window - White Vinyl Single Hung

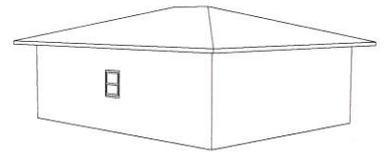
To match house

*Conquest Monterey Vinyl siding to match house
Soffit & Fascia - Aluminum sand to match house*

Front View



Back View

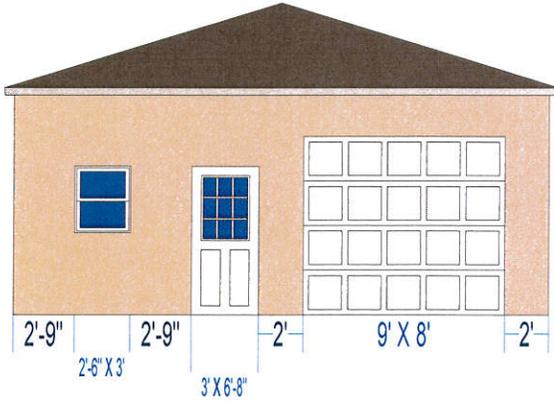


*** Take this sheet to the Building Materials counter to purchase your materials. ***

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUE. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

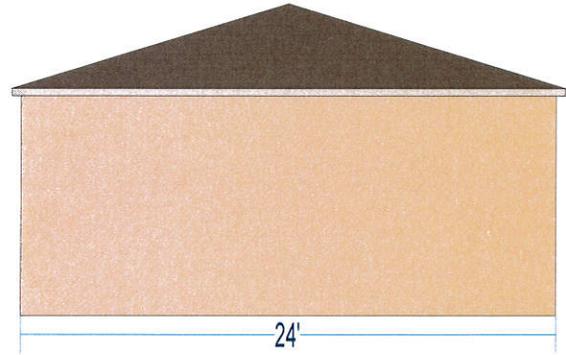
*** Here are the wall configurations for your design.

Illustration May Not Depict All Options Selected

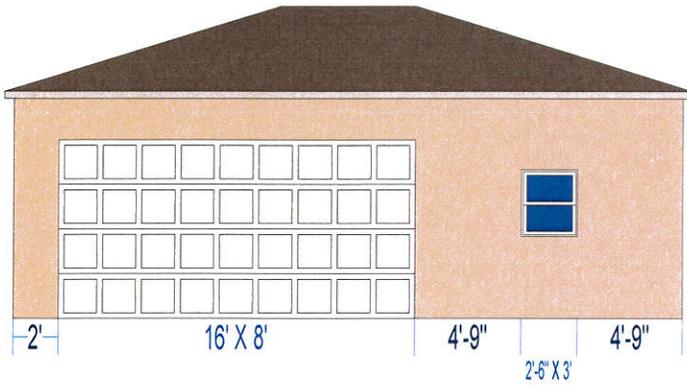


Gable Front View

- (1) - SINGLE HUNG (GOOD) 30X36
- (1) - I-4 9-LITE TRAD 2-PNL PH 36X80 LH SN
- (1) - INSULATED GARAGE 9X8 MDP68-W1 EZSET WHITE WINDCODE

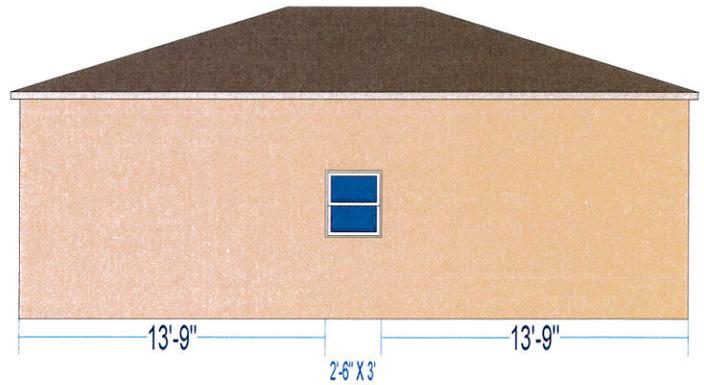


Gable Back View



Eave Front View

- (1) - GARAGE DOOR WHITE PREM R/P MDP38 16X8 EZSET TORS
- (1) - SINGLE HUNG (GOOD) 30X36



Eave Back View

- (1) - SINGLE HUNG (GOOD) 30X36

Building Size: 24 feet wide X 30 feet long X 9 feet high

Approximate Peak Height (includes 1 row of concrete blocks): 14 feet 0 inches (168 inches)

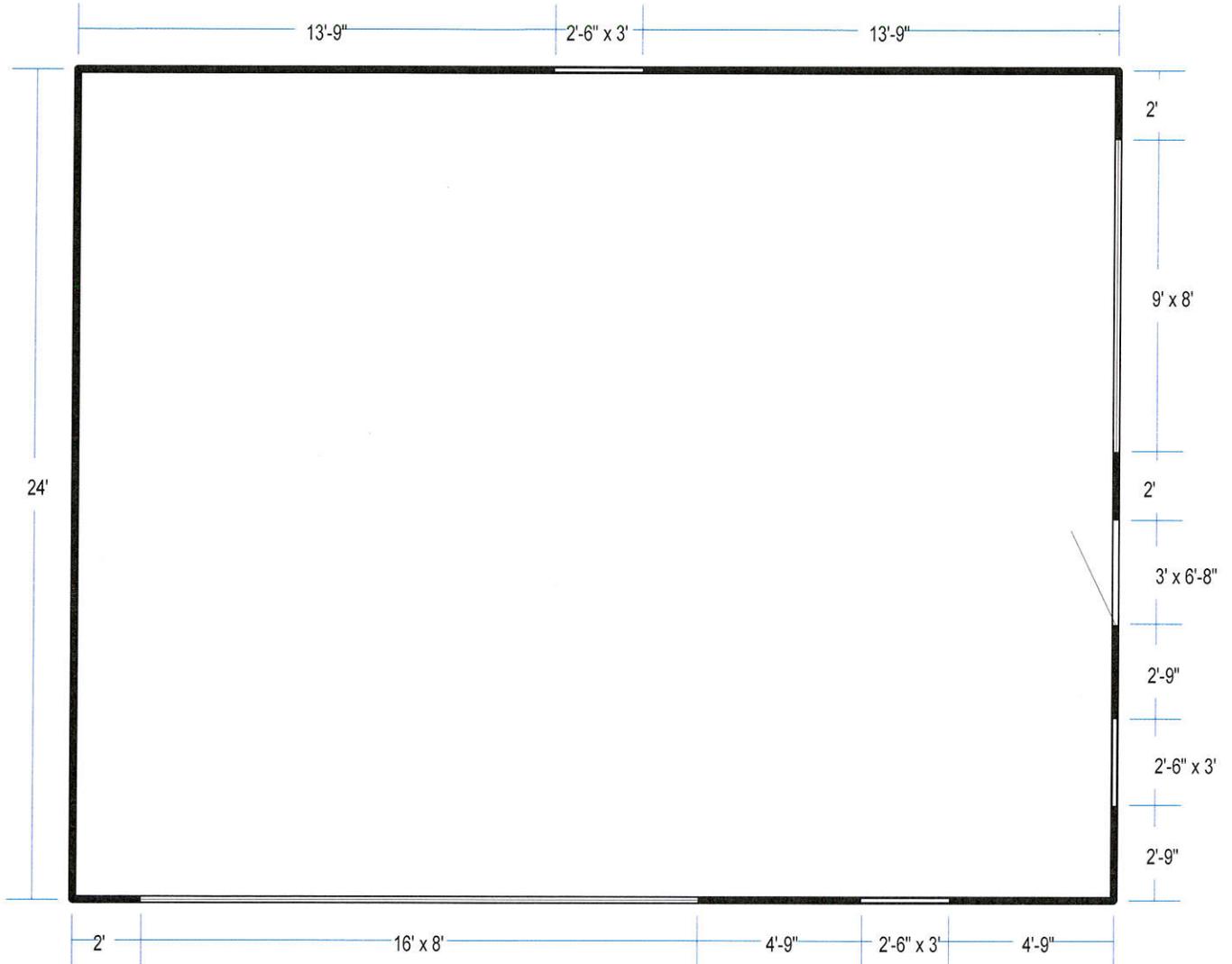
NOTE: Overhead doors may need to be "Wind Code Rated" depending on your building location.

Confirm the door requirements with your local zoning official before construction.

Menards-provided material estimates are intended as a general construction aid and have been calculated using typical construction methods. Because of the wide variability in codes and site restrictions, all final plans and material lists must be verified with your local zoning office. Menards is a supplier of construction materials and does not assume liability for design, engineering or the completeness of any material lists provided. Underground electrical, phone and gas lines should be located and marked before your building plans are finalized. Remember to use safety equipment including dust masks and sight and hearing protection during construction to ensure a positive building experience.

*** Floor Plan.

Illustration May Not Depict All Options Selected



Building Size: 24 feet wide X 30 feet long X 9 feet high

Note: Wall construction is 2x6 @ 16" on center

LAWN ST

112.00'

100'

70.0

144.20'

144.48'

144.35'

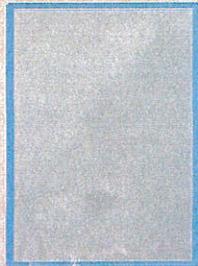
LO CSM

LO

100.42'

70.0

38.40' >



New proposed garage location.
5'± from lot lines.

Village of Hartland



Village of Hartland

210 Cottonwood Ave
Hartland, WI 53029
262-367-2714

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Hartland does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 27'

Print Date: 6/16/2018

TODD A ECKHART
337 E CAPITOL DR
HARTLAND WI 53029-2107

BENJAMIN LYONS
CANDIDA LYONS
123 CHURCH ST
HARTLAND WI 53029

BRICK LAWN LLC
231 LAWN ST
HARTLAND WI 53029-1705

CHARLES OCONNOR
331 E CAPITOL DR
HARTLAND WI 53029

DIANE J BIERMAN
204 NIXON AVE
HARTLAND WI 53029-1711

EDWARD LENTZ JR
CAROLYN LENTZ
327 LAWN ST
HARTLAND WI 53029

FIRST CONG CHURCH
PO BOX 568
HARTLAND WI 53029-0568

HELMUT KEIDL
ROBERTA KEIDL
131 NIXON AVE
HARTLAND WI 53029

JACOB R ZUEHL
JENNETT M ZUEHL
306 LAWN ST
HARTLAND WI 53029-1708

JAMES MARSCHALEK
COURTNEY MARSCHALEK
210 NIXON AVE
HARTLAND WI 53029

JEAN BERENDES
345 E CAPITOL DR
HARTLAND WI 53029

JEFFERY L HEIMSCH
LAURA J HEIMSCH
129 CHURCH ST
HARTLAND WI 53029

JOHN R STCLAIR
334 LAWN ST
HARTLAND WI 53029

JOINT SCHOOL DISTRICT NO 3
651 E IMPERIAL DR
HARTLAND WI 53029-2699

KEVIN LINDNER
LINDA LINDNER
120 NIXON AVE
HARTLAND WI 53029

KEVIN MCCLOUD
MEGAN MCCLOUD
314 LAWN ST
HARTLAND WI 53029-1708

MARJORIE M PURGETT LIVING
TRUST
ROBERT J GOETZ
16780 WILD CHERRY DR
BROOKFIELD WI 53005

MARJORIE PURGETT TRUST
ROBERT J GOETZ
16780 WILD CHERRY DR
BROOKFIELD WI 53005

MARK A GAPINSKI
323 E CAPITOL DR
HARTLAND WI 53029-2107

MARY REDDY
130 NIXON AVE
HARTLAND WI 53029

MATTHEW D DANIEL
400 E CAPITOL DR
HARTLAND WI 53029-2202

MATTHEW J WILLERT
328 LAWN ST
HARTLAND WI 53029

PETER D GLOWINSKI
AMANDA R GLOWINSKI
230 LAWN ST
HARTLAND WI 53029

STEVEN & M B ECKELS TRUST
338 E CAPITOL DR
HARTLAND WI 53029

TERRY L STELPFLUG
AMY M STELPFLUG
W289N4795 WILD ROSE CT
HARTLAND WI 53029

THOMAS C COONS
1845 WOODFILL WAY
LOUISVILLE KY 40205-2433

THOMAS KLINK
SANDRA KLINK
318 LAWN ST
HARTLAND WI 53029

THOMAS M FLEMING
322 LAWN ST
HARTLAND WI 53029

THOMAS REIMER
JEANNE GEIGER REIMER
324 E CAPITOL DR
HARTLAND WI 53029

TIMOTHY ELEYET
GWEN ELEYET
340 LAWN ST
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>1100 Cottonwood Avenue Hartland</u>				
Lot	Block	Subdivision	Key No. HAV	
Owner <u>Cottonwood Dr LLC</u>		EMAIL <u>Derrante@Bridncom</u>	Phone <u>262 7900500</u>	
Address <u>3885 N. Brookfield Rd</u>		City <u>Brookfield</u>	State <u>WI</u>	Zip <u>53045</u>
Contractor		Phone	FAX	EMAIL
Address		City	State	Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Anthony Mase 7/5/2018

Date Applied: _____ Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

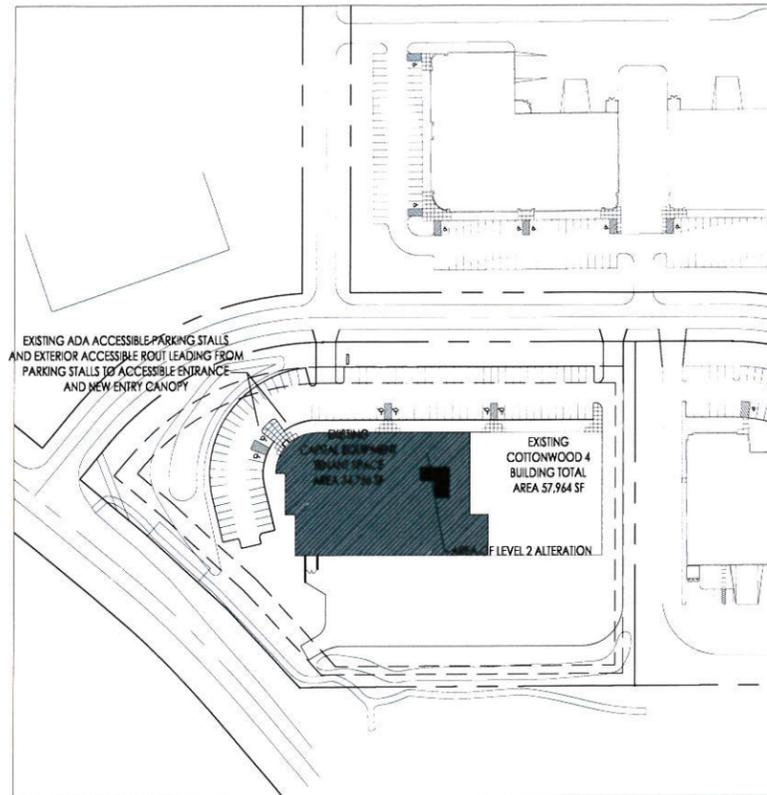
PROPOSED NEW ENTRY CANOPY FOR:

CAPITAL EQUIPMENT AND HANDLING, INC

1100 COTTONWOOD AVENUE
HARTLAND, WISCONSIN 53029



TITLE SHEET
WITH SITE PLAN &
OVERALL FLOOR PLAN



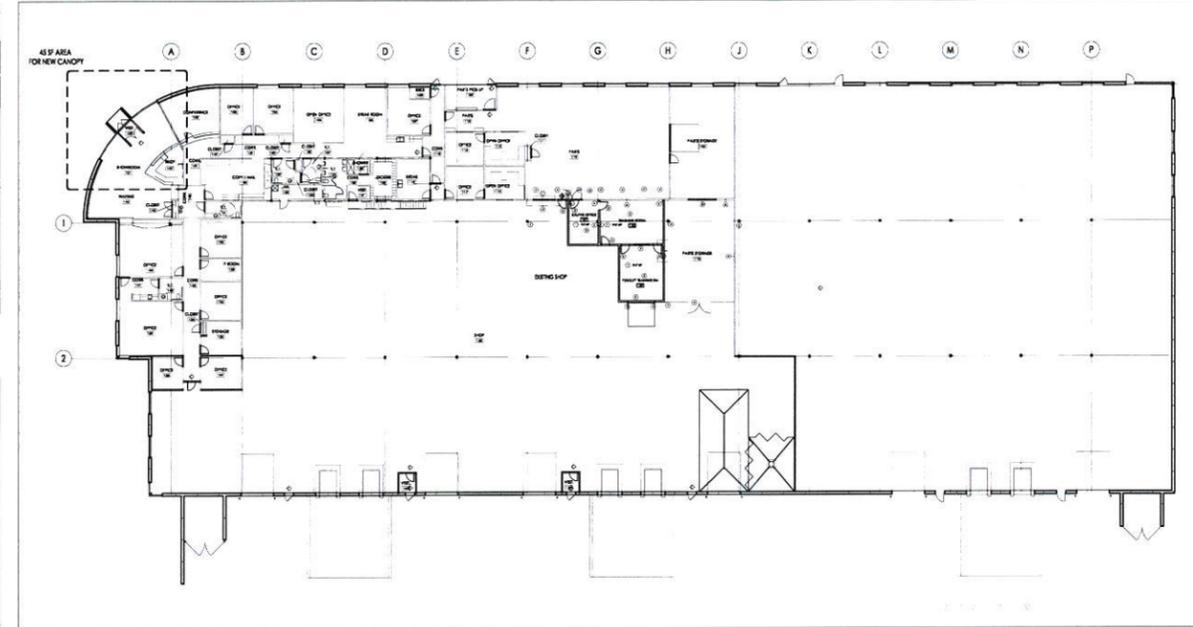
1 OVERALL SITE SCHEMATIC
1" = 100'-0"



ENLARGED PERSPECTIVE VIEW
LOOKING NORTH WEST



PERSPECTIVE VIEW OF ENTRANCE CANOPY
LOOKING NORTH WEST



2 OVERALL SCHEMATIC FLOOR PLAN
1" = 30'-0"

SHEET INDEX :

- T1.1 TITLE SHEET WITH SITE PLAN AND OVERALL FLOOR PLAN AND PERSPECTIVE VIEWS
- A1.0 ENLARGED FLOOR PLAN, ELEVATIONS, AND NOTES

ARCHITECTURAL REVIEW BOARD, PLAN REVIEW AND PERMIT SUBMITTAL
MAY 22, 2017

OWNER : BRIOHN PROPERTY MANAGEMENT TONY ASH 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	GENERAL CONTRACTOR : BRIOHN PROPERTY MANAGEMENT DAVID BEVER 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	ARCHITECT : BRIOHN DESIGN GROUP LLC DOMENICO FERRANTE AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
--	--	--



CODE CALCULATIONS AND ANALYSIS:

ALTERATION LEVEL:
OCCUPANCY CALCULATION:
OCCUPANCY S-1 MODERATE HAZARD STORAGE (PRIMARY)
500 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT
21,974 SQUARE FEET GROSS / 500 SQUARE FEET PER PERSON = 44 PERSON MAXIMUM

OCCUPANCY B BUSINESS (ACCESSORY) (LESS THAN 10 PERCENT OF MAIN OCCUPANCY)
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT
12,782 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 128 PEOPLE MAXIMUM

TOTAL OCCUPANCY = 172 PEOPLE MAXIMUM

PLUMBING FIXTURE CALCULATION:
BASED ON S-1 MODERATE HAZARD STORAGE OCCUPANCY = 172 PEOPLE

TOILET FIXTURES (WC) REQUIRED AND PROVIDED ARE AS FOLLOWS:
MEN 1 MEN + 1 FIXTURE (WC) REQUIRED AND 5 FIXTURES PROVIDED
WOMEN 1 WOMEN + 1 FIXTURE (WC) REQUIRED AND 2 FIXTURES PROVIDED

LAVATORY FIXTURES REQUIRED AND PROVIDED ARE AS FOLLOWS:
MEN AND WOMEN 2 LAVATORY FIXTURES REQUIRED AND 5 LAVATORY FIXTURES PROVIDED

EXIT WIDTH REQUIRED:
EXIT WIDTH REQUIRED 172 x .20 = 35 INCHES OR INCHES MINIMUM CLEAR X (2) EXITS
EXIT WIDTH PROVIDED (4) 36" WIDE DOORS x 34" = 204" WIDTH
TOTAL EXIT WIDTH PROVIDED OF 204" EXCEEDS REQUIRED EXIT WIDTH CALCULATED (35)
TOTAL NUMBER OF EXISTING EXITS PROVIDED (4) EXCEEDS THE NUMBER OF EXITS REQUIRED (3)

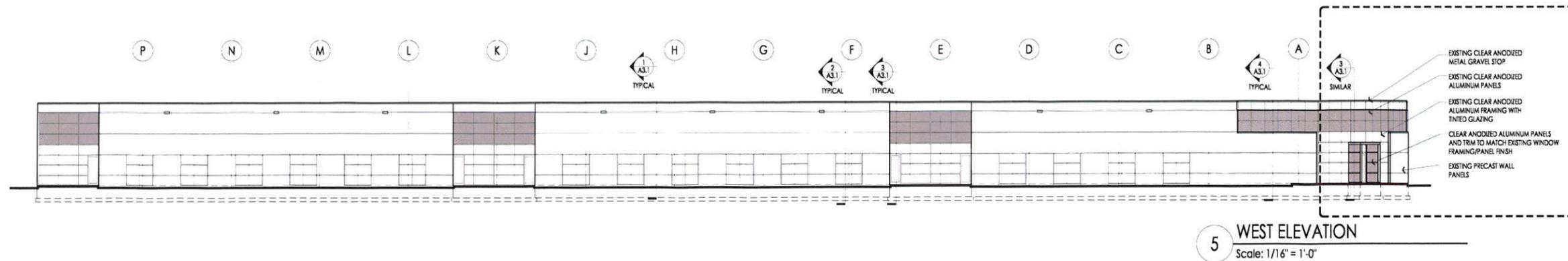
PROJECT INFORMATION:

CODE:	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2009, IECC 2009, IEBC 2009, IMC 2009 AND IFGC 2009) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	PRIMARY S-1 (MODERATE HAZARD STORAGE)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	NPFA 13 OVERALL
FLOOR LEVELS:	1
NUMBER OF STORIES:	1
TOTAL BUILDING AREA:	57,964 SF
TOTAL EXISTING TENANT AREA:	34,756 SF
TOTAL AREA OF CANOPY:	45 SF

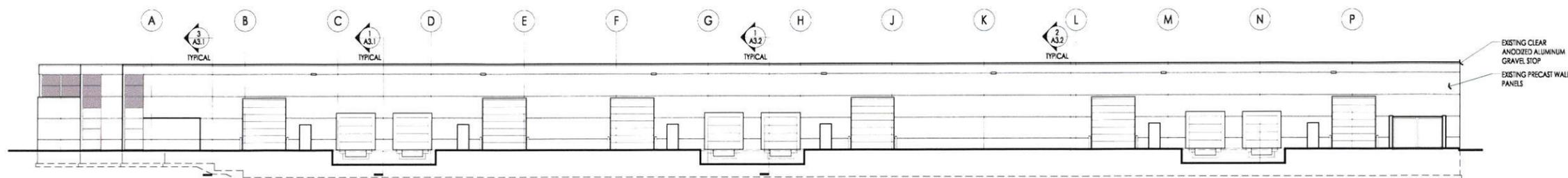
NOTE:
ALL MECHANICAL, ELECTRICAL, PLUMBING
AND FIRE SPRINKLER ENGINEERING BY
DESIGN BUILD CONTRACTORS.

JOB: 2915
DRAWN: DF
CHECKED: DF
DATE: May 22, 2017
SHEET:

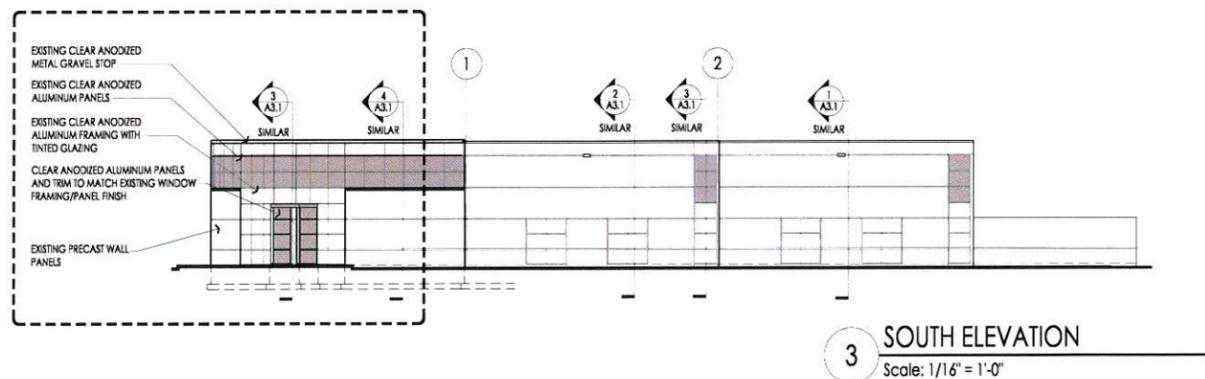
T1.1



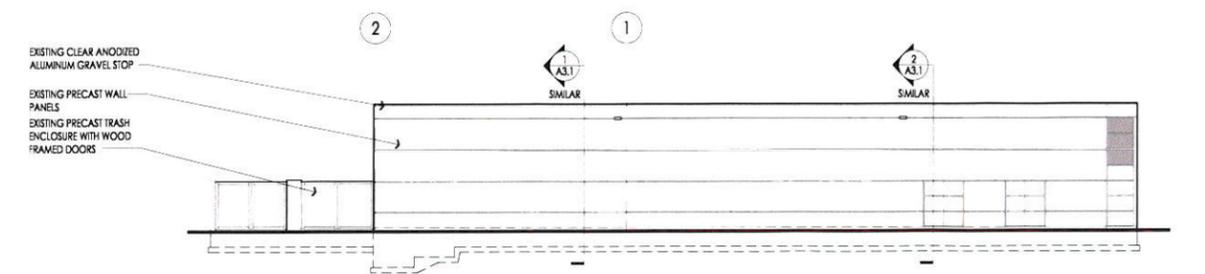
5 WEST ELEVATION
 Scale: 1/16" = 1'-0"



4 EAST ELEVATION
 Scale: 1/16" = 1'-0"



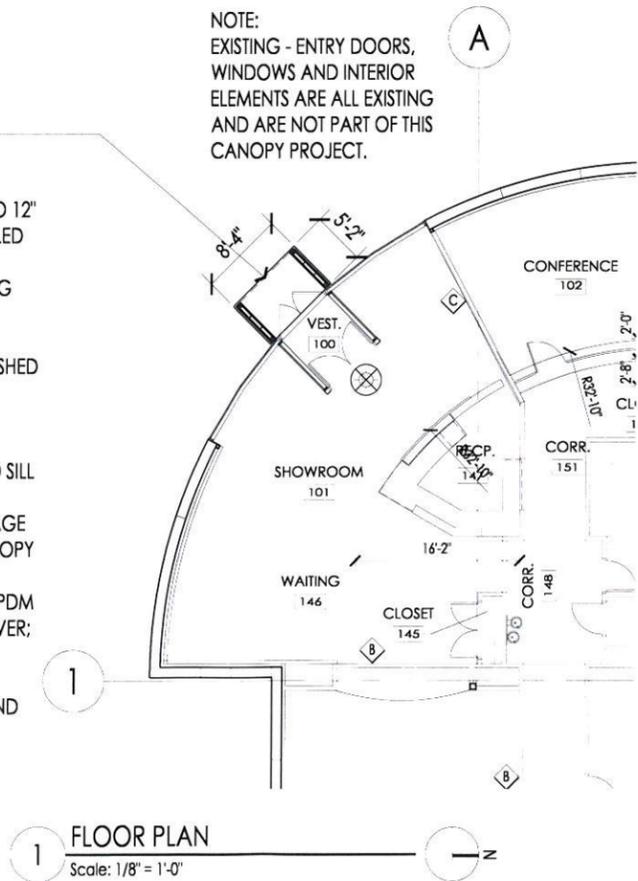
3 SOUTH ELEVATION
 Scale: 1/16" = 1'-0"



2 NORTH ELEVATION
 Scale: 1/16" = 1'-0"

NEW CANOPY CONSTRUCTION:
 4-3.5"x3.5" GALVANIZED COLUMNS ANCHORED TO 12" DIAMETER CONCRETE FILLED SONOTUBES 48" DEEP;
 LIGHT STEEL STUD FRAMING AND BRACING WITH CHANNELS TO SUPPORT SHEATHING AND PRE-FINISHED ALUMINUM PANELS FOR SIDEWALLS;
 PROVIDE PRE-FINISHED ALUMINUM CORNER AND SILL TRIMS;
 STEEL TUBE AND LIGHT GAGE STEEL FRAMING FOR CANOPY ROOF WITH STEEL DECK/INSULATION AND EPDM ROOFING FOR ROOF COVER;
 PROVIDE PRE-FINISHED ALUMINUM FASCIA, FLAT PROFILE SOFFIT PANELS AND SCUPPERS.

NOTE:
 EXISTING - ENTRY DOORS, WINDOWS AND INTERIOR ELEMENTS ARE ALL EXISTING AND ARE NOT PART OF THIS CANOPY PROJECT.



1 FLOOR PLAN
 Scale: 1/8" = 1'-0"

1115 COTTONWOOD LLC
C/O BRIOHN PROPERTY MGMT
3885 N BROOKFIELD RD STE 200
BROOKFIELD WI 53045-1983

CHAD D COOLEY
122 KESTREL WAY
HARTLAND WI 53029

CHRISTOPHER THEIS
112 KESTREL WAY
HARTLAND WI 53029-2914

ROBERT J ROTH
LAURIE J ROTH
101 TRAILS EDGE CT
HARTLAND WI 53029

COTTONWOOD IV LLC
3885 N BROOKFIELD RD #200
BROOKFIELD WI 53045-8364

DALE R HARPER
RHONDA J HARPER
110 KESTREL
HARTLAND WI 53029-2914

JAMES LECLAIR
LYNNETTE LECLAIR
103 TRAILS EDGE
HARTLAND WI 53029

JOHN R CONSIGNY
JENNIFER G CONSIGNY
114 KESTREL WAY
HARTLAND WI 53029-2914

NAOMI B BAUMAN
CLIFFORD P MARSON
105 TRAILS EDGE CT
HARTLAND WI 53029

LOT OWNERS OF RIVER RESERVE II
C/O JACK WENSTROM
PO BOX 82
HARTLAND WI 53029

MICHAEL J & CYNTHIA L TOMICH
REVOCABLE TRUST
116 KESTREL WAY
HARTLAND WI 53029-2914

TULSA INVESTORS LLC
C/O T5 REAL ESTATE SOLUTIONS
7475 HUBBARD AVE STE 202
MIDDLETON WI 53562-3146

NICHOLAS VENTO
KELLY VENTO
120 KESTREL WAY
HARTLAND WI 53029-2914

RICHARD F GORDON
118 KESTREL WAY
HARTLAND WI 53029-2914

TI INVESTORS OF HARTLAND LLC
710 N PLANKINTON AVE STE 1400
MILWAUKEE WI 53203-2418

CONDITIONAL USE PERMIT
**[Meyer Material/Lafarge Aggregates
700 W Capitol Dr]**
Document Title

Document Number

THIS CONDITIONAL USE PERMIT is hereby granted this 23rd day of July, 2018, by the Village of Hartland (hereinafter Village) to Meyer Material Company/Lafarge Aggregates (hereinafter “Grantee”) for the operation of **an aggregate and ready-mix plant, the operation of a temporary facility for the washing, refining or processing of rock, slate, gravel, sand and minerals and other related existing uses on the property under the general category of aggregate and ready mix plants** at the property located at 700 W Capitol Drive.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the “CUP”) pursuant to Sections 46-847 of the Village of Hartland Code of Ordinances for the operation of an aggregate and ready-mix plant at the property located at 700 W Capitol Drive, Hartland, Wisconsin, (the “Property”) more specifically described as:

Tax Key Nos. HAV 0730.985 and HAV 0730.987
Legal Description: See attached Exhibit A
Owned by Meyer Material Company
1300 S IL Route 31
South Elgin, IL 60177

Recording Area

Drafted By and Return Address
David Cox
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number

HAV 0730.985
HAV 0730.987

WHEREAS, the Property is located in the Q-1 Zoning District; and

WHEREAS, Section 46-624 of the Village of Hartland Code of Ordinances provides that aggregate and ready mix plants in the Q-1 District are conditional uses; and

WHEREAS, it has been determined that aggregate and ready-mix plants, the operation of a temporary facility for the washing, refining or processing of rock, slate, gravel, sand and minerals and other related existing uses on the property are uses under the general category of aggregate and ready mix plants in the Q-1 District and are, therefore, a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and the Plan of Operation for the existing and expanded facility along with any clarifications attached hereto as Exhibit B; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation for the existing and proposed facility and held a Public Hearing on July 16, 2018 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. Operation of the aggregate and ready-mix plant, temporary facility for the washing, refining or processing of rock, slate, gravel, sand and minerals and other related uses including vehicle storage and office operations related to the ready mix operation and a utility contractor consistent with the applicant's submissions and statements at public meetings except as modified by this Conditional Use Permit or directives of the Plan Commission or Village Board,
2. The crushing of spoil concrete and related materials that existed on the site as of the date of this Conditional Use Permit is authorized until May 31, 2019 for the hours of 7:00am to 4:00pm local time, Monday through Friday. No outside material shall be brought to the site to be processed in the crushing activity,
3. Shipping of crushed material may continue until such time as the materials processed under paragraph 3 above have been removed from the site,
4. Operation of the ready mix facility and the utility contractor may continue in a manner substantially similar to the operation as they existed on the date of this Conditional Use Permit,
5. No other uses shall be authorized for the site,
6. Operation of the site shall be limited to not more than 20 truck visits per day for the purpose of shipping crushed materials off site,
7. All traffic to or from the site shall access the site via W Capitol Drive directly to/from STH 83 only and no such vehicles shall approach or depart from the property east on W Capitol Drive or west on Vettelson Road,
8. Hours for receiving and shipping of products shall not exceed 6:00am to 10:00pm local time,
9. Any lighting associated with the operation shall be downcast type and shall be zero (0) foot-candles at the property line and such lighting shall be extinguished when operations for that day have ceased,
10. Employee parking related to the authorized use shall occur only in marked parking spaces on the site,
11. Noise and lighting related to the operation shall be maintained within standards identified in the Village Code,
12. A dust control systems and methodology shall be maintained on the site to ensure that products processed on the site and other dust from roadways or traffic areas do not become airborne,
13. No logos or branding nor other signage installed or modified on the site without appropriate approval from the Village,

14. Maintain facilities for the collection of trash and ensure that trash is contained within the site and no accumulations of trash occur on the site; and

WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use is in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to Meyer Material Company/Lafarge Aggregates, 1300 S IL Route 31 South Elgin, Illinois, 60177, for the operation of aggregate and ready-mix plants, the operation of a temporary facility for the washing, refining or processing of rock, slate, gravel, sand and minerals and other related existing uses on the property are uses under the general category of aggregate and ready mix plants at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Meyer Material Company/Lafarge Aggregates.
2. The business activities permitted hereunder are limited to the aggregate and ready-mix plants, the operation of a temporary facility for the washing, refining or processing of rock, slate, gravel, sand and minerals and other related uses.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate, in whole or in part, upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP; or
 - c. Upon revocation in accordance with the Village Code.
7. The operations allowed under this Conditional Use Permit may, at the Village's discretion and upon 90-days notice to the Grantee, be reviewed by the Village at any time to ascertain whether all conditions of this Conditional Use Permit are being met.

8. Notwithstanding the forgoing, this CUP is issued to Meyer Material Company/Lafarge Aggregates and shall expire or terminate as indicated above in paragraph 6 including cessation of operation by Meyer Material Company/Lafarge Aggregates.

This conditional use permit is hereby issued this 23rd day of July, 2018 subject to the conditions provided herein.

VILLAGE OF HARTLAND

Jeffery Pfannerstill, Village President

[VILLAGE SEAL]

Darlene Igl, MMC/WCPC, Village Clerk

EXHIBIT A

LEGAL DESCRIPTION

LEGAL DESCRIPTION HAV 0730985

PT NW1/4 SEC 3 T7N R18E COM INTERSEC WATERTOWN PLANK RD WITH W LI SEC 3 N ON SEC LI TO SW COR THIEL PROPERTY E TO SE COR THIEL PROPERTY S TO SW COR BLODGETT PROPERTY E TO W LI HANSEN PROPERTY S TO PLANK RD W TO BGN EX VOL 130/255 DEEDS EX VOL 262/613 DEEDS EX R79/579 ALSO COM 734.5 FT S & 1525.2 FT W OF N1/4 COR S 672.1 FT S76°27'W 315.9 FT N 748.5 FT E 306.6 FT TO BGN DOC# 2737667

LEGAL DESCRIPTION HAV 0730987

PT NW1/4 SEC 3 T7N R18E COM 705.37 FT W OF N1/4 POST W 819.53 FT S0°23'W 1118.17 FT N88°21'E 466.6 FT S0°47'W 234 FT N75°51'E 90.5 FT N65°44'E 281.9 FT N0°54'E 1200.91 FT TO BGN ALSO COM 1054 FT W 1104.26 FT S OF N1/4 POST S88°18'W 468.2 FT S 420.4 FT N74°42'E 325.19 FT N3°W 111.4 FT N87°E 124.3 FT N3°W 29.5 FT E 36 FT N 210.24 FT TO BGN ALSO COM 165 FT W OF N1/4 COR S 950 FT S60°15'W 610 FT N 1201 FT E 540 FT TO BGN EX VOL 181/108 DEEDS EX VOL 1210/246 DEEDS DOC# 2737667

EXHIBIT B

PLAN OF OPERATION AND CLARIFICATIONS

EXHIBIT B

AMENDED BUSINESS PLAN FOR CONDITIONAL USE APPROVAL LAFARGE AGGREGATES - CONCRETE RECYCLING PROJECT 700 W. CAPITOL DRIVE, HARTLAND, WI

Lafarge Aggregates Illinois, Inc. dba Lafarge Aggregates (via merger with Meyer Material Company) is requesting TEMPORARY permission to crush, stockpile and load recycled concrete for sale as construction aggregate in the Hartland area. The pile of remnant (hardened) concrete dates back to Tews Co. ready-mix operation prior to Meyer Material's acquisition in 2001.

The applicant wishes to contract with Ozinga Materials to install a portable crushing plant at the gravel pit floor and feed the crushing unit well below the surrounding neighborhood. The only material to be crushed will come from the stockpile on the property – nothing will be imported.

If approved, the applicant would likely crush all the materials in a 5 to 7 month period and then ship the aggregates via truck during seasonal demand periods. Truck loading would be permitted during the same hours as concrete batching at Ozinga Ready-Mix.

Equipment needs for concrete recycling includes a KPI 4250 track crusher, 80' stacking conveyor, 5 cubic yard wheel loader and an excavator with breaker attachment. The requested Hours of Operation for the recycling equipment would be 7:00am to 4:00pm, Monday through Friday, no Saturdays or Sundays.



Crushing and stockpiling would be located at floor elevation of old gravel pit



PETITION FOR CONDITIONAL USE
 \$150 REVIEW FEE DUE AT TIME OF APPLICATION
PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner	LAFARGE AGGREGATES / MEYER MATERIAL Co.		
Business Name	LAFARGE AGGREGATES		
Business Owner	LAFARGE AGGREGATES ILLINOIS, INC.		
Address	1300 S. ILLINOIS RT. 31, SOUTH ELGIN, IL 60177		
Contact Person	RANDI WILLE	Phone	847/417-2658
Key No. HAV	0730 987	Email	rtwille@meymaterial.com

The Plan Commission meets on the third Monday of the month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

PROPERTIES SURROUNDING REQUESTED USE INCLUDE:
* READY-MIX CONCRETE BATCHING, OUTSIDE MATERIAL STORAGE, VEHICLE MAINTENANCE BY OZINGA READY-MIX CONCRETE, INC.
* OFFICE, WAREHOUSING AND EQUIPMENT STORAGE BY INTER-CON CONSTRUCTION, INC.
* REQUEST TEMPORARY USE TO CRUSH REMNANT CONCRETE PILE

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature	Randi Wille	
Print Name	RANDI WILLE	Date
		5/25/18

OFFICE USE ONLY:

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

**Hartland Plan Commission
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Plan Commission.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants are encouraged to communicate with or meet with either the Building and Zoning Official or the Village Administrator prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.
4. Four (4) sets of bound site plans or application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
5. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
6. Additional information may be requested by the Plan Commission or Staff.
7. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
8. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

AMENDED BUSINESS PLAN FOR CONDITIONAL USE APPROVAL
LAFARGE AGGREGATES - CONCRETE RECYCLING PROJECT
700 W. CAPITOL DRIVE, HARTLAND, WI

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Crushing and stockpiling would be located at floor elevation of old gravel pit



Legend

Hartland Site Map
Concrete Recycling Operation

Approximate location of crushing equipment and recycled concrete stockpiles at former pit floor elevation

Material to be recycled for sale

Ozinga Ready-Mix Concrete Plant

Inter-Con Const. Office & Warehouse

ABIGAIL KUSH
MICHAEL G KUSH
901 HIDDEN VALLEY DR APT 12201
ROUND ROCK TX 78665-1499

ALEX LEYKIN
W188S7820 W RACINE AVE
MUSKEGO WI 53150

ALEX WAGNER
4875 EASY ST UNIT 9
HARTLAND WI 53029-1943

ALEXANDER ALLISTER
4887 EASY ST UNIT 10
HARTLAND WI 53029-1942

ALYCIA J WARD
4875 EASY ST UNIT 5
HARTLAND WI 53029-1943

AMANDA K KRIER
4821 EASY ST UNIT 11
HARTLAND WI 53029-1941

AMOL NANDKISHOR AGASHE
4887 EASY ST UNIT 2
HARTLAND WI 53029-1942

ANDREW ZIETLOW
KRISTIN ZIETLOW ET AL
4411 VETTELSON RD
HARTLAND WI 53029

ANTHONY J KLOTZ
KARRIE L KLOTZ
4887 EASY ST UNIT 14
HARTLAND WI 53029

ARLENE A MAYES
4875 EASY ST UNIT 8
HARTLAND WI 53029-1943

ASHLEY E PEIRICK
4887 EASY ST UNIT 6
HARTLAND WI 53029-1942

BADGERLAND INVESTORS LLC
PO BOX 259066
MADISON WI 53725-9066

BENJAMIN MERTENS
4835 EASY ST UNIT 14
HARTLAND WI 53029-1954

BRENT W YUNK
4821 EASY ST UNIT 14
HARTLAND WI 53029

BRIAN J BORKENHAGEN
4835 EASY ST UNIT 2
HARTLAND WI 53029-1954

BRIAN M AND PATRICIA A STIPPICH
2011 LIVING TRUST
4887 EASY ST UNIT 3
HARTLAND WI 53029-1942

BRIAN M GRAY
TINA WESTBERG
618 W CAPITOL DR
HARTLAND WI 53029-1925

BRIANA C BEAIRD
N77W22940 COLDWATER CIR
SUSSEX WI 53089

BRYAN E BAUMAN
1420 BLAZING STAR DM
OCONOMOWOC WI 53066-3552

CALVIN M AKIN
19105 W CAPITOL DR #200
BROOKFIELD WI 53045

CARRIE A SORG
W355S9330 BENNINGTON DR
EAGLE WI 53119-1609

CARRIE HAANSTAD
4863 EASY ST UNIT 3
HARTLAND WI 53029

CECELIA FAUSEL
4887 EASY ST UNIT 16
HARTLAND WI 53029-1942

CHAD D TORKEKELSON
4821 EASY ST UNIT 6
HARTLAND WI 53029

CLIFFORD R LOKER
4875 EASY ST UNIT 7
HARTLAND WI 53029-1943

COLLEEN K CONDON
4875 EASY ST UNIT 13
HARTLAND WI 53029

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DANIELLE NICOLE HENRY
4875 EASY ST UNIT 6
HARTLAND WI 53029-1943

DAVID E PICKARD
LINDA S PICKARD
38317 SUNSET DR
OCONOMOWOC WI 53066-9499

DAVID G LASKA
4835 EASY ST UNIT 8
HARTLAND WI 53029

DAVID HADDIX
4887 EASY ST UNIT 9
HARTLAND WI 53029-1942

DAVID M MORRIS
MAEDLINE A MORRIS
4023 CAMPBELL TRCE
HARTLAND WI 53029

DEGROTHY TRUST DATED
SEPTEMBER 11, 2006
4835 EASY ST UNIT 15
HARTLAND WI 53029-1954

DELAFIELD STATION LLC
C/O PHILLIPS EDISON & COMPANY
11501 NORTHLAKE DR
CINCINNATI OH 45249-1669

DEREK J REINKE
STEPHANIE L REINKE
W334N6905 REYNOLDS DR
OCONOMOWOC WI 53066-1429

DONALD R PORTER
4835 EASY ST UNIT 10
HARTLAND WI 53029

DUNKER TRUST
3761 NAGAWICKA SHORE DR
HARTLAND WI 53029

EDITH M HUEVLER
818 RIDGEWAY DR
PEWAUKEE WI 53072-4607

ELLEN J UMENTUM
4863 EASY ST UNIT 2
HARTLAND WI 53029-1953

ERIN J O'BOYLE
4887 EASY ST UNIT 5
HARTLAND WI 53029

ERMINIO G DESTEFANO
ANIELLO DESTEFANO ET AL
4887 EASY ST UNIT 1
HARTLAND WI 53029

FRED SCHWEINERT
LESLIE SCHWEINERT
4835 EASY ST UNIT 16
HARTLAND WI 53029

GEOFFREY C ACKLEY
RUSSELL C ACKLEY
4863 EASY ST UNIT 6
HARTLAND WI 53029

GREGORY L WARREN
JANET E WARREN
4875 EASY ST UNIT 16
HARTLAND WI 53029-1943

HADDIX TRUST
C/O MARK HADDIX
W282N4288 SOMERSET LN
PEWAUKEE WI 53072

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

ILLINOIS CEMENT CO
PO BOX 442
LA SALLE IL 61301

J SWEET TOWNE LLC
2520 WITZEL AVE #226
OSHKOSH WI 54904-6436

JACOB P MAYENSCHIN
4875 EASY ST UNIT 10
HARTLAND WI 53029-1943

JEAN M LYONS
4863 EASY ST UNIT 1
HARTLAND WI 53029

JOHN TOPPING
C M TOPPING
4315 CAMPBELL TRACE
HARTLAND WI 53029

JOSHUA D DAVENPORT
ANDREA K DAVENPORT
4835 EASY ST UNIT 6
HARTLAND WI 53029

JSO PROPERTIES LLC
614 W CAPITOL DR
HARTLAND WI 53029

KAREN M WAGNER
4863 EASY ST
HARTLAND WI 53029-1953

KELLY L SCHIEBER
4821 EASY ST UNIT 4
HARTLAND WI 53029

KIMBERLY A TESSMAN
4875 EASY ST UNIT 11
HARTLAND WI 53029-1943

KINNEY PROPERTIES INC
7051 LEANNE CT
HARTLAND WI 53029

KYLE A NIGL
4821 EASY ST UNIT 10
HARTLAND WI 53029-1941

LAURIE HILL
4835 EASY ST UNIT 12
HARTLAND WI 53029-1954

LINDA C BEASTER
4835 EASY ST UNIT 5
HARTLAND WI 53029

MADLINE L DUERO
4835 EASY ST UNIT 3
HARTLAND WI 53029-1954

MATTHEW J FRANCOIS
4875 EASY ST UNIT 15
HARTLAND WI 53029

MATTHEW W KLEWER
1541 SILVERSTONE TRL APT 8
DE PERE WI 54115-8218

MELVIN L KIRSCH
ANDREW D KIRSCH
1424 WILDERNESS TRL
DELAFIELD WI 53018

MEYER MATERIAL COMPANY
1300 S IL ROUTE 31
SOUTH ELGIN IL 60177-9724

MICHAEL H SYLVESTER
BARBARA J SYLVESTER
4821 EASY ST UNIT 8
HARTLAND WI 53029-1941

MICHAEL L SCHMIDT
4821 EASY ST UNIT 7
HARTLAND WI 53029

MYRON W COONS SR
SUSAN J COONS
4863 EASY ST UNIT 5
HARTLAND WI 53029

NATHAN LEROY
4887 EASY ST UNIT 7
HARTLAND WI 53029-1942

NATHAN T GROTH
4835 EASY ST UNIT 4
HARTLAND WI 53029

PENNY L NEULRICH
4835 EASY ST UNIT 1
HARTLAND WI 53029-1954

PREMIER HARTLAND LLC
3120 GATEWAY RD
BROOKFIELD WI 53045-5112

RICHARD D HANSON
4835 EASY ST UNIT 13
HARTLAND WI 53029

SALLY DOYLE
4875 EASY ST UNIT 4
HARTLAND WI 53029-1943

SAMANTHA R TIETGEN
4875 EASY ST UNIT 3
HARTLAND WI 53029-1943

SAMUEL EICKMEYER
4821 EASY ST UNIT 16
HARTLAND WI 53029-1941

SARAH J HANSEN
4821 EASY ST UNIT 9
HARTLAND WI 53029

SHANNON ROBBINS
CHRISTINE JANSSEN
4863 EASY ST UNIT 4
HARTLAND WI 53029-1953

SHARON K SIME
4887 EASY ST UNIT 8
HARTLAND WI 53029

SJOBERG COMMERCIAL PROPERTIES
LLC
535 INDUSTRIAL DR
HARTLAND WI 53029-2323

STEVEN KELLER
4821 EASY ST UNIT 13
HARTLAND WI 53029-1941

STEWART R COUILLARD
SUSAN M COUILLARD
636 W CAPITOL DR
HARTLAND WI 53029-1925

SUSAN M HUBATCH
4863 EASY ST UNIT 8
HARTLAND WI 53029-1953

COUNTRY AIRE APARTMENTS
PO BOX 180560
DELAFIELD WI 53018-0560

THOMAS D ACKERMAN
4875 EASY ST UNIT 12
HARTLAND WI 53029-1943

THOMAS J GUSTAVSON JR
4875 EASY ST UNIT 14
HARTLAND WI 53029

TRAVIS F TANNIS
4887 EASY ST UNIT 4
HARTLAND WI 53029-1942

VINOD ASHOK RAJE
4821 EASY ST UNIT 15
HARTLAND WI 53029-1941

WILLIAM J BEIMLING
4821 EASY ST UNIT 1
HARTLAND WI 53029

WILLIAM J MCWILLIAMS JR
KRystal KRIENITZ
630 W CAPITOL DRIVE
HARTLAND WI 53029

pd 196618
6/13/18

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: Richard F Clark

Address of Owner/Agent: N47 W27547 Hwy JK
Pewaukee WI 53072

Phone Number of Owner/Agent: 262-844-2479

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.
4 parcels with 1 residence
1 parcel with 1 residence

Richard F Clark
Signature of Petitioner

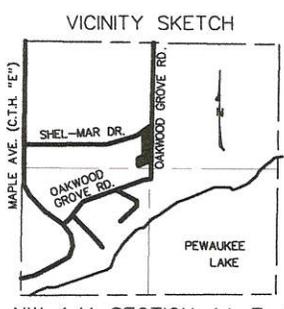
N47 W27547 Hwy JK Pew WI 53072
Address

262-691-2643
Phone

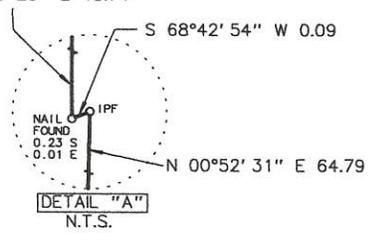
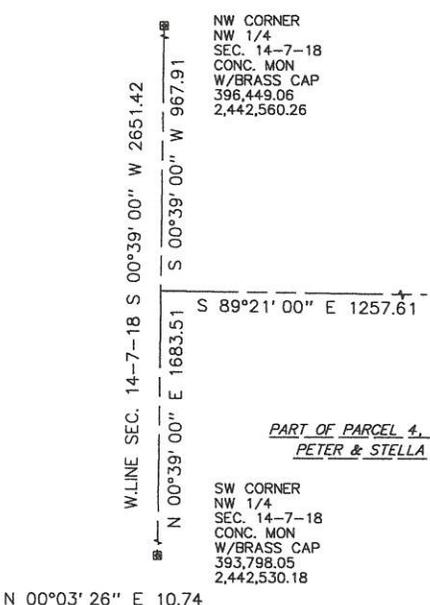


CERTIFIED SURVEY MAP NO. _____

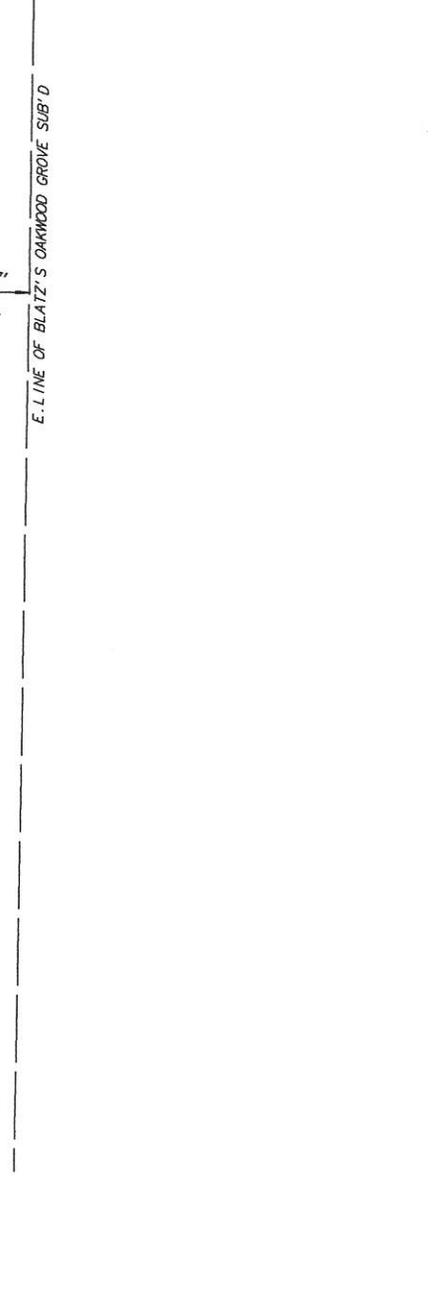
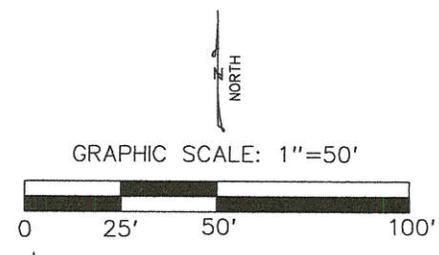
A COMBINATION OF OUTLOT "A" AND A PART OF PARCEL 4 OF CERTIFIED SURVEY MAP NO. 557
 RECORDED APRIL 21, 1967 IN VOLUME 3 OF CERTIFIED SURVEY MAPS ON PAGES 304-306 AS
 DOCUMENT NO. 682560, AND OTHER LANDS ALL A PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4
 OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN



NW 1/4 SECTION 14-7-18
SCALE: 1"=2000'



CURVE DATA
 R=722.75
 Δ=06°32' 10"
 L=82.45
 T=41.27
 Ch=82.41
 Cb=N52°26' 55"E
 TAN. IN N55°43' 00"E
 TAN. OUT N49°10' 50"E



PREPARED BY:
 MICHAEL W. BUECHL, INC.
 233 OAKTON AVENUE
 PEWAUKEE, WI 53072
 262-691-4444

PREPARED FOR:
 RICHARD F. CLARK
 N47W27547 HWY "JK"
 PEWAUKEE, WI 53072
 262-691-2643

GREG & KATHERINE GENIESSE
 UNPLATTED LANDS

ROBERT SCHMITT
 UNPLATTED LANDS

THIS PROPERTY LIES ENTIRELY WITHIN THE WAUK. COUNTY
 SHORELAND AND FLOODLAND JURISDICTIONAL LIMITS

BEARINGS REFERENCED TO THE W.LINE OF THE NW 1/4
 OF SECTION 14-7-18 HAVING A BEARING OF N00°39'00" E

THIS INSTRUMENT WAS DRAFTED BY KEITH D. MALKOWSKI

CERTIFIED SURVEY MAP NO. _____

**A COMBINATION OF OUTLOT "A" AND PART OF PARCEL 4 OF CERTIFIED SURVEY MAP NO. 557
RECORDED APRIL 21, 1967 IN VOLUME 3 OF CERTIFIED SURVEY MAPS ON PAGES 304-306 AS
DOCUMENT NO. 682560, AND OTHER LANDS ALL A PART OF THE NORTHWEST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE TOWN OF
DELAFIELD, WAUKESHA COUNTY, WISCONSIN**

State of Wisconsin)
:
Waukesha County)

I, David M. Buechl, a professional land surveyor, do hereby certify: That I have surveyed, divided and mapped a combination of Outlot "A" and a part of Parcel 4 of Certified Survey Map No. 557 recorded April 21, 1967 in Volume 3 of Certified Survey Maps on Pages 304-306 as Document No. 682560, and other lands all a part of the Northwest 1/4 of the Northwest 1/4 of Section 14, Township 7 North, Range 18 East, in the Town of Delafield, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Northwest corner of said Northwest 1/4; thence South 00°39'00" West, along the West line of said Northwest 1/4, 967.91 feet; thence South 89°21'00" East 1257.61 feet to the Northwest corner of said Outlot "A" and the place of beginning of the lands to be described; thence Northeasterly 82.45 feet along the Southerly line of Shel-Mar Drive and the arc of a curve, its center lying to the Northwest and having a radius of 722.75 feet and a chord which bears North 52°26'55" East 82.41 feet, to the Westerly line of Oakwood Grove Road; thence South 00°52'31" West, along said Westerly line, 319.75 feet; thence South 68°42'54" West 127.70 feet; thence North 00°52'31" East 64.79 feet; thence South 68°42'54" West 0.09 feet; thence North 00°03'26" East 10.74 feet; thence North 68°42'54" East 61.61 feet to the Westerly line of said Outlot "A"; thence North 00°03'26" East, along said Westerly line, 217.97 feet to the place of beginning. Containing 23,492 square feet (0.539293 acres) more or less.

That I have made this survey, land division and map by the direction of the owners of said land. That such map is a correct representation of all exterior boundaries of the land surveyed and the division thereof made. That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Control Ordinance of the Town of Delafield and the ordinances of Waukesha County, in surveying, dividing and mapping the same.

Date

David M. Buechl, Professional Land Surveyor (S-2590)

OWNER'S CERTIFICATE OF DEDICATION

I, Richard F. Clark, hereby certify that I have caused the land described in this document to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes pertaining to Certified Survey Maps (Section 236.34) and the Regulations of the Town of Delafield and Waukesha County.

Richard F. Clark

WITNESS the hand and seal of said owner this ____ day of _____, 2018.

State of Wisconsin)
: ss
Waukesha County)

PERSONALLY came before me this ____ day of _____, 2018, to me known to be the person who executed the Owner's Certificate and acknowledged the same.

Notary Public:

My commission expires:

CERTIFIED SURVEY MAP NO. _____

**A COMBINATION OF OUTLOT "A" AND PART OF PARCEL 4 OF CERTIFIED SURVEY MAP NO. 557
RECORDED APRIL 21, 1967 IN VOLUME 3 OF CERTIFIED SURVEY MAPS ON PAGES 304-306 AS
DOCUMENT NO. 682560, AND OTHER LANDS ALL A PART OF THE NORTHWEST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE TOWN OF
DELAFIELD, WAUKESHA COUNTY, WISCONSIN**

TOWN BOARD APPROVAL

APPROVED by the Town Board of the Town of Delafield this _____ day of _____, 2018.

TOWN PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the Town of Delafield this _____ day of _____, 2018.

CITY OF DELAFIELD PLAN COMMISSION EXTRA-TERRITORIAL APPROVAL:

RESOLVED, that this Certified Survey Map, in the Town of Delafield, Waukesha County, Wisconsin, is hereby approved by the City of Delafield on this _____ day of _____, 2018

CITY OF PEWAUKEE PLAN COMMISSION EXTRA-TERRITORIAL APPROVAL:

RESOLVED, that this Certified Survey Map, in the Town of Delafield, Waukesha County, Wisconsin, is hereby approved by the City of Pewaukee on this _____ day of _____, 2018

VILLAGE OF HARTLAND PLAN COMMISSION EXTRA-TERRITORIAL APPROVAL:

RESOLVED, that this Certified Survey Map, in the Town of Delafield, Waukesha County, Wisconsin, is hereby approved by the Village of Hartland on this _____ day of _____, 2018

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

The above, which has been filed for approval as required by Chapter 236 of the Wisconsin State Statutes, is hereby approved on this _____ day of _____, 2018

Dale R. Shaver, Director

ROBERT E. REED
ATHLYN A REED
N47W27515 LYNNDALE RD
PEWAUKEE, WI 53072

YENCH LLC
3055 N BROOKFIELD RD
BROOKFIELD WI 53045-3336

MARK L SEYMER
LISA K SEYMER
N47W27585 LYNNDALE RD
PEWAUKEE WI 53072-1751

CERTIFIED SURVEY MAP NO. _____ Sheet 1 of 4
 Being a redivision of all of Lots 1 & 2 of Certified Survey Map No. 7103 recorded as Document No. 1854840
 and being part of the NW 1/4 and SW 1/4 of the SE 1/4 of Section 3, Town 7, North, Range 18 East
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

OWNER:
ACM RE HOLDINGS, LLC
480 CARDINAL LANE
HARTLAND, WI. 53029
(262) 369-7200

SURVEYOR:
JOHN R. STIGLER S-1820
JAHNKE & JAHNKE ASSOC., INC.
711 W. MORELAND BLVD.
WAUKESHA, WI 53188
(262) 542-5797

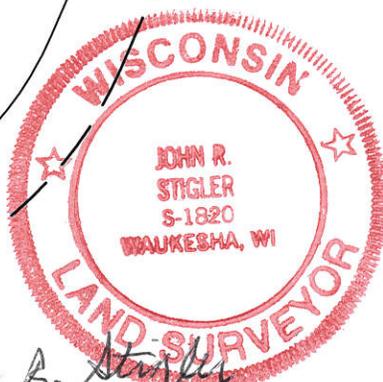
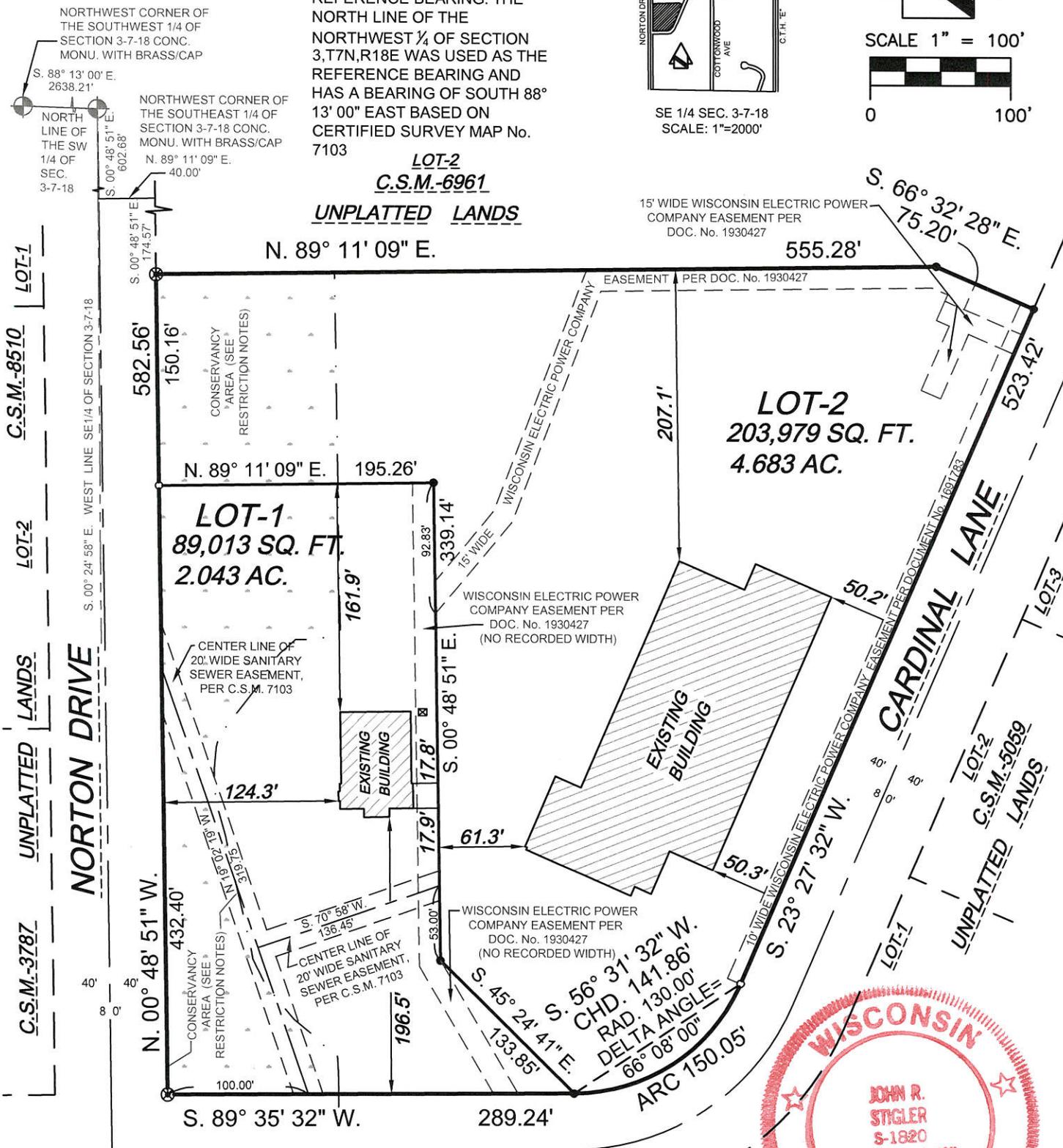
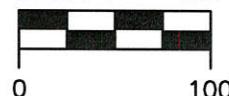
REFERENCE BEARING: THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 3, T7N, R18E WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 88° 13' 00" EAST BASED ON CERTIFIED SURVEY MAP No. 7103



SE 1/4 SEC. 3-7-18
SCALE: 1"=2000'



SCALE 1" = 100'



ZONING:
M-1 & C-1
FRONT SETBACK 30'
REAR SETBACK 25'
SIDE SETBACK, TOTAL OF 30',
MINIMUM OF 10'

UNPLATTED LANDS

- LEGEND**
- CONCRETE MONU. FD W/BRASS CAP
 - 1" DIA. IRON PIPE SET 18" LONG
1.13 LBS. PER LIN. FT.
 - 1" DIA. IRON PIPE FOUND
 - IRON ROD FOUND

John R. Stigler
JOHN R. STIGLER -WIS. REG. NO. S-1820
Dated this 19th Day of JUNE, 2018

THIS INSTRUMENT WAS DRAFTED BY JOHN R. STIGLER
FILE NAME: S8644CSM.dwg P.S. DELAFIELD-1141

CERTIFIED SURVEY MAP NO. _____

Sheet 2 of 4

Being a redivision of all of Lots 1 & 2 of Certified Survey Map No. 7103 recorded as Document No. 1854840 and being part of the NW ¼ and SW ¼ of the SE ¼ of Section 3, Town 7 North, Range 18 East
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

A redivision of Lot 1 and 2 as recorded in Volume 60 of Certified Survey Maps on Pages 43-46 inclusive as Document No. 1854840 and Map No. 7103 being part of the Northwest Quarter (NW ¼) and Southwest Quarter (SW ¼) of the Southeast Quarter (SE ¼) of Section 3, Town 7 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin further described as follows: Commencing at the West Quarter corner W ¼ corner of Section 3; thence South 88°13'00" East 2638.21 feet to the center of Section 3, Town 7 North, Range 18 East; thence South 00°48'51" East 602.88 feet along the center line of Norton Drive; thence North 89°11'09" East 40.00 feet; thence South 00°48'51" East 174.57 feet along the east right-of-way line of Norton Drive to the place of beginning of the lands hereinafter described; thence North 89°11'09" East 555.28 feet along the north line of Lot 2 of Certified Survey map No. 7103; thence South 66°32'28" East along said north line 75.20 feet, to the west right-of-way line of Cardinal Lane; thence South 23°27'32" West 523.42 feet along said west line; thence Southwesterly 150.05 feet on the arc of curve of radius 130.00 feet, center lies to the north, chord bears South 56°31'32" West 141.86 feet; thence South 89°35'32" West 289.24 feet to the east right-of-way line of Norton Drive; thence North 00°48'51" West 582.56 feet to the place of beginning. Containing a net area of 292,990 square feet or 6.726 acres of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Village of Hartland in surveying, dividing and mapping the same.

John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820



STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 19th day of JUNE, 2018.

My commission expires July 5, 2019

Peter A. Muehl

PETER A. MUEHL – NOTARY PUBLIC



OWNERS: ACM RE HOLDINGS, LLC

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 4

Being a redivision of all of Lots 1 & 2 of Certified Survey Map No. 7103 recorded as Document No. 1854840 and being part of the NW ¼ and SW ¼ of the SE ¼ of Section 3, Town 7 North, Range 18 East
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

As owners, we hereby certify that we caused the land described on this map to be surveyed, divided, and mapped as represented on this map. We also certify that this Certified Survey Map is required to be submitted to the following for approval: Village of Hartland

ACM RE HOLDINGS, LLC

- MEMBER

- MEMBER

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2018, the above named _____ and _____, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC –

CONSERVANCY AREA RESTRICTION:

For wetland and floodplain where the quality is not high as in a preservation area, but reasonable preservation is desired. Ponds could be permitted with authorization.

These areas of land as indicated on this map as Conservancy Area, shall hereinafter be known as the Conservancy Area. The following restrictions shall apply to said Conservancy Area:

1. Grading and filing shall be prohibited in the Conservancy Area.
2. The removal of peat or topsoil within the Conservancy Area shall be prohibited.
3. Removal or destruction of any vegetative cover, i.e. trees, shrubs, grasses, hedges, etc., shall be prohibited with the exception of dead vegetative removal.
4. The introduction of plant material not indigenous to the existing environment of the Conservancy Area shall be prohibited in the Conservancy Area.
5. Ponds are permitted upon specific authorization of the municipality in which it is located and Waukesha County, if applicable.

NOTE: This map supersedes and replaces Certified Survey Map No. 7103 recorded as Document No. 1854840.

John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820
Dated this 19th day of JUNE, 2018



OWNERS: ACM RE HOLDINGS, LLC

Instrument drafted by John R. Stigler

P.S. Delafield 1141

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 4

Being a redivision of all of Lots 1 & 2 of Certified Survey Map No. 7103 recorded as Document No. 1854840 and being part of the NW ¼ and SW ¼ of the SE ¼ of Section 3, Town 7 North, Range 18 East
VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

VILLAGE PLAN COMMISSION APPROVAL:

Resolved that the Certified Survey Map located in the NW ¼ and SW ¼ of the SE ¼ of Section 3, T7N, R18E, Village of Hartland, is approved by the Village Board of the Village of Hartland.

Date _____ Approved _____
JEFFREY PFANNERSTILL – CHAIRMAN

VILLAGE BOARD APPROVAL:

Resolved that the Certified Survey Map located in the NW ¼ and SW ¼ of the SE ¼ of Section 3, T7N, R18E, Village of Hartland, is approved by the Village Board of the Village of Hartland.

Date _____ Approved _____
JEFFREY PFANNERSTILL – VILLAGE PRESIDENT

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Hartland.

DARLENE IGL – VILLAGE CLERK



JOHN R. STIGLER – Wis. Reg. No. S-1820
Dated this 19th day of JUNE, 2018

OWNERS: ACM RE HOLDINGS, LLC

Instrument drafted by John R. Stigler

P.S. Delafield 1141

3-D REAL ESTATE INVESTMENTS LLC
540 NORTON DR
HARTLAND WI 53029

596 PROGRESS DRIVE LLC
596 PROGRESS DR
HARTLAND WI 53029-2304

ACM RE HOLDINGS
460 CARDINAL LN
HARTLAND WI 53029-2331

ACM RE HOLDINGS LLC
460 CARDINAL LN
HARTLAND WI 53029-2331

AUSTIN REAL ESTATE COMPANY LLC
7847 ALLEN ROBERTSON PL
SARASOTA FL 34240

BARK RIVER PROPERTIES
C/O J&A MANAGEMENT SERVICES LLC
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

BLUE RIBBON HOLDINGS LLC
475 CARDINAL LN
HARTLAND WI 53029-2332

CIRCLE J PROPERTIES LLC
PO BOX 131
HARTLAND WI 53029-0131

D&B HAYDEN LLC
425 E INDUSTRIAL DR
HARTLAND WI 53029

EHLEN LIMITED PARTNERSHIP
10510 FRANCE AVE S
BLOOMINGTON MN 55431-3538

EYE COMMUNICATION SYSTEMS
PO BOX 505
WATERTOWN WI 53094-0505

G & W LEASING INC
14340 HICKORY FAIRWAY CT
FORT MYERS FL 33912-7827

THOMAS A WRIGHT
MICHAEL S WRIGHT
510 HARTBROOK DR STE 206
HARTLAND WI 53029-2309

ICE AGE PARK AND TRAIL
FOUNDATION INC
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ILLINOIS TOOL WORKS INC
PO BOX 110
HARTLAND WI 53029-0110

LEE M BLEEKER
DBA SANFORD ENTERPRISES
169 HIGHWAY 67 APT A
DOUSMAN WI 53118-9664

MARK BARENZ
BETH A BARENZ ET AL
N6672 COUNTY ROAD W
MT CALVARY WI 53057-9647

MGD INVESTMENTS 2 LLC
1101 W 2ND ST
OCONOMOWOC WI 53066-3401

MGD INVESTMENTS LLC
1101 W 2ND ST
PO BOX 644
OCONOMOWOC WI 53066-0644

MGD INVESTMENTS LLC
C/O CL&D GRAPHICS INC
1101 W SECOND ST
OCONOMOWOC WI 53066

MICHAEL R WHITE REVOCABLE TRUST
OF 1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

WAUKESHA COUNTY LAND
CONSERVANCY INC
PO BOX 2572
BROOKFIELD WI 53008

Z&Z REALTY LLC
C/O DARYL ZIGAN/UNITED PRESS &
GRAPHICS INC
PO BOX 320
HARTLAND WI 53029-0320

MIDWEST SHRC LLC
1412 HIDDEN FIELDS DR
WEST BEND WI 53095-4570

PROGRESS AVENUE LLC
C/O HARTMAN CONTROLS
604 PROGRESS DR
HARTLAND WI 53029-2306

PROGRESS ENTERPRISES LLC
590B PROGRESS DR
HARTLAND WI 53029

S&M RABAY LLC
550 PROGRESS DR
HARTLAND WI 53029-2304

SCI INVESTMENT HOLDINGS LLC
540 PROGRESS DR
HARTLAND WI 53029-2304

SW 2017 1 LLC
J F CLEARCOTTON LLC ET AL
C/O STEWART WANGARD
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288



June 27, 2018

Village of Hartland
Attn: Mr. Scott Hussinger, Bldg. Inspector
210 Cottonwood Ave
Hartland, WI 53029-2017

RE: Sullivan Precision Plate

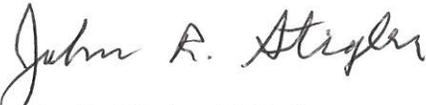
Dear Mr. Hussinger:

Enclosed please find the original Certified Survey Map document of the Sullivan Precision Plate Industrial site located at Norton Drive and Cardinal Lane of the Village's Industrial Park. The intent of this CSM is to relocate the lot line between Parcels 1 & 2 creating access that does not straddle an existing driveway.

Please review and contact me with any questions. We will attend the Village's meeting to answer any questions.

Respectfully,

Jahnke & Jahnke Associates Inc.



John R. Stigler, PLS, Pres.

JRS/amf
Enc.

