

****REVISED/AMENDED ****
JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, AUGUST 20, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of July 16, 2018.
2. Architectural Board review and consideration of a sign for Tabi's Lake Country, 111 E. Capitol Drive.
3. Architectural Board reconsideration of plans for a canopy addition for Heraeus Electro-Nite, 541 S. Industrial Drive.
4. Architectural Board consideration of plans for a fueling station canopy for Advanced Disposal, 559 Progress Drive.
5. Plan Commission consideration of a final plat for Kiefer Farms subdivision in the Town of Merton.
6. Plan Commission review and consideration of a request from the BID related to verbiage on one or more water towers.
7. Plan Commission consideration of actions related to a possible amendment to the Conditional Use Permit recently issued to Meyer Material/Lafarge Aggregates for the property at 700 W Capitol Drive.
 - a. Discussion of a request to amend the recently-issued Conditional Use Permit to address operational requests related to the concrete facility on the site.
 - b. Consideration of a motion to set a public hearing on the matter to be held during the Regular Plan Commission meeting on September 17, 2018
8. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: August 15, 2018
SUBJECT: Agenda Information – July 16, 2018

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to a proposed sign for Tabi's Lake Country.

Background: The ownership of Bin 111 on E Capitol Drive is anticipating a name change to occur sometime in September or later. In advance of that, they have proposed new signage to directly replace the existing signage for the business. To date, it has not been considered by the BID but is scheduled for the BID's meetings in September. The Architectural Board is asked to consider the sign and determine its acceptability conditioned on the BID's confirmation. Alternatively, the Architectural Board could table the matter until the BID has acted.

Recommendation: Approve the proposed sign conditioned on confirmation by the BID.

Item 5 Related to Final Plat for Kiefer Farms.

Background: In August 2016, the Village approved the preliminary plat for this 15-plus-acre parcel in the Town of Merton east of Campus Drive and south of the Arrowhead Campus, which is not proposed for annexation to Hartland as it would be served from Town roads and is not adjacent to the Village's utility systems. The preliminary plat was approved by the Board conditioned on:

1. Minimal removal of trees in the southern portion of the parcel and no removal of trees in the outlot except as may be necessary for storm water facilities.
2. Storm water plans and facilities be reviewed and approved by the Village Engineer at the expense of the property owner or developer.
3. Indications be made on the Plat that no access to Campus Drive is allowed and that the existing farm access be removed with proper restoration.

The indication of "No Access" is found on the plat along Campus Drive and there is an easement to Tall Pines Conservancy protecting the trees on Outlot No.1. Further, a building setback line has been included to further protect trees on the southern portion of the site. We note that the plat does not reflect the removal of the farm access. Staff will continue to work with the Town of Merton to ensure that is removed as part of the project and, further, that our Village Engineer reviews and approves the storm water plans.

Recommendation: Recommend approval of the Final Plat.

Item 6 Related to revised wording for the Village's Water Towers.

Background: The Village's Downtown Business Improvement District desires to update the wording on one or more of the Village's water towers to reflect an effort to market the downtown and Village in general. The proposal is to add the word "Explore" and a website URL "ExploreHartland.com" to the newly painted towers as they are repainted. Originally, the BID was considering the change for only the Hill Street tower, which is most visible from HWY 16, but may now consider this design for all of the Village towers. We are seeking confirmation from the Village's tank maintenance company that this change will not increase the cost of tower painting. In the past, they have indicated that the addition of some words would not increase the cost but that significant graphics or other changes would incur costs. Heretofore, staff has advised the BID to plan to cover any additional costs. The Commission is asked to review the proposal and provide comments and a recommendation to the Village Board.

Recommendation: Determine a recommendation to the Village Board regarding the wording addition.

Item 7 Related to a proposed amendment to the CUP at 700 W Capitol.

Background: Last month, the Village approved a Conditional Use Permit for the owner of this site allowing use of the site for temporary crushing of existing remnant concrete on the site as well as the other existing operations that are ongoing at the property including a ready mix concrete plant and vehicle storage and office operations related to the ready mix operation and a separate utility contractor. The ready mix concrete plant operator is seeking some modifications to the approved CUP to allow them greater flexibility in their operations. Staff is bringing this matter to the Commission as the first step in a process to amend the CUP, which would include a public hearing on the matter next month. If the Commission is inclined to amend the CUP, it is asked to set the public hearing to occur during the September Plan Commission meeting.

Recommendation: Consider the proposed amendments to the CUP and set the hearing as appropriate.

DC:PC Agenda Info 8-20

cc: Ryan Amtmann, Village Engineer
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JULY 16, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Chairman Jeff Pfannerstill, David de Courcy-Bower, James Schneeberger, Tim Hallquist, Jack Wenstrom, Tim Fenner
Excused: Ann Wallschlager
Others present: Administrator Cox, Building Inspector Hussinger and Clerk Igl

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of June 18, 2018.

Motion (deCourcy-Bower/Hallquist) to approve the Jt. Architectural Board/Plan Commission minutes of June 18, 2018. Wenstrom and Fenner abstained. Carried (4-0).

2. Architectural Board review and consideration of a sign for First Baptist Church, 780 Tenny Ave.

Chad Schultz, Innovative Signs, stated that the proposed sign is a replacement for the existing sign. It was clarified that the one-sided sign will be parallel to the street and will not be illuminated. Motion (deCourcy-Bower/Hallquist) to approve a sign for First Baptist Church. Carried (6-0).

3. Architectural Board review and consideration of revised plans for construction of a detached garage on the Ed Lentz property at 327 Lawn Street.

Mr. Lentz stated that the garage plans were revised to move it from the east corner of the backyard to the west corner. Additionally, he stated it would be two feet larger than the previous submittal with one additional garage door. deCourcy-Bower inquired whether there would be driveway to the garage and the owner confirmed that there would be none. Building Inspector Hussinger stated that the site plans shows the garage directly behind the house so there would be no room for a driveway. He also confirmed that there are no utility issues. Motion (Fenner/Schneeberger) to approve revised plans for construction of a detached garage on the Lentz property at 327 Lawn Street. Carried (6-0).

4. Architectural Board reconsideration of plans for a new entry canopy for Capital Equipment and Handling, Inc., 1100 Cottonwood Avenue.

A representative of Briohn Building Corporation stated that no changes had been from the previous submittal. Building Inspector Hussinger stated that the project had been approved previously but had not been started within 12 months of approval. Motion (Hallquist/Wenstrom) to approve plans for a new entry canopy for Capital Equipment and Handling, Inc., 1100 Cottonwood Ave. Carried (6-0).

5. Architectural Board and Plan Commission review and consideration of a request for a Conditional Use for concrete crushing and other operations for Lafarge Aggregates/Meyer Material Co., 700 W. Capitol Drive.

a. Public Hearing to hear comments on the request for a Conditional Use

Chairman Pfannerstill opened the Public Hearing at 7:10 p.m. No comments were heard and the Public Hearing was closed at 7:11 p.m.

b. Consideration of a motion to approve the Conditional Use for Lafarge Aggregates/Meyer Material Co.

Administrator Cox reviewed the list of conditions that were included in the Conditional Use Permit. It was agreed that crushing activity would be limited to the hours of 7 a.m. to 4 p.m. and agreed that the site could be operated for shipping/receiving activity between 6 a.m. and 10 p.m. There was discussion whether the number of truck visits to the site should be listed in the conditions. Representatives of Lafarge stated that the number of trucks per day may be as high as 45. After discussion, the consensus was that there would be no condition limiting the number of truck visits per day. The consensus was that the limitations related to time of day and direction of travel were sufficient. Building Inspector Hussinger stated that if the business wanted to increase the batch plant operation, Village approval would be necessary. Administrator Cox stated that the term included in the draft CUP is through May 31, 2019. Commissioner deCourcy-Bower asked that the language specific truck traffic rather than all traffic related to direction of travel.

Motion (Hallquist/Schneeberger) to approve the Conditional Use for Lafarge Aggregates/Meyer Material Co.

Commissioner Fenner requested that Lafarge Aggregates provide Administrator Cox with the exact legal property owner name of record to be included in the CUP. Additionally, Fenner asked that condition number one state that the activity "must be" consistent with the applicant's submissions and statements, and that language be included that states the CUP is granted for the sole benefit of Lafarge and is not assignable.

Amended motion (Fenner/Pfannerstill) to recommend approval of the Conditional Use for Lafarge Aggregates/Meyer Material Co. subject to the amendments requested by Commissioner Fenner. Carried (6-0).

6. Plan Commission consideration of an Extraterritorial CSM for the combining of parcels west of Oakwood Grove Road in the Town of Delafield.

Property owner Rich Clark stated that he is interested in combining the four parcels that he owns to facilitate the building of an addition and garage. It was stated that this item will be placed on the next Village Board agenda. Motion (Fenner/Wenstrom) to recommend approval of an Extraterritorial CSM for combining parcels west of Oakwood Grove Road in the Town of Delafield. Carried (6-0).

7. Plan Commission review and consideration of a CSM (lot line adjustment/easements) for two properties on Cardinal Lane at Norton Drive.

The property owner of Sullivan Precision Plate stated that this lot line adjustment was requested to facilitate the sale of one of the properties. Administrator Cox stated that the front driveway

currently straddles the lot line. The current CSM includes a blanket statement that was requested by the Village which provides cross access for the two properties. Administrator Cox stated that an easement between the two properties will be a private matter. It was confirmed that all utility easements will remain in place, however the existing easement related to the drive will discontinue. Commissioner Fenner inquired whether the setback requirements will be satisfied with the proposed CSM. Building Inspector Hussinger stated that the minimum is 15 feet so the setback of just over 17 feet meets the requirement. Motion (deCourcy-Bower/Hallquist) to recommend approval of a CSM for two properties on Cardinal Lane at Norton Drive. Carried (6-0).

8. Plan Commission review and consideration of the location for a temporary cellular tower to be located on the Coventry Water Tower site during upcoming tower painting scheduled for fall 2018.

Administrator Cox stated that it is anticipated that this process will take approximately four months. It was confirmed that the installation and removal of the temporary tower is at no expense to the Village. Administrator Cox stated that the area to be used for the temporary cell tower will likely be along the northwestern side of the site. Motion (Hallquist/Schneeberger) to recommend approval of the location for a temporary cellular tower to be located on the Coventry Water Tower site. Carried (6-0).

9. Adjourn

Motion (Fenner/Wenstrom) to adjourn at 7:43 p.m.

Respectfully submitted,

Darlene Igl
Village Clerk



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 111 E. Capitol Drive			
Lot	Block	Subdivision	Key No. HAV
Owner Tabi's Lake Country		EMAIL tby@wi.rr.com	Phone 262-442-4815
Address 111 E. Capitol Drive		City Hartland	State WI Zip 53029
Contractor Signarama Milwaukee	Phone 414-276-7446	FAX	EMAIL tim@milwaukee-signs.com
Address 5061 W. State Street		City Milwaukee	State WI Zip 53208

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: August 3rd, 2018 Date of Meeting: August 20th, 2018 Item No. _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 111 E. Capitol Drive TAX KEY # _____
OWNER Tabi's Lake Country PHONE 262-442-4815
ADDRESS 111 E. Capitol Drive CITY Hartland STATE WI ZIP 53029
CONTRACTOR Signarama Milwaukee PHONE 414-276-7446
ADDRESS 5061 W. State Street CITY Milwaukee STATE WI ZIP 53208

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Projecting Sign: "Tabi's Lake Country"

OVERALL DIMENSIONS OF SIGN 24" (H) x 36" (W) COLOR OF BACKGROUND Wood Grain

SIZE OF LETTERS IN INCHES Varies COLOR OF LETTERS Black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Wood

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 3,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Tim McGrath DATE August 3rd, 2018

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 111 E. Capitol Drive TAX KEY # _____
OWNER Tabi's Lake Country PHONE 262-442-4815
ADDRESS 111 E. Capitol Drive CITY Hartland STATE WI ZIP 53029
CONTRACTOR Signarama Milwaukee PHONE 414-276-7446
ADDRESS 5061 W. State Street CITY Milwaukee STATE WI ZIP 53208

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Wall Sign: "Tabi's Lake Country"

OVERALL DIMENSIONS OF SIGN 3'-0" (H) x 5'-0" (W) COLOR OF BACKGROUND TBD

SIZE OF LETTERS IN INCHES Varies COLOR OF LETTERS TBD

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Wood

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 2,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Tim McGrath DATE August 1st, 2018

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____



Bin
One Eleven
Small Plates, Local, Tasting Bar

New Fall & Holiday Pastries

Bin
One Eleven

Weekly Rotation Wine Tasting

Welcome to

Bin
One Eleven

TOWN
RMACY

bp

Bin
One Eleven
Wine Store and Tasting Bar

Bin
One Eleven



Size: 36"W x 24"H - Double face wood sign
 Digital print wood grain background
 Two sets of 1/4" flat cut black acrylic letters stud mounted

**protecting*



Size: 60"W x 36"H - Double face wood sign
 Digital print wood grain background
 One set of 1/4" flat cut black acrylic letters stud mounted

CUSTOMER: Tabitha & Sean McBride
 COMPANY: Tabi's Lake Country
 SIGNVOX #: Qt - 17816

SALESPERSON: Tim McGrath
 DESIGNER: Adam Zellmer
 PROOF DATE:



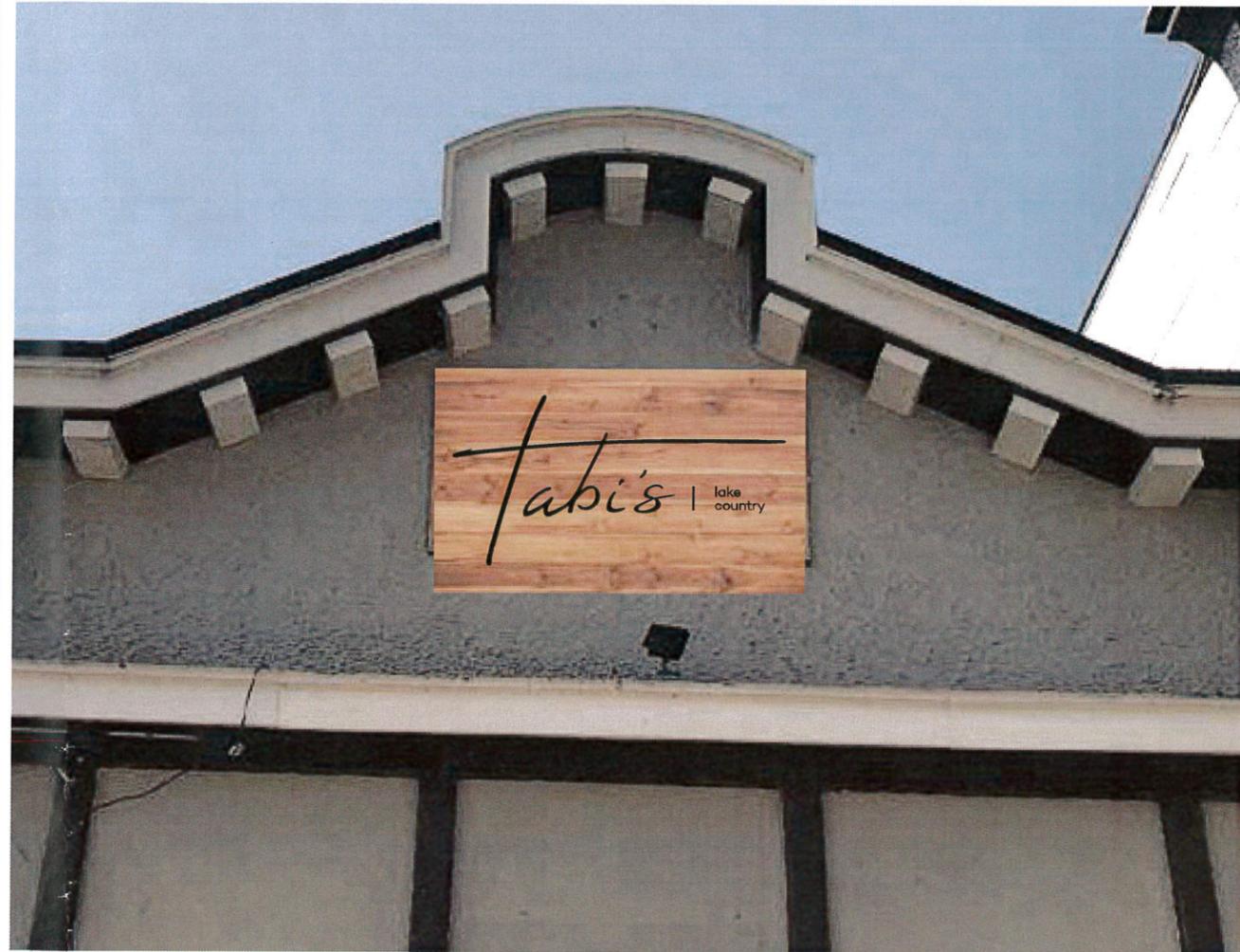
www.milwaukee-signs.com

☎ 414.273.7446 📞 414.273.7447

PLEASE CHECK ALL PROOFS FOR ACCURATE SPELLING, PUNCTUATION AND LAYOUT. Signarama Milwaukee will not be held responsible for correcting mistakes on approved artwork. 5061 W. STATE ST. MILWAUKEE, WI 53208



Size: 36"W x 24"H - Double face wood sign
 Digital print wood grain background
 Two sets of 1/4" flat cut black acrylic letters stud mounted



Size: 60"W x 36"H - Double face wood sign
 Digital print wood grain background
 One set of 1/4" flat cut black acrylic letters stud mounted
 * WALL SIGN

CUSTOMER: Tabitha & Sean McBride
 COMPANY: Tabi's Lake Country
 SIGNVOX #: Qt - 17816

SALESPERSON: Tim McGrath
 DESIGNER: Adam Zellmer
 PROOF DATE:

 **Signarama** Milwaukee
 The way to grow your business.
www.milwaukee-signs.com
 ☎ 414.273.7446 📞 414.273.7447
 5061 W. STATE ST. MILWAUKEE, WI 53208

PLEASE CHECK ALL PROOFS FOR ACCURATE SPELLING, PUNCTUATION AND LAYOUT. Signarama Milwaukee will not be held responsible for correcting mistakes on approved artwork.

127 E CAPITOL LLC
249 PAWLING AVE
HARTLAND WI 53029

AUGUST E & DONA J FABYAN 1998
LIVING TRUST
115 E CAPITOL DR
HARTLAND WI 53029-2103

BMO HARRIS BANK NA
ATTN CORP REAL ESTATE 24 WEST
111 W MONROE ST
CHICAGO IL 60603-4096

GD HOLDING LLC
W300N9083 E COUNTY RD E
HARTLAND WI 53029-9512

HEARTFELT PROPERTIES LLC
N46W28654 WILLOW BROOK CT
HARTLAND WI 53029-2290

LT GROUP LLC
250 MONASTERY HILL DR
OCONOMOWOC WI 53066

MARGRIT MEIER
MAX MEIER FAMILY TRUST
110 COTTONWOOD AVE
HARTLAND WI 53029

STOP-N-GO OF MADISON INC
2934 FISH HATCHERY RD
MADISON WI 53713



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 541 S. INDUSTRIAL DR.			
Lot	Block	Subdivision	Key No. HAV
Owner HERAEUS ELECTRO-UTE CO		EMAIL GARY.SAMER@HERAEUS.CO	Phone 800-558-9008
Address 541 S. INDUSTRIAL		City HARTLAND	State WI Zip 53029
Contractor MST GENERAL		Phone 262-914-4882 FAX 262-367-7390	EMAIL DR.W.W@MSTGENERAL.COM
Address PO BOX 7		City OCONOMOWAC	State WI Zip 53066

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

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- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

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- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 7/31/18 Date of Meeting: 8/21/18 Item No. _____



MSI GENERAL CORPORATION
 P.O. BOX. 7
 OCONOMOWOC, WI 53066
 PHONE: 262-367-3661

WWW.MSIGENERAL.COM
 SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal: 8-31-2018
 Bid: 5-2018
 Contract:
 State Submittal / Permit:
 As-Built:

REVISIONS:

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17	



PROJECT ADDRESS:

PROJECT NAME
 Heraeus Electro-Nite Co., LLC
 STREET ADDRESS
 541 S. Industrial Dr.
 CITY / STATE / ZIP
 Hartland, WI 53029

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: B. Zenker
 Engineer: xxx
 Reviewed By: xxx

PLANS

Sheet Title:

Sheet Number:
A-101

Project Number: P

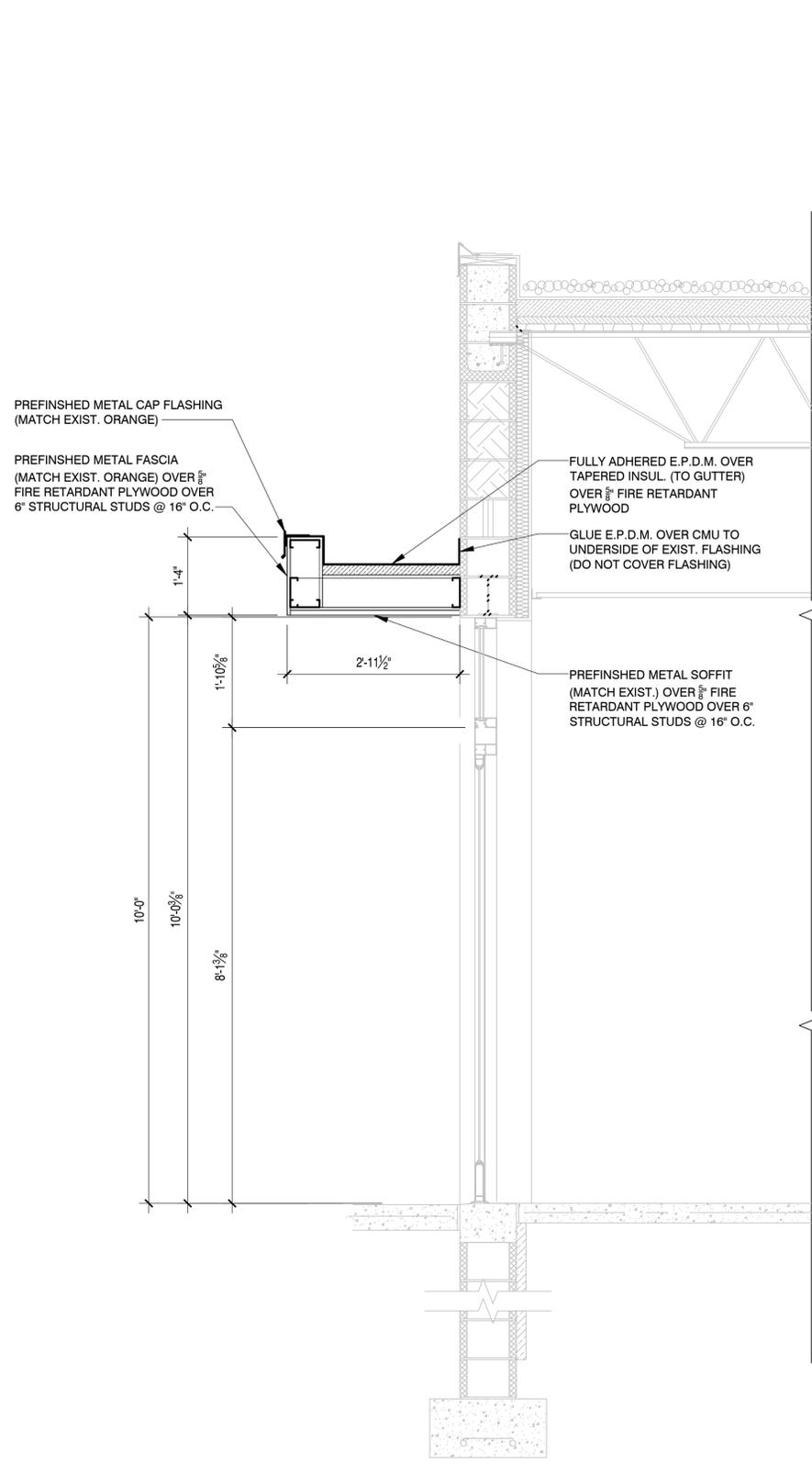
P12197

MANAGERS

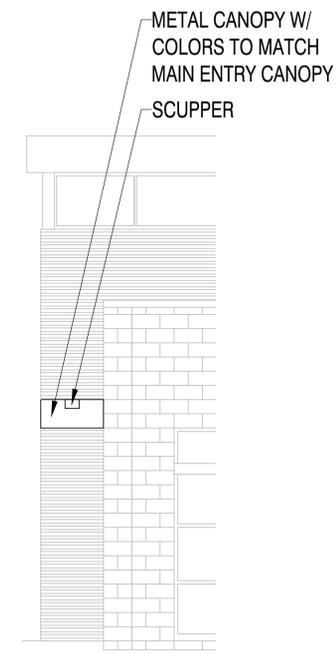
ENGINEERS

CONTRACTORS

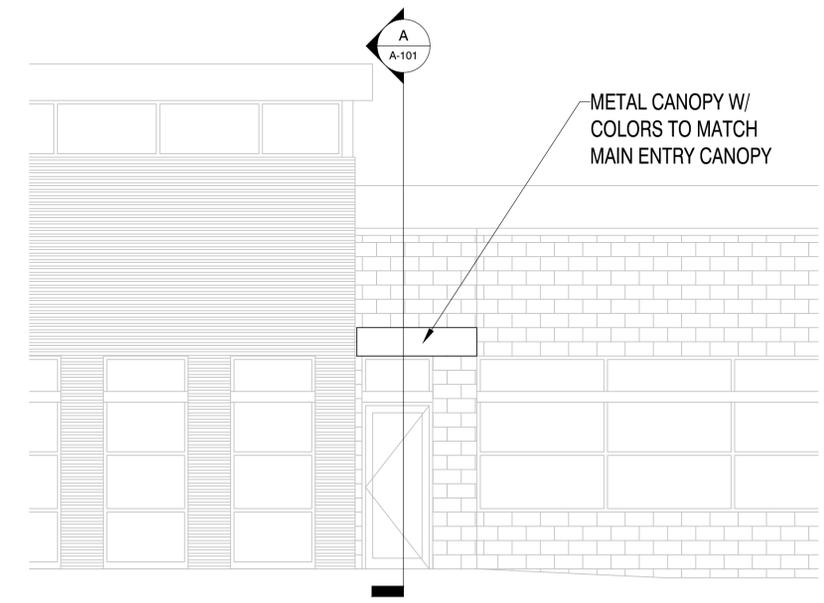
ARCHITECTS



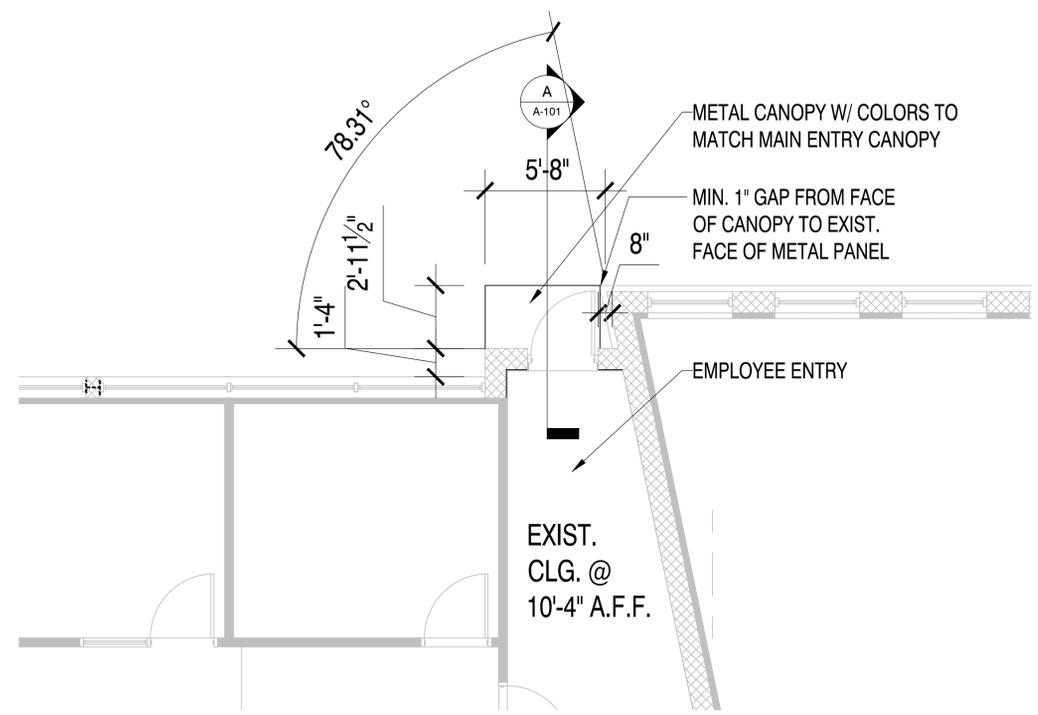
SECTION A



SOUTH ELEVATION 1/4" = 1'-0"



WEST ELEVATION 1/4" = 1'-0"



FLOOR PLAN 1/4" = 1'-0"



ADV LLC
1000 S IMPERIAL DR
HARTLAND WI 53029-2736

BADGERLAND INVESTORS LLC
PO BOX 259066
MADISON WI 53725-9066

HERAEUS ELECTRO-NITE CO LLC
RICHARD A FALK
541 S INDUSTRIAL DR
HARTLAND WI 53029-2323

HM INVESTMENT PARTNERS LLC
581 S INDUSTRIAL DR
HARTLAND WI 53029

JAMES ORDWAY
KRISTIN ORDWAY
N45W29221 FORSETH DR
HARTLAND WI 53029

JOHN GEBHARD
TRUDY GEBHARD
N56W28754 CTH K
HARTLAND WI 53029

LAKE COUNTRY RACQUET & ATHLETIC
560 INDUSTRIAL DR
PO BOX 76
HARTLAND WI 53029

MWE LLC
520 INDUSTRIAL DR
HARTLAND WI 53029-2324

SJOBERG COMMERCIAL PROPERTIES
535 INDUSTRIAL DR
HARTLAND WI 53029-2323



**APPLICATION FOR
PLAN COMMISSION**

\$300 REVIEW FEE DUE AT TIME OF APPLICATION

Project Description			
Proposed Use			No. of Employees
Project Location			
Project Name			
Owner		Phone	
Address		City	State Zip
Engineer/Architect		Phone	FAX
Address		City	State Zip
Contact Person	Phone	FAX	E-mail

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.

Applications that include site plans must depict the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Date Applied:	Date of Meeting:	Return Comments by:
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**Hartland Plan Commission
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Plan Commission.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants are encouraged to communicate with or meet with either the Building and Zoning Official or the Village Administrator prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.
4. Four (4) sets of bound site plans or application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
5. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
6. Additional information may be requested by the Plan Commission or Staff.
7. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
8. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.



July 12, 2018

CUST ID No. 650152

ATTN: Buildings & Structures Building Inspector

KEVIN DILLMAN
TFC CANOPY
1107 N TAYLOR RD
GARRETT IN 46738-1880

BUILDING INSPECTION
VILLAGE OF HARTLAND
210 COTTONWOOD AVE.
HARTLAND WI 53029

CONDITIONAL APPROVAL

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

PLAN APPROVAL EXPIRES: 07/12/2020

SITE:

Advanced Disposal
559 Progress Dr
Village of Hartland, 53029
Waukesha County

Identification Numbers
Transaction ID No. 3102660
Site ID No. 816661
Please refer to both identification numbers, above, in all correspondence with the agency.

FOR:

Facility: 753871 ADVANCED DISPOSAL
559 PROGRESS DR
HARTLAND 53029

Object Type: Canopy, Free Standing Regulated Object ID No.: 1762137 Code Applies Date: 05/09/18
Combined Footing & Foundation and Structural Framework Review (no architectural)

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

- SPS 361.05 - Wisconsin has adopted, with amendments, the 2015 editions of the International Code Council (ICC) suite of building codes. Information on obtaining the ICC codes is available at <http://publicecodes.citation.com/icod/IC-P-2009-000019.htm> Information on the Wisconsin amendments as contained in SPS Chapters 360-366 is available at <http://dsps.wi.gov/sb/SB-DivCodesListing.html>

This review and Conditional Approval is based on requirements of the adopted 2015 codes as amended. Resubmitted calculations using the 2015 codes apply, not 2009 calculations as originally submitted.

- The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under REQUIRED SUBMITTAL(S), may also be required.

7-12-18

DEPT. OF SAFETY
DIVISION

SEE

- All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.
- This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.
- In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.
- Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. The compliance statement is available on our website. <http://verification.dsp.wi.gov/IndustryServices/Commercial-Buildings-Compliance/DSPSMainForm.aspx>

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,

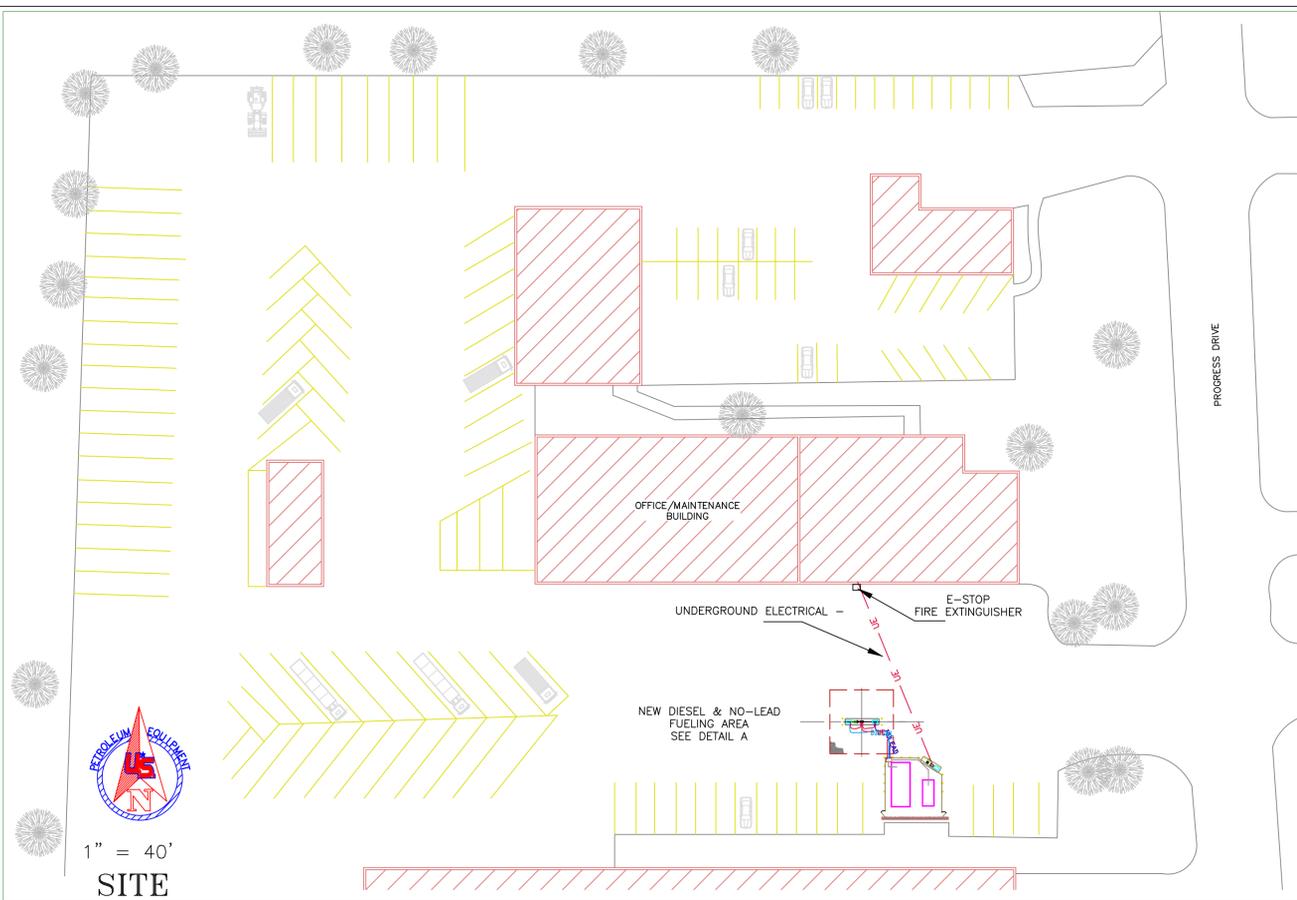


Fee Required \$	350.00
Fee Received \$	350.00
Balance Due \$	0.00

Timothy J. Carson
 Plan Reviewer, Division of Industry Services
 (920) 492-6500, Mon-Fri, 7:30 a.m. - 4:00 p.m.
 timothy.carson@wi.gov

cc: Steve Gothard, State Building Inspector, (608) 235-0568, Monday 7:45 A.M. - 4:30 P.M.
 Us Petroleum Equipment & Environmental - Division of Us Oil Co Inc
 Jonas Sielaff, Us Petroleum Equipment (Plans Mailed To)
 Mr. David Wall, Advanced Disposal





SCOPE OF WORK:

PROPOSING TO UPGRADE AN EXISTING PRIVATE VEHICLE FUELING SITE (ID#151872). EQUIPMENT REPLACING THE EXISTING DIESEL DISPENSING ISLAND, REMOVE TWO DIESEL DISPENSERS, REMOVE THE EXISTING UNDERGROUND PIPING, WILL ALSO REMOVE THE EXISTING GAS PUMP AND GASBOY TOPKAT. REPLACE THEM WITH (1) NEW SUPER-HI FLOW ELECTRONIC DUAL HOSE GASBOY DIESEL DISPENSER, (1) NEW DUAL HOSE GASBOY GASOLINE DISPENSER, NEW RED JACKET 1.5hp SUBMERSIBLE PUMP FOR THE GASOLINE TANK WITH MLLD. THE EXISTING DIESEL TANK WILL REUSE THE EXISTING F.E. PETRO SUBMERSIBLE PUMP WITH MLLD. NEW UNDERGROUND APT XP-175-SC DOUBLE WALL FLEXIBLE PRODUCT PIPING, NEW ABOVEGROUND SCH.40 BLACK STEEL PRODUCT PIPING, NEW RAISED CONCRETE DISPENSER ISLAND AND RESTORE THE CONCRETE. TANK TOP SUBMERSIBLES PUMPS WITH MORRISON GATE VALVES, MORRISON SOLENOID VALVES AND VAPORLESS 99LD MECHANICAL LEAK DETECTORS WILL BE PIPED WITH NEW SCH. 40 ABOVEGROUND PIPE TO A NEW BRAVO TRANSITION SUMP. PRODUCT PIPE WILL CHANGE TO APT-XP-175-SC UNDERGROUND PIPE WITH APT TEST BOOTS, ENTRY BOOTS AND INCON #DC404 STAND-ALONE CONTAINMENT SUMP SENSOR. THE APT PIPE WILL RUN TO THE NEW DISPENSER ISLAND WITH NEW APT DISPENSER SUMPS AND INCON #DC404 STAND-ALONE SUMP SENSORS, NEW EBW #636 DOUBLE POPPET SHEAR VALVES, APT TEST BOOTS AND ENTRY BOOTS. NEW GASBOYS #9850KXTW1 DUAL HOSE DISPENSERS WITH HIGH HOSE RETRACTORS, HUSKY AUTOMATIC NOZZLES, HOSES, WHIPS AND BREAKAWAYS ADDED TO BOTH DISPENSERS. A FUELMASTER FMU-2500PLUSG ISLAND TERMINAL AND PEDESTAL WILL BE USED FOR FUEL CONTROL. SITE WILL REUSE THE EXISTING EMERGENCY STOP, FIRE EXTINGUISHER, ABOVEGROUND STORAGE TANKS, SECURITY FENCE AND TANK CRASH BOLLARDS.

OWNER/REP./APPLICANT:

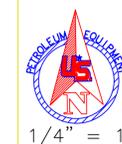
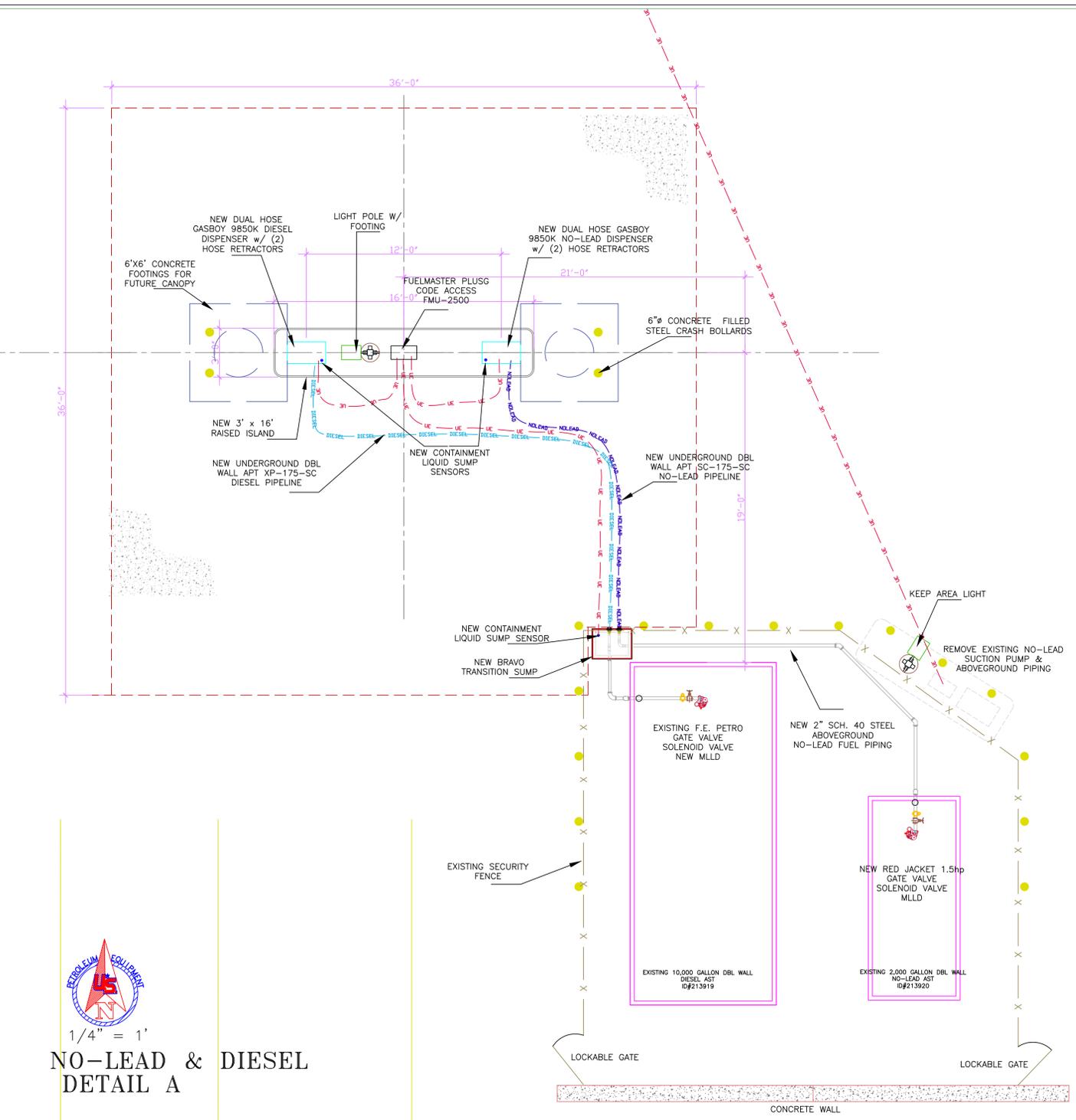
ID# 388818
 ADVANCED DISPOSAL SERVICES SOLID WASTE MIDWEST, LLC
 1715 DEER TRACKS TRL STE 250
 SAINT LOUIS, MO 63131-1882

FACILITY/SITE INFORMATION

ID#151872
 ADVANCED DISPOSAL SERVICES SOLID WASTE MIDWEST, LLC
 559 PROGRESS DRIVE
 HARTLAND, WI 53029

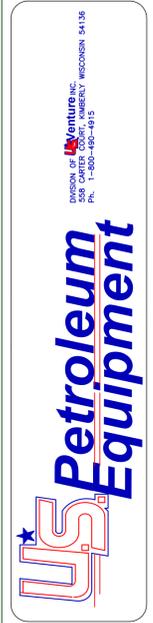
WAUKESHA COUNTY
 VILLAGE OF HARTLAND
 HARTLAND FIRE DEPT. # 6715

LPO:
 WDATCP
 2811 AGRICULTURE DRIVE
 MADISON, WI 53708
 JIM ZORN
 414-852-3699



**NO-LEAD & DIESEL
 DETAIL A**

	VAPORLESS 99 LD-2000 MECHANICAL LEAK DETECTOR
	MORRISON #710 SOLENOID VALVE w/ EXPANSION RELIEF
	MORRISON #535DI GATE VALVE w/ EXPANSION RELIEF
	APT HDPE LMM 2313T DISPENSER SUMP w/ INCON #DC404 STAND-ALONE SUMP SENSOR, APT STB-175 TEST BOOTS, APT REB-175-SC ENTRY BOOTS
	BRAVO B500 TRANSITION SUMP w/ INCON #DC404 STAND-ALONE SUMP SENSOR, APT STB-175 TEST BOOTS, APT REB-175-SC ENTRY BOOTS



ADVANCED DISPOSAL SERVICES SOLID WASTE MIDWEST LLC
 559 PROGRESS DRIVE
 HARTLAND, WI 53029



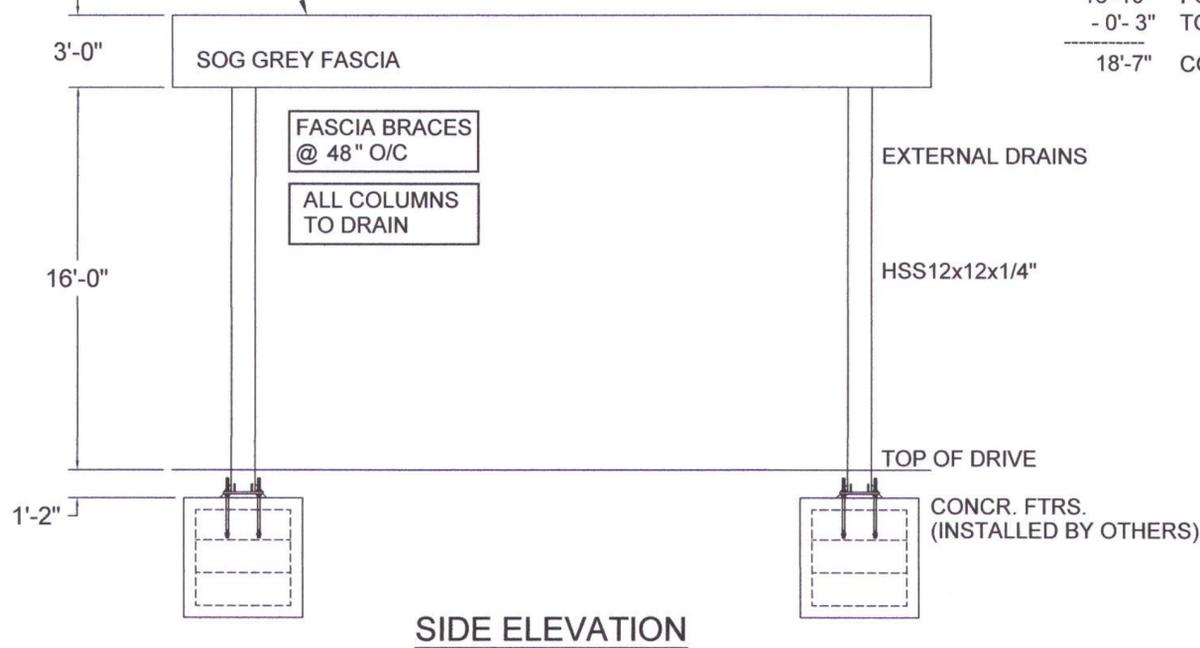
Drawn By:
LMS
 Project number:
#0037122

Date:
 2-27-14
 Revisions:
 9-11-14
 5/23/17

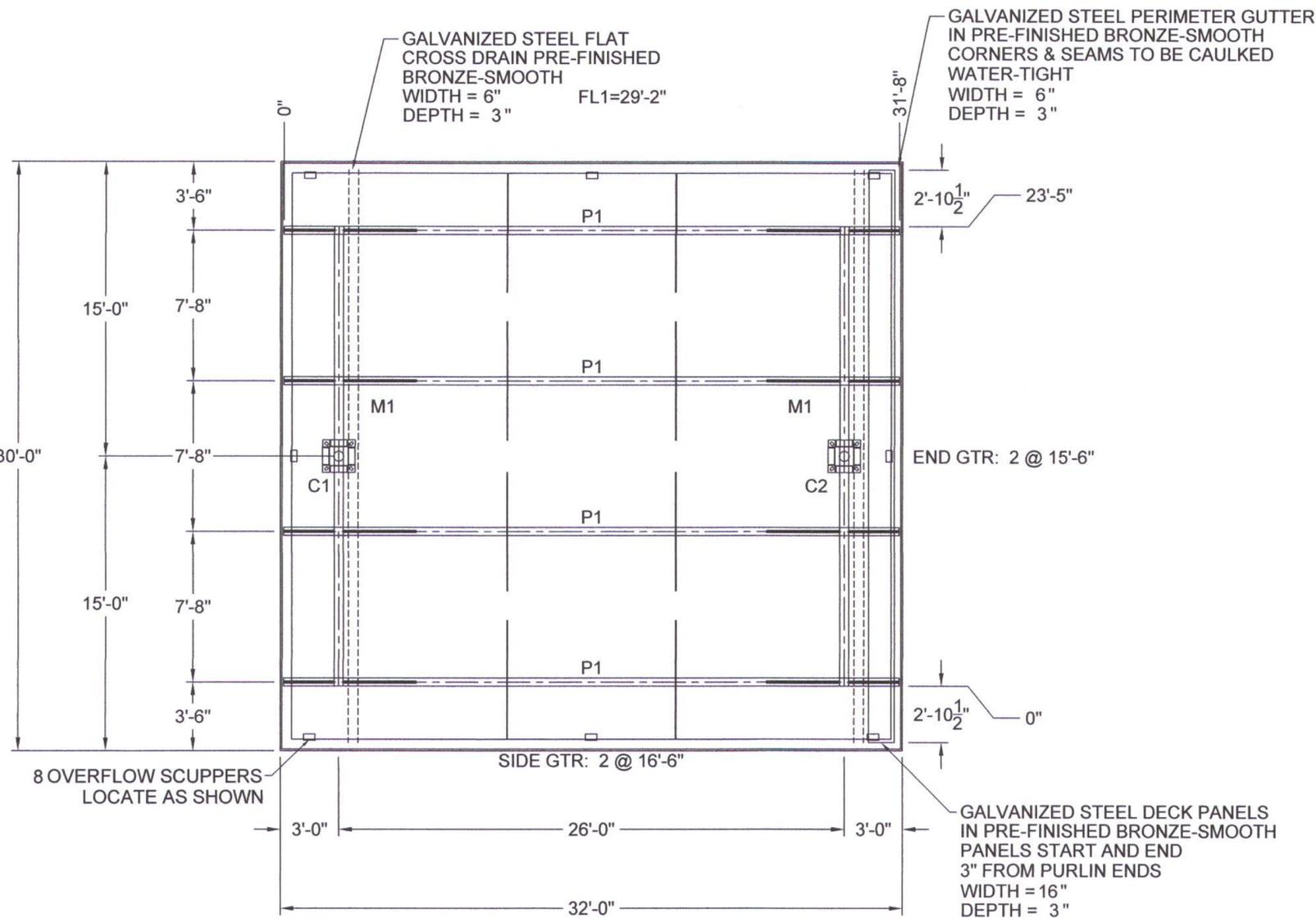
FASCIA INSTALLATION:
SEE PANEL LAYOUT IN MATERIAL LIST.
SEE GRAPHICS LAYOUT IF APPLICABLE.

ERECTOR NOTE: ALL BOLTS ARE 3/4"Ø

- 1'-2" PURLIN HEIGHT
- 1'-2" FOOTER SUBSET
- 16'-0" CLEARANCE HEIGHT
- + 0'-6" DECK & GUTTER DEPTH
- 18'-10" FOOTER TO MAINBEAM HEIGHT
- 0'-3" TOP & BOTTOM PLATE THICKNESS
- 18'-7" COLUMN CUT LENGTH



SIDE ELEVATION



CANOPY PLAN VIEW

PURLINS ARE W14X22 ~U.N.O.
MAIN BEAMS ARE W16X31 ~U.N.O.

GENERAL NOTES

- I. DO NOT SCALE DRAWINGS
 - II. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES.
 - III. ALL WELDING UNLESS SPECIFICALLY NOTED SHALL BE PERFORMED IN THE COMPANY SHOP BEFORE SHIPMENT. ALL WELDS SHALL BE 'FULL' WELDS, A MINIMUM OF 1/4" SIZE AND PERFORMED BY CERTIFIED WELDERS, UNLESS NOTED OTHERWISE.
- A. ALL LEVELING NUTS AND FOOTING ELEVATIONS MUST BE CHECKED WITH A TRANSIT. VERIFY ALL FOOTING BOLT CENTERS.
 - B. CHECK ALL STEEL FOR PLUMB, SQUARE, AND LEVEL AFTER IT IS ERECTED.
 - C. ALL ASTM A325 AND A490 BOLTS SHALL BE INSTALLED PER THE *RCS* SPECIFICATION for Structural Joints Using ASTM A325 or A490 Bolts, (June 30, 2004) contained in Part 16, SPECIFICATIONS AND CODES of the AISC Steel Construction Manual, 13th Edition.
 - D. CHECK LEVELNESS OF BOTTOM OF PURLINS WITH A TRANSIT.
 - E. ALL BRACING FOR BEAMS AND PURLINS IS TO BE WELDED ON BEFORE DECK PANELS ARE INSTALLED.
 - F. FIELD PRIME ALL STRUCTURAL STEEL CONNECTIONS AND SPLICES AFTER STEEL IS ERECTED.
 - G. WASHERS ARE REQUIRED ON ALL BOLTED CONNECTIONS. THE NUT AND WASHER SHALL BE PLACED AT THE TOP OF CONNECTION (NUT SIDE IF BOLT RUNS HORIZONTALLY). A WASHER IS REQUIRED FOR ALL BOLTED CONNECTIONS AT SLOT LOCATIONS (UNLESS NOTED OTHERWISE).
 - H. DO NOT DEVIATE FROM PLANS WITHOUT PRIOR TFC CANOPY CONSENT.

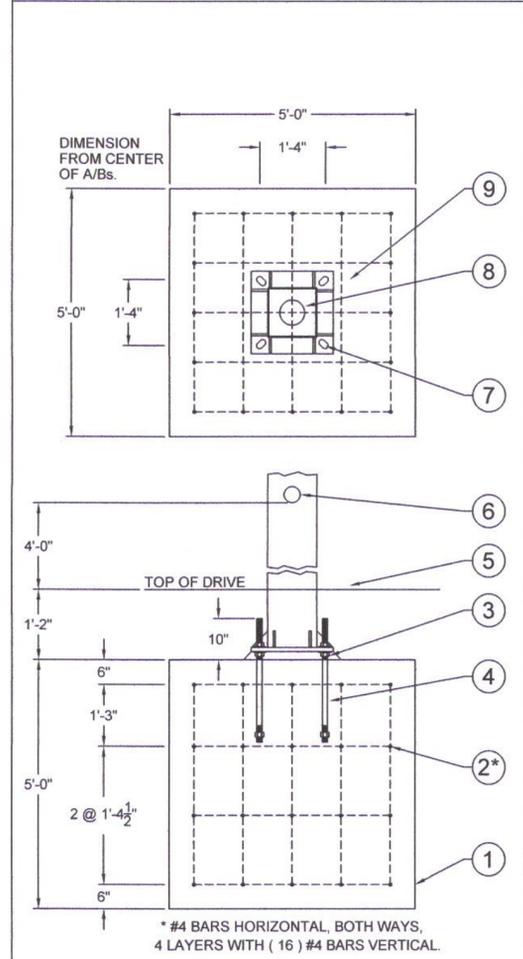
ERECTOR NOTES

1. CONCRETE BASE BY GENERAL CONTRACTOR.
2. SEE FOOTER DETAIL FOR REQUIRED REBAR SPECIFICATIONS.
3. BASEPLATE TO BEAR ON LEVELING NUTS AND WASHERS TO CREATE A MINIMUM 1 1/8" GROUT POCKET. GENERAL CONTRACTOR MUST FILL UNDER THE BASE PLATE WITH A NON-SHRINK GROUT THAT MEETS THE PERFORMANCE REQUIREMENTS OF ASTM C 1107 AND CRD-C 621 SPECIFICATIONS FOR NON-SHRINK GROUT. MIXING AND PLACING OF GROUT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. 1 1/4"Ø x 30" L.G. F1554 GRADE 55 ANCHOR BOLTS W/ HEAVY HEX NUT AND 10" THREADED PROJECTION WITH DOUBLE NUTS FOR PLUMBING AND LEVELING.
5. ALLOW A 36" SQUARE OPENING IN DRIVE AT COLUMNS FOR INSTALLATION OF ANCHOR BOLT NUTS. OPENING TO BE FILLED WITH CONCRETE AFTER ERECTION.
6. ELECTRICAL ACCESS OPENING (4"Ø HOLE) WITH 5"x6" COVER PLATE LOCATED APPROXIMATELY 4' ABOVE TOP OF DRIVE.
7. BASE PLATES ARE 20"x20" x 1" THK. GR. 50 STL. W (4) - 1 1/2"Ø BOLT HOLES ON 16" x 16" CENTERS
8. BASE PLATE HAS A 6"Ø HOLE FOR ELECTRICAL ACCESS.
9. UNLESS OTHERWISE NOTED, TOPS OF FOOTERS MUST BE HELD LEVEL AND ON THE SAME PLANE.
10. CONCRETE FOR FOOTERS SHALL ACHIEVE A MINIMUM COMPRESSION OF 4000 PSI.
11. FOOTING DESIGN IS BASED ON PRESUMPTIVE LOAD BEARING VALUES PROVIDED IN THE INTERNATIONAL BUILDING CODE, TABLE 1806.2. AN ASSUMED ALLOWABLE BEARING PRESSURE OF 2000 PSF AND A LATERAL BEARING PRESSURE OF 150 PSF/FT SHALL BE VERIFIED IN THE FIELD. IT IS RECOMMENDED THAT FOOTINGS BEAR ON STABLE ORIGINAL, UNDISTURBED SUBGRADE OR SELECT CONTROLLED FILL (EXTENDING TO STABLE ORIGINAL, UNDISTURBED SUBGRADE). IF FIELD CONDITIONS AND TESTING INDICATE LESS CAPACITY OR DISTURBED SOIL, THE DETAIL SHOWN SHALL NOT BE USED AND TFC SHALL BE CONTACTED IMMEDIATELY TO REDESIGN THE FOOTINGS.

FOOTER NOTES

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FOOTER DETAIL



2009 IBC

1603.1.1 FLOOR LIVE LOAD: N/A
1603.1.2 ROOF LIVE LOAD: 20 PSF
1603.1.3 ROOF SNOW LOAD:
Pg = 29.4 PSF
Pf = 29.4 PSF
Ce = 1.0
I = 1.0
Ct = 1.2
1603.1.4 WIND LOAD:
V(3 SEC GUST) = 90 MPH
I = 1.0
EXPOSURE = C
Gcpi = 0.00

1603.1.5 EARTHQUAKE DESIGN DATA
Sds = 0.115
Sd1 = 0.070
SITE CLASS = D
SEISMIC-RESISTING SYSTEM =
INVERTED PENDULUM
ANALYSIS PROCEDURE =
EQUIVALENT LATERAL FORCE
CONSTRUCTION TYPE: TYPE IIB
USE GROUP: MERCANTILE-GROUP M
BASE SHEAR = 0.26 kip/COLUMN

CODE SPECIFICATIONS

I.C.C. INTERNATIONAL BUILDING CODE (2009 EDITION)
ASCE/SEI 7-05
AISC STEEL CONSTRUCTION MANUAL, THIRTEENTH EDITION
AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (335-89S1)
AISC CODE OF STANDARD PRACTICE FOR BUILDINGS AND BRIDGES (2005 EDITION)
AISI SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS (S100-2007)
AWS D1.1-2004 STRUCTURAL WELDING CODE
NATIONAL STANDARD PLUMBING CODE, 2006

MATERIAL SPEC.

HOT-ROLLED STRUCTURAL - A992
STRUCTURAL TUBE - A500 GRADE B
PLATE - A529
COLD-FORMED STRUCTURAL - A1011 GRADE A (FY=55 KSI)
DECK PANELS - A653 (FY=50 KSI)
WELDS - AWS/D1.1 E70XX ELECTRODE
HIGH STRENGTH BOLTS - A325N
WASHERS - F436

BOLT NOTES:

All A325 and A490 bolted connections marked with the designation (ST) shall be installed as SNUG-TIGHTENED JOINTS as defined in section 8.1 of the *RCS* Specification for Structural Joints Using ASTM A325 or A490 Bolts, June 30, 2004, contained in Part 16, SPECIFICATIONS AND CODES of the AISC STEEL CONSTRUCTION MANUAL, THIRTEENTH EDITION.
8.1 Snug-Tightened Joints
"... The snug-tightened condition is the tightness that is attained with a few impacts of an impact wrench or the full effort of an ironworker using an ordinary spud wrench to bring the connected plies into firm contact."
Inspection requirements for Snug-Tightened Joints are as listed in section 9.1 of the *RCS* Specification for Structural Joints Using ASTM A325 or A490 Bolts, June 30, 2004, contained in Part 16, SPECIFICATIONS AND CODES of the AISC STEEL CONSTRUCTION MANUAL, THIRTEENTH EDITION.
9.1 Snug-Tightened Joints
"... After the connections have been assembled, it shall be visually ensured that the plies of the connected elements have been brought into firm contact and that washers have been used. No further evidence of conformity is required for snug-tightened joints. The magnitude of the clamping force that exists in a snug-tightened joint is not a consideration."

CERTIFIED BY:



COMPLETE REDESIGN	04/21/18	BTD
REV. DESCRIPTION	DATE	BY

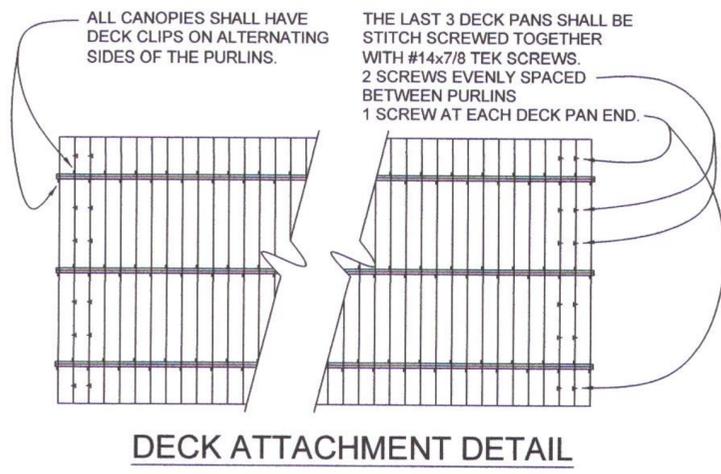
ERECTOR CONSTR STEEL JOB FILE



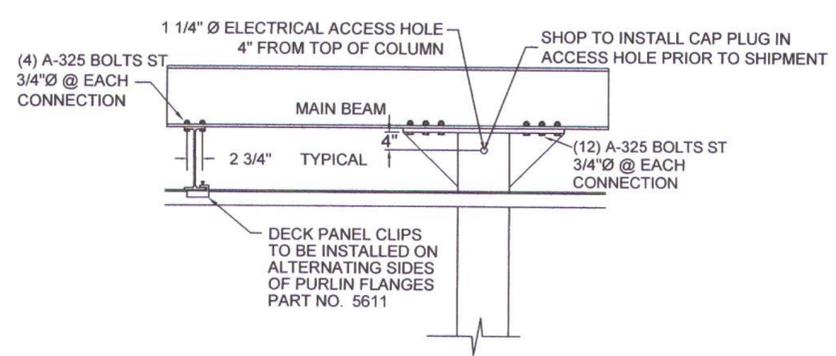
TFC CANOPY
1107 N. TAYLOR RD.
GARRETT, IN 46738
PH. (260) 357-6665 FAX (260) 357-6533

JOB # 700188

JOB REF. N/A	30'-0" x 32'-0" -- 2 Cols.
LOCATION:	Hartland, WI
CUSTOMER:	U.S. Petroleum Equipment Kimberly, WI
SCALE: DO NOT SCALE	ENGINEER: KED
DATE: Apr-12-2018	DRAWN BY: BTD
	DRAWING NO. 1 OF 2

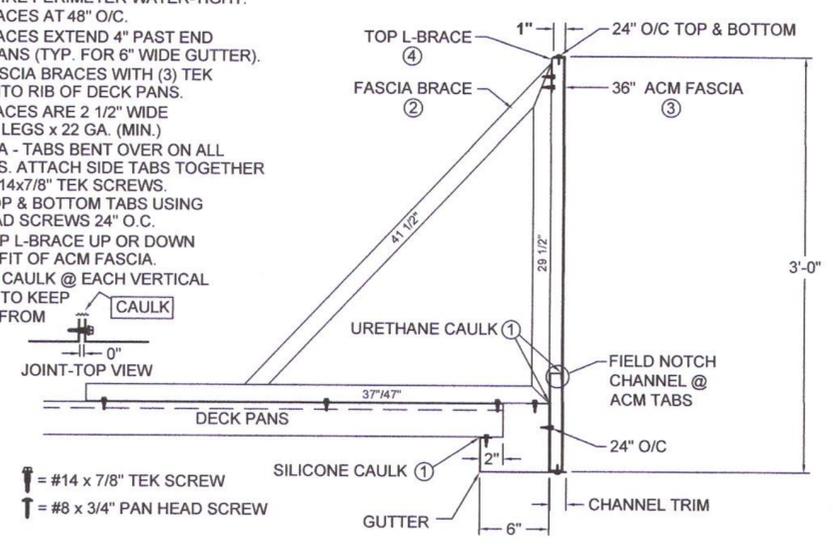


DECK ATTACHMENT DETAIL

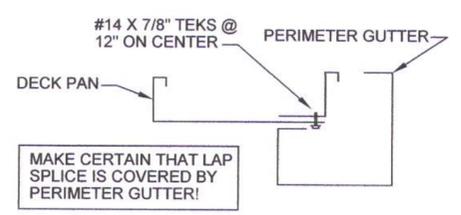


STRUCTURAL CONNECTIONS DETAIL "SCDSS"

- NOTES**
1. CAULK ENTIRE PERIMETER WATER-TIGHT.
 - 2 a. FASCIA BRACES AT 48" O/C.
b. FASCIA BRACES EXTEND 4" PAST END OF DECK PANS (TYP. FOR 6" WIDE GUTTER).
 3. FASTEN FASCIA BRACES WITH (3) TEK SCREWS INTO RIB OF DECK PANS.
d. FASCIA BRACES ARE 2 1/2" WIDE WITH 1 1/8" LEGS x 22 GA. (MIN.)
 3. ACM FASCIA - TABS BENT OVER ON ALL FOUR SIDES. ATTACH SIDE TABS TOGETHER USING (3) #14x7/8" TEK SCREWS. ATTACH TOP & BOTTOM TABS USING #8 PAN HEAD SCREWS 24" O.C.
 4. ADJUST TOP L-BRACE UP OR DOWN FOR SNUG FIT OF ACM FASCIA.
 5. URETHANE CAULK @ EACH VERTICAL ACM JOINT TO KEEP ANY LIGHT FROM SHINING THROUGH.

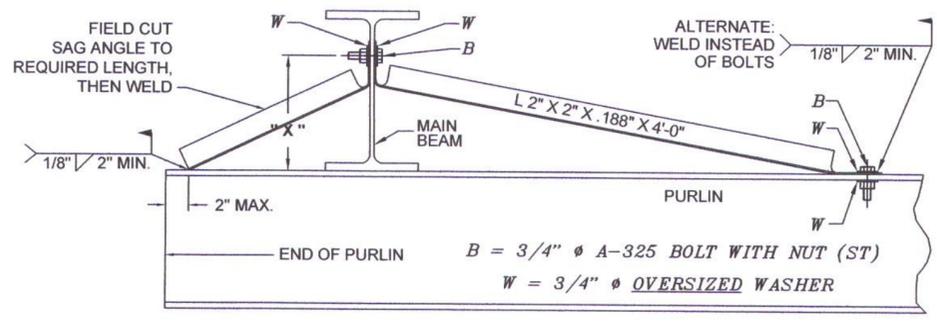


36" ACM FASCIA

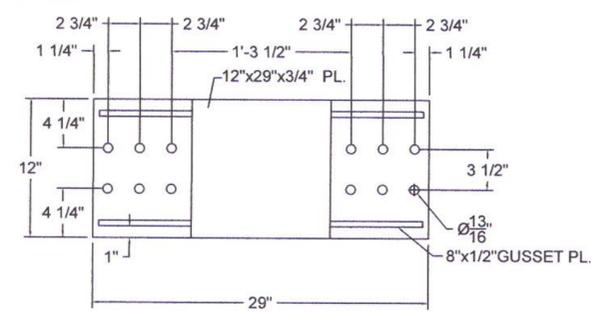


FINISH DECK PAN DETAIL

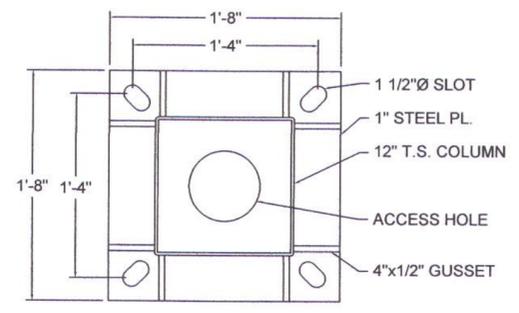
MAIN BEAM SIZE	W8	W10	W12	W14	W16	W18	W21	W24	W27
DIMENSION " X "	5-1/2"	6-1/2"	8-1/2"	10-1/2"	12-1/2"	14-1/2"	17-1/2"	20-1/2"	23-1/2"



4'-0" SAG ANGLE @ PURLIN END DETAIL



CAP PLATE DETAIL CPSS12



BASE PLATE DETAIL BP4N12-1"

CERTIFIED BY:



COMPLETE REDESIGN	04/12/18	BTD
REV. DESCRIPTION	DATE	BY
<input type="checkbox"/> ERECTOR	<input type="checkbox"/> CONSTR	<input type="checkbox"/> STEEL
<input type="checkbox"/> JOB FILE		

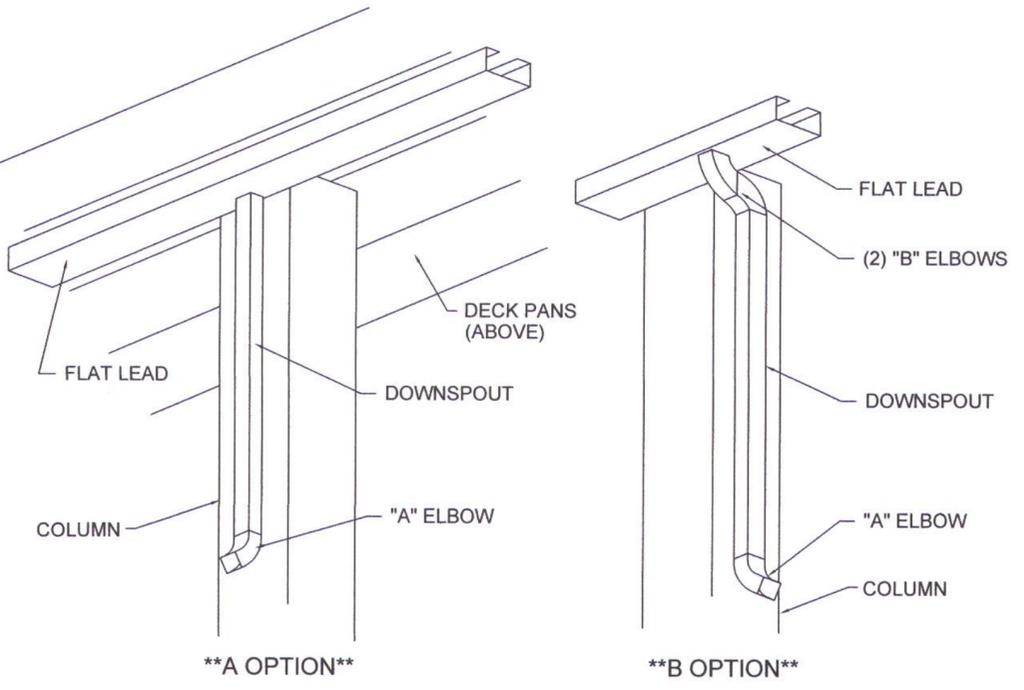


TFC CANOPY
1107 N. TAYLOR RD.
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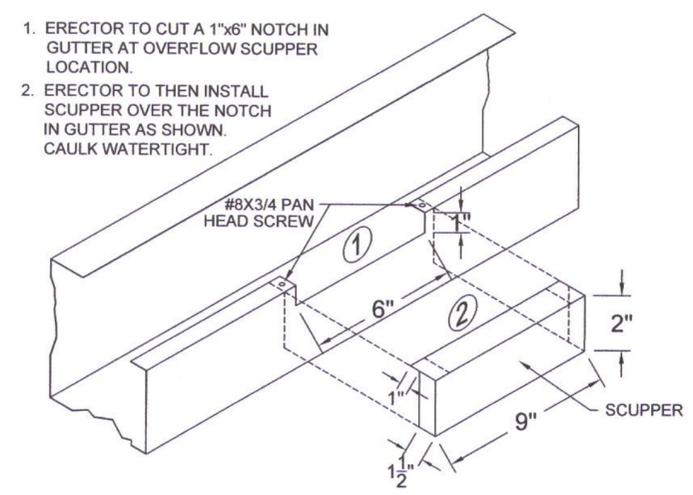
JOB # 700188

JOB REF. N/A
30'-0" x 32'-0" -- 2 Cols.
LOCATION: Hartland, WI
CUSTOMER: U.S. Petroleum Equipment Kimberly, WI

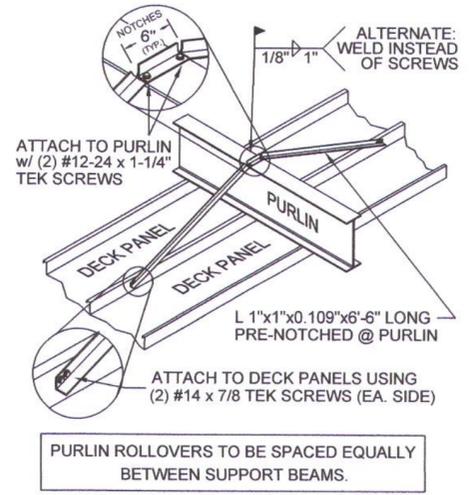
SCALE: DO NOT SCALE
DATE: Apr-12-2018
ENGINEER: KED
DRAWN BY: BTD
DRAWING NO. 2 OF 2



EXTERNAL DRAIN DETAIL



OVERFLOW SCUPPER



PURLIN ROLLOVER DETAIL

BUSKE FAMILY LIMITED PARTNERSHIP
PO BOX 116
HARTLAND WI 53029-0116

SJAMB LLC
PSI HOLDINGS LLC
535 S INDUSTRIAL DR
HARTLAND WI 53029-2323

MYRA PROPERTIES LLC
C/O NEIL KOPINSKI
1795 LINCOLN PARK CIR
SARASOTA FL 34236

S&M RABAY LLC
550 PROGRESS DR
HARTLAND WI 53029-2304

SCI INVESTMENT HOLDINGS LLC
540 PROGRESS DR
HARTLAND WI 53029-2304

LINDSAY REAL ESTATE HOLDINGS LLC
2222 N 111TH ST
OMAHA NE 68164-3817

MIDWEST SHRC LLC
1412 HIDDEN FIELDS DR
WEST BEND WI 53095-4570

SUPERIOR OF WISCONSIN INC
EXPERT DISPOSAL SERVICE INC
PO BOX 168
HARTLAND WI 53029-0168

TROMPLER PROPERTIES LLC
580 S INDUSTRIAL DR
HARTLAND WI 53029-2357

LAKE COUNTRY RACQUET & ATHLETIC
560 INDUSTRIAL DR
PO BOX 76
HARTLAND WI 53029

JAMES ORDWAY
KRISTIN ORDWAY
N45W29221 FORSETH DR
HARTLAND WI 53029

ADV LLC
1000 S IMPERIAL DR
HARTLAND WI 53029-2736

MWE LLC
520 INDUSTRIAL DR
HARTLAND WI 53029-2324

KIEFER FARMS

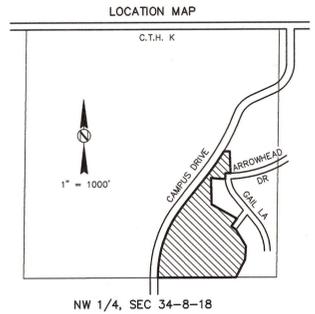
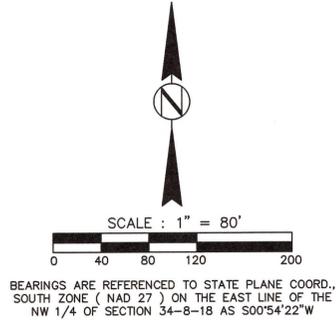
BEING A REDIVISION OF ALL OF LOT 1 OF C.S.M. NO. 11732, LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 34, T.8N., R.18E., TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

CURVE NO.	LOT NO.	RADIUS LENGTH	CENTRAL ANGLE (DMS)	ARC DISTANCE	CHORD DISTANCE	CHORD BEARING (DMS)	TAN. BEARING 1 (DMS)	TAN. BEARING 2 (DMS)
1	O.L. 1	1170.00'	37-34-08	767.17'	753.50'	N19-31-01E	N00-43-57E	N38-18-05E
2	O.L. 1	2319.98'	07-04-28	286.45'	286.27'	N34-45-51E	N38-18-05E	N31-13-37E
3	O.L. 1	1140.89'	02-38-43	52.67'	52.67'	S89-40-44.5W (REC'D AS S89-40-45W)	S88-21-23W	N88-59-54W
4	O.L. 1	1200.89'	07-10-00	150.21'	150.11'	N85-24-54W	N88-59-54W	N81-49-54W
5-N	8	67.00'	52-37-10	61.53'	59.39'	S63-32-55W	S37-14-20W	S89-51-30W
5-C/L	-	100.00'	52-37-10	91.84'	88.65'	S63-32-55W	S37-14-20W	S89-51-30W
5-S	-	133.00'	52-37-10	122.14'	117.90'	S63-32-55W	S37-14-20W	S89-51-30W
5-S	1	133.00'	40-33-34	94.15'	92.20'	S57-31-07W	S37-14-20W	S77-47-54W
5-S	2	133.00'	12-03-36	27.99'	27.94'	S83-49-42W	S77-47-54W	S89-51-30W
6	3	50.00'	48-23-40	42.23'	40.99'	S65-39-40W	S89-51-30W	S41-27-50W
7	-	75.00'	276-47-20	362.32'	99.60'	N00-08-30W	S41-27-50W	S41-44-50E
7	3	75.00'	8-36-00	11.26'	11.25'	S45-45-50W	S41-27-50W	S50-03-50W
7	4	75.00'	65-31-48	85.78'	81.18'	S82-49-44W	S50-03-50W	N64-24-22W
7	5	75.00'	53-50-42	70.48'	67.92'	N37-29-01W	N64-24-22W	N10-33-40W
7	6	75.00'	60-49-06	79.61'	75.93'	N19-50-53E	N10-33-40W	N50-15-26E
7	O.L. 1	75.00'	27-28-04	35.96'	35.61'	N63-59-28E	N50-15-26E	N77-43-30E
7	7	75.00'	60-31-40	79.23'	75.60'	S72-00-40E	N77-43-30E	S41-44-50E
8	7	50.00'	48-23-40	42.23'	40.99'	S65-39-40E	S41-44-50E	N89-51-30E

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'
 ANGLES ARE COMPUTED TO THE NEAREST 00'00'00.5" AND MEASURED TO THE NEAREST 00'00'05"

LEGEND

- - 2.25" O.D. IRON PIPE FOUND
- - 2.25" O.D. IRON PIPE SET, 18" LONG, WT. = 3.93 LBS./LIN. FT.
- - 3/4" O.D. x 18" IRON REBAR SET AT ALL OTHER LOT CORNERS, WT. = 1.50 LBS./LIN. FT.
- - CONCRETE MONUMENT W/ BRASS CAP FOUND
- - 1.25" O.D. IRON PIPE FOUND
- - 1.5" O.D. IRON PIPE FOUND
- - 3/4" O.D. IRON REBAR FOUND



GENERAL NOTES:

- 1) EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVISIBLE FRACTIONAL OWNERSHIP IN OUTLOT 1 AND WAUKESHA COUNTY OR THE TOWN OF MERTON SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY
- 2) OUTLOT 1 IS COVERED, IN ITS ENTIRETY, BY A STORM DRAINAGE EASEMENT.
- 3) THERE SHALL BE NO FURTHER DIVISION OF LOTS OR OUTLOTS WITHIN THE SUBDIVISION.
- 4) ALL REFERENCED ELEVATIONS ARE ON THE NGVD 1929 DATUM.
- 5) THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO CAMPUS DRIVE FROM OUTLOT 1.
- 6) THE CENTER ISLAND IN THE CUL-DE-SAC IS PART OF THE PUBLIC ROAD RIGHT-OF-WAY, BUT WILL BE MAINTAINED BY THE KIEFER FARMS HOMEOWNERS ASSOCIATION.
- 7) ALL BASEMENT FLOORS MUST BE A MINIMUM OF 1 FOOT ABOVE THE SEASONAL HIGH GROUNDWATER MARK

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

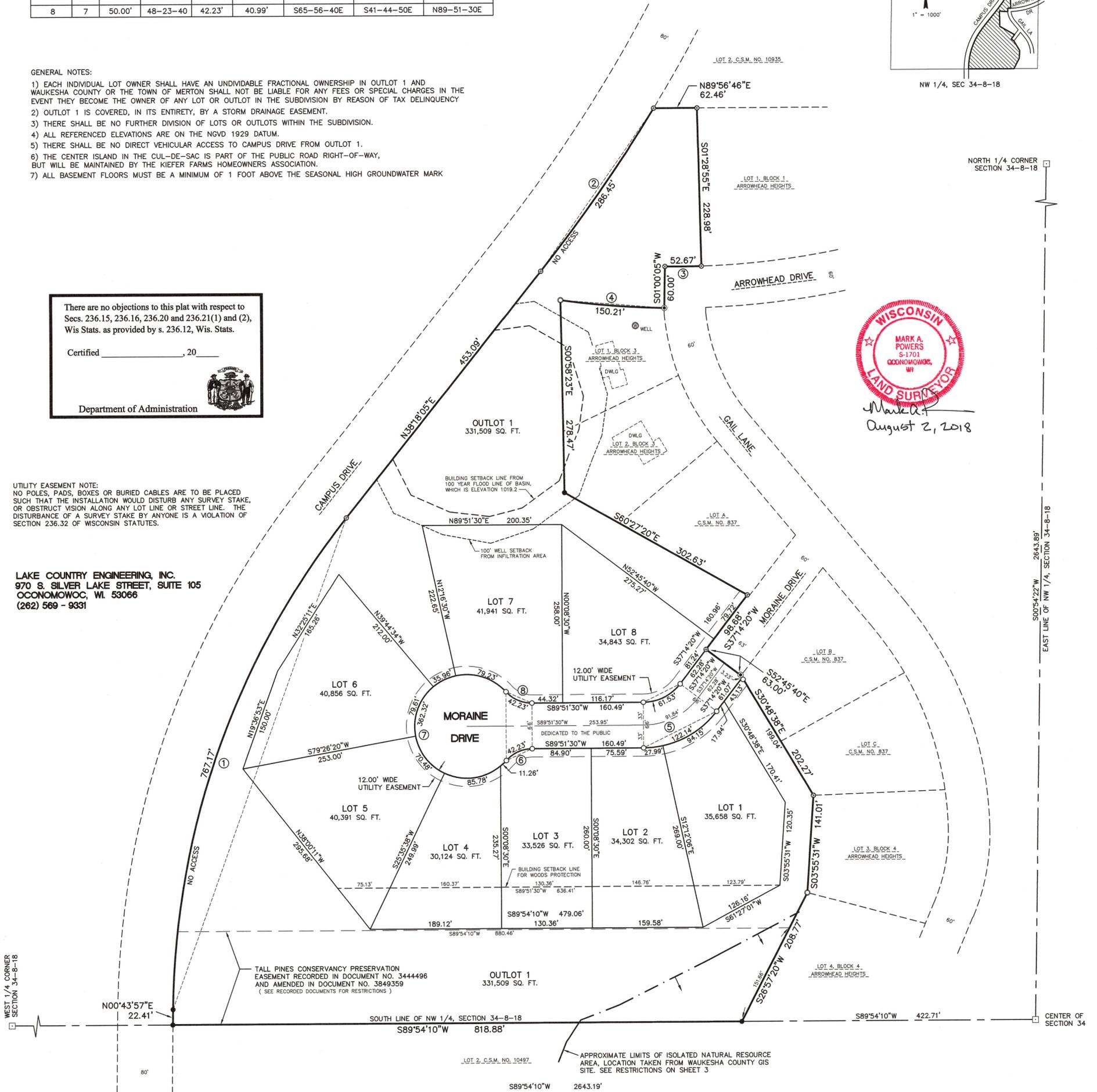


UTILITY EASEMENT NOTE:
 NO POLES, PADS, BOXES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.

LAKE COUNTRY ENGINEERING, INC.
 970 S. SILVER LAKE STREET, SUITE 105
 OCONOMOWOC, WI. 53066
 (262) 569 - 9331



Mark A. Powers
 August 2, 2018



KIEFER FARMS

BEING A REDIVISION OF ALL OF LOT 1 OF C.S.M. NO. 11732, LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 34, T.8N., R.18E., TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Mark A. Powers, Professional Land Surveyor, hereby certify:

That I have surveyed, divided, and mapped a redivision of all of Lot 1 of Certified Survey Map No. 11732, located in the SE 1/4 of the NW 1/4 of Section 34, T8N, R18E, Town of Merton, Waukesha County, Wisconsin. Said lands containing 663,139 sq. ft. (15.22 acres)

That I have made such survey, land division and plat by the direction of Kiefer Farms LLC, owner of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Town of Merton, Village of Hartland and Waukesha County Department of Parks and Land Use in surveying, dividing and mapping the same.

Dated this 2nd day of August, 2018.

Mark A. Powers
Mark A. Powers, PLS 1701



OWNER'S CERTIFICATE:

As member of Kiefer Farms LLC, I, Joseph Guertin hereby certify that I caused said land to be surveyed, divided, mapped and dedicated, as shown on this map. Joseph Guertin, member, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for objection or approval:

- 1) Department of Administration
- 2) Town of Merton
- 3) Village of Hartland
- 4) Waukesha County Department of Parks and Land Use

WITNESS the hand and seal of said Joseph Guertin, member, this _____ day of _____, 20____.

In Presence of:

Joseph Guertin, member

STATE OF WISCONSIN

COUNTY)

Personally came before me this _____ day of _____, 20____, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public

County, Wisconsin
My Commission expires _____

TOWN OF MERTON PLAN COMMISSION APPROVAL

Approved by the Town of Merton Plan Commission this _____ day of _____, 20____.

Tim Klink, Chairman _____
Holly Claas, Secretary

TOWN BOARD APPROVAL

Approved by the Town Board of the Town of Merton this _____ day of _____, 20____.

Tim Klink, Chairman _____
Donna Hann, Clerk

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Hartland this _____ day of _____, 20____.

Village Clerk _____
Village President

CERTIFICATE OF COUNTY TREASURER:

I, Pamela F. Reeves, being duly elected, qualified and acting Treasurer of Waukesha County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of Kiefer Farms.

Date _____
Pamela F. Reeves, Waukesha County Treasurer

CERTIFICATE OF THE TOWN TREASURER

I, _____, being the duly elected, appointed, qualified and acting Treasurer of the Town of Merton, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 20____ on any land included in the plat of Kiefer Farms.

Dated: _____
Melissa Kempen, Town Treasurer

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE APPROVAL:

The above, which has been filed for approval as required by Chapter 236, Wis. Statutes, is hereby approved on the _____ day of _____, 20____.

Dale R. Shaver, Director

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certificate of Kiefer Farms LLC, Owner.

IN WITNESS WHEREOF, said _____ has caused these presents to be signed by _____, its President, and countersigned by _____, its Secretary (cashier) at _____, Wisconsin, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

In presence of:

Corporate Name _____ (Corporate Seal)
Countersigned

President _____
Secretary (Cashier)

STATE OF WISCONSIN

COUNTY

Personally came before me this _____ day of _____, 20____, the above named _____, President, and _____, Secretary (cashier) of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary (cashier) of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

County, Wisconsin
My Commission expires _____

KIEFER FARMS

BEING A REDIVISION OF ALL OF LOT 1 OF C.S.M. NO. 11732, LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 34, T.8N., R.18E., TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

STORM WATER MANAGEMENT PRACTICE MAINTENANCE

The title holders of lots 1 through 8 of the Kiefer Farms Subdivision each shall hold 1/8th undividable interest in Outlot 1, where storm water management practices are located. There are one or more separate documents recorded on the property title through the Waukesha County Register of Deeds entitled "Storm Water Management Practice Maintenance Agreement" ("Maintenance Agreement") that apply to Outlot 1. The maintenance agreement subjects this subdivision plat, and all lot owners therein, to covenants, conditions and restrictions necessary to ensure the long term maintenance of the storm water management practice. The agreement also outlines a process by which the Town of Merton may levy and collect special assessments or charges for any services the community might provide relating to enforcement of the Maintenance Agreement.

In accordance with Chapter 14 - Article VII of the Waukesha County Code of Ordinances ("Storm Water Ordinance"), the Storm Water Permit Holder is responsible for constructing the storm water management practices following plans approved by Waukesha County and the Town of Merton and is responsible for maintaining the storm water practices until permit termination by Waukesha County and the Town of Merton. Upon termination of the Storm Water Permit, the owners of lots 1-8 shall be responsible for maintenance of the storm water management practices in accordance with the Maintenance Agreement.

RESTRICTIONS

All lands within areas labeled "storm drainage easement" are reserved for storm water collection, conveyance, treatment or infiltration. No buildings or other structures are allowed in these areas. No grading or filling (other than construction of the Storm Water BMP's) is allowed in these areas that may interrupt storm water flows in any way. The Maintenance Agreement may contain specific maintenance requirements for these areas. The Town of Merton, or their designee are authorized access in these areas for purposes of inspecting the storm water management practices or enforcing the terms of this Maintenance Agreement.

All lands within areas labeled "well setback" are restricted from the placement of any well due to potential risk of contamination in accordance with the Storm Water Ordinance and Wisconsin Administrative Codes.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

_____, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee,

_____, Grantee, and

_____, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

ISOLATED NATURAL RESOURCE PRESERVATION AREA RESTRICTIONS

Those areas of land identified as Isolated Natural Resource Area on Sheet 1 of this subdivision plat shall be considered to be in a Isolated Natural Resource Preservation Area and shall be subject to the following restrictions:

- 1) Grading and filling are prohibited.
- 2) The removal of topsoil or other earthen materials is prohibited.
- 3) The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the Waukesha County Department of Parks and Land Use-Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Waukesha County Department of Parks and Land Use-Planning and Zoning Division, shall also be permitted. The removal of any vegetative cover that is necessitated to provide access or service to an approved residence or accessory building, shall be permitted only when the access or service cannot be located outside of the Isolated Natural Resource Area and with approval from the Waukesha County Department of Parks and Land Use-Planning and Zoning Division.
- 4) Grazing by domesticated animals, i.e. horses, cows, etc., shall be discouraged to the greatest extent possible.
- 5) The introduction of plant material not indigenous to the existing environment of the Isolated Natural Resource Preservation Area is prohibited.
- 6) Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Park and Planning Commission, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- 7) The construction of buildings within the Isolated Natural Resource Preservation Area is prohibited.



ALAN G STANWICK 2008 LIVING TRUST
W305N5205 GAIL LN
HARTLAND WI 53029

ANDREW HUXFORD
SHANNON HUXFORD
W305N5280 GAIL LN
HARTLAND WI 53029-1025

ARROWHEAD UNION HIGH SCHOOL
DISTRICT
700 NORTH AVE
HARTLAND WI 53029

BOYD STAPLETON
ELIZABETH STAPLETON
W304N5309 EVELYN CT
HARTLAND WI 53029

BRIAN P THOMAS
REBECCA L MATTANO
W305N5311 GAIL LN
HARTLAND WI 53029

BRUCE PELTIER
WENDY PELTIER
W307N5440 ANDERSON RD
HARTLAND WI 53029

CHAD M KNUTSON
TERESA J KNUTSON
W304N5329 EVELYN CT
HARTLAND WI 53029

DANIEL FOGLE
KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

FREDERICK JESKO
R JESKO
N53W30509 ARROWHEAD DR
HARTLAND WI 53029

JAMES TERONDE
TERESA TERONDE
W304N5293 EVELYN CT
HARTLAND WI 53029

JOHN MALONEY
CHERYL MALONEY
290 HICKORY CT
HARTLAND WI 53029

JOHN PLESH
J BERGLES
N53W30510 ARROWHEAD DR
HARTLAND WI 53029

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

KATHLEEN P SMITH
W305N5310 GAIL LN
HARTLAND WI 53029

KURTIS W KRUEGER
DAWN M KRUEGER
W307N5460 ANDERSON RD
HARTLAND WI 53029-1034

LUTHERAN HIGH SCHOOL
ASSOCIATION OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

MARGARET E KINSEY
N53W30495 ARROWHEAD DR
HARTLAND WI 53029

MARK J GIMLA
FRANCINE J DEMLER-GIMLA
W305N5220 GAIL LN
HARTLAND WI 53029

MICHAEL A BARTON
N53W30582 ARROWHEAD DR
HARTLAND WI 53029

PATRICK HENZE
MARY HENZE
W305N5235 GAIL LN
HARTLAND WI 53029

PATRICK J BALISTRERI
DONNA W BALISTRERI
W305N5240 GAIL LN
HARTLAND WI 53029-1025

PAUL STAPLETON
W305N5247 GAIL LN
HARTLAND WI 53029

PETER MIHOJEVICH
SUSAN MIHOJEVICH
N52W30555 MORaine DR
HARTLAND WI 53029

PETER PURVIS
SHARON PURVIS
W305N5260 GAIL LN
HARTLAND WI 53029

PETER PURVIS JR
JILL PURVIS
W305N5250 GAIL LN
HARTLAND WI 53029

RENA L CZOSCHKE
W305N5321 GAIL LN
HARTLAND WI 53029

RUSSELL R GREIBER
JOYCE GREIBER
W307N5452 ANDERSON RD
HARTLAND WI 53029-1034

SAMUEL J GENGO
W307N5470 ANDERSON RD
HARTLAND WI 53029

STACEY A BITTMAN
W305N5200 GAIL LN
HARTLAND WI 53029

STEVE KURZ
LAURA M TRUDELL
W305N5295 GAIL LN
HARTLAND WI 53029

GUY JR & PATRICIA F KIECKHEFER
LIVING TRUST DTD 3/4/09
W307N5276 ANDERSON RD
HARTLAND WI 53029

TERENCE J FELLAUM
ELIZABETH A FELLAUM
W305N5270 GAIL LN
HARTLAND WI 53029

THOMAS A GILLIGAN
N53W30531 ARROWHEAD DR
HARTLAND WI 53029

THOMAS PETRI
DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

TIMOTHY S VANRIPER
N53W30542 ARROWHEAD DR
HARTLAND WI 53029





David Cox

From: Scott Hussinger
Sent: Friday, August 10, 2018 9:02 AM
To: David Cox
Subject: FW: Meyer Material - Conditional Use Amendment

Dave – Please see Randi’s request below. Scott.

From: Randi Wille [mailto:rtwille@meyermaterial.com]
Sent: Thursday, August 09, 2018 11:41 AM
To: Scott Hussinger
Subject: Meyer Material - Conditional Use Amendment

Scott - I spoke with my contacts at Ozinga about the changes we discussed. Below is a list of items that should be considered under any amendment to the CUP.

1. Ensure that the CUP is granted not just for the benefit of Meyer Material, but for Ozinga Ready Mix Concrete, Inc. (or any other lessee) as well;
2. During weekdays (i.e. Monday through Friday) we would ask that there not be any hours of operation restrictions; and
3. Saturday’s we could live with a restriction of 4AM to 8PM;
4. Sunday’s we would like to be able to operate on a request basis (or 8 times a year max)

Please let me know your thoughts on these items. I can arrange to have a conference call with all parties if that helps clarify the needs of our tenants.

Thanks in advance for your assistance.

Randi Wille
Regional Manager, Environmental & Land Services, Mid-America Region
Lafarge Aggregates/Meyer Material Company
1300 South Illinois Route 31
South Elgin, IL 60177
Mobile: 847/417-2658
E-Mail: rtwille@meyermaterial.com
www.aggregate-us.com

A member of the LafargeHolcim Group

This e-mail is confidential and intended only for the use of the above named addressee. If you have received this e-mail in error, please delete it immediately and notify us by e-mail or telephone.

ABIGAIL KUSH
MICHAEL G KUSH
901 HIDDEN VALLEY DR APT 12201
ROUND ROCK TX 78665-1499

ALEX LEYKIN
W188S7820 W RACINE AVE
MUSKEGO WI 53150

ALEX WAGNER
4875 EASY ST UNIT 9
HARTLAND WI 53029-1943

ALEXANDER ALLISTER
4887 EASY ST UNIT 10
HARTLAND WI 53029-1942

ALYCIA J WARD
4875 EASY ST UNIT 5
HARTLAND WI 53029-1943

AMANDA K KRIER
4821 EASY ST UNIT 11
HARTLAND WI 53029-1941

AMOL NANDKISHOR AGASHE
4887 EASY ST UNIT 2
HARTLAND WI 53029-1942

ANDREW ZIETLOW
KRISTIN ZIETLOW ET AL
4411 VETTELSON RD
HARTLAND WI 53029

ANTHONY J KLOTZ
KARRIE L KLOTZ
4887 EASY ST UNIT 14
HARTLAND WI 53029

ARLENE A MAYES
4875 EASY ST UNIT 8
HARTLAND WI 53029-1943

ASHLEY E PEIRICK
4887 EASY ST UNIT 6
HARTLAND WI 53029-1942

BADGERLAND INVESTORS LLC
PO BOX 259066
MADISON WI 53725-9066

BENJAMIN MERTENS
4835 EASY ST UNIT 14
HARTLAND WI 53029-1954

BRENT W YUNK
4821 EASY ST UNIT 14
HARTLAND WI 53029

BRIAN J BORKENHAGEN
4835 EASY ST UNIT 2
HARTLAND WI 53029-1954

BRIAN M AND PATRICIA A STIPPICH
2011 LIVING TRUST
4887 EASY ST UNIT 3
HARTLAND WI 53029-1942

BRIAN M GRAY
TINA WESTBERG
618 W CAPITOL DR
HARTLAND WI 53029-1925

BRIANA C BEAIRD
N77W22940 COLDWATER CIR
SUSSEX WI 53089

BRYAN E BAUMAN
1420 BLAZING STAR DM
OCONOMOWOC WI 53066-3552

CALVIN M AKIN
19105 W CAPITOL DR #200
BROOKFIELD WI 53045

CARRIE A SORG
W355S9330 BENNINGTON DR
EAGLE WI 53119-1609

CARRIE HAANSTAD
4863 EASY ST UNIT 3
HARTLAND WI 53029

CECELIA FAUSEL
4887 EASY ST UNIT 16
HARTLAND WI 53029-1942

CHAD D TORKEKELSON
4821 EASY ST UNIT 6
HARTLAND WI 53029

CLIFFORD R LOKER
4875 EASY ST UNIT 7
HARTLAND WI 53029-1943

COLLEEN K CONDON
4875 EASY ST UNIT 13
HARTLAND WI 53029

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DANIELLE NICOLE HENRY
4875 EASY ST UNIT 6
HARTLAND WI 53029-1943

DAVID E PICKARD
LINDA S PICKARD
38317 SUNSET DR
OCONOMOWOC WI 53066-9499

DAVID G LASKA
4835 EASY ST UNIT 8
HARTLAND WI 53029

DAVID HADDIX
4887 EASY ST UNIT 9
HARTLAND WI 53029-1942

DAVID M MORRIS
MAEDLINE A MORRIS
4023 CAMPBELL TRCE
HARTLAND WI 53029

DEGROTHY TRUST DATED
SEPTEMBER 11, 2006
4835 EASY ST UNIT 15
HARTLAND WI 53029-1954

DELAFIELD STATION LLC
C/O PHILLIPS EDISON & COMPANY
11501 NORTHLAKE DR
CINCINNATI OH 45249-1669

DEREK J REINKE
STEPHANIE L REINKE
W334N6905 REYNOLDS DR
OCONOMOWOC WI 53066-1429

DONALD R PORTER
4835 EASY ST UNIT 10
HARTLAND WI 53029

DUNKER TRUST
3761 NAGAWICKA SHORE DR
HARTLAND WI 53029

EDITH M HUEVLER
818 RIDGEWAY DR
PEWAUKEE WI 53072-4607

ELLEN J UMENTUM
4863 EASY ST UNIT 2
HARTLAND WI 53029-1953

ERIN J O'BOYLE
4887 EASY ST UNIT 5
HARTLAND WI 53029

ERMINIO G DESTEFANO
ANIELLO DESTEFANO ET AL
4887 EASY ST UNIT 1
HARTLAND WI 53029

FRED SCHWEINERT
LESLIE SCHWEINERT
4835 EASY ST UNIT 16
HARTLAND WI 53029

GEOFFREY C ACKLEY
RUSSELL C ACKLEY
4863 EASY ST UNIT 6
HARTLAND WI 53029

GREGORY L WARREN
JANET E WARREN
4875 EASY ST UNIT 16
HARTLAND WI 53029-1943

HADDIX TRUST
C/O MARK HADDIX
W282N4288 SOMERSET LN
PEWAUKEE WI 53072

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

ILLINOIS CEMENT CO
PO BOX 442
LA SALLE IL 61301

J SWEET TOWNE LLC
2520 WITZEL AVE #226
OSHKOSH WI 54904-6436

JACOB P MAYENSCHIN
4875 EASY ST UNIT 10
HARTLAND WI 53029-1943

JEAN M LYONS
4863 EASY ST UNIT 1
HARTLAND WI 53029

JOHN TOPPING
C M TOPPING
4315 CAMPBELL TRACE
HARTLAND WI 53029

JOSHUA D DAVENPORT
ANDREA K DAVENPORT
4835 EASY ST UNIT 6
HARTLAND WI 53029

JSO PROPERTIES LLC
614 W CAPITOL DR
HARTLAND WI 53029

KAREN M WAGNER
4863 EASY ST
HARTLAND WI 53029-1953

KELLY L SCHIEBER
4821 EASY ST UNIT 4
HARTLAND WI 53029

KIMBERLY A TESSMAN
4875 EASY ST UNIT 11
HARTLAND WI 53029-1943

KINNEY PROPERTIES INC
7051 LEANNE CT
HARTLAND WI 53029

KYLE A NIGL
4821 EASY ST UNIT 10
HARTLAND WI 53029-1941

LAURIE HILL
4835 EASY ST UNIT 12
HARTLAND WI 53029-1954

LINDA C BEASTER
4835 EASY ST UNIT 5
HARTLAND WI 53029

MADELINE L DUERO
4835 EASY ST UNIT 3
HARTLAND WI 53029-1954

MATTHEW J FRANCOIS
4875 EASY ST UNIT 15
HARTLAND WI 53029

MATTHEW W KLEWER
1541 SILVERSTONE TRL APT 8
DE PERE WI 54115-8218

MELVIN L KIRSCH
ANDREW D KIRSCH
1424 WILDERNESS TRL
DELAFIELD WI 53018

MEYER MATERIAL COMPANY
1300 S IL ROUTE 31
SOUTH ELGIN IL 60177-9724

MICHAEL H SYLVESTER
BARBARA J SYLVESTER
4821 EASY ST UNIT 8
HARTLAND WI 53029-1941

MICHAEL L SCHMIDT
4821 EASY ST UNIT 7
HARTLAND WI 53029

MYRON W COONS SR
SUSAN J COONS
4863 EASY ST UNIT 5
HARTLAND WI 53029

NATHAN LEROY
4887 EASY ST UNIT 7
HARTLAND WI 53029-1942

NATHAN T GROTH
4835 EASY ST UNIT 4
HARTLAND WI 53029

PENNY L NEULRICH
4835 EASY ST UNIT 1
HARTLAND WI 53029-1954

PREMIER HARTLAND LLC
3120 GATEWAY RD
BROOKFIELD WI 53045-5112

RICHARD D HANSON
4835 EASY ST UNIT 13
HARTLAND WI 53029

SALLY DOYLE
4875 EASY ST UNIT 4
HARTLAND WI 53029-1943

SAMANTHA R TIETGEN
4875 EASY ST UNIT 3
HARTLAND WI 53029-1943

SAMUEL EICKMEYER
4821 EASY ST UNIT 16
HARTLAND WI 53029-1941

SARAH J HANSEN
4821 EASY ST UNIT 9
HARTLAND WI 53029

SHANNON ROBBINS
CHRISTINE JANSSEN
4863 EASY ST UNIT 4
HARTLAND WI 53029-1953

SHARON K SIME
4887 EASY ST UNIT 8
HARTLAND WI 53029

SJOBERG COMMERCIAL PROPERTIES
LLC
535 INDUSTRIAL DR
HARTLAND WI 53029-2323

STEVEN KELLER
4821 EASY ST UNIT 13
HARTLAND WI 53029-1941

STEWART R COUILLARD
SUSAN M COUILLARD
636 W CAPITOL DR
HARTLAND WI 53029-1925

SUSAN M HUBATCH
4863 EASY ST UNIT 8
HARTLAND WI 53029-1953

COUNTRY AIRE APARTMENTS
PO BOX 180560
DELAFIELD WI 53018-0560

THOMAS D ACKERMAN
4875 EASY ST UNIT 12
HARTLAND WI 53029-1943

THOMAS J GUSTAVSON JR
4875 EASY ST UNIT 14
HARTLAND WI 53029

TRAVIS F TANNIS
4887 EASY ST UNIT 4
HARTLAND WI 53029-1942

VINOD ASHOK RAJE
4821 EASY ST UNIT 15
HARTLAND WI 53029-1941

WILLIAM J BEIMLING
4821 EASY ST UNIT 1
HARTLAND WI 53029

WILLIAM J MCWILLIAMS JR
KRystal KRIENITZ
630 W CAPITOL DRIVE
HARTLAND WI 53029