

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, JANUARY 21, 2019
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of December 17, 2018.
2. Architectural Board review and consideration of an application for replacement of signs for First Citizens Bank, 400 Cardinal Lane.
3. Architectural Board review and consideration of an application for a bedroom addition to the Preiss Herkowski residence, 807 E. Capitol Drive.
4. Architectural Board review and consideration of an application for construction of a new residence at 566 E. Birchwood Drive, The Traditions of Hartland.
5. Architectural Board and Plan Commission review and consideration of an application for construction of a lift station at 120 Crystal Drive in the Lake Country Meadows subdivision.
6. Plan Commission consideration of a Extraterritorial Certified Survey Map to redraw lot lines between two parcels on Orchard Ave. in the Town of Delafield.
7. Plan Commission consideration of a final plat for Kiefer Farms subdivision in the Town of Merton.
8. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: January 16, 2019
SUBJECT: Agenda Information

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 5 Related to the Crystal Drive Lift Station

Background: As part of the Village's Capital Improvements Program, the Crystal Drive Lift Station is proposed to receive reliability improvements in 2019. The improvements include replacement of the controls and the addition of an emergency generator. The generator and the controls are proposed to be located inside of a building to protect them from the weather and to mitigate the noise of the generator. Like other utility-related buildings in the Village, this building's facade will be designed to help it blend into the neighborhood. Similar to the Lift Station at Four Winds West, this building is intended to evoke a gatehouse at the entrance to the subdivision and is intended to match the low brick wall at this location. Staff is revisiting the landscaping around the installation and will hopefully present a new plan at the meeting. It is likely that we will seek to remove the existing trees on the east and west of the building site and replace them with different species. Northeast of the building, we are likely going to recommend an additional Spruce tree along with low-maintenance decorative grasses and similar plantings around the building. The Commission and Architectural Board are asked to give their recommendation on the project and the design.

Recommendation: Recommend approval of the proposed Lift Station.

Item 6 Related to the Extraterritorial CSM.

Background: In accordance with its Extraterritorial Plat Jurisdiction, the Village has been solicited for approval of a CSM that allows the transfer of land between two adjacent properties. No new lots are being created. The parcel, which is located southeast of the Village, is not adjacent to the Village corporate boundaries.

Recommendation: Recommend approval of the proposed Extraterritorial CSM.

Item 7 Related to the Final Plat for Kiefer Farms.

Background: : In August 2016, the Village approved the preliminary plat for this 15-plus-acre parcel in the Town of Merton east of Campus Drive and south of the Arrowhead Campus. The parcel is not proposed for annexation to Hartland as it would be served from Town roads and is not adjacent to the Village's utility systems. The preliminary plat was approved by the Board conditioned on:

1. Minimal removal of trees in the southern portion of the parcel and no removal of trees in the outlot except as may be necessary for storm water facilities.
2. Storm water plans and facilities be reviewed and approved by the Village Engineer at the expense of the property owner or developer.
3. Indications be made on the Plat that no access to Campus Drive is allowed and that the existing farm access be removed with proper restoration.

The indication of "No Access" is found on the plat along Campus Drive and there is an easement to Tall Pines Conservancy protecting the trees on Outlot No.1. Further, a building setback line has been included to further protect trees on the southern portion of the site. We note that the plat does not reflect the removal of the farm access. Staff will continue to work with the Town of Merton to ensure that is removed as part of the project. At the August meeting, this matter was tabled due to concerns about a storm water feature that was included on the Final Plat and which seemed to encroach on to adjoining properties. The Village Engineer has been working with the owner's engineer to review the matter and is now comfortable with the design and recommends approval. His statements are as follows.

I reviewed the subdivision plans and the storm water management plan dated December 11, 2018, authored by Rob Davy of Lake Country Engineering.

For the storm water that flows towards campus drive, the existing land is agricultural and results in surface flows of approximately 19.28 CFS (during 100-year event) that drain towards the easterly ditch along campus drive. The majority of the flow heads northerly along campus drive, ultimately to 2 infiltration ponds at the north end of Campus Drive. The land will be graded and divided into 8 lots. A portion of the land will be routed through rural road ditch cross section or side/rear yard ditches to an infiltration basin. The post construction discharge rate of the infiltration basin is approximately 5.00 CFS (during 100-year event). The 100-year water elevation of the infiltration basin is modeled to be 1017.01. This is 1-foot below the pond berm elevation of 1018. Based upon the storm water management plan and model, the majority of

the storm water runoff will be contained within the infiltration basin and that the discharge rates are less than existing.

At a prior Plan Commission meeting, there was a concern about a note on the Final Plat that stated, "Building Setback Line from 100 Year Flood Line of Basin, which is Elevation 1017.01". This is a County required setback line for buildings. The storm water will be contained within the basin, so this note should not be a concern.

[The developer's engineer] will provide an updated storm water management plan to the Village. In addition, Rob will provide the as-built of the infiltration basin and a copy of the maintenance agreement to the Village at completion of construction. These are documents of interest for the Village because some of the storm water from this site, ultimately drains through Village facilities.

The Final Plat for Kiefer Farms is recommended for approval with the following conditions.

1. Removal of the farm access from Campus Drive.
2. Provision of a copy of the updated Storm Water Management Plan to the Village.
3. Provision of a copy of the Storm Water Maintenance Agreement to the Village.
4. Provision of a copy of the as-built drawings for the infiltration basin on the site to the Village.

Recommendation: Recommend approval of the Final Plat with conditions.

DC:PC Agenda Info 1-21

cc: Ryan Amtmann, Village Engineer
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, DECEMBER 17, 2018
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, Ann Wallschlager, James Schneeberger, Tim Fenner, Jack Wenstrom, and Tim Hallquist.

Absent: David deCourcy-Bower

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bush y.

Call to Order-

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of November 19, 2018.

Motion (Hallquist/Wallschlager) to approve the Jt. Architectural Board/Plan Commission minutes of November 19, 2018. Carried (6-0).

2. Architectural Board review and consideration of an application for replacement of a sign for Landmark Credit Union, 801 Cardinal Lane.

Michael Dlugi was present and said Landmark would like to replace the existing sign which currently has a lot of masonry with one that is more "green" and will have LED lights. They would also like to move it a little to the east. The question was asked if it will be on 24/7 and Mr. Dlugi said yes but they will adhere to the Village codes regarding electronic signs. He said the sign manufacturer has photo centers that will dim it at night.

Motion (Hallquist/Wenstrom) to approve the application for an addition to the Seufert residence, 1197 Four Winds Way. Carried (6-0).

3. Plan Commission review and consideration of an application to enclose existing covered storage area with painted block and white aluminum storefront windows for Biebel's True Value at 580 Hartbrook Drive.

Michael Moen the contractor was present and explained they would like to close in the right side of the building with masonry and windows so it is similar to the left side. Wenstrom asked what the reason is for closing it in, and Mr. Moen said it will be for storing rental equipment. He said there will be an opening inside of the building and a service door on the right side of the area. Mr. Moen said the owner isn't happy with the cost of the windows and would like to masonry all the way up if the Plan Commission would be ok with that option. He said the masonry brick would

match the bricks that are currently behind the Biebel's sign. The Plan Commission felt either option would be ok.

Motion (Fenner/Wenstrom) to approve the application to enclose the existing storage area as presented and the owner has the option of full masonry to match the existing. Carried (6-0).

4. Plan Commission consideration of a Preliminary Plat extraterritorial Plat for The Preserve at Beaver Lake for the development of 12 single family lots in the town of Merton.

Administrator Cox explained the Village of Hartland shares the extraterritorial with Chenequa, he said Chenequa goes to the west and the Village goes to the east. He said the homes are outside of the sewer district. Administrator Cox said the lots size will be similar to the lots in Mary Hill and Four Winds.

Fenner asked the developer if Merton has approved it yet and the Developer said it will be on Merton's January agenda. Wenstrom asked if there will be septic, and the developer said yes they will have septic.

Motion (Fenner/Wenstrom) to recommend approval to the Town of Merton of the Preliminary Plat extraterritorial Plat for The Preserve at Beaver Lake. Carried (6-0).

5. Adjourn

Motion (Pfannerstill/Wallschlager) to adjourn. Carried (6-0). Meeting adjourned at 7:25 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bushéy, Deputy Clerk



DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD

Job Address
Lot Block Subdivision Key No. HAV
Owner: First Citizens Bank EMAIL Phone
Address: 400 Cardinal Lane City: Hartland State: WI Zip: 53029
Contractor: Sign Effectz Inc. Phone: 414-312-6973 FAX EMAIL: ericr@signeffectz.com
Address: 1827 W. Glendale Lane City: Milwaukee State: WI Zip: 53209

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: Date of Meeting: Item No.

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 400 Cardinal Lane TAX KEY # _____
OWNER First Citizens Bank PHONE _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
CONTRACTOR Sign Effectz Inc. Contact: Eric Rohs PHONE 414-312-6973
ADDRESS 1827 W. Glendale Ave. CITY Milwaukee STATE WI ZIP 53029

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:
First Citizens Bank

16' high x 5'-7 1/2 wide
OVERALL DIMENSIONS OF SIGN Copy - 50.673" x 95.801" COLOR OF BACKGROUND Silver
33.71 sq. ft. Flag Logo is 17.81 sq. ft.
SIZE OF LETTERS IN INCHES First and Bank - 10.625" COLOR OF LETTERS Blue
Citizens - 11.115"
CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum construction with routed copy backed with acrylic backer

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 10,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Eric Rohs - Sign Effectz Eric Rohs DATE December 31st, 2018

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ **DATE PAID** _____ **RECEIPT #** _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 400 Cardinal Lane TAX KEY # _____
OWNER First Citizens Bank PHONE _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
CONTRACTOR Sign Effectz Inc. Contact: Eric Rohs PHONE 414-312-6973
ADDRESS 1827 W. Glendale Ave. CITY Milwaukee STATE WI ZIP 53029

SIGN TYPE: WALL Sign C PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

First Citizens Bank w/ Logo

OVERALL DIMENSIONS OF SIGN 47.750" x 104.750" 34.734 sq.ft. COLOR OF BACKGROUND _____

SIZE OF LETTERS IN INCHES First and Bank - 11.403" Citizens - 11.929" COLOR OF LETTERS Blue faces with Silver returns

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

Aluminum construction with Acrylic faces

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 5,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Eric Rohs - Sign Effectz *Eric Rohs* DATE December 31st, 2018

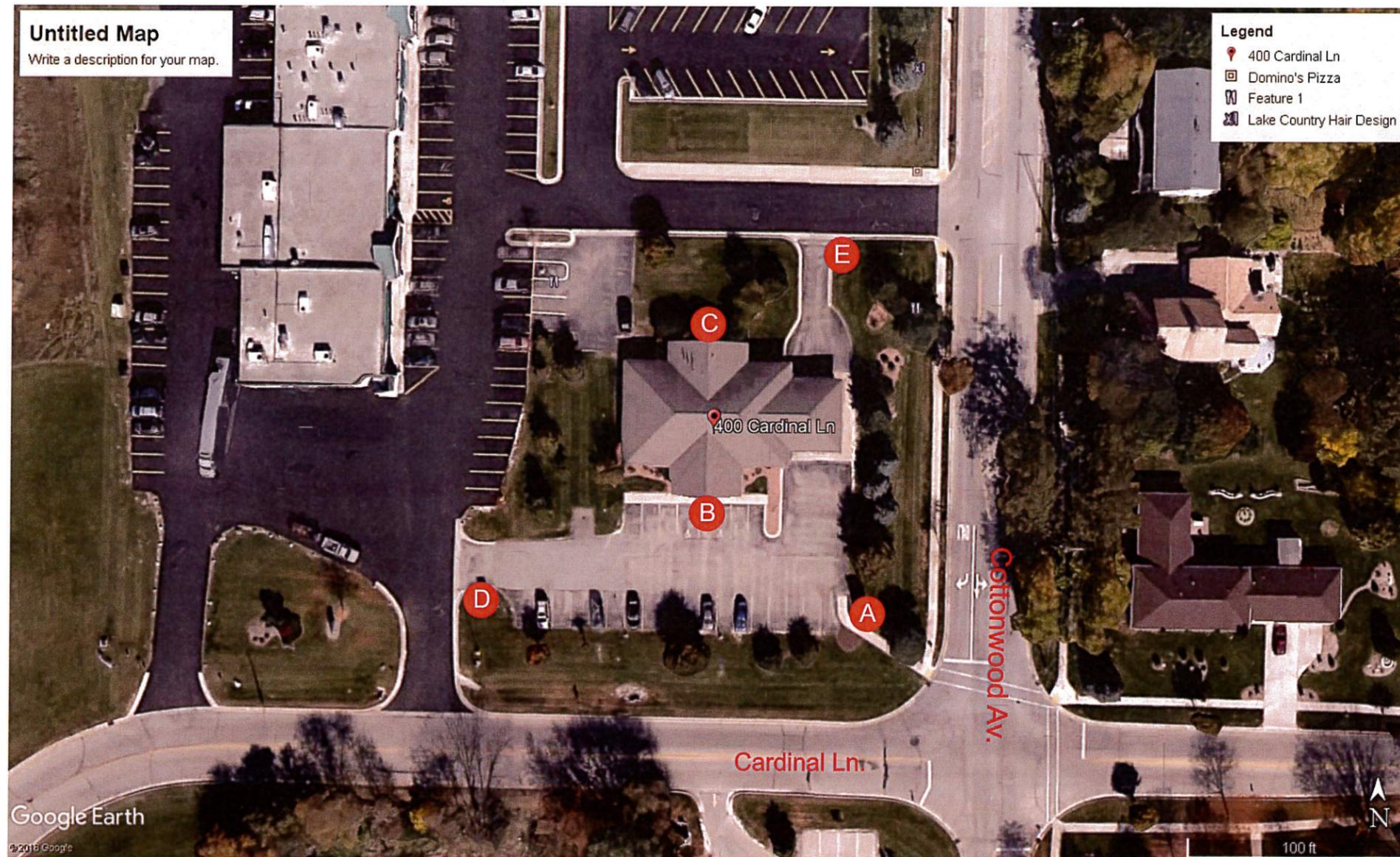
PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ **DATE PAID** _____ **RECEIPT #** _____

First Citizens Bank
400 Cardinal Ln.
Hartland WI 53029

- A** Replace existing pylon with new Monolith 16' ovh
- B** Replace existing wall letters with new internally illuminated letters
- C** Replace existing wall letters with new internally illuminated letters
- D** Replace directional sign with new.
- E** Replace directional sign with new.



Original Image



Monolith (M-90) Standard - Option 2

Proposed Image



SIGN A

Channel Letters (CL-S-F12-B) - Option 2



SIGN B

Channel Letters (CL-S-F12-B) - Option 2



Original Image



Proposed Image

SIGN C



Directional Sign (DS-36-3)



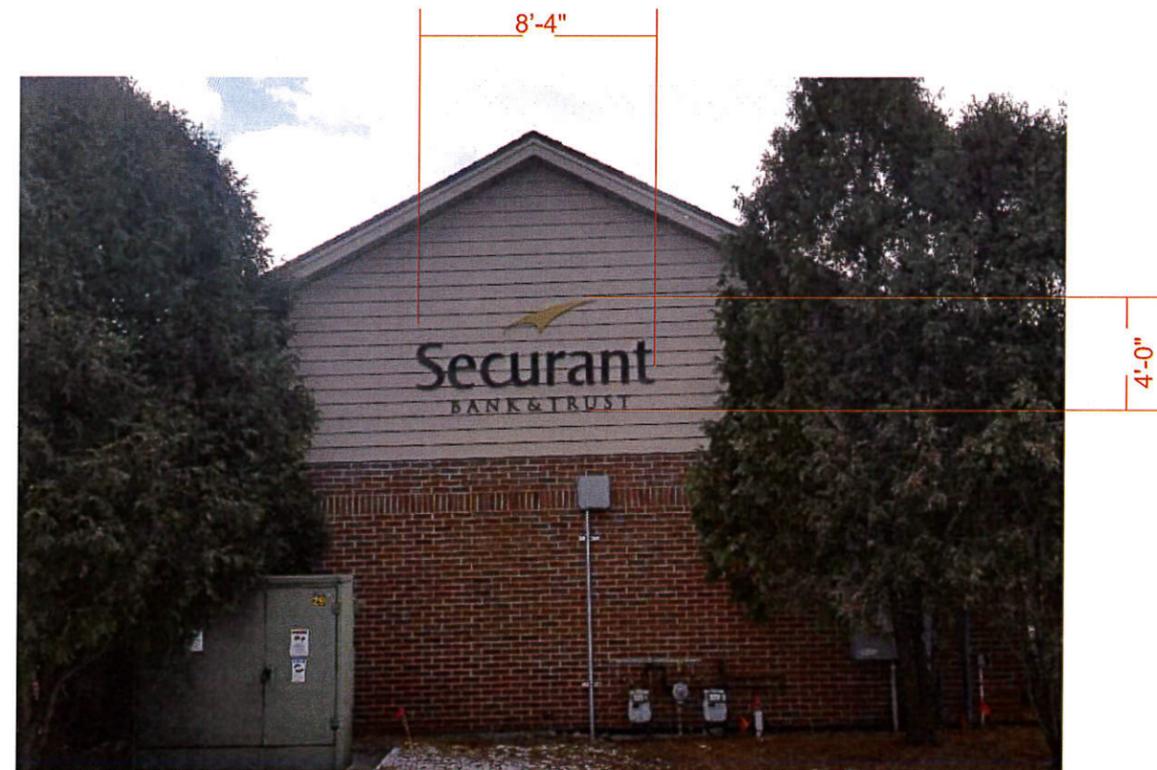
SIGN D



Directional Sign (DS-36-3)



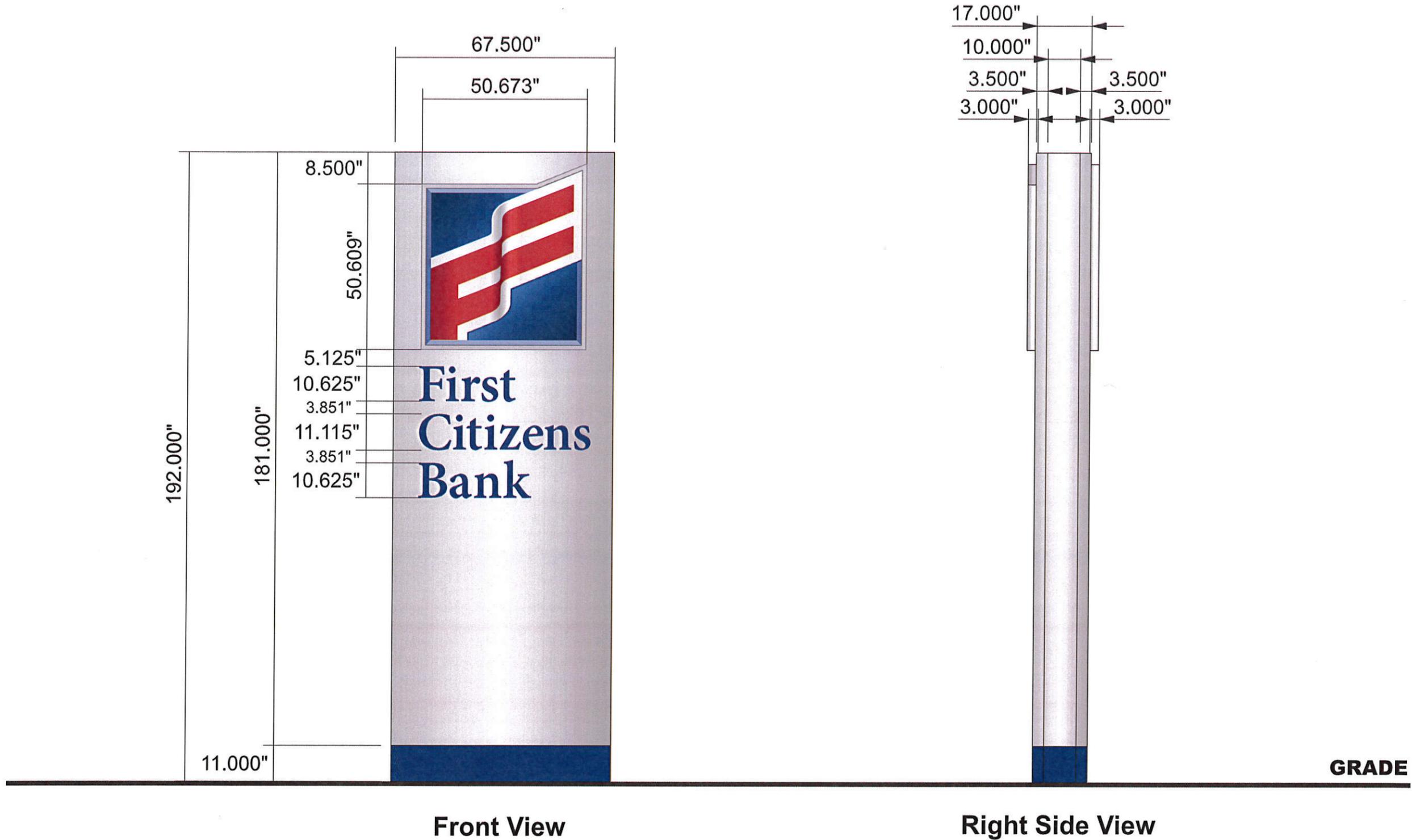
SIGN E





SIDE A

SIGN A



Sign Cabinet Is Internally Illuminated And Is UL Approved.



CUSTOMER:
First Citizens Bank & Trust Company

SITE ADDRESS:
400 CARDINAL LANE
Hartland, WI 53029

PRODUCT NUMBER:
TFC #25880

PRODUCT TITLE:
Monolith (M90)

DRAWN BY: JBK **DATE:** 12/5/18

CHECKED: ### **DATE:** #####

APPROVED: ### **DATE:** #####

REVISIONS:

- | | |
|-------------------|-------------------|
| 1. ### Revision 1 | 4. ### Revision # |
| 2. ### Revision # | 5. ### Revision # |
| 3. ### Revision # | 6. ### Revision # |

SCALE:
3/8" = 1'-0"

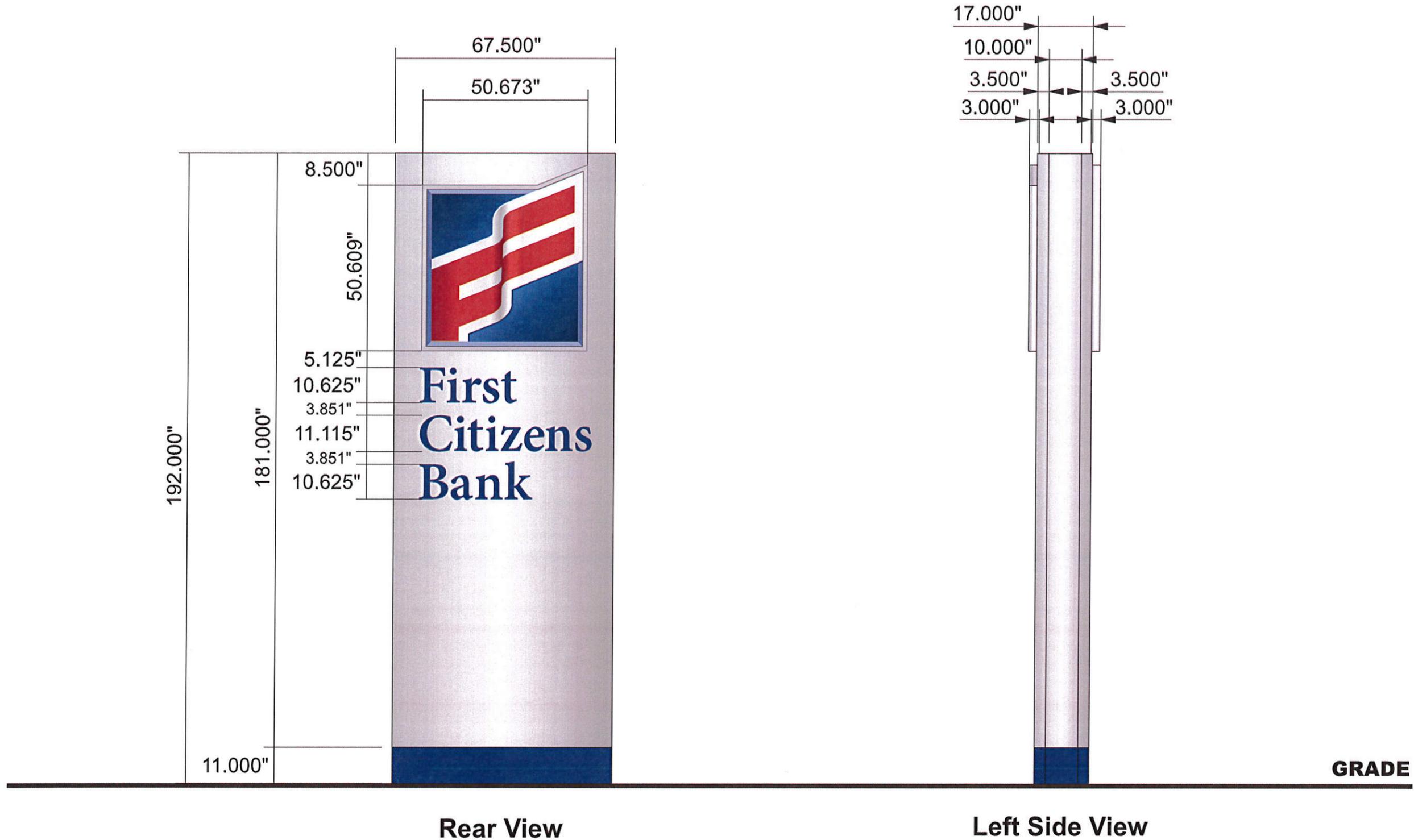
PAPER SIZE:
11 x 17

THE DESIGNS/INFORMATION CONTAINED IN THIS DRAWING ARE PROTECTED UNDER U.S. AND INTERNATIONAL TRADEMARK LAW AND ARE THE SOLE PROPERTY OF THE FITTS COMPANY, INC.
ANY REPRODUCTION WITHOUT WRITTEN CONSENT IS STRICTLY PROHIBITED. THIS IS AN UNPUBLISHED DESIGN SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT PLANNED FOR YOU BY THE FITTS COMPANY, INC. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION NOR IS IT TO BE USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION. ALL OR ANY PART OF THIS DESIGN (EXCEPTING REGISTERED TRADEMARKS) REMAINS THE PROPERTY OF THE FITTS COMPANY, INC.

PAGE:

1 OF 3

SIDE B



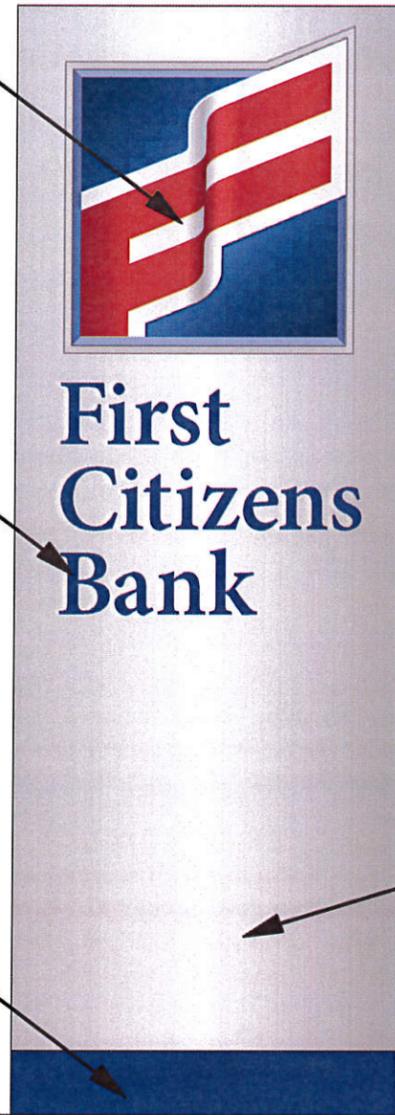
Rear View

Left Side View

Digitally Printed Graphic Logo
Applied To The First Surface
Of 3/16" Thick 2406 White Acrylic

.125 Aluminum
Routed Out Copy
Backed Up With
3/16" Thick 2406 White Acrylic
With Custom Printed
Perforated Blue Vinyl Applied
To The First Surface

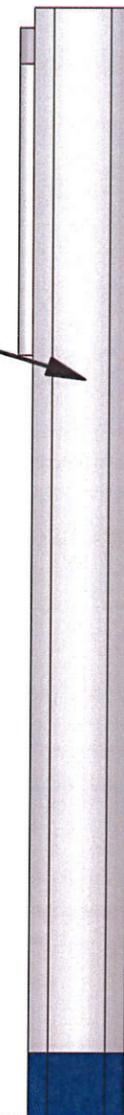
Painted To Match
LV5-5071512 Blue
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)



Front View

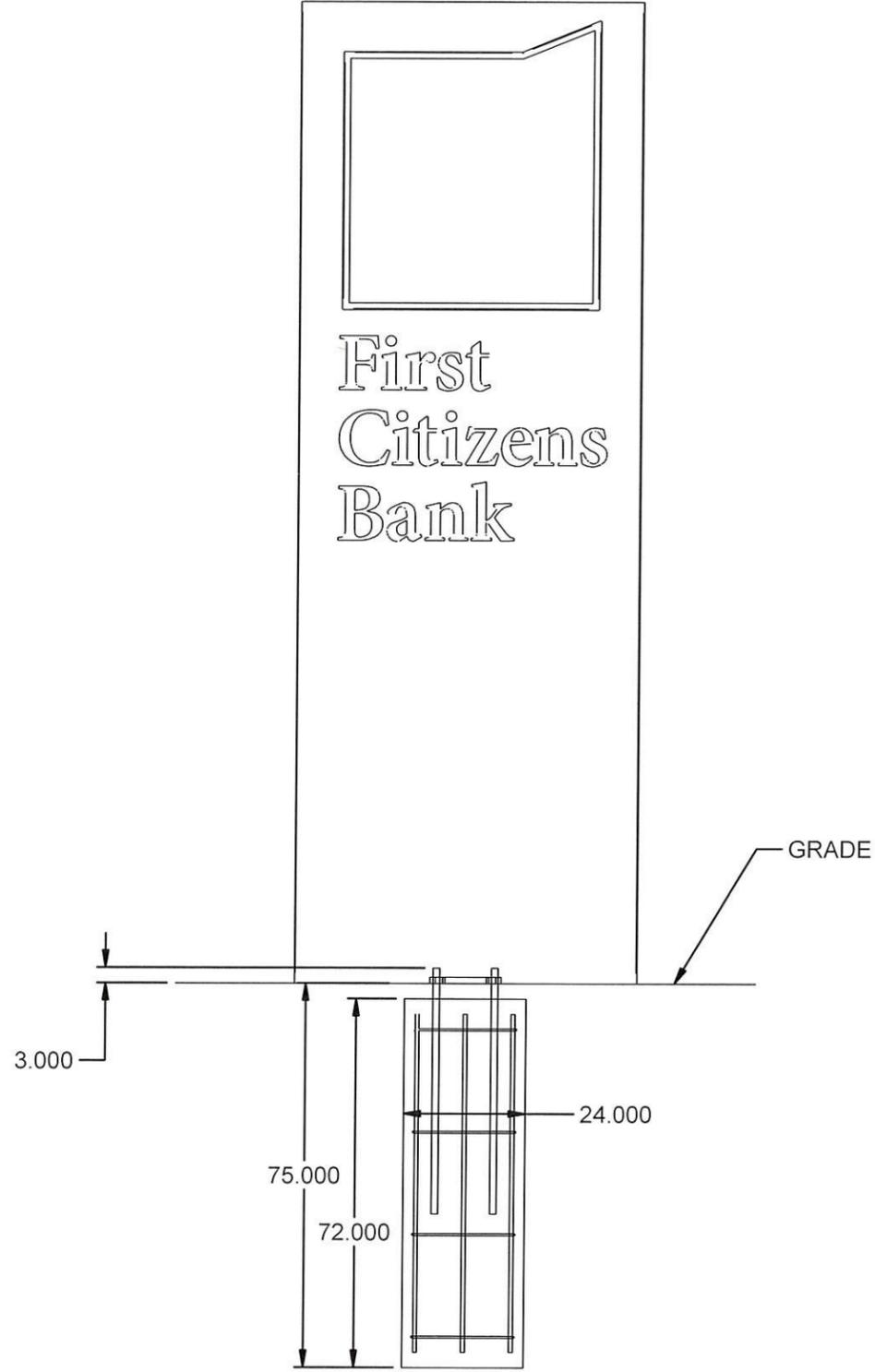
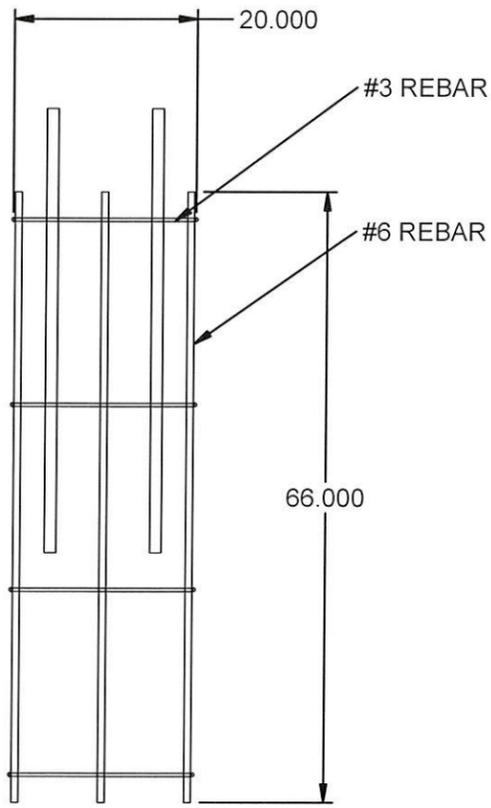
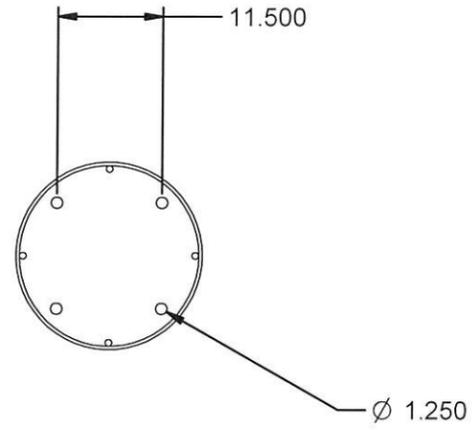
Painted To Match
LV5-5432902-268076-A
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)

Painted To Match
LV5-5432902-268076-A
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)



Right Side View

GRADE



CUSTOMER	FIRST CITIZENS
SITE ADDRESS	-
PROJECT NUMBER	-

PROJECT TITLE	MONOLITH / M90	
DRAWN BY	KMA	10/28/16
CHECKED	SRC	10/28/16
APPROVAL	SRF	10/28/16
SCALE	NTS	SHEET NO.
SIZE	11" X 17"	SHEET 7 OF 7

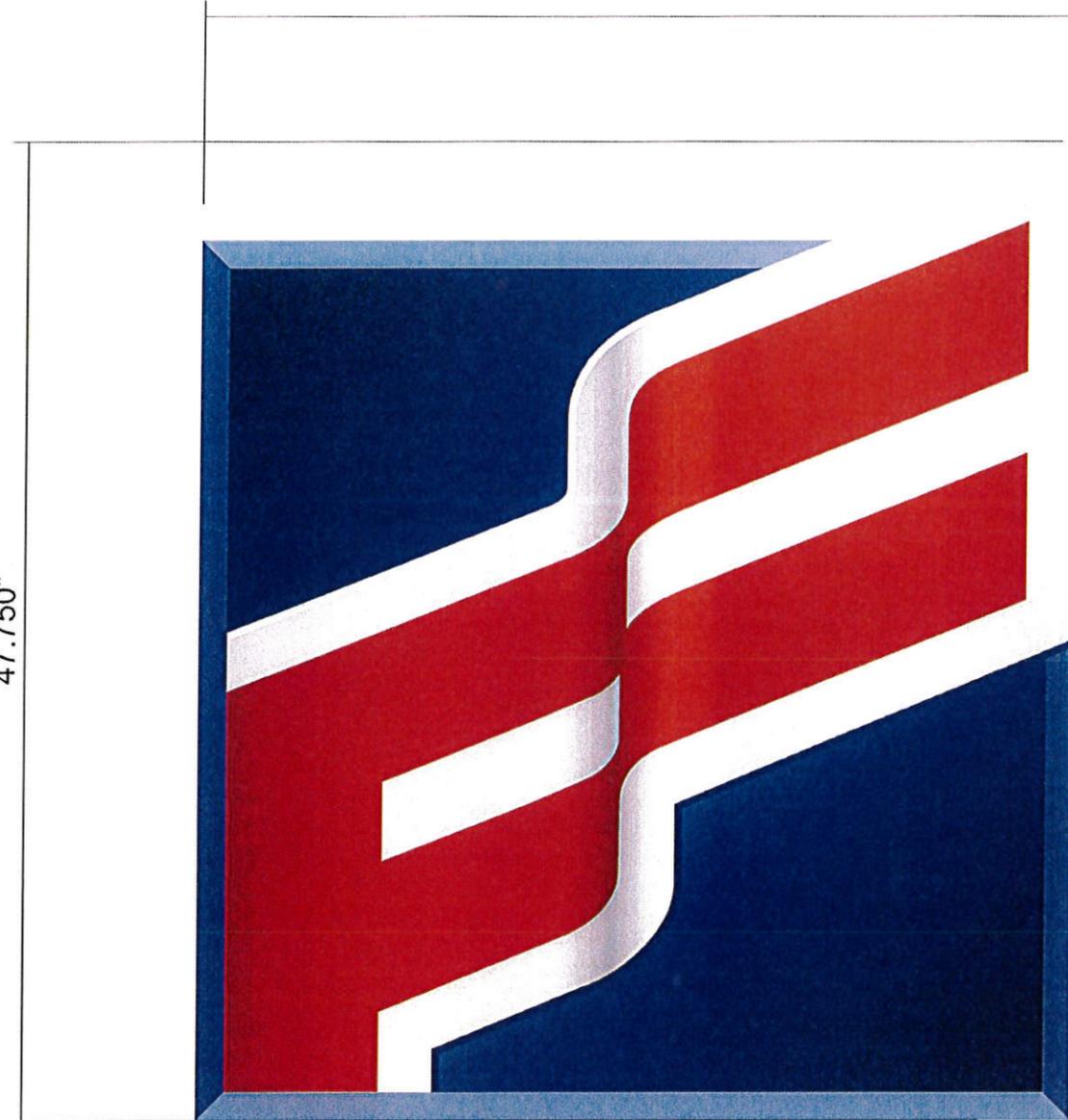
REVISIONS/PROJECT NOTES

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.

SIGNS B + C

104.750"

47.750"

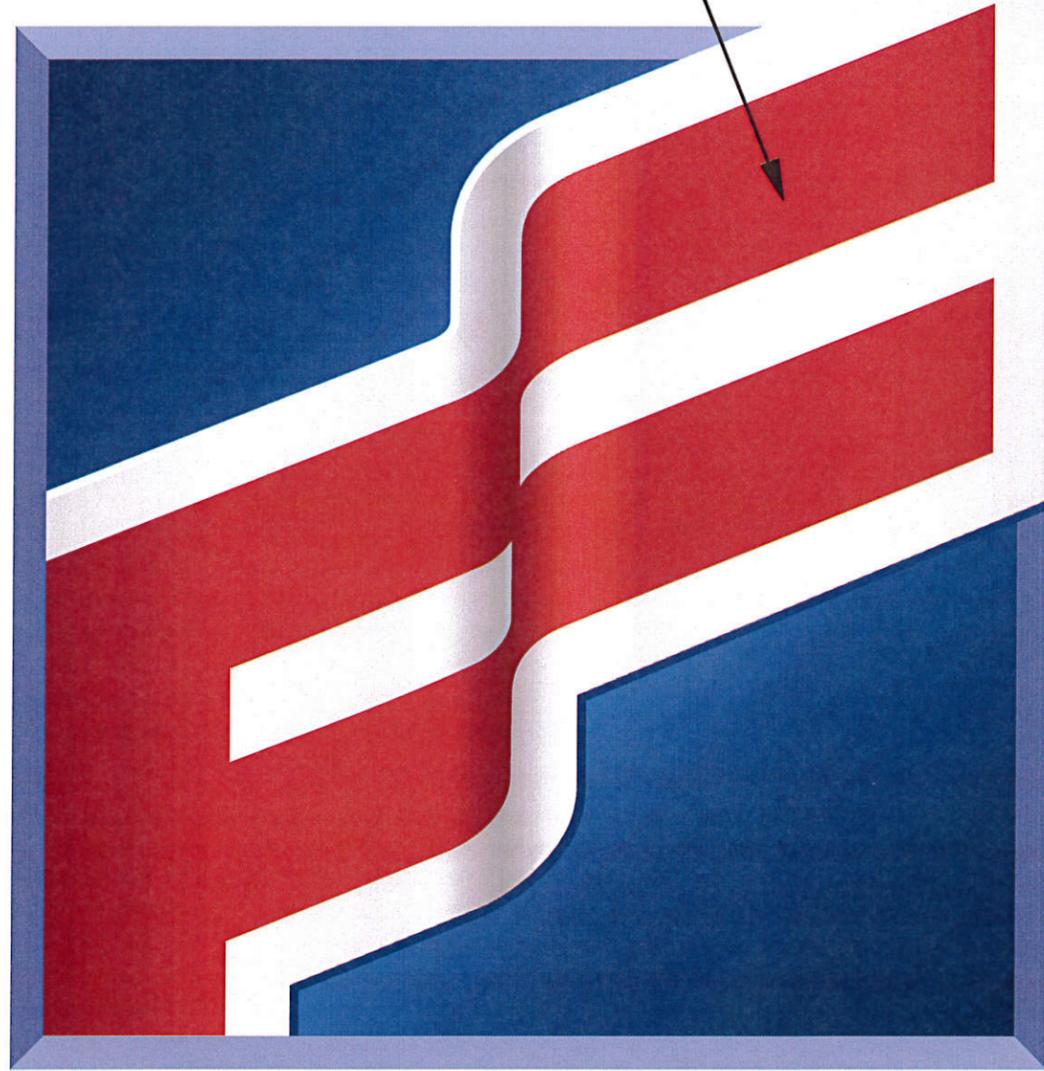


11.403" First
 11.929" Citizens
 11.403" Bank

Front View

FITTS <small>THE FITTS COMPANY INCORPORATED 55 Street Lane Canton, SC 29053 P 803-356-5447</small>	CUSTOMER: First Citizens Bank & Trust Company	PRODUCT NUMBER: TFC #25880	DRAWN BY: JBK	DATE: 1/4/19	REVISIONS: 1. #### Revision # 4. #### Revision # 2. #### Revision # 5. #### Revision # 3. #### Revision # 6. #### Revision #	SCALE: 1 1/2" = 1'-0"	<small>THE DESIGN INFORMATION CONTAINED IN THIS DRAWING ARE PROTECTED UNDER U.S. AND INTERNATIONAL TRADEMARK LAW AND ARE THE SOLE PROPERTY OF THE FITTS COMPANY, INC. ANY REPRODUCTION WITHOUT WRITTEN CONSENT IS STRICTLY PROHIBITED. THIS IS AN UNPUBLISHED DESIGN SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT PLANNED FOR YOU BY THE FITTS COMPANY, INC. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION NOR IS IT TO BE USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION. ALL OR ANY PART OF THIS DESIGN (EXCEPTING REGISTERED TRADEMARKS) REMAINS THE PROPERTY OF THE FITTS COMPANY, INC.</small>	PAGE:
	SITE ADDRESS: 400 CARDINAL LANE Hartland, WI 53029	PRODUCT TITLE: Custom Channel Letters (CL-S-F11.5-B)	CHECKED: ###	DATE: #####		PAPER SIZE: 11 x 17		1 OF 2
			APPROVED: ###	DATE: #####				

Digitally Printed Graphic Logo
Applied To The First Surface
Of 3/16" Thick 2406 White Acrylic



3/16" Thick 2406 White Acrylic
With Custom Printed
Perforated Blue Vinyl Applied
To The First Surface

First
Citizens
Bank

Returns & Trim Cap(s)
Painted To Match
LV5-5432902-268076-A
Smooth Finish
(Stipple With The Clear Coat)

Front View

FITTS

THE FITTS COMPANY
INCORPORATED
55 Sirens Lane | Gaston, SC 29053
P. 803-356-5947

CUSTOMER:
First Citizens Bank & Trust Company

SITE ADDRESS:
400 CARDINAL LANE
Hartland, WI 53029

PRODUCT NUMBER:
TFC #25880

PRODUCT TITLE:
Channel Letters
(CL-S-F12-B)

DRAWN BY: JBK

DATE: 12/5/18

CHECKED: ###

DATE: #####

APPROVED: ###

DATE: #####

REVISIONS:

1. ### Revision #
2. ### Revision #
3. ### Revision #

4. ### Revision #
5. ### Revision #
6. ### Revision #

SCALE:

1 1/2" = 1'-0"

PAPER SIZE:

11 x 17

THE DESIGNS/INFORMATION CONTAINED IN THIS DRAWING ARE PROTECTED UNDER U.S. AND INTERNATIONAL TRADEMARK LAW AND ARE THE SOLE PROPERTY OF THE FITTS COMPANY, INC.
ANY REPRODUCTION WITHOUT WRITTEN CONSENT IS STRICTLY PROHIBITED. THIS IS AN UNPUBLISHED DESIGN SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT PLANNED FOR YOU BY THE FITTS COMPANY, INC. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION NOR IS IT TO BE USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION. ALL OR ANY PART OF THIS DESIGN (EXCEPTING REGISTERED TRADEMARKS) REMAINS THE PROPERTY OF THE FITTS COMPANY, INC.

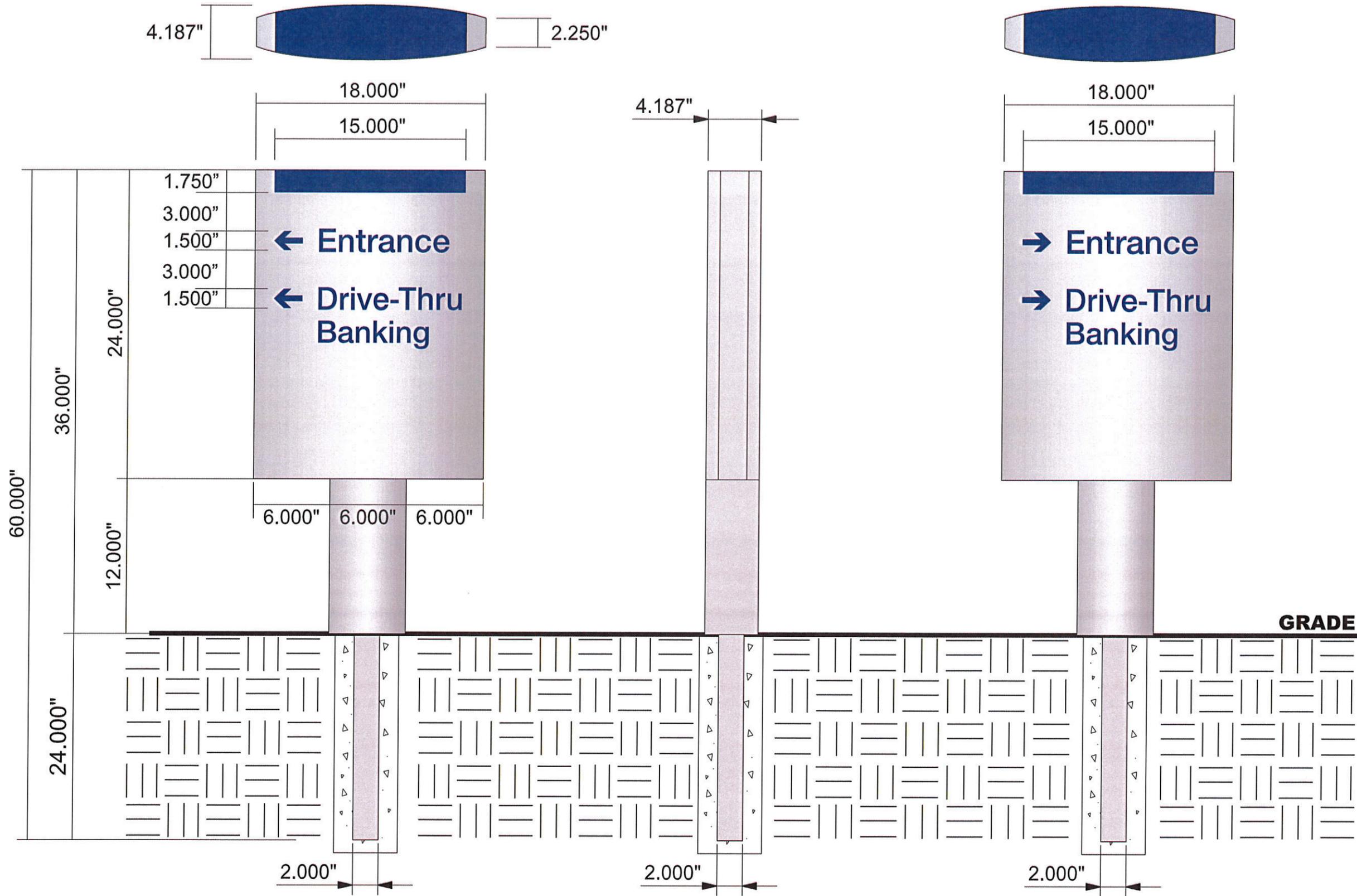
PAGE:

2 OF 2

SIGN D

SIDE A

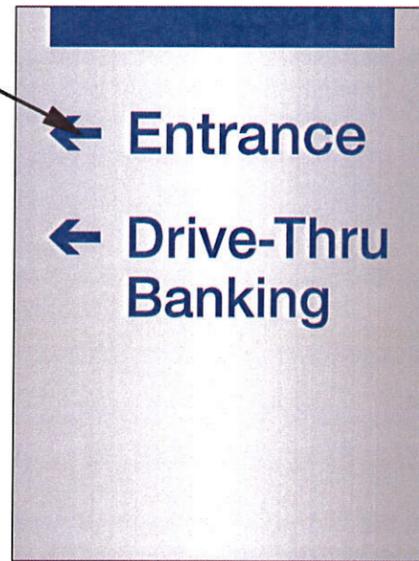
SIDE B



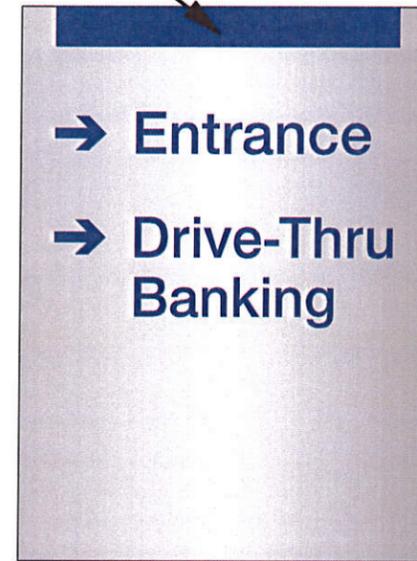
SIDE A

SIDE B

Avery A9584-T
Blue Vinyl



Painted To Match
LV5-5071512 PMS 288 Blue
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)



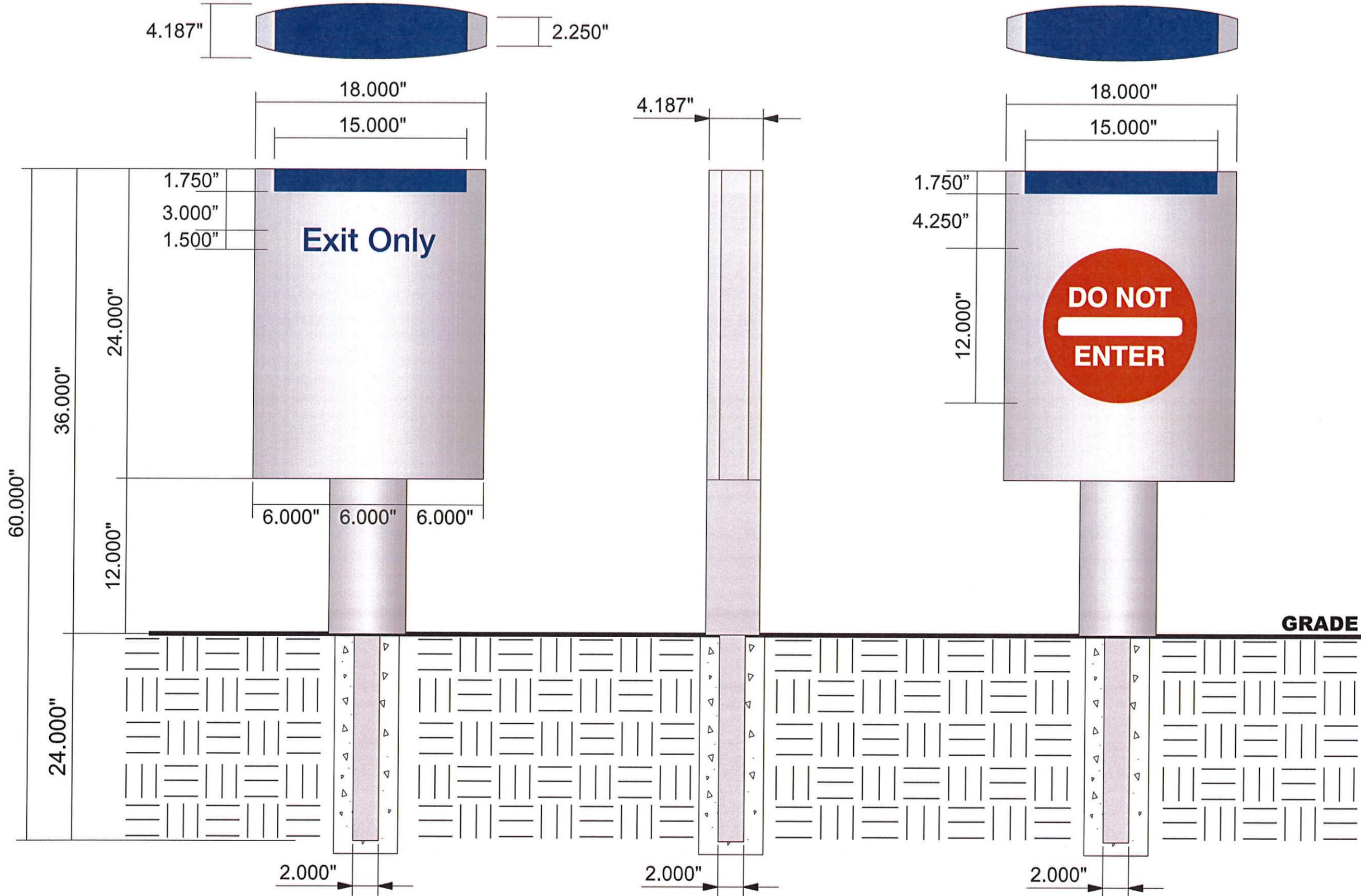
Painted To Match
LV5-5432902-268076-A
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)

GRADE

SIGN E

SIDE A

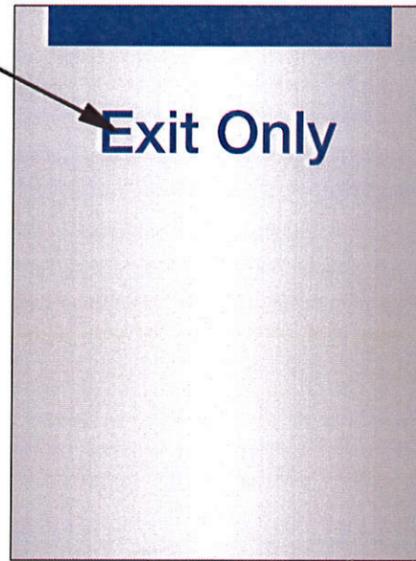
SIDE B



SIDE A

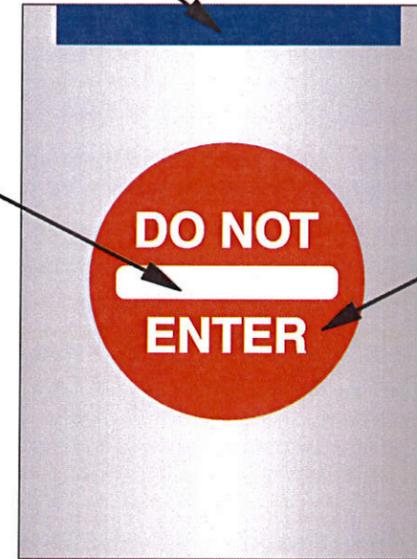
SIDE B

Avery A9584-T
Blue Vinyl



Painted To Match
LV5-5071512 PMS 288 Blue
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)

3M Premium White
Vinyl #220-10



3M Premium Red
Vinyl #220-253

Painted To Match
LV5-5432902-268076-A
Acrylic Polyurethane
Smooth Base Coat
(Stipple With The Clear Coat)

GRADE

ROBERT J ANDLER JR
202 CROOKED STICK PASS
NORTH PRAIRIE WI 53153-9622

DENNIS L KAHN AND JANET M KAHN
N16W27394 RIVERLAND DR
PEWAUKEE WI 53072-5382

JAMIE B THOMSON 2013 LIVING TRUST
530 COTTONWOOD AVE
HARTLAND WI 53029-2309

SW 2017 1 LLC & J F CLEARCOTTON LLC
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288

445 CARDINAL LLC
445 CARDINAL LN
HARTLAND WI 53029-2332

BARK RIVER PROPERTIES
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

CIRCLE J PROPERTIES LLC
PO BOX 131
HARTLAND WI 53029-0131

ICE AGE PARK AND TRAIL FOUNDATION
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ROBERT G MORRIS
N1100 NIMM LN
WATERTOWN WI 53098

STEPHANIE JEAN MOEBIUS
100 CARDINAL LN
HARTLAND WI 53029-2337



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 807 E. Capital Drive			
Lot 4	Block	Subdivision Herdersons addition to hartland	Key No. HAV 0726005
Owner Jill Preiss Herkowski			Phone 262.510.6013
Address 807 E. Capital Dr		City Hartland	State WI Zip 53029
Contractor Stritzel's Carpentry LLC	Phone 262.719.3191	FAX	E-Mail Address astritzel1@gmail.com
Address w396s3675 Hardscrabble Rd		City Dousman	State WI Zip 53118

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

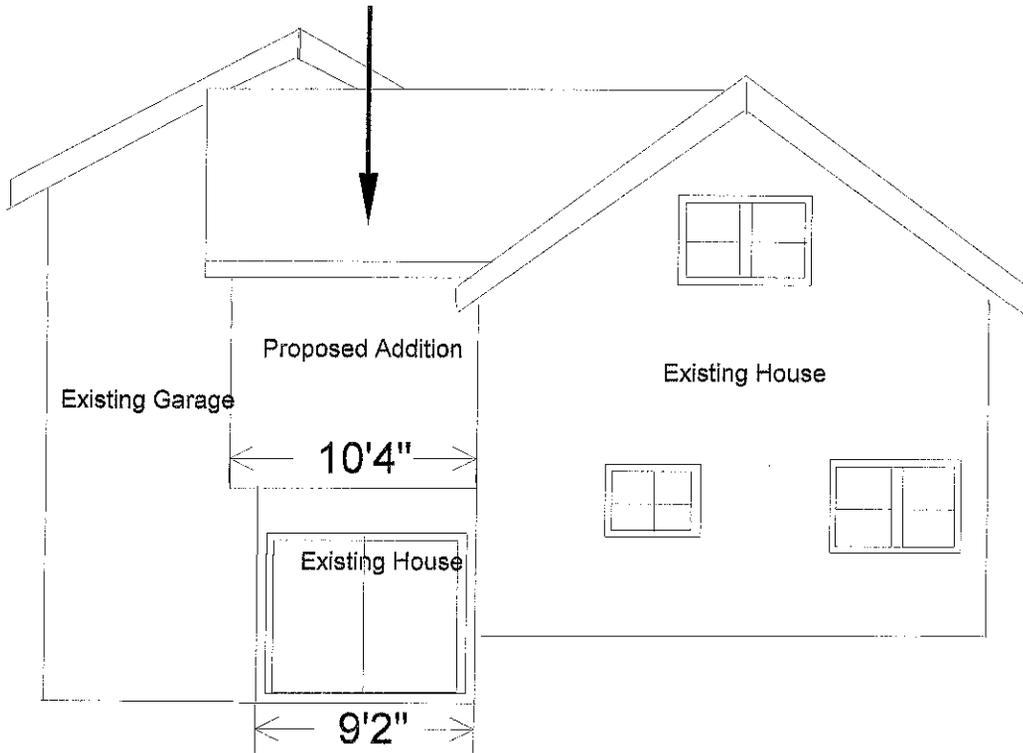
One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

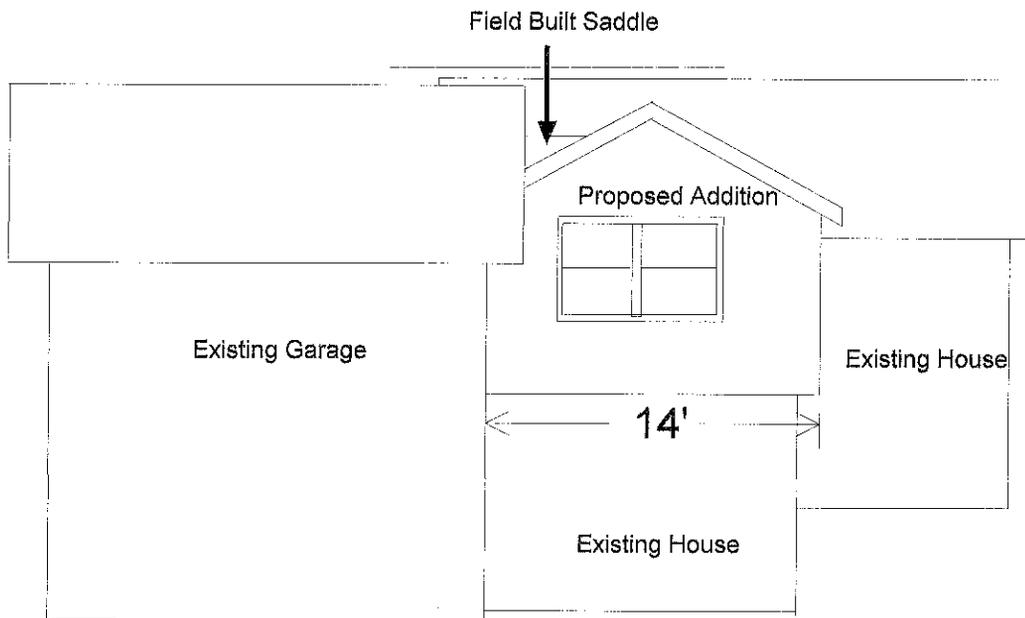
NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

New Proposed Upper Bed Rm



East Elevation



South Elevation

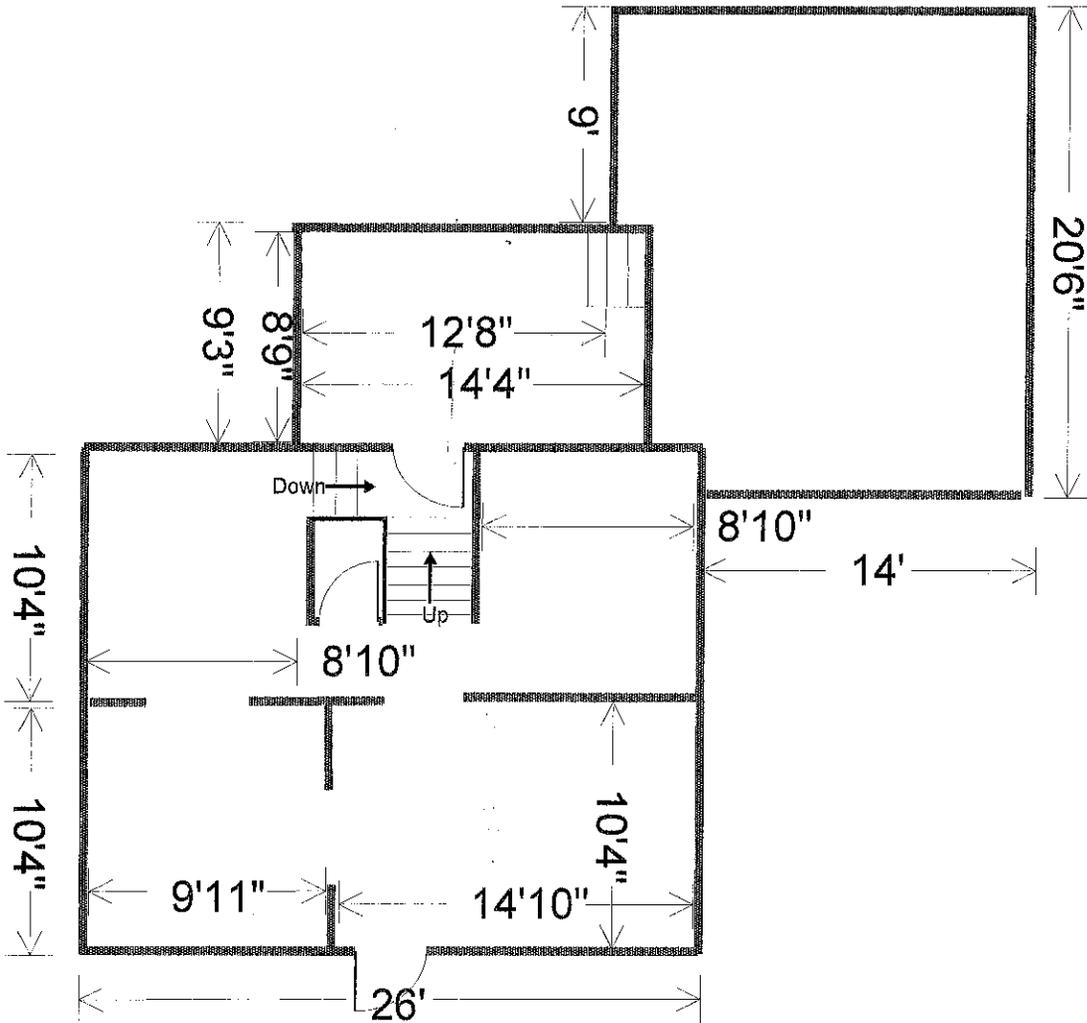
Stritzel's Carpentry LLC

262.719.3191

December 8, 2018

Job Name: Jill Herkowski
607 Capital Drive
Hartland, WI 53029

2nd Floor Addition



Existing Main Level

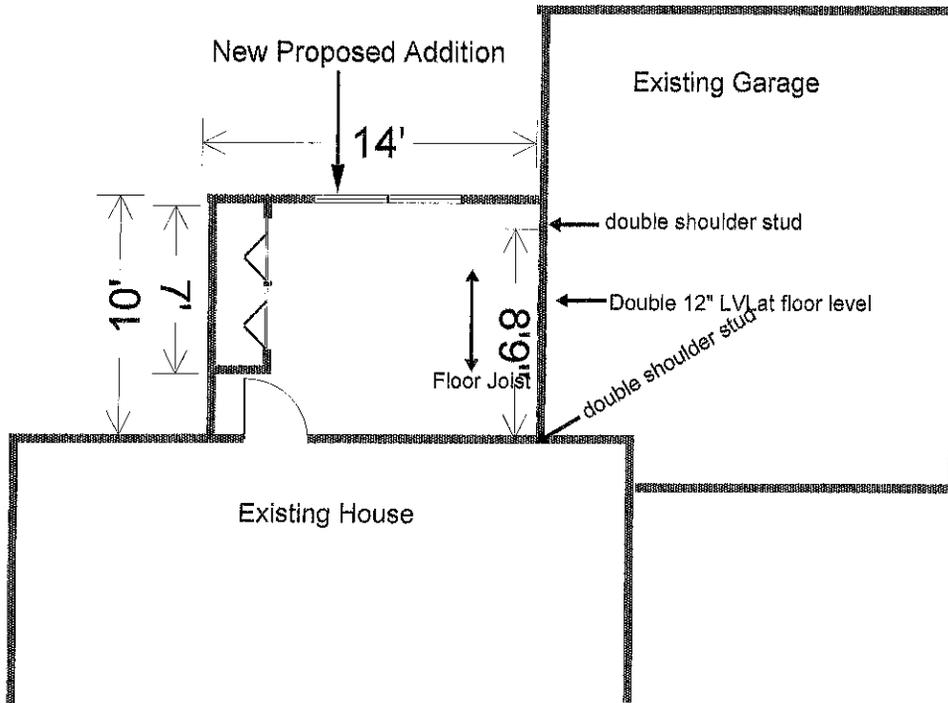
Stritzel's Carpentry LLC

262.719.3191

December 5, 2018

Job Name: Jill Herkowski
607 Capital Drive
Hartland, WI 53029

2nd Floor Addition



proposed upper bed Rm

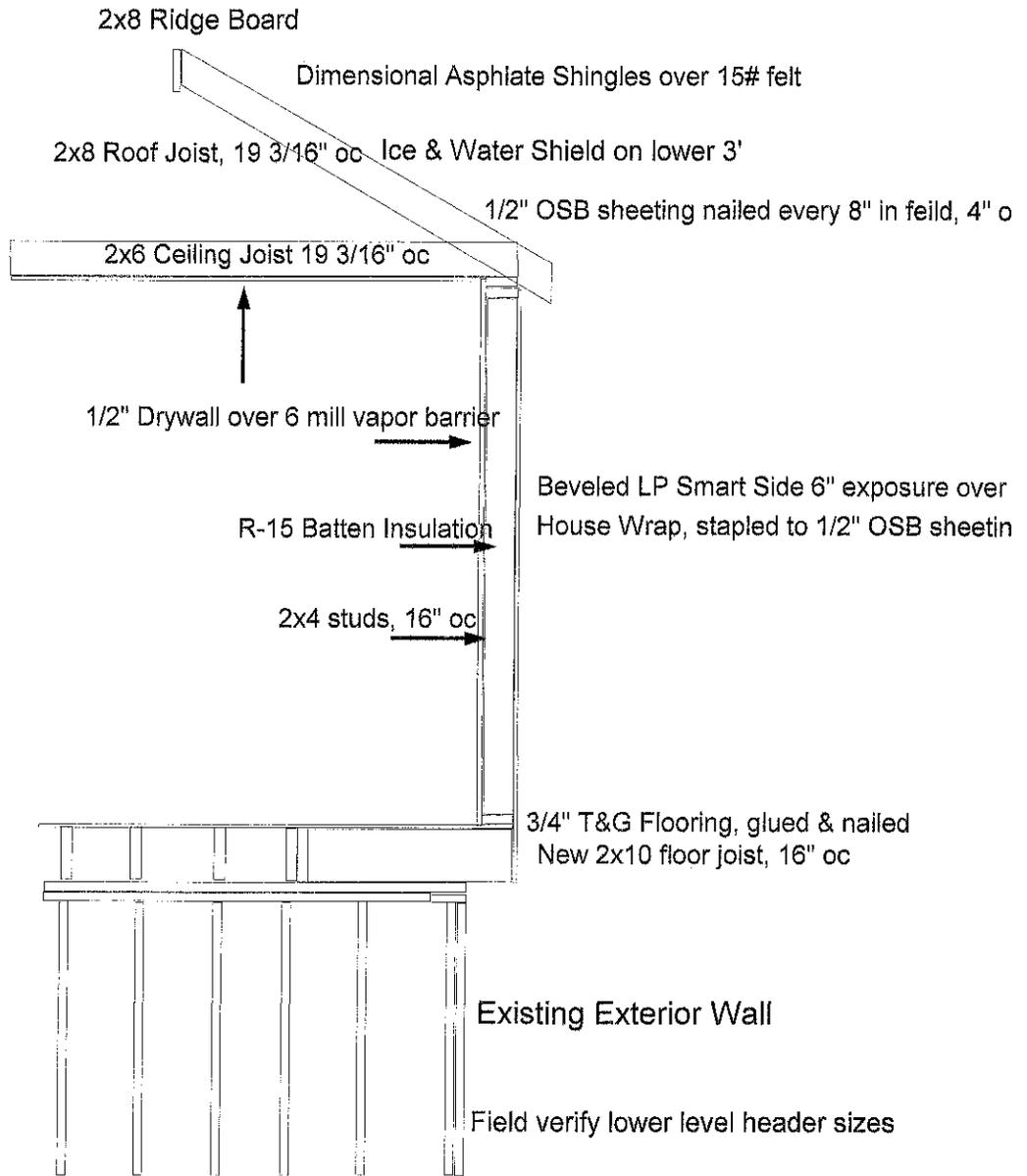
Stritzel's Carpentry LLC

262.719.3191

December 6, 2018

Job Name: Jill Herkowski
607 Capital Drive
Hartland, WI 53029

2nd Floor Addition







ADAM K PFEIFFER AND AMANDA
PFEIFFER
822 E CAPITOL DR
HARTLAND WI 53029-2210

ANDREW M HETTWER AND MILENA
HETTWER
823 E CAPITOL DR
HARTLAND WI 53029-2209

BARBARA ANSTEY 2007 LIVING TRUST
714 E CAPITOL DR
HARTLAND WI 53029

CHARLES E DELSMAN
118 HIGHLAND AVE
HARTLAND WI 53029

CHRISSTOPHER SACHARSKI AND LISA
SACHARSKI
815 E CAPITOL DR
HARTLAND WI 53029

CHRISTOPHER G HAGEN AND KAREN L
HAGEN
724 E CAPITOL DR
HARTLAND WI 53029-2208

DANIEL E DAVIS AND BARBARA J DAVIS
721 E CAPITOL DR
HARTLAND WI 53029-2207

DAVID WOLKEN AND SANDRA WOLKEN
702 E CAPITOL DR
HARTLAND WI 53029

DEAN RINDAHL AND THERESE RINDAHL
727 E CAPITOL DR
HARTLAND WI 53029

FIRST BAPTIST CHURCH INC OF
HARTLAND WISCONSIN
780 TENNY AVE
HARTLAND WI 53029-2236

GLENN DURANT JR AND PAMELA
DURANT
715 E CAPITOL DR
HARTLAND WI 53029

GMDF TRANSITION TRUST
134 TERRACE LN
HARTLAND WI 53029

JANE A MULLINS
206 MEADOW LN
HARTLAND WI 53029

JASON W ELGER
126 HIGHLAND AVE
HARTLAND WI 53029-2224

JEANNE E CALHOUN
733 E CAPITOL DR
HARTLAND WI 53029

JEFFREY ROLERAT AND LAURA ROLERAT
145 WOODLANDS CT
HARTLAND WI 53029

JOSEPH NIEMCZYK AND CAROL
NIEMCZYK
119 HIGHLAND AVE
HARTLAND WI 53029

JUANITA L COMEAU
912 E CAPITOL DR
HARTLAND WI 53029

KATHLEEN A RICHARDSON
127 HIGHLAND AVE
HARTLAND WI 53029

KELLY A ZIMMERMAN
201 MEADOW LN
HARTLAND WI 53029

KENTUCKY DONALD POMMERENING
AND LAARA POMMERENING
212 MEADOW LN
HARTLAND WI 53029-1832

KIM L KLAWITTER
807 E CAPITOL DR
HARTLAND WI 53029

LAWRENCE O JOHNSON
106 HIGHLAND AVE
HARTLAND WI 53029

LEONARD J OSTOPOWICZ
135 HIGHLAND AVE
HARTLAND WI 53029

MARK B MUELLER
PO BOX 9
NASHOTAH WI 53058-0009

MARY K HEIDGER
123 MERTON AVE
HARTLAND WI 53029

MATTHEW L AUSTIN AND ALEXANDRA
AUSTIN
810 E CAPITOL DR
HARTLAND WI 53029-2210

PETER G HOHM AND LINDA SUE HOHM
141 HIGHLAND AVE
HARTLAND WI 53029

RANDALL B HOFFER AND KAREN A
HOFFER
914 LISBON AVE
HARTLAND WI 53029

SCOTT NUGENT AND HEIDI NUGENT
146 WOODLANDS CT
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <i>566 E Birchwood Dr.</i>			
Lot <i>9</i>	Block <i>—</i>	Subdivision <i>The Traditions of Hartland</i>	Key No. <i>HAV</i>
Owner <i>BELMOR Mortgage Co. LLC</i>		Phone <i>(262) 442-5295</i>	
Address <i>P.O. Box 445</i>		City <i>Merton</i>	State <i>WI</i> Zip <i>53056</i>
Contractor <i>BELMOR Construction LLC</i>	Phone <i>(262) 442-5295</i>	FAX <i>(262) 528-8046</i>	E-Mail Address <i>dm@belmor.com</i>
Address <i>P.O. Box 445</i>		City <i>Merton</i>	State <i>WI</i> Zip <i>53056</i>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The **DEADLINE** for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

BELMAN CONSTRUCTION, LLC

**EXTERIOR
COLOR
SELECTIONS**

262-442-5295
fax 262-528-8046

PO Box 445
Merton, WI
53056-0445

Prescott Spec home

Lot 9 Traditions of Hartland

Date: 12/18/18

Job #: BC-11-19

Traditions of Hartland lot 9

Hartland, WI.

Selection Sheet: # 1

Terms: Paid in full with change order _____ inc. _____

Add amount to closing statement _____-0-_____

Item	Roof/ shingle Owens Corning Oakridge color Driftwood (lifetime warranty)	
1		
2	Exterior stone Dutch Stone Ledgerstone Driftwood per plan	
3	Exterior siding Hardi Plank fiber cement pre painted "Stone Lion"	
4	Exterior trim Hardi Plank fiber cement per painted "Quiver Tan"	
5	Garage doors & Gutters to match Trim "Quiver Tan" painted on site	
6	Front door steel Pella door per plan painted with stain match English Chestnut	
7	Windows Pella Impervous "white"	
8	Exterior Light fixtures door hardware oil rubbed bronze	

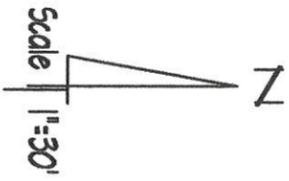
We, the undersigned hereby authorize the Builder to make all selections as specified above.

date: _____

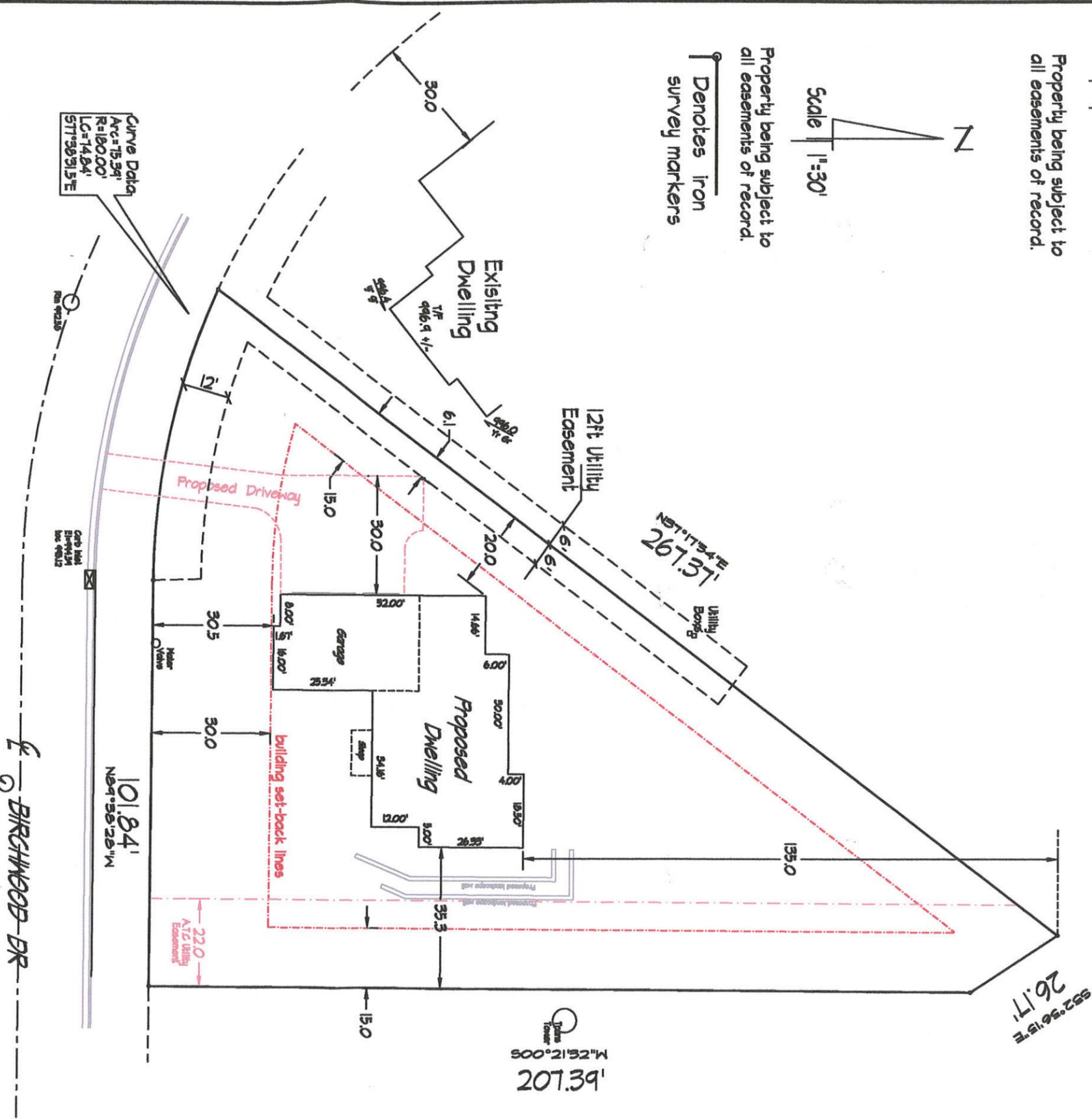
date: _____

Proposed Top of Foundation * 1,000.67
 Proposed Front Yard Grade * 1,000.0
 Proposed Rear Yard Grade * 1,000.0

* Owner/Building must review, approve and verify all proposed elevations before construction.
 Properly being subject to all easements of record.



Properly being subject to all easements of record.
 Denotes Iron survey markers



PLAT OF SURVEY OF.....

Lot 9, TRADITION OF HARTLAND, being a recorded plat of part of the SE 1/4 of the SE 1/4 of Section 26, Town 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.

This survey is correct to the best of my knowledge and belief.
 November 12, 2018

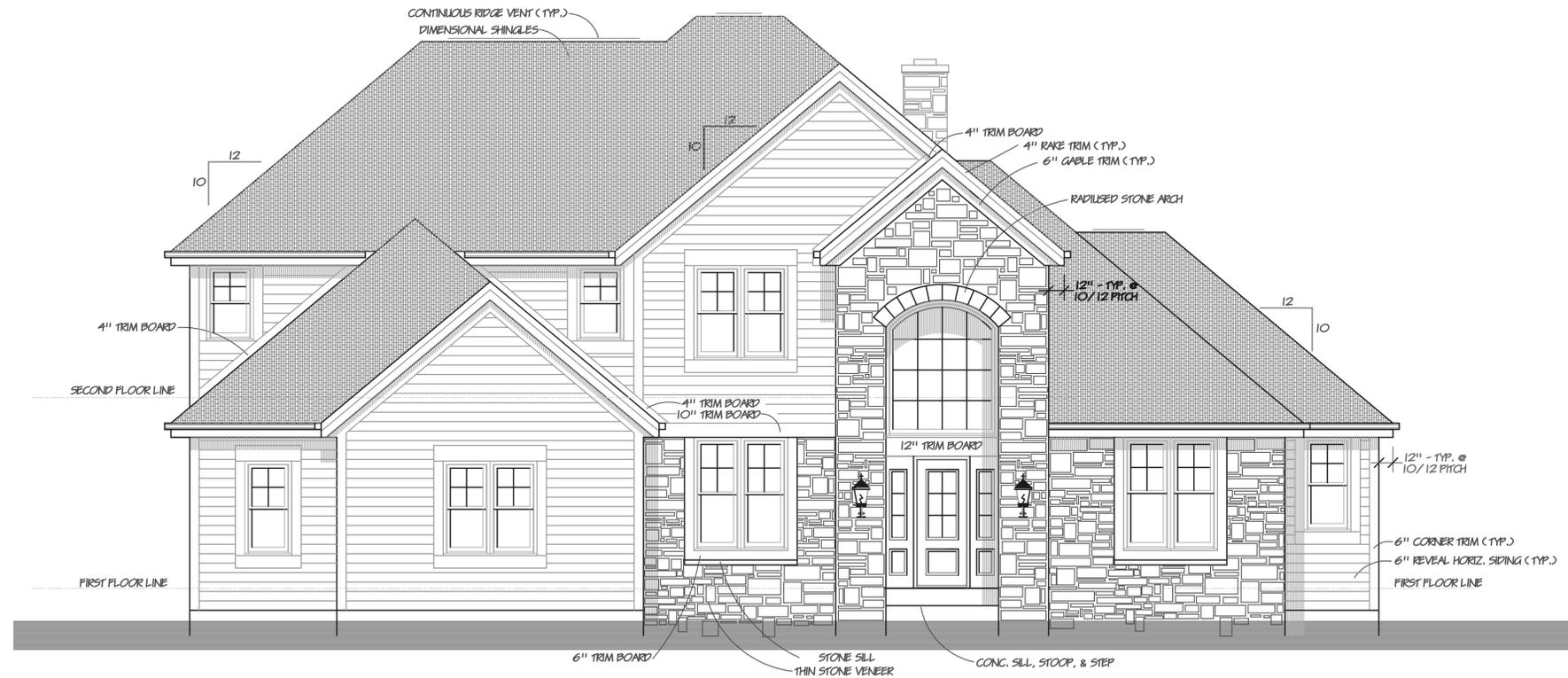


Michael R. Kotlarek
Surveyor
12-17-2018
102-2029



BENCHMARK LAND SURVEY TECHNOLOGY
 Full Land Surveying Services
 5717 - 52nd Street, Kenosha, WI, 53144 (262)558-1686
 N50W128552 Kaasus Rd, Hartland, WI, 53029

Present Owner: Belman Mortgage Co. Inc
 Survey Address: 566 Birchwood Dr
 Hartland, WI 53029-8015
 Tax Key # HAV 0392009
 Sheet 1 of 2 Sheets



TYPICAL WINDOW & DOOR TRIM
FRONT ELEVATION

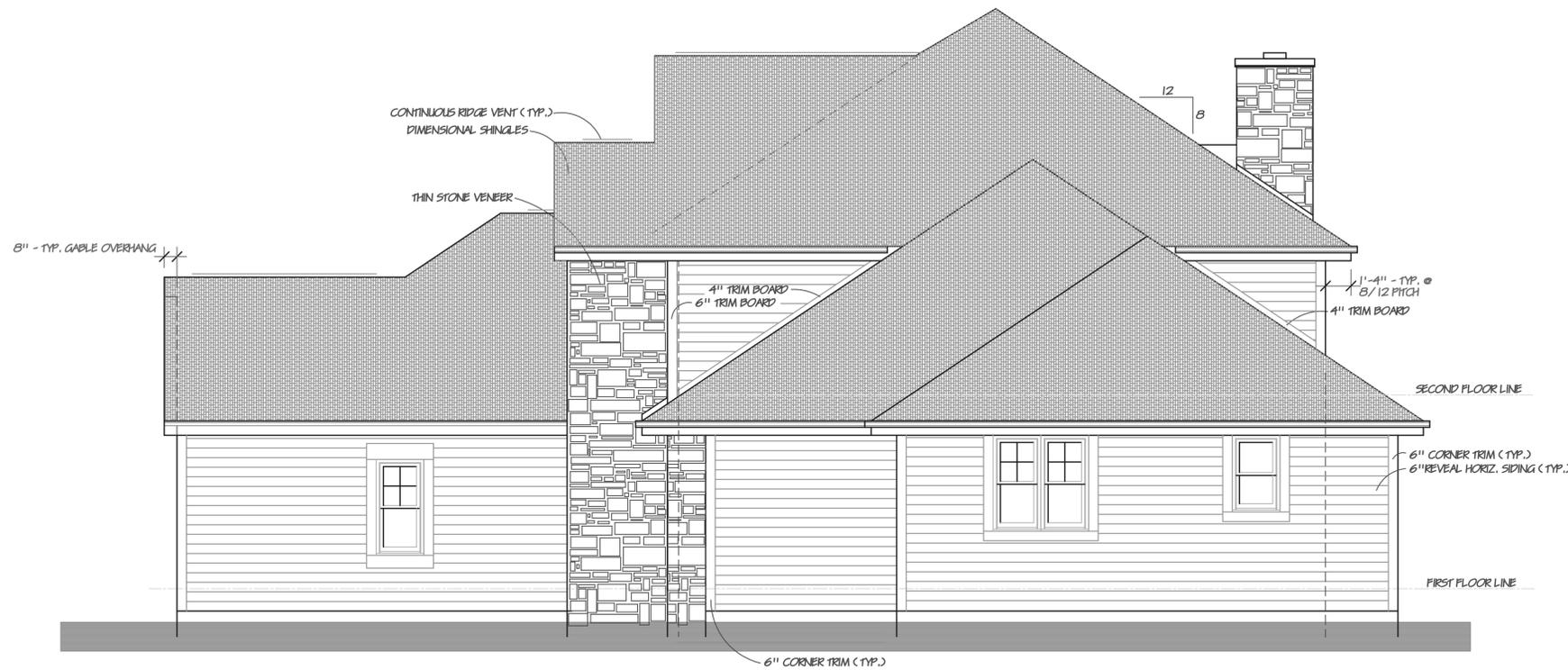
6" JAMB TRIM
8" SILL TRIM
10" HEAD TRIM

TYPICAL WINDOW & DOOR TRIM
ALL OTHER ELEVATIONS

6" JAMB TRIM
6" HEAD & SILL TRIM

FRONT ELEVATION

SCALE 1/4" = 1' - 0"
* 9'-0" FIRST FLOOR *



RIGHT ELEVATION

SCALE 1/4" = 1' - 0"
* 9'-0" FIRST FLOOR *

JOB # BC-11-19

THE REVOLUTIONARY SERIES
"SAMUEL PRESCOTT"
EXPANDED

PROPOSED RESIDENCE FOR:

BELMAN CONSTRUCTION LLC
LOT: 9
566 BIRCHWOOD DRIVE
SUB: TRADITIONS OF HARTLAND
VILLAGE OF HARTLAND
COUNTY OF WALKESHA

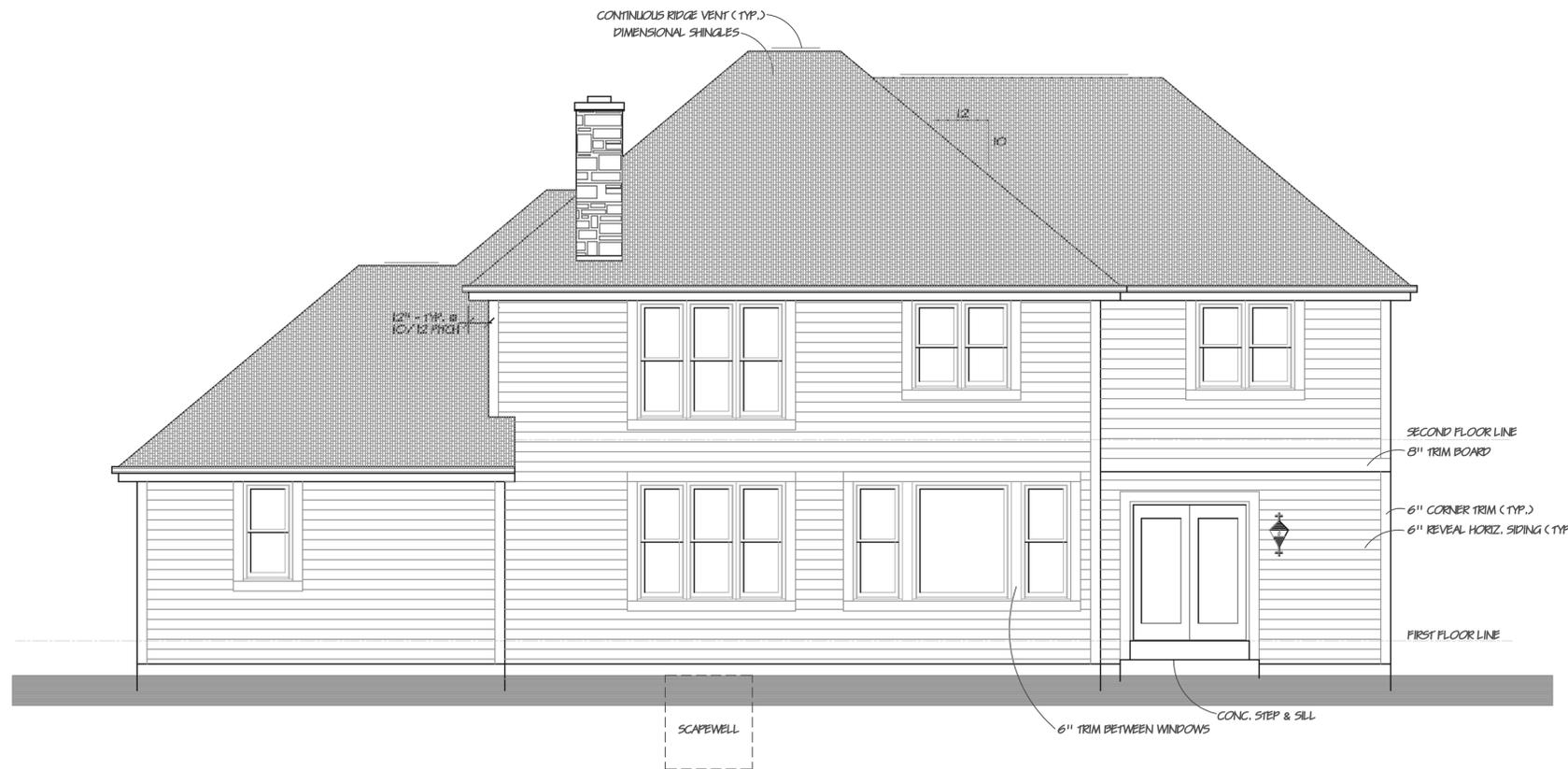
BUILDER

BELMAN CONSTRUCTION LLC
PO BOX 445
MERTON, WI 53056-0445
PHONE: (262) - 442 - 5295
FAX: (262) - 528 - 8046
danbelman@sbcglobal.net
www.revolutionrealtymw.com

M-B-H

W360 N7557 THOMAS DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) - 521 - 2090
ARCHITECTS LLC

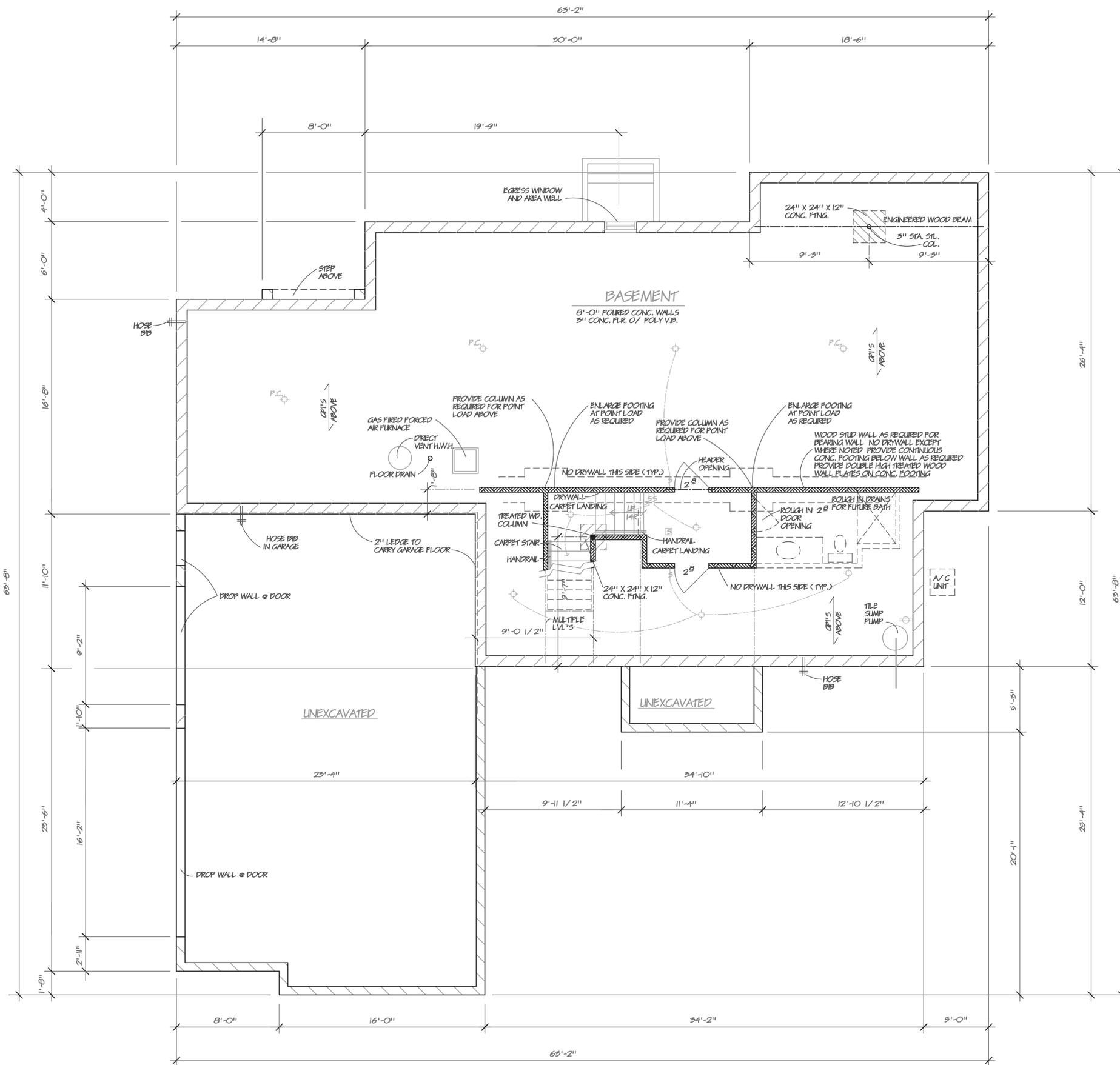
JOB #	REF-11-19-10-N	DATE	1 9 6
-------	----------------	------	-------------



REAR ELEVATION
 SCALE 1/4" = 1' - 0"
 * 9'-0" FIRST FLOOR *



LEFT ELEVATION
 SCALE 1/4" = 1' - 0"
 * 9'-0" FIRST FLOOR *

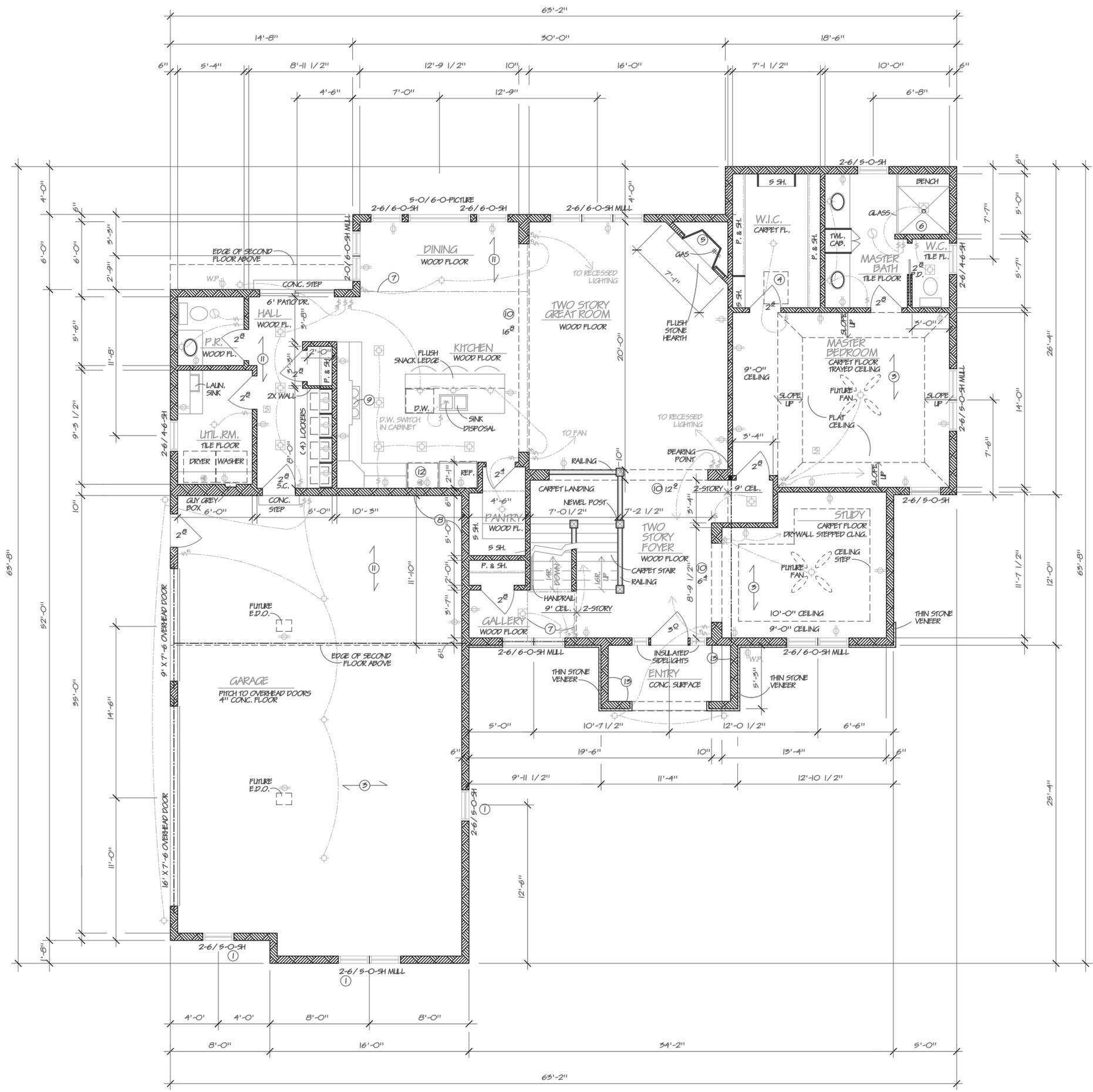


NOTES:
 BASEMENT MECHANICALS LOCATION BY CONTRACTOR
 MAINTAIN 18" EARTH COVERAGE @ ALL FOOTINGS

G.P.I. MANUF. NOTE:
 PROVIDE SPACING AND SERIES AS REQUIRED FOR
 SPAN & LOAD CONDITIONS

ELECTRICAL NOTES:
 ☐ - SMOKE DETECTOR (HARDWIRED)

FOUNDATION PLAN
 SCALE 1/4" = 1' - 0"



- NOTES:**
- ① HEAD HEIGHT OF THESE WINDOWS TO BE 8'-6" ABOVE GARAGE FLOOR
 - ② VOID
 - ③ ROOF TRUSSES @ 24" O.C.
 - ④ ATTIC SCUTTLE WITH LIGHT
 - ⑤ HEATILATOR NB/NDV 42261 RD 42" WIDE X 24 7/8" HIGH X 19 5/8" DEEP
 - ⑥ CERAMIC TILE SHOWER W/ BENCH AND NICHE WALL TILE TO RUN UP TO CEILING
 - ⑦ FLUSH L.V.'S
 - ⑧ 5/8" FIRECODE DRYWALL ON COMMON WALLS - RUN UP TO ROOF TRUSSES ABOVE
 - ⑨ COOKTOP W/ HOOD
 - ⑩ 10" WIDE ARCHED DRYWALL OPENING - SEE ELEVATION FOR VERTICAL DIMENSIONS
 - ⑪ G.P.I.S ABOVE
 - ⑫ WALL OVEN AND MICROWAVE
 - ⑬ SLIDING AND DOOR TRIM INSIDE ENTRY ALCOVE

- ELECTRICAL NOTES:**
- Ⓛ - EXHAUST FAN
 - Ⓜ - SMOKE DETECTOR (HARDWIRED)
- PROVIDE USB PORT IN ALL LOCKERS 4 TOTAL

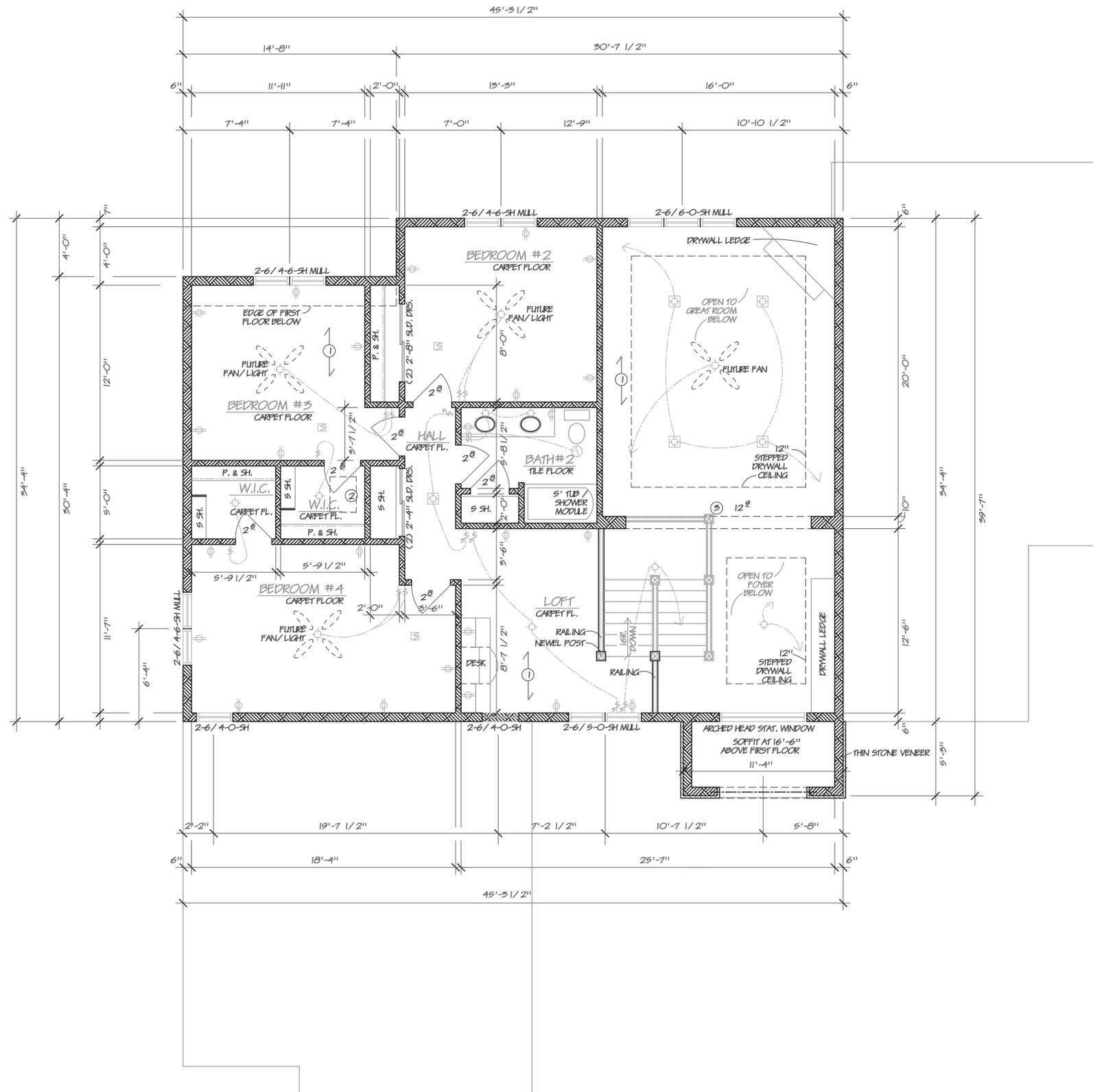
TRUSS MANUF. NOTE:
 PROVIDE TRUSS SERIES AS REQ'D FOR SPAN & LOAD CONDITIONS

G.P.I. MANUF. NOTE:
 PROVIDE SPACING AND SERIES AS REQUIRED FOR SPAN & LOAD CONDITIONS

WINDOWS NOTE:
 WINDOW HEAD HEIGHT TO BE 8'-0" ABOVE FLOOR LINE UNLESS OTHERWISE NOTED

DRYWALL NOTE:
 ALL DRYWALL FIRST AND SECOND FLOOR TO BE KNOCKDOWN WITH ROUNDED CORNERS

FIRST FLOOR PLAN
 SCALE 1/4" = 1' - 0"
 1,817 - SQ. FT. LIVING SPACE
 * 9'-0" FIRST FLOOR *



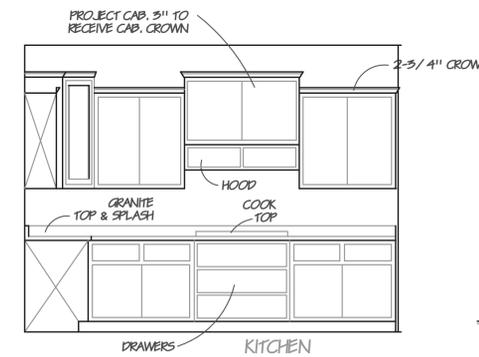
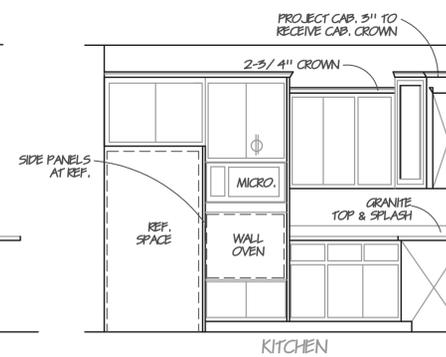
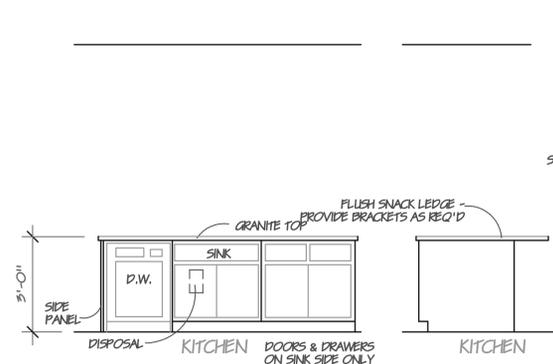
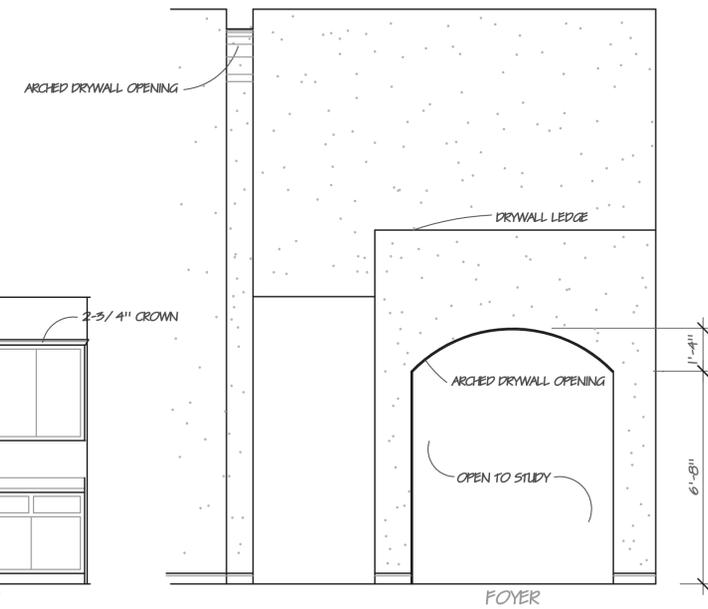
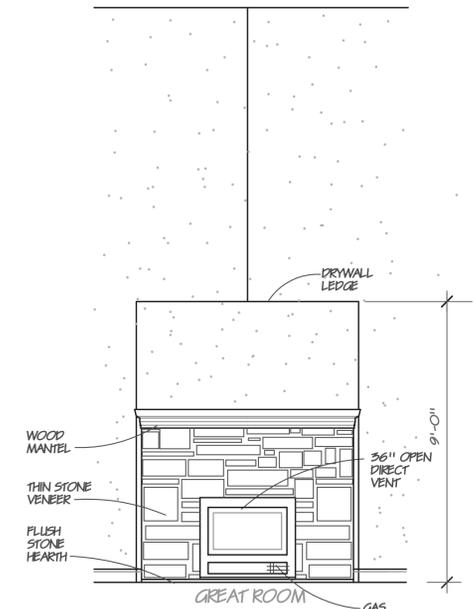
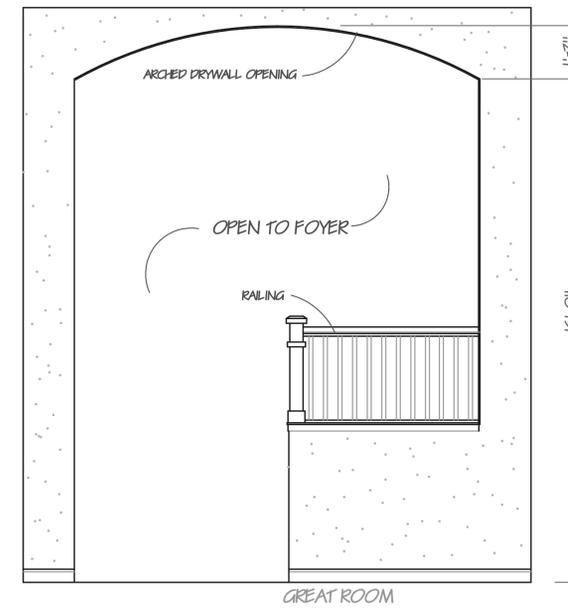
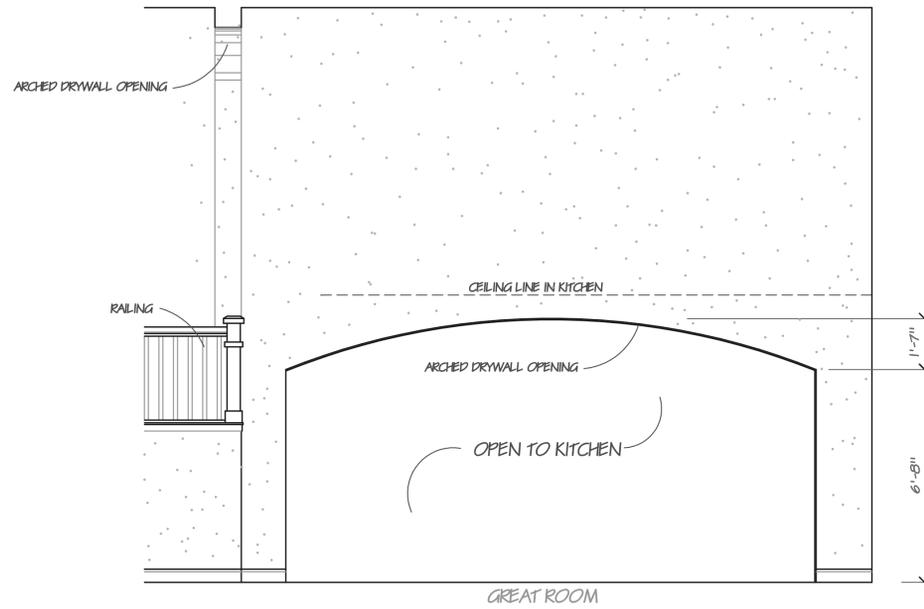
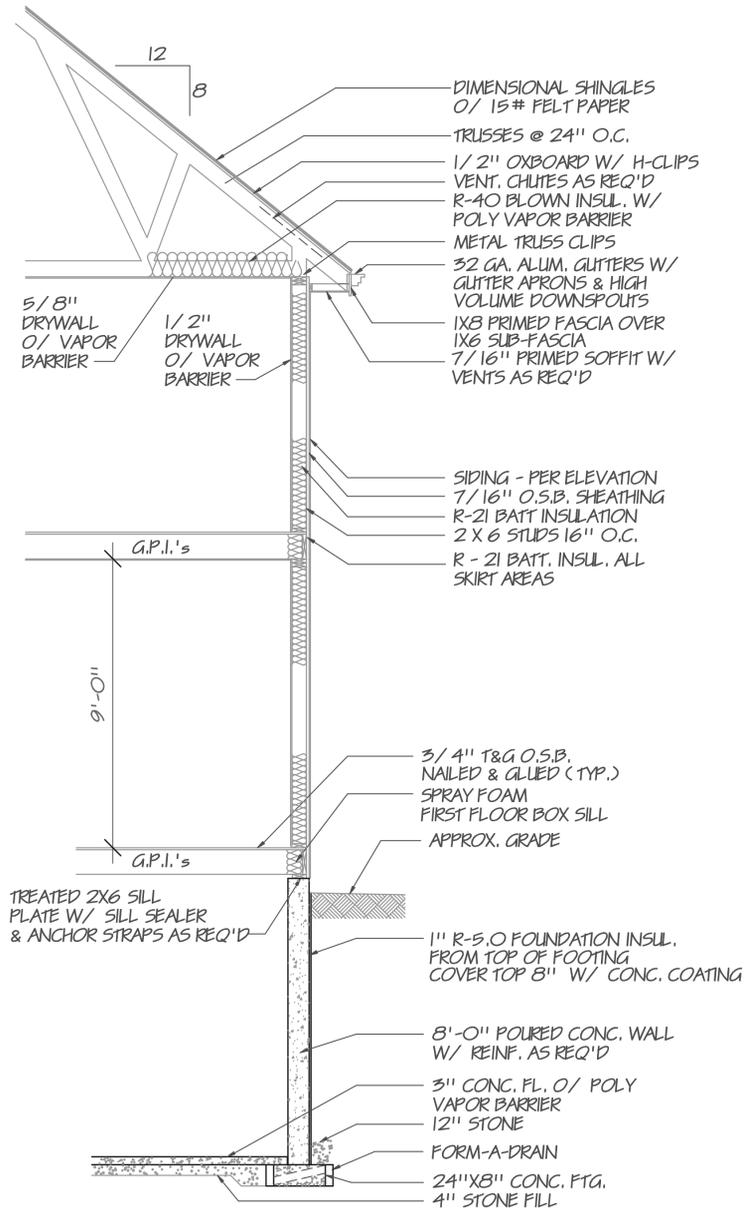
- NOTES:**
- ① ROOF TRUSSES @ 24" O.C.
 - ② ATTIC SCUTTLE WITH LIGHT
 - ③ 10" WIDE ARCHED DRYWALL OPENING - SEE ELEVATION FOR VERTICAL DIMENSIONS

- ELECTRICAL NOTES:**
- ⊙ - EXHAUST FAN
 - ⊠ - SMOKE DETECTOR (HARDWIRED)

TRUSS MANUF. NOTE:
 PROVIDE TRUSS SERIES AS REQ'D FOR SPAN & LOAD CONDITIONS

DRYWALL NOTE:
 ALL DRYWALL FIRST AND SECOND FLOOR TO BE KNOCKDOWN WITH ROUNDED CORNERS

○ **SECOND FLOOR PLAN**
 SCALE 1/4" = 1' - 0"
 1136 - SQ. FT. LIVING SPACE

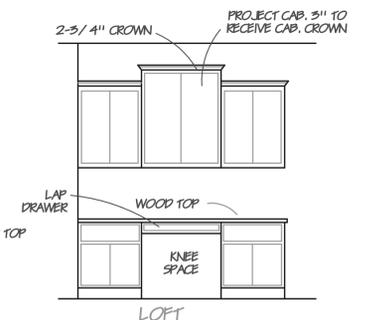
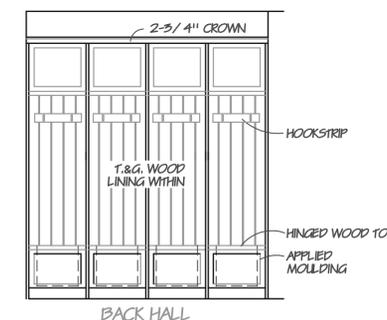
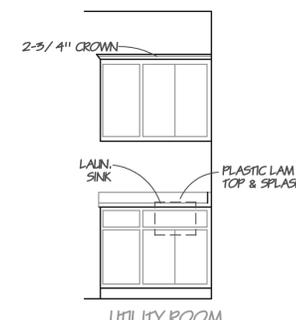
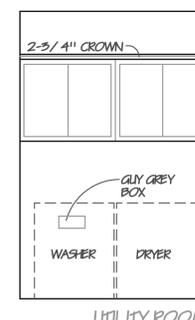
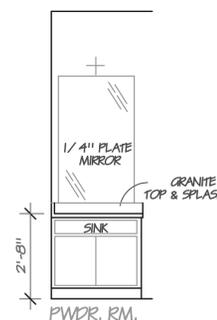
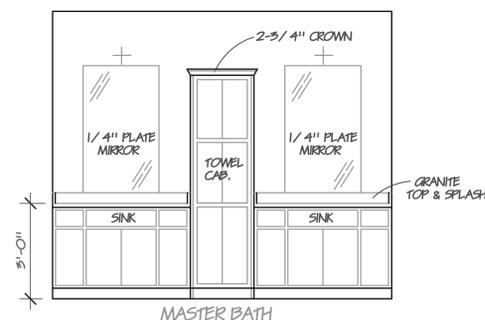
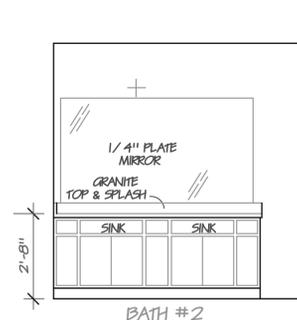


WALL SECTION
SCALE 3/8" = 1' - 0"

LUMBER SUPPLIER NOTE:
ALL STRUCTURAL FRAMING LUMBER SHALL BE S.P.F. #2 OR BETTER

TRUSS MANUF. NOTE:
PROVIDE TRUSS SERIES AS REQ'D FOR SPAN & LOAD CONDITIONS

G.P.I. MANUF. NOTE:
PROVIDE G.P.I. SERIES AS REQ'D FOR SPAN & LOAD CONDITIONS



INTERIOR ELEVATIONS
SCALE 3/8" = 1' - 0"

D-A-T-E 6 of 6

BELMAN MORTGAGE CO INC
PO BOX 445
MERTON WI 53056-0445

CHAD MCCOY AND JENNIFER MCCOY
555 BIRCHWOOD DR
HARTLAND WI 53029-8014

CHRISTOPHER R TAKALA AND PENNIE L
TAKALA
563 BIRCHWOOD DR
HARTLAND WI 53029-8014

DANIEL J LAUDON AND TANIA LAUDON
1139 COLONIAL DR
HARTLAND WI 53029-8017

JAMES T GARRITY AND KATHERINE R
GARRITY
1133 COLONIAL DR
HARTLAND WI 53029-8017

JONATHAN C SIADÉ-COX
567 BIRCHWOOD DR
HARTLAND WI 53029-8014

LIANG LIU AND SISI GUO
554 BIRCHWOOD DR
HARTLAND WI 53029

MARCUS A HIGGINS AND ARIA N
HIGGINS
1286 MARY HILL CIR
HARTLAND WI 53029-8006

MARY K ERNST AND SCOTT A ERNST
2628 11TH ST
KENOSHA WI 53140-1189

MICHAEL G KUFFEL AND ELIZABETH A
KUFFEL
1282 MARY HILL CIR
HARTLAND WI 53029-8006

ROBERT L & KERRY K MALLOW 2009
LIVING TRUST
W292N5801 DORN RD
HARTLAND WI 53029

RODNEY G RIEK AND BARBARA H RIEK
1278 MARY HILL CIR
HARTLAND WI 53029-8006

RYAN P ZIKELI AND VICTORIA L ZIKELI
1126 COLONIAL DR
HARTLAND WI 53029

SCOTT M CARLSEN AND JULIE I
CARLSEN
1130 W COLONIAL DR
HARTLAND WI 53029

SUSAN E BUERGER
1290 MARY HILL CIR
HARTLAND WI 53029

TIM B AMANN AND SUE J AMANN
1137 COLONIAL DR
HARTLAND WI 53029

TODD M REIMER
560 BIRCHWOOD DR
HARTLAND WI 53029



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 120 Crystal			
Lot	Block	Subdivision Lake Country Meadows	Key No. HAV
Owner Village of Hartland		EMAIL davef@villageofhartland.com	Phone 262-367-4750
Address near 120 Crystal Dr.		City Hartland	State WI Zip 53029
Contractor To Be Determined	Phone Not Determined	FAX Not Determined	EMAIL Not Determined
Address Not Determined		City Not Determined	State Not Determined Zip Not Determined

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 12-27-18 Date of Meeting: 1-21-19 Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

BRUCE A NEUMANN
N48W29240 CTH "JK"
TAX KEY: MRTT0428999001

ANTHONY RADTKE
120 CRYSTAL DRIVE
TAX KEY: HAV 0428046



0 2.5 5 10
SCALE IN FEET

7	6	5	4	3	2	1
SECTION(S)	SECTION(S): 35 SE					
TOWN: 8N	RANGE: 18E					

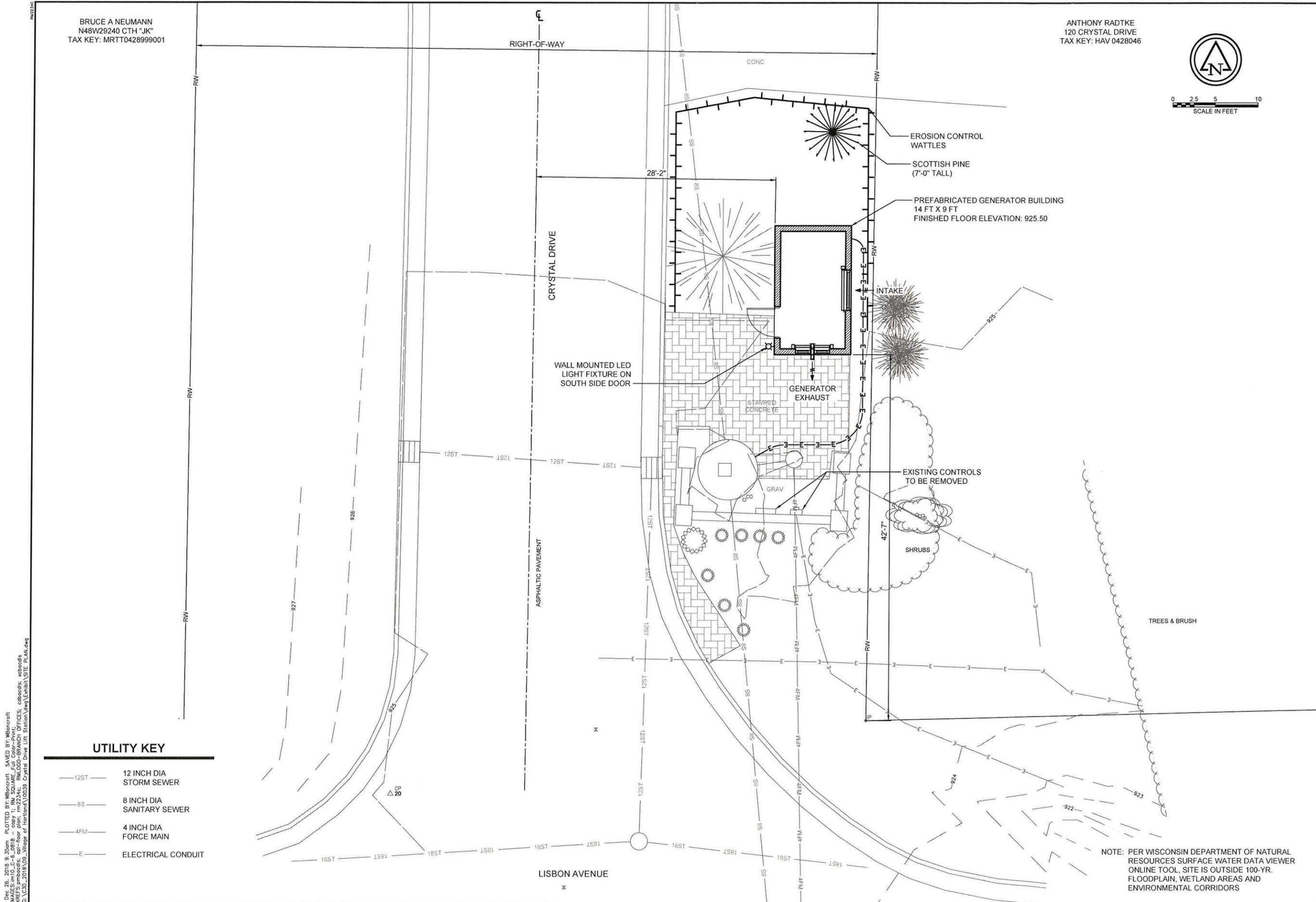
Ruekert • Mielke
Waukesha • Kenosha • Madison
Chicago • Global Water Center • Fox Valley
www.ruekertmielke.com

CRYSTAL DRIVE BUILDING ADDITION
SITE PLAN
VILLAGE OF HARTLAND
WAUKESHA COUNTY, WISCONSIN

© COPYRIGHT 2018
RUEKERT & MIELKE, INC.
DESIGNED BY:
DRAFTED BY:
CHECKED BY:
DATE: DECEMBER 2018
FILE NO.
09-10039.200

SHEET NO.

www.ruekertmielke.com



UTILITY KEY

- 12ST— 12 INCH DIA STORM SEWER
- 8S— 8 INCH DIA SANITARY SEWER
- 4FM— 4 INCH DIA FORCE MAIN
- E— ELECTRICAL CONDUIT

NOTE: PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES SURFACE WATER DATA VIEWER ONLINE TOOL, SITE IS OUTSIDE 100-YR. FLOODPLAIN, WETLAND AREAS AND ENVIRONMENTAL CORRIDORS

Dec 26, 2018 9:35am PLOTTED BY: MBancroft. SAVED BY: MBancroft
IMAGES: im10_c_6_0818 - copy 1; RM SQUARE_Full Color-Print;
C:\30_2018\09_Village of Hartland\009 Crystal Drive Lit. Station\dwg\Embld\Site Plan.dwg
C:\30_2018\09_Village of Hartland\009 Crystal Drive Lit. Station\dwg\Embld\Site Plan.dwg



ANDREW KONOPKA AND BRANDICE
KONOPKA
1161 EAGLE PASS
HARTLAND WI 53029

ANTHONY RADTKE AND HEATHER
RADTKE
120 CRYSTAL DR
HARTLAND WI 53029

BRETT L AND PAULA E NORDWIG 2017
LIVING TRUST
1250 E CAPITOL DR
HARTLAND WI 53029-2218

BRUCE A AND TARI A NEUMANN
REVOCABLE
N48W29240 COUNTY RD JK
HARTLAND WI 53029-2264

CHRIS FOLVAG AND JOAN FOLVAG
106 BLUE RIDGE CT
HARTLAND WI 53029

CYNTHIA A GIESEN AND THOMAS C
GIESEN
103 BLUE RIDGE CT
HARTLAND WI 53029-1830

DANIEL J DRISCOLL AND SUSAN L JASKE
221 CRYSTAL DR
HARTLAND WI 53029

DAVID & P MANSMITH TRUST
105 BLUE RIDGE CT
HARTLAND WI 53029

DAVID VANTHIEL AND KATHLEEN
VANTHIEL
1221 EAGLE PASS
HARTLAND WI 53029

DOUGLAS S KARGE AND LEAH D KARGE
160 CRYSTAL DR
HARTLAND WI 53029

G MDF TRANSITION TRUST
134 TERRACE LN
HARTLAND WI 53029

GRAUEL LIVING TRUST
103 TERRACE LN
HARTLAND WI 53029

JAMES T SCHWIND
1209 LISBON AVE
HARTLAND WI 53029

JAY D SCHNEIDER AND SARAH L
SCHNEIDER
1307 SHELLY LN
HARTLAND WI 53029

JEAN A DONOVAN
1124 LISBON AVE
HARTLAND WI 53029

JEFFREY A ZEMAN AND VICKIE L OTTO
225 BADGER DR
HARTLAND WI 53029

JEFFREY J BIERMAN
1222 LISBON AVE
HARTLAND WI 53029-2234

JEFFREY RADAKOVICH AND KATHLEEN
RADAKOVICH
1261 SHELLY LN
HARTLAND WI 53029-9161

JOHN LESCH AND CANDACE LESCH
220 BADGER DR
HARTLAND WI 53029

JOHN T & JANET KNODL JOINT
REVOCABLE TRUST
112 TERRACE LN
HARTLAND WI 53029

KAREN PETZOLD
1275 SHELLY LN
HARTLAND WI 53029-1823

KATHRYN B DEFRAIN
135 TERRACE LN
HARTLAND WI 53029

KAZUKO SCHERER REVOCABLE TRUST
240 CRYSTAL DR
HARTLAND WI 53029

KENNETH HARPER II
1131 EAGLE PASS
HARTLAND WI 53029-1838

KEVIN GORALSKI AND LAURA GORALSKI
1245 EAGLE PASS
HARTLAND WI 53029

LAKE COUNTRY MEADOWS
HOMEOWNERS ASSOCIATION
1260 SHELLY LN
HARTLAND WI 53029

LORETTA M GRAMBOW
117 TERRACE LN
HARTLAND WI 53029

LUKE W ALLENSON AND MICHELLE L
ALLENSON
104 BLUE RIDGE CT
HARTLAND WI 53029

MARC A CHAPEL AND JENNIFER R
CHAPEL
108 BLUE RIDGE CT
HARTLAND WI 53029-1830

MARGIT PROPERTIES LLC
580 INDUSTRIAL DR
HARTLAND WI 53029

MARK J HOLZBAUER AND KATHLEEN M
SHEAHAN
250 BADGER DR
HARTLAND WI 53029

MARY ELLEN WIDMANN
118 TERRACE LN
HARTLAND WI 53029

MAUREEN L LAWLER
125 TERRACE LN
HARTLAND WI 53029

MICHAEL BERENDES AND MARY
BERENDES
1304 SHELLY LN
HARTLAND WI 53029

MICHAEL DEJEWSKI AND KAREN
DEJEWSKI
1301 SHELLY LN
HARTLAND WI 53029

MICHAEL J O'SHEA
107 BLUE RIDGE CT
HARTLAND WI 53029-1830

MURIEL JOHNSON LIVING TRUST
126 TERRACE LN
HARTLAND WI 53029

NICKOLAS C CADY AND AMANDA M
CADY
101 BLUE RIDGE CT
HARTLAND WI 53029

PATRICIA A OSTERLING AND DOROTHY
ALLEN
1135 LISBON AVE
HARTLAND WI 53029

PETER FLETCHER AND SARAH FLETCHER
102 BLUE RIDGE CT
HARTLAND WI 53029

PRESTON M KLINK AND JESSICA A
KLINK
150 TERRACE LN
HARTLAND WI 53029

ROLAND NIEMETSCHKE AND D
NIEMETSCHKE
N47W29111 COUNTY ROAD JK
HARTLAND WI 53029-2352

STAVRO E KAFKAS
1311 SHELLY LN
HARTLAND WI 53029

STEVEN BELL AND JILL BELL
251 CRYSTAL DR
HARTLAND WI 53029

THOMAS R PERSKE AND STACY PERSKE
200 CRYSTAL DR
HARTLAND WI 53029

TIMOTHY M STEFFEN AND NICOLE A
STEFFEN
231 CRYSTAL DR
HARTLAND WI 53029

TJWK REAL ESTATE LLC
W336N6437 LAKEVIEW LN
OCONOMOWOC WI 53066-1926

WALTER ZAWADZKI AND JACKIE
ZAWADZKI
1229 LISBON AVE
HARTLAND WI 53029

WILLIAM ANDERSON AND S ANDERSON
N47W29095 COUNTY ROAD JK
HARTLAND WI 53029-2353

WILLIAM B HUSSEL
1301 LISBON AVE
HARTLAND WI 53029-2298

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

pd 12/28/18
\$100

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit**
or
- PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit**

Up to Five Parcels - \$150.00
 Six to Fourteen Parcels - \$300.00
 Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
 Plat Requiring Review \$50.00 (Minimum)
 Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
 \$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

- Name: JAY & JANE E. BRODY & RICHARD SESSNER
 Address of Owner/Agent: N 30 W 29298 ORCHARD AVE
PEWAUKEE, WI. 53072
 Phone Number of Owner/Agent: 262-367-2976
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use.
RESIDENTIAL

Signature of Petitioner _____

N 30 W 29298 ORCHARD AVE
Address

262-367-2976
Phone



CERTIFIED SURVEY MAP NO. _____
Sheet 1 of 5
 All that part of the SW 1/4 of the SE 1/4 and
 part of the NW 1/4 of the NE 1/4 of Section 11, T7N, R18E
 TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN
 Includes Lots 34 thru 40, Plat of Pewaukee Highlands

OWNERS:

JAY & JANE E BRODY
 N30 W29298 ORCHARD AVE.
 PEWAUKEE, WI 53072
 (262) 367-2976
 RICHARD W. SESSNER
 N30 W29340 ORCHARD AVE.
 PEWAUKEE, WI 53072
 (414) 272-1230

SURVEYOR:

JOHN W. JAHNKE S-917
 JAHNKE & JAHNKE ASSOC., INC.
 711 W. MORELAND BLVD.
 WAUKESHA, WI 53188
 (262) 542-5797

REFERENCE BEARING: THE
 SOUTH LINE OF THE
 SOUTHEAST 1/4 OF SECTION
 11, T7N, R18E WAS USED AS
 THE REFERENCE BEARING
 AND HAS A BEARING OF
 S. 89° 43' 17" E.

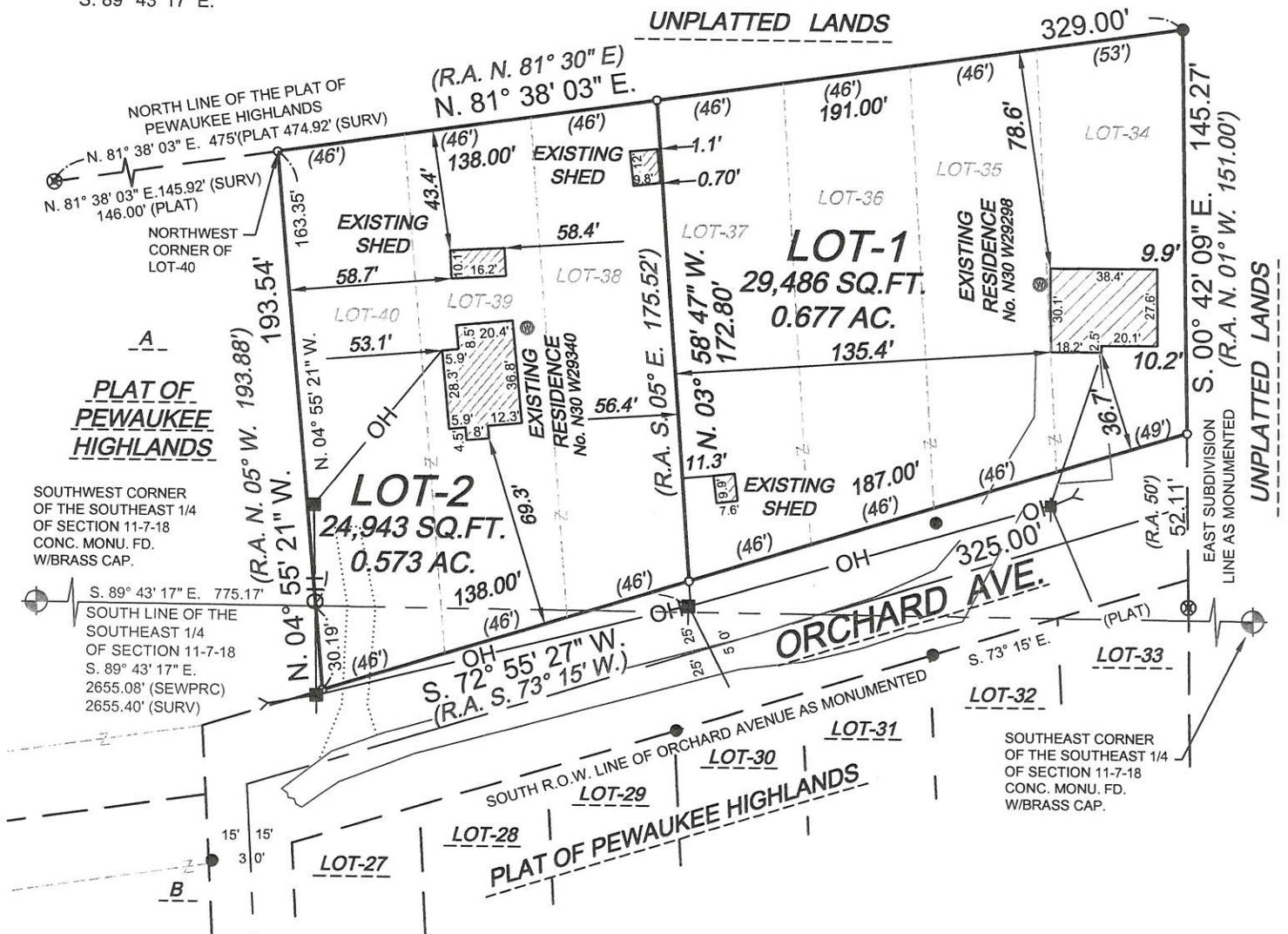
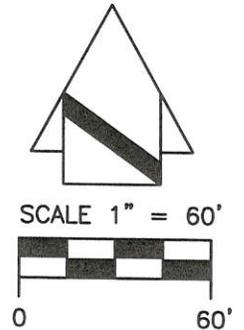
LEGEND

- ⊕ CONCRETE MONU. FD W/BRASS CAP
- 1" DIA. IRON PIPE SET 18" LONG
1.13 LBS. PER LIN. FT.
- 1" DIA. IRON PIPE FOUND
- ⊗ IRON ROD FOUND
- ⊙ EXISTING WELL
- POWER POLE
- (R.A.) RECORDED AS

ZONING: R-3
 FRONT SETBACK 50'
 REAR SETBACK 20'
 SIDE SETBACK 20'
 MIN. 20,000 SQ.FT.
 MIN. WIDTH 120'



SE 1/4 SEC. 11-7-18
 SCALE: 1"=2000'



John W. Jahnke
 JOHN W. JAHNKE -WIS. REG. NO. S-917
 Dated this 26TH Day of DECEMBER, 2018



CERTIFIED SURVEY MAP NO. _____ Sheet 2 of 5
All that part of the SW ¼ of the SE ¼ of Section 11 and part of the NW ¼ of the NE ¼
of Section 14, T7N, R18E
TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN
Includes Lots 34 thru 40, Plat of Pewaukee Highlands

SURVEYOR'S CERTIFICATE:

I, John W. Jahnke, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

All of Lots 33 thru 40 of the recorded Plat of Pewaukee Highlands, a recorded subdivision in the Register of Deeds Office for Waukesha County, being part of the Southwest Quarter (SW ¼) of the Southeast Quarter (SE ¼) of Section 11 and part of the Northwest Quarter (NW ¼) of the Northeast Quarter (NE ¼) of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin. Containing 54,379 square feet (1.250 acre) of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Town of Delafield, Village of Hartland and Waukesha County in surveying, dividing and mapping the same.



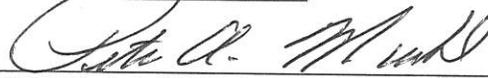
JOHN W. JAHNKE – Wis. Reg. No. S-917



STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 26th day of Dec., 2018.

My commission expires July 5, 2019



PETER A. MUEHL – NOTARY PUBLIC



OWNERS: JAY & JANE BRODY
RICHARD W. SESSNER

CERTIFIED SURVEY MAP NO. _____ Sheet 3 of 5
All that part of the SW ¼ of the SE ¼ of Section 11 and part of the NW ¼ of the NE ¼
of Section 14, T7N, R18E
TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN
Includes Lots 34 thru 40, Plat of Pewaukee Highlands

OWNER'S CERTIFICATE: OWNER OF LOTS 34, 35, 36 AND 37 (LOT 1 IN CSM)

As owners, we hereby certify that we caused the land described on this map to be surveyed, divided, and mapped as represented on this map. We also certify that this Certified Survey Map is required to be submitted to the following for approval: Town of Delafield, Village of Hartland and Waukesha County

JAY BRODY - OWNER

JANE E. BRODY – OWNER (WIFE)

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 20____, the above named JAY BRODY and JANE E. BRODY, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC –



John W. Jahnke
JOHN W. JAHNKE, Wis. Reg. No. S-917
Dated this 26TH day of DECEMBER, 2018

OWNERS: JAY & JANE BRODY
RICHARD W. SESSNER

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 5

All that part of the SW ¼ of the SE ¼ of Section 11 and part of the NW ¼ of the NE ¼
of Section 14, T7N, R18E

TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

Includes Lots 34 thru 40, Plat of Pewaukee Highlands

OWNER'S CERTIFICATE: OWNER OF LOTS 38, 39 AND 40 (LOT 2 OF CSM)

As owner, I hereby certify that I caused the land described on this map to be surveyed, divided, and mapped as represented on this map. I also certify that this Certified Survey Map is required to be submitted to the following for approval: Town of Delafield, Village of Hartland and Waukesha County

RICHARD W. SESSNER – OWNER

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 20____, the above named RICHARD W. SESSNER, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC –



John W. Jahnke
JOHN W. JAHNKE, Wis. Reg. No. S-917
Dated this 26th day of DECEMBER, 2018

OWNERS: JAY & JANE BRODY
RICHARD W. SESSNER

CERTIFIED SURVEY MAP NO. _____ Sheet 5 of 5
All that part of the SW ¼ of the SE ¼ of Section 11 and part of the NW ¼ of the NE ¼
of Section 14, T7N, R18E
TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN
Includes Lots 34 thru 40, Plat of Pewaukee Highlands

TOWN PLAN COMMISSION APPROVAL:

Approved by the Plan Commission, Town of Delafield, this _____ day of _____, 20__.

KEVIN FITZGERALD – CHAIRMAN

MARY T. ELSNER – CLERK

TOWN BOARD APPROVAL:

Approved by the Town Board, Town of Delafield, this _____ day of _____, 20__.

LAWRENCE G. KRAUSE – CHAIRMAN

MARY T. ELSNER - CLERK

VILLAGE PLAN COMMISSION EXTRATERRITORIAL APPROVAL:

Approved by the Plan Commission, Village of Hartland, this _____ day of _____, 20__.

JEFFREY PFANNERSTILL – VILLAGE PRESIDENT

DARLENE IGL - CLERK

VILLAGE BOARD EXTRATERRITORIAL APPROVAL:

Approved by the Common Council, Village of Hartland, this _____ day of _____, 20__.

JEFFREY PFANNERSTILL – VILLAGE PRESIDENT

DARLENE IGL – CLERK

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

Resolved that the above Certified Survey Map, which has been filed for approval as required by chapter 236,
Wisconsin Statutes, is hereby approved this _____ day of _____, 20__.

Dale R. Shaver - Director



JOHN W. JAHNKE – Wis. Reg. No. S-917
Dated this 26TH day of DECEMBER, 2018

OWNERS: JAY & JANE BRODY
RICHARD W. SESSNER



LAND INFORMATION SYSTEMS DIVISION

Waukesha County GIS Map

Legend

- Parcels
- Plats
- Retired Parcels
- Retired Plats



0 800.00 Feet

Notes:

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.



Printed: 1/16/2019

CECELIA H SMITH AND KENNETH E
HANSON
232 ROYAL RIDGE DR
OCONOMOWOC WI 53066-5838

DANIEL P & TRUDY J MALONE
REVOCABLE LIVING TRUST
N30W29293 HILLCREST DR
PEWAUKEE WI 53072

DOUGLAS BRADEN AND VICKI BRADEN
W293N3080 POPLAR DR
PEWAUKEE WI 53072-3257

HORNING REVOCABLE TRUST
N30W29329 HILLCREST DR
PEWAUKEE WI 53072

JANE E BRODY AND JAY BRODY
ORCHARD AVE
PEWAUKEE WI 53072

JEFFREY S NIEDZIELA AND AMY G
NIEDZIELA
N30W29273 HILLCREST DR
PEWAUKEE WI 53072

JUNE HAMMANN
N30W29299 HILLCREST DR
PEWAUKEE WI 53072

JUNE HAMMANN
N30W29299 HILLCREST DR
PEWAUKEE WI 53072

LOT OWNERS OF ENCLAVE OF
DELAFIELD
Not Available
Not Available WI 00000

RICHARD W SESSNER
N30W29340 ORCHARD AVE
PEWAUKEE WI 53072

RUSSELL WANKOWSKI AND LORA L
WANKOWSKI
W293N3112 POPLAR DR
PEWAUKEE WI 53072-3245

THOMAS KRANICK
1517 W PIERCE ST
MILWAUKEE WI 53204

W H SCHMELING
9524 W STANHOPE RD
KENSINGTON MD 20895

W H SCHMELING
9524 W STANHOPE RD
KENSINGTON MD 20895

WM H SCHMELING
9524 W STANHOPE RD
KENSINGTON MD 20895

WOODRIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
N27W24025 PAUL CT STE 100
PEWAUKEE WI 53072-6239

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

- CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or
 PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

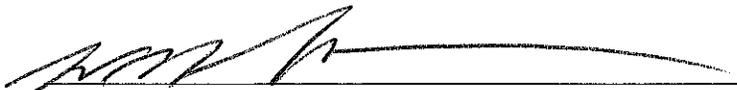
Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: Krieter Farms
Address of Owner/Agent: PO Box 180621 Delafield
WI 53018
Phone Number of Owner/Agent: 414-559-2132
2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
3. State present use of property and intended use.
Was farmland Eight lot subdivision


Signature of Petitioner

632 E Washington St Oconomowoc WI 53066
Address

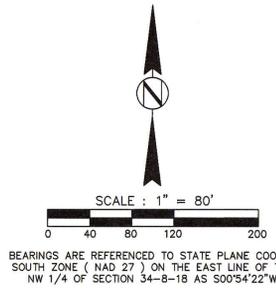
414-559-2132



KIEFER FARMS

BEING A REDIVISION OF ALL OF LOT 1 OF C.S.M. NO. 11732, LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 34, T.8N., R.18E., TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

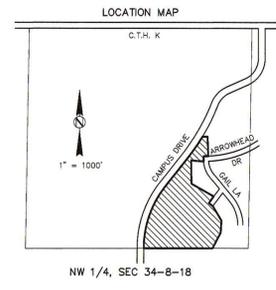
CURVE NO.	LOT NO.	RADIUS LENGTH	CENTRAL ANGLE (DMS)	ARC DISTANCE	CHORD DISTANCE	CHORD BEARING (DMS)	TAN. BEARING 1 (DMS)	TAN. BEARING 2 (DMS)
1	O.L. 1	1170.00'	37-34-08	767.17'	753.50'	N19-31-01E	N00-43-57E	N38-18-05E
2	O.L. 1	2319.98'	07-04-28	286.45'	286.27'	N34-45-51E	N38-18-05E	N31-13-37E
3	O.L. 1	1140.89'	02-38-43	52.67'	52.67'	S89-40-44.5W	S88-21-23W	N88-59-54W
4	O.L. 1	1200.89'	07-10-00	150.21'	150.11'	N85-24-54W	N88-59-54W	N81-49-54W
5-N	8	67.00'	52-37-10	61.53'	59.39'	S63-32-55W	S37-14-20W	S89-51-30W
5-C/L	-	100.00'	52-37-10	91.84'	88.65'	S63-32-55W	S37-14-20W	S89-51-30W
5-S	-	133.00'	52-37-10	122.14'	117.90'	S63-32-55W	S37-14-20W	S89-51-30W
5-S	1	133.00'	40-33-34	94.15'	92.20'	S57-31-07W	S37-14-20W	S77-47-54W
5-S	2	133.00'	12-03-36	27.99'	27.94'	S83-49-42W	S77-47-54W	S89-51-30W
6	3	50.00'	48-23-40	42.23'	40.99'	S65-39-40W	S89-51-30W	S41-27-50W
7	-	75.00'	276-47-20	362.32'	99.60'	N00-08-30W	S41-27-50W	S41-44-50E
7	3	75.00'	8-36-00	11.26'	11.25'	S45-45-50W	S41-27-50W	S50-03-50W
7	4	75.00'	65-31-48	85.78'	81.18'	S82-49-44W	S50-03-50W	N64-24-22W
7	5	75.00'	53-50-42	70.48'	67.92'	N37-29-01W	N64-24-22W	N10-33-40W
7	6	75.00'	60-49-08	79.61'	75.93'	N19-50-53E	N10-33-40W	N50-15-26E
7	O.L. 1	75.00'	27-28-04	35.96'	35.61'	N63-59-28E	N50-15-26E	N77-43-30E
7	7	75.00'	60-31-40	79.23'	75.60'	S72-00-40E	N77-43-30E	S41-44-50E
8	7	50.00'	48-23-40	42.23'	40.99'	S65-39-40E	S41-44-50E	N89-51-30E



DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'
 ANGLES ARE COMPUTED TO THE NEAREST 00'00'00.5\"/>

LEGEND

- ⊙ - 2.25" O.D. IRON PIPE FOUND
- - 2.25" O.D. IRON PIPE SET, 18" LONG, WT. = 3.93 LBS./LIN. FT.
- - 3/4" O.D. x 18" IRON REBAR SET AT ALL OTHER LOT CORNERS, WT. = 1.50 LBS./LIN. FT.
- - CONCRETE MONUMENT W/ BRASS CAP FOUND
- - 1.25" O.D. IRON PIPE FOUND
- - 1.5" O.D. IRON PIPE FOUND
- - 3/4" O.D. IRON REBAR FOUND



GENERAL NOTES:

- 1) EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDABLE FRACTIONAL OWNERSHIP IN OUTLOT 1 AND WAUKESHA COUNTY OR THE TOWN OF MERTON SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL CHARGES IN THE EVENT THEY BECOME THE OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY
- 2) OUTLOT 1 IS COVERED, IN ITS ENTIRETY, BY A STORM DRAINAGE EASEMENT.
- 3) THERE SHALL BE NO FURTHER DIVISION OF LOTS OR OUTLOTS WITHIN THE SUBDIVISION.
- 4) ALL REFERENCED ELEVATIONS ARE ON THE NGVD 1929 DATUM.
- 5) THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO CAMPUS DRIVE FROM OUTLOT 1.
- 6) THE CENTER ISLAND IN THE CUL-DE-SAC IS PART OF THE PUBLIC ROAD RIGHT-OF-WAY, BUT WILL BE MAINTAINED BY THE KIEFER FARMS HOMEOWNERS ASSOCIATION.
- 7) ALL BASEMENT FLOORS MUST BE A MINIMUM OF 1 FOOT ABOVE THE SEASONAL HIGH GROUNDWATER MARK
- 8) OUTLOT 1 IS SUBJECT TO TWO CONSERVATION EASEMENTS IN FAVOR OF TALL PINES CONSERVANCY, INC. THE SOUTHERN PORTION OF OUTLOT 1, AS SHOWN, IS SUBJECT TO THE TALL PINES CONSERVANCY PRESERVATION EASEMENT RECORDED IN DOCUMENT NO. 3354575. THE REMAINDER OF OUTLOT 1 IS SUBJECT TO THE TALL PINES CONSERVANCY PRESERVATION EASEMENT RECORDED IN DOCUMENT NO. 3444496, AS AMENDED BY DOCUMENT NO. 3849359. (SEE RECORDED DOCUMENTS FOR RESTRICTIONS)

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

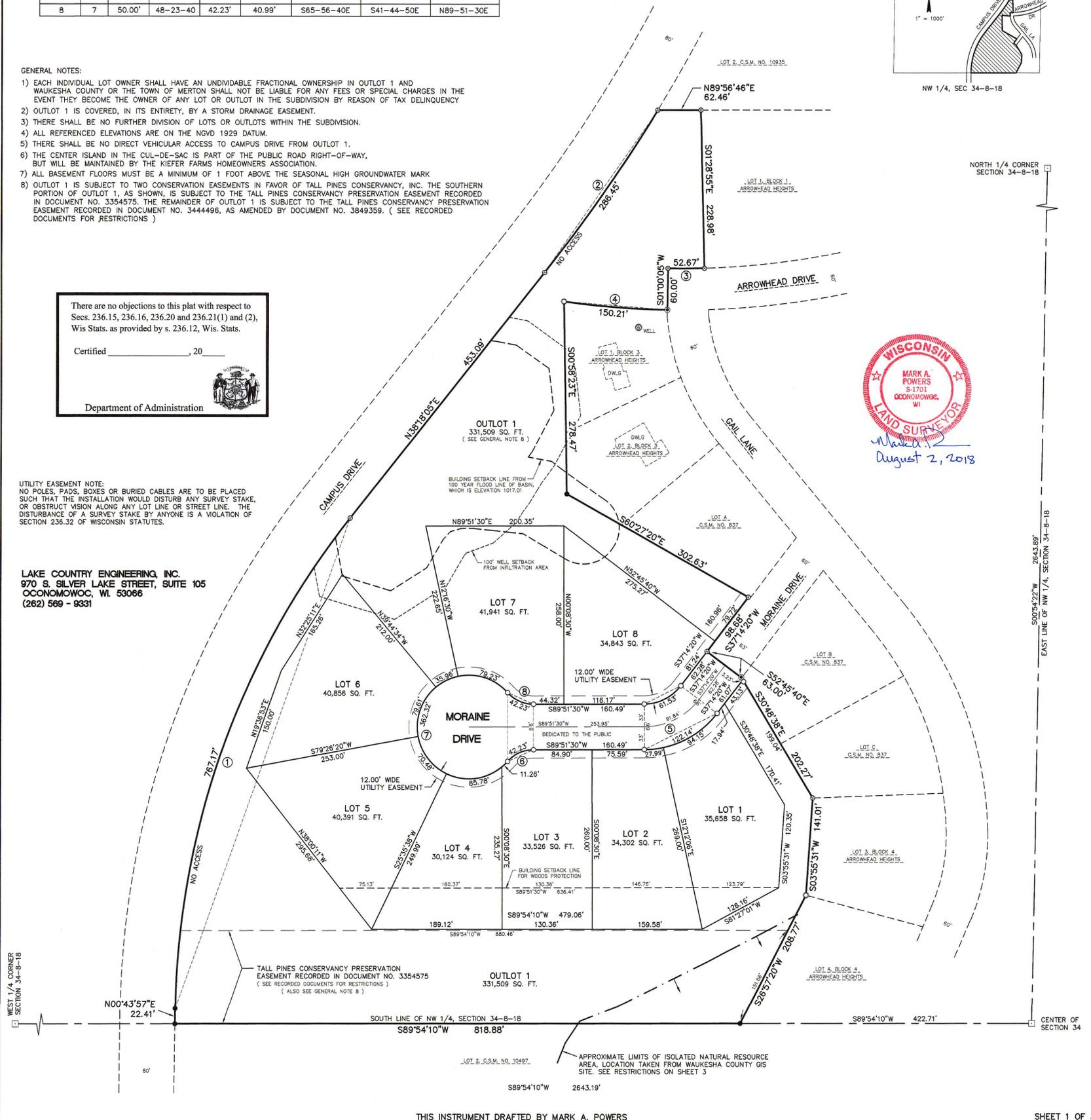
Certified _____, 20____

Department of Administration

UTILITY EASEMENT NOTE:
 NO POLES, PADS, BOXES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.

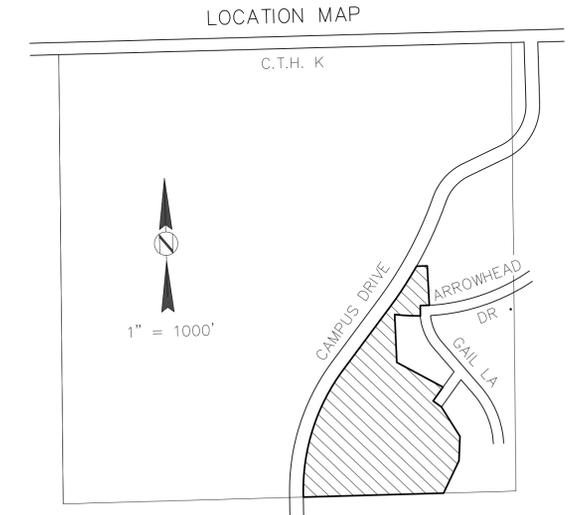
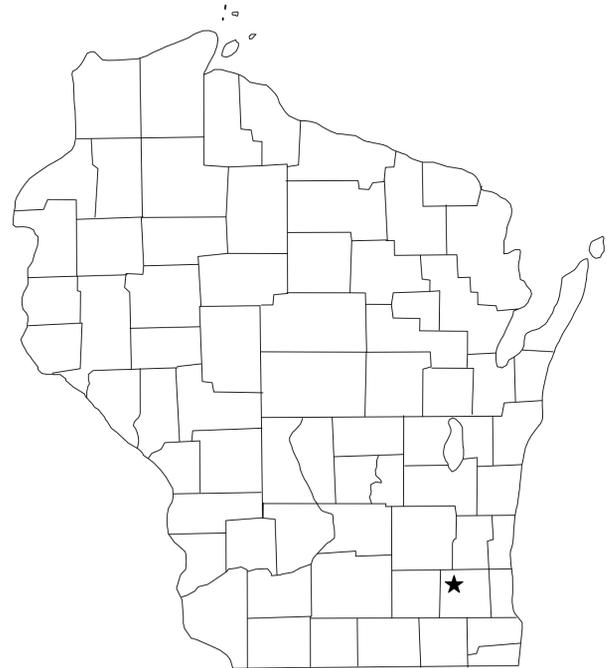
LAKE COUNTRY ENGINEERING, INC.
 970 S. SILVER LAKE STREET, SUITE 105
 OCONOMOWOC, WI. 53066
 (262) 569 - 9331

WISCONSIN
 MARK A. POWERS
 S-1701
 OCONOMOWOC, WI
 LAND SURVEYOR
 August 2, 2018



KIEFER FARMS SUBDIVISION

GRADING & EROSION CONTROL PLANS, TOWN OF MERTON WAUKESHA COUNTY, WISCONSIN



NW 1/4, SEC 34-8-18
LOCATION SKETCH

GENERAL UTILITY NOTES

- 1.) ALL UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- 2.) EXISTING CONDITIONS, INCLUDING UTILITY SIZES AND ELEVATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING OF WORK.
- 3.) MAINTAIN CONTINUOUS UTILITY SERVICE AT ALL TIMES.
- 4.) CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN EXISTING UTILITY ALIGNMENTS SO THAT ADJUSTMENTS IN DEPTH AND/OR ALIGNMENT MAY BE MADE.
- 5.) PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURE.

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

CONSTRUCTION SEQUENCE

- 1) INSTALL ALL EROSION CONTROL MEASURES.
- 2) CLEAR AND GRUB SITE.
- 3) STRIP TOPSOIL & STOCKPILE TOPSOIL (SEED WITH WINTER WHEAT IF LEFT INACTIVE FOR MORE THAN 7 DAYS, ADD TACKIFIED MULCH AFTER OCTOBER 15TH).
- 4) INSTALL STORM WATER BMP PLACING FILL WHERE NEEDED, (BASIN TO BE USED AS SEDIMENT TRAP ALL DISTURBED AREAS TO BE DIRECTED TO BASIN / SEDIMENT TRAP DURING CONSTRUCTION. ONCE BASINS ARE CONSTRUCTED SEED SIDE SLOPES OF BASINS (SEE BASIN NOTES FOR MORE DETAIL ON HOW TO CONSTRUCT BASIN)
- 5) ROUGH GRADE REMAINDER OF SITE.
- 6) FINALIZE GRADING OF SITE INCLUDING CULVERTS WHERE NEEDED, & INCLUDING CUTTING ROAD AND OTHER DITCHING..
- 7) INSTALL DITCH CHECKS
- 8) PROOF ROLL ROADWAYS, STONE ROADS, FINE GRADE ROADS, AND PLACE BUNDR COURSE OF ASPHALT
- 9) INSTALL GAS AND ELECTRIC
- 10) RESTORE SITE WITHIN 7 DAYS OF COMPLETING FINAL GRADING.
- 11) ONCE SITE IS VEGETATED AND TOWN HAS APPROVED SITE, REMOVE ALL REMAINING EROSION CONTROL MEASURES.

CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE WISCONSIN DNR'S STORM WATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE MONITORED DAILY FOR STABILITY AND OPERATION AND REPORTED AT LEAST ONCE PER WEEK AND FOLLOWING EVERY 0.5" RAINFALL.

DUST CONTROL TO FOLLOW WDNR T.S. 1068

ALL RESTORATION TO BE IN ACCORDANCE WITH WDNR'S CONSERVATION PRACTICE STD 1059. CUT AND FILL SLOPES WILL BE 3:1 OR FLATTER OUTSIDE ROAD RIGHT OF WAY & 4:1 OR FLATTER WITHIN ROAD RIGHT OF WAY.

RESTORATION AREAS TO BE TOP SOILED (4" MIN), (IF GRADED), SEEDED, FERTILIZED, AND MULCHED UNLESS OTHERWISE NOTED. ON SLOPES 4:1 OR STEEPER CLASS I TYPE B (WSDOT PAL) EROSION MAT REQUIRED. (SEE GRADING PLAN FOR OTHER EMATTING REQUIREMENTS)

IF THE SITE OR PORTIONS OF THE SITE ARE TO REMAIN INACTIVE FOR GREATER THAN 14 DAYS TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING OR MULCHING SHALL BE TAKEN WITHIN 7 DAYS FROM THE SITE BEING LEFT INACTIVE.

SEED TYPE TO BE TURF TYPE. RATE TO BE APPLIED PER MANUFACTURERS RECOMMENDATIONS, UNLESS NOTED ON PLANS.

CONTRACTOR TO FOLLOW STANDARD PROCEDURES FOR SPILL PREVENTION AND RESPONSE

ALL UTILITIES TO BE INSTALLED PER THE STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN LATEST ADDITION AND ADDENDUM'S.

GRADING AND PAVING PER STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION LATEST EDITION

PROOF-ROLLING SHALL BE COMPLETED PRIOR TO PLACING BASE COURSE AND PRIOR TO PAVING

INDEX TO SHEETS

- 1) TITLE PAGE
- 2) GRADING & EROSION CONTROL PLAN
- 3) ROAD PLAN
- 4) BMP DETAIL PAGE

FOR LATE SEASON STABILIZATION SEE NOTES ON SHEET 3

OWNER/SUBDIVIDER

KIEFER FARM, LLC.
P.O. BOX 180621
DELAFIELD, WI. 53018
CONTACT PERSON – WILLIAM LOEPFE
WILL@MERAKIHOMES.COM
414-559-2132

CIVIL DESIGN BY

ROB DAVY P.E.
LAKE COUNTRY ENGINEERING, INC.
970 S. SILVER LAKE ST., SUITE 105
OCONOMOWOC, WI. 53066
ROBD@LCE.BIZ
(262)569-9331

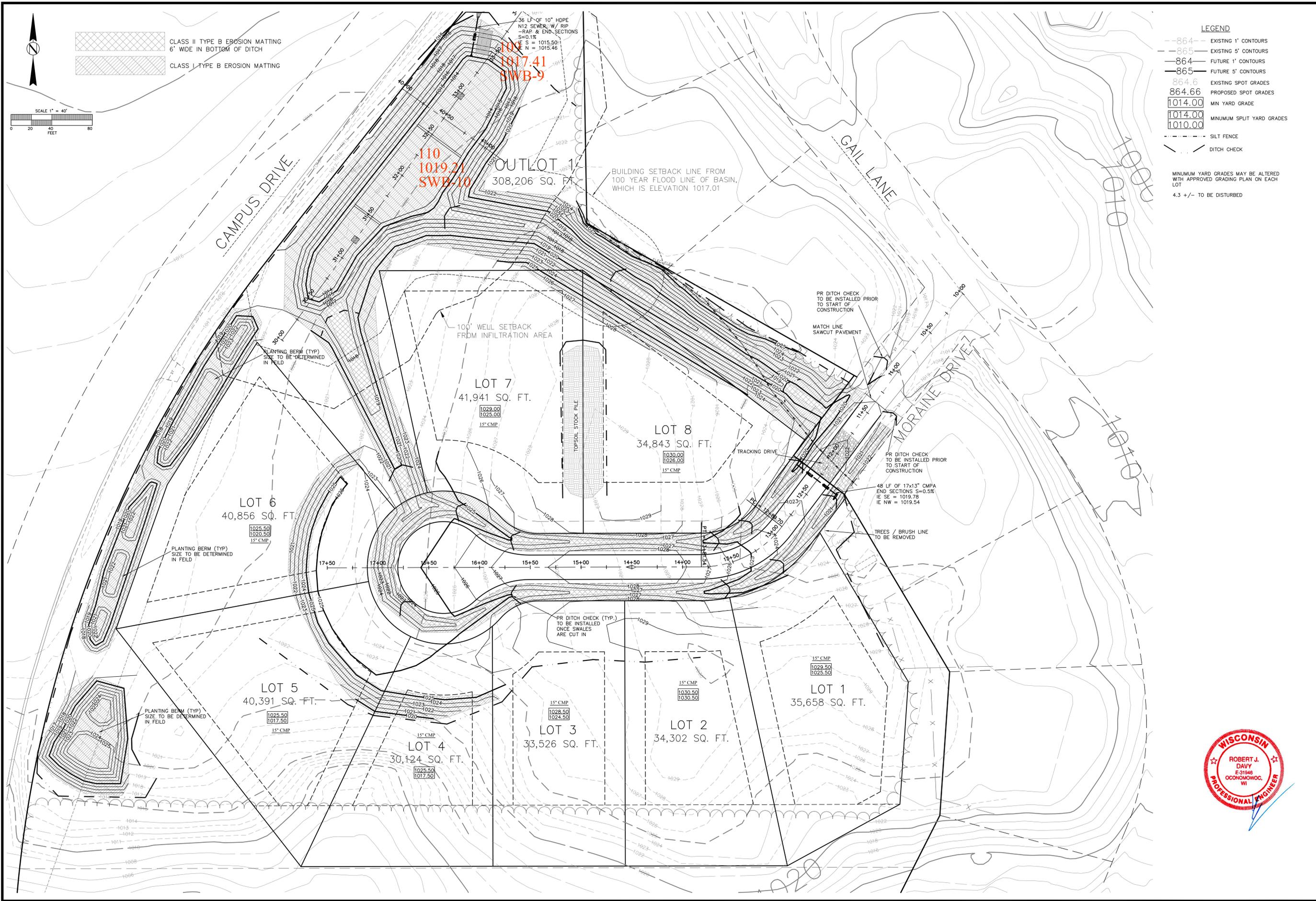
SURVEYOR

MARK POWERS P.L.S.
LAKE COUNTRY ENGINEERING, INC.
970 S. SILVER LAKE ST., SUITE 105
OCONOMOWOC, WI. 53066
ROBD@LCE.BIZ
(262)569-9331



LAKE COUNTRY ENGINEERING, INC.
Consulting Engineers - Surveyors

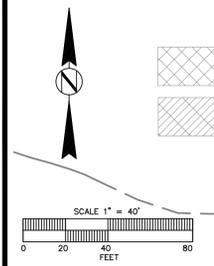
970 South Silver Lake Street, Suite 105, Oconomowoc, WI 53066
Phone (262) 569-9331 Fax (262) 569-9316



LEGEND

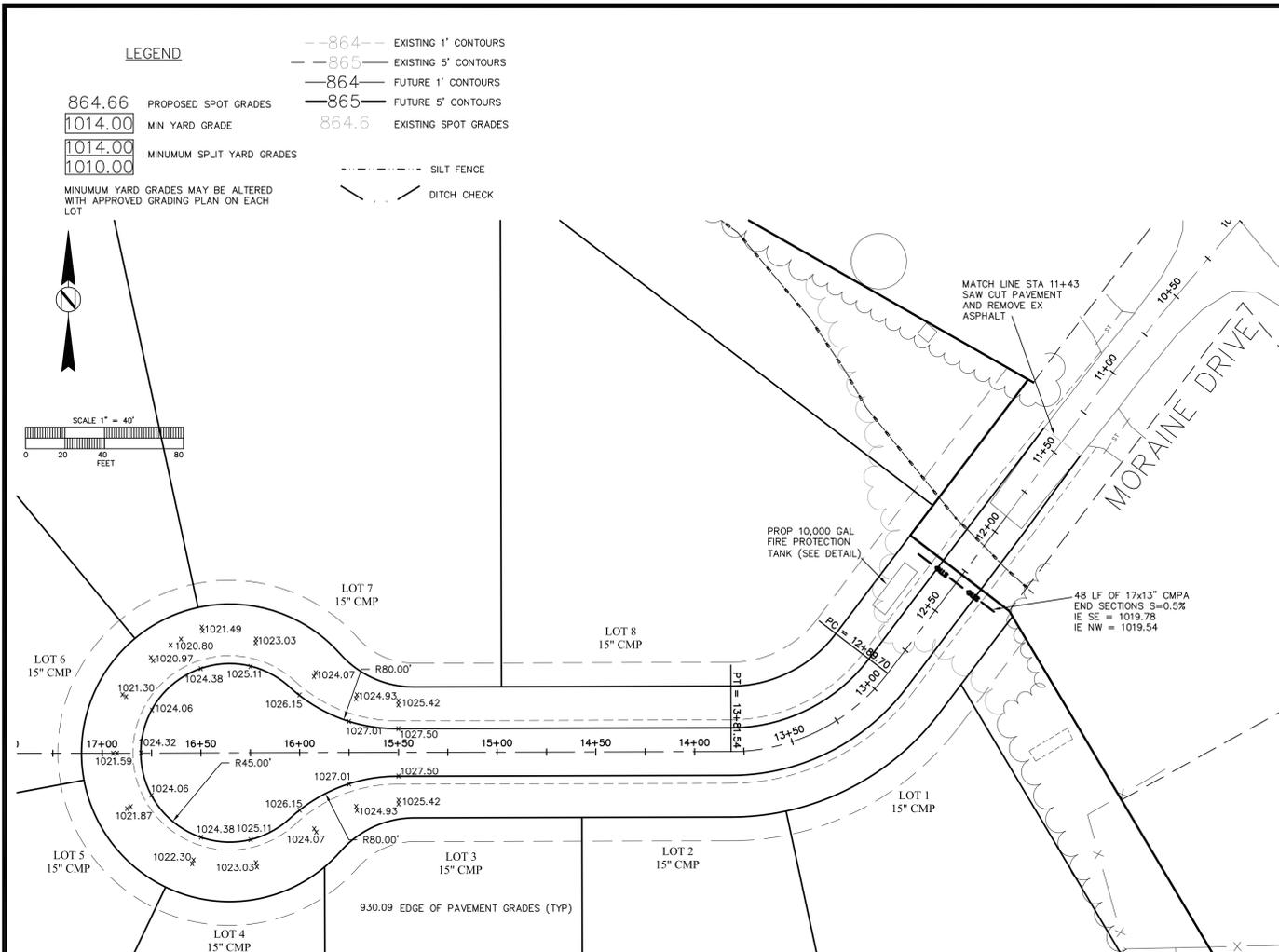
- - 864 - - EXISTING 1' CONTOURS
- - 865 - - EXISTING 5' CONTOURS
- 864 - - FUTURE 1' CONTOURS
- 865 - - FUTURE 5' CONTOURS
- 864.66 - - EXISTING SPOT GRADES
- 864.66 - - PROPOSED SPOT GRADES
- 1014.00 - - MIN YARD GRADE
- 1010.00 - - MINIMUM SPLIT YARD GRADES
- - - - - SILT FENCE
- - - - - DITCH CHECK

MINIMUM YARD GRADES MAY BE ALTERED WITH APPROVED GRADING PLAN ON EACH LOT
4.3 +/- TO BE DISTURBED



REVISION DATE	REMARKS
SCALE: 1" = 30'	
DRAFTED BY: RJD	
CHECKED BY: R. J. DAVY	
DATE: DECEMBER 14, 2018	
Lake Country Engineering, Inc. Consulting Engineers - Surveyors 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066 Phone (262) 569-9331 Fax (262) 569-9316	
GRADING AND EROSION CONTROL PLAN KIEFER FARMS SUBDIVISION CAMPUS DRIVE TOWN OF MERTON NW 1/4 S.34, T.8N., R.18E. WAUKESHA CO.	
PROJ. #	18-3234
SHEET #	2 OF 4





I. Planning:

- Late Season Stabilization Plan required:** Permit holder must document in their erosion control plan if any disturbed areas are proposed to remain active beyond September 15. If so, the plan must explain how they will stabilize the site before winter conditions set in, focusing on critical areas, timing of construction, and phases of erosion control BMP installation in accordance with the standards in this document. **PLAN TO BE SUBMITTED BY SEPTEMBER 20**
- New road paving/swale stabilization:** Stabilizing new roadside swales/ditches before winter conditions is critical to prevent erosion problems. To be successful, this requires good construction planning. Timing is everything. The permit holder needs to understand the growing season limitations in Wisconsin, and comply with the construction standards in the following section. To minimize the time soil is exposed to erosion, careful sequencing of grading and stabilization work is recommended. Since paving increases runoff volumes and channel flow velocities, it is highly recommended to install and stabilize new roadside swales before paving. If paving is done first, swale stabilization must follow immediately according to the approved stabilization plans. *Either way, roadside swales must be stabilized within 7 days after final grading, or the site is subject to enforcement action.*
- Critical Sites:** A "critical site" is a land disturbing activity that has a high risk of downstream negative impacts on water resources or property. If the LRD determines a site or a portion of a site fits this definition, all planned permanent vegetative channels and other critical site areas must be stabilized by September 15. If the proposed construction schedule does not allow for this, issuance of the Stormwater Permit will be delayed until the following spring.
- Utilities:** Permit holders are responsible for coordinating construction schedules with utility companies. However, if utilities don't show up on time, implementation of approved stabilization plans must continue, especially for planned vegetative channels or road ditches. *Note: For new roads, it is highly recommended that utilities be installed in easements along the inside of road frontages, well above channel stabilization BMPs and future maintenance activities. For details, contact Waukesha County Land Resources or click here.*

II. Late Season Stabilization Standards:

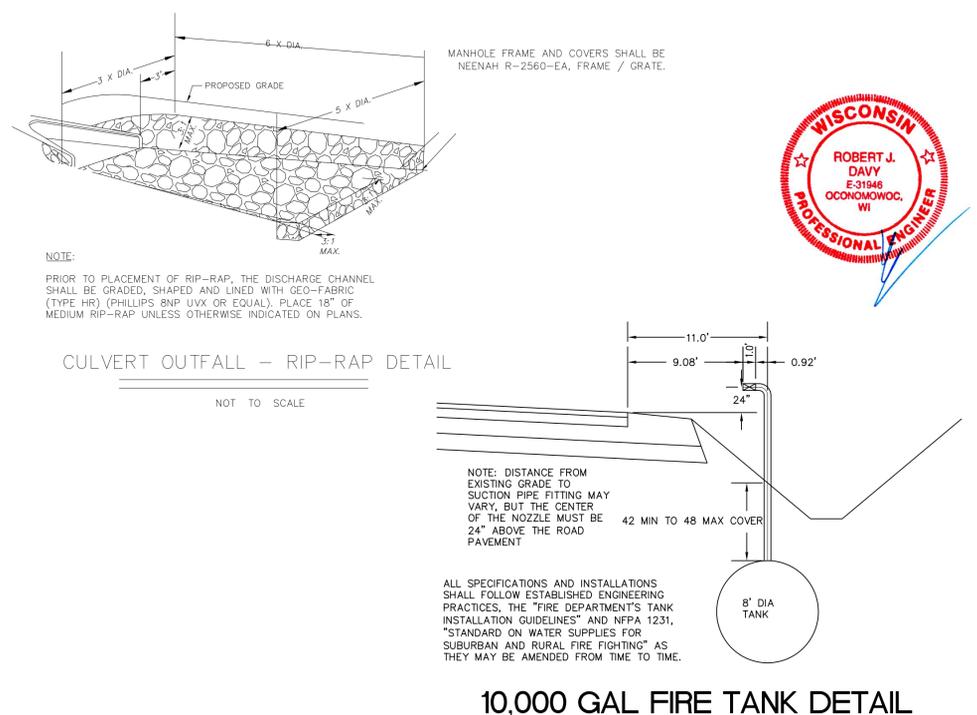
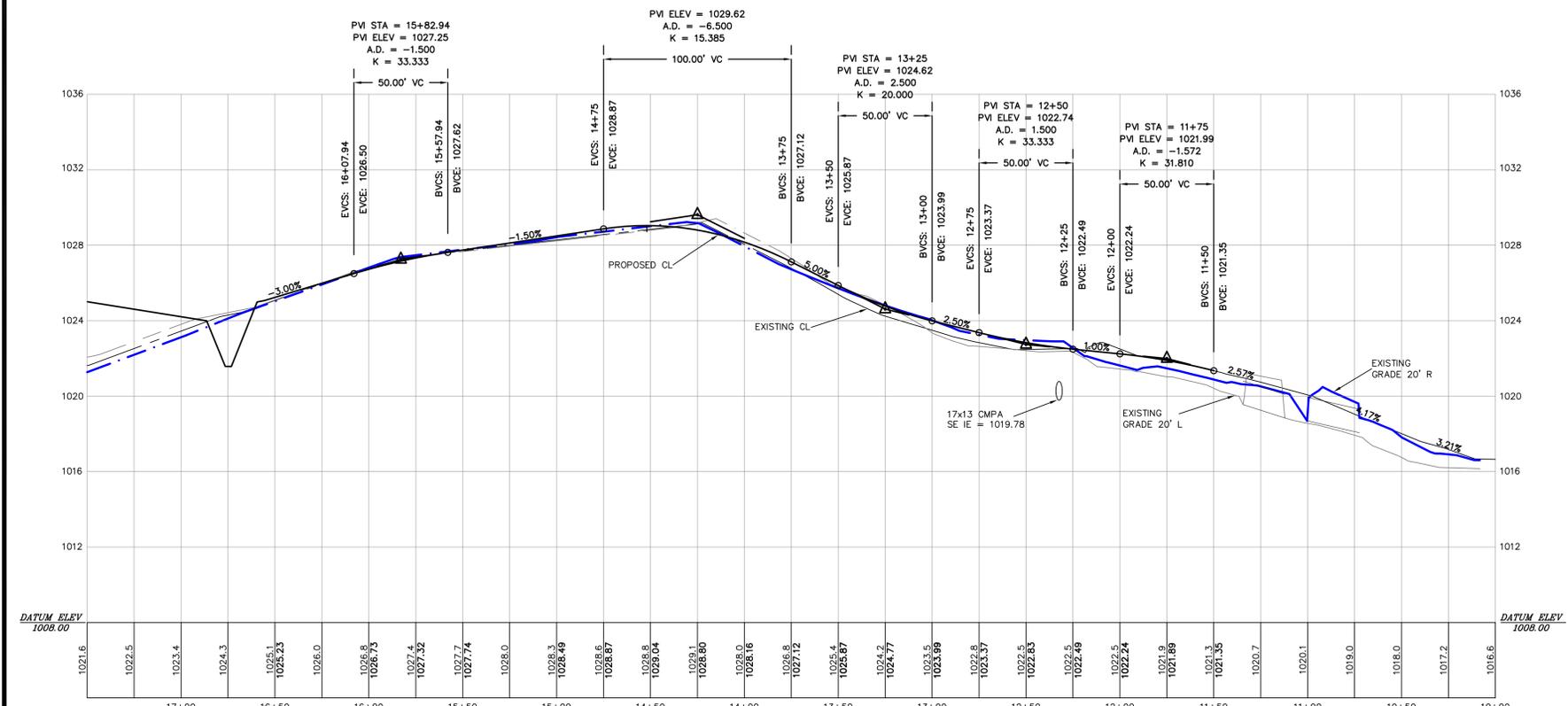
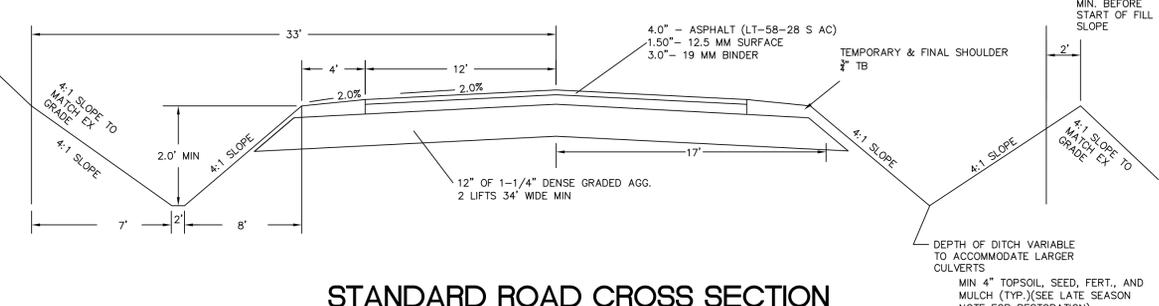
Vegetated Channels (roadside swales and other stormwater conveyances): All planned vegetated channels shall be treated with soil stabilization BMPs (i.e. erosion control matting, turf reinforcement mat, sod, riprap, soil stabilizers, etc.) by no later than November 15 in accordance with DNR technical standards and the criteria listed below.

Note: Ditch checks, sediment traps, silt fence and other sediment control BMPs are used only during grading work, and must be replaced with soil stabilization BMPs per the approved plans ASAP. None of the sediment control BMPs are acceptable for open channels over winter.

- Timing Determines Requirements and BMPs:** Soil stabilization BMPs that must be implemented depend on the timing of the seeding (cool season grasses), and are organized in three risk categories, as listed below. The later the timing, the lower the success rates are for timely vegetative cover - and therefore the higher the risks of erosion and off-site sediment discharges.
 - Risk Level 1: Permanent Vegetation (before September 15):** To ensure successful fall seed germination, topsoil, seed and fertilize all disturbed areas by September 15 in accordance with the following:
 - Seeding:** Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WisDOT) Roadway Standard Section 630.
 - Erosion Control:** Immediately apply mulch, erosion control matting, turf reinforcement mat, sod, riprap, soil stabilizers, or other soil stabilization BMPs as specified in the approved erosion control plans. Application of all BMPs shall follow DNR technical standards.
 - Maintenance:** Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash outs, etc.
 - Risk Level 2: Temporary Vegetation (before October 15):** Due to the cooler soil temperatures and the likelihood of overnight frost conditions, perennial cool season plant growth is slow and survival is at risk from September 15 - October 15. To offer more protection from soil erosion during this period, topsoil, seed and fertilize all disturbed areas by October 15 in accordance with the following:
 - Seeding:** The above noted seeding mix must include a minimum of 2 lbs. per 1,000 sq. ft. of a temporary cover (i.e. winter wheat or annual ryegrass for fall plantings) per WisDOT Roadway Standard Section 630.
 - Erosion Control:** Immediately apply mulch, erosion control matting, turf reinforcement mat, sod, riprap, soil stabilizers, or other soil stabilization BMPs as specified in the approved erosion control plan, following DNR technical standards. The following are minimum requirements for stabilizing sites during this period. Approved plans may be more restrictive due to site conditions:
 - Channel Flow (roadside swales, etc.) and Backslopes:** Stake erosion matting over the entire channel cross-section and all backslopes using a minimum WisDOT Erosion Control Product Acceptability (PAL) Class 3 matting.
 - Other disturbed areas:** Apply Type B Soil Stabilizer, mulch and tackifier from the WisDOT Product Acceptability List to all disturbed areas that remain exposed.
 - Infalls/Outfalls:** Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.
 - Maintenance:** Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
 - Risk Level 3: Dormant Seeding (before November 15):** For areas not stabilized by October 15, erosion risks are high and additional erosion control measures and oversight are required, as described below. Temporary seeding must still be done, but fall germination and survival may be very limited. For perennial plants, dormant seeding should be done between October 20 and November 15. This means seed germination is planned for the following spring. To offer more protection from soil erosion during this period, topsoil, seed and fertilize all disturbed areas by November 15 in accordance with the following:
 - Seeding Rate:** Same seed mix as Risk Level 2 (including temporary cover crop) except the rates for perennial species must be applied at 1.5 x WisDOT section 630 rates (apply rates of 3-5 lbs./1,000 sq.ft.). Rates are increased to allow for poor germination rates associated with dormant seeding due to frozen conditions.
 - Erosion Control:** In addition to applying topsoil, the above noted seed mix and starter fertilizer, the following are minimum requirements for stabilizing sites during this period. Approved erosion control plans may be more restrictive:
 - Channel Flow (roadside swales, etc.) and Backslopes:** Apply Type B soil stabilizer and staked PAL Class 3 erosion matting over the entire channel and all backslopes.
 - Other areas:** Apply Type B Soil Stabilizer from the WisDOT Product Acceptability List to all other disturbed areas that remain exposed.
 - Infalls/Outfalls:** Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.
 - Maintenance:** Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
 - Reports:** The Project Engineer shall be responsible for emailing a report to the LRD by 4:30 pm every Wednesday after October 15, which shall include the following information:
 - Detailed status of all land disturbing and soil stabilization activities as of the day of the report.
 - Results of erosion control site inspections since October 15 or the previous report, whichever is shorter.
 - Any erosion control failures encountered and actions taken to rectify.
 - Projections for completion of all stabilization activities, including a 10-day plan based on the latest weather predictions.

Policy Definition Notes:

- "Disturbed areas" means the soil is exposed to erosion. It does not include roads and parking areas that have been graded and covered with stone. Some disturbed area in the immediate vicinity (i.e. 30 feet) of buildings may continue to be under active construction activity over winter months if effective temporary sediment control BMPs have been installed. The LRD inspector will meet with the permit holder up front to establish a reasonable disturbed area boundary needed to complete building construction work beyond the normal stabilization deadlines, and plan for "permanently" or "temporarily stabilizing" other areas as much as possible. If building exterior work is concluded during the winter, inactive disturbed areas should be mulched until final stabilization can be completed.
- "Permanently stabilized" means a minimum of 70% perennial vegetative cover or other permanent surfacing material, such as riprap or pavement is in place. Vegetative cover must be uniform. It is not acceptable to leave large patches of the site unstabilized, on the concept that dense coverage in other areas makes up for the lapses. Percent coverage may be tested at any point with a 50-foot long transect rope, following the County Planting Verification procedure.
- "Temporarily stabilized" means:
 - 70% coverage with a temporary vegetation such as winter wheat, oats, or annual ryegrass (see vegetative notes above).
 - 100% coverage of disturbed areas with mulch, erosion control matting, Type A or B soil stabilizer, or stone base (for pavement) or;
 - Temporary perimeter sediment controls are in place in addition to a combination of the above noted practices, as approved by the LRD.



10,000 GAL FIRE TANK DETAIL

LAKE COUNTRY ENGINEERING, INC.
Consulting Engineers - Surveyors
970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
Phone (262) 569-9331 Fax (262) 569-9316

ROBERT J. DAVY
E-31946
OCONOMOWOC, WI
PROFESSIONAL ENGINEER

ROAD PLANS
KIEFER FARMS SUBDIVISION
MORaine DRIVE, TOWN OF MERTON
NW 1/4 S. 34, T. 8N., R. 18E.

PROJ. # 18-3234
SHEET # 3 OF 4

REVISION	DATE	REMARKS

SCALE: 1" = 30'
DRAWN BY: RJD
CHECKED BY: R. J. DAVY
DATE: DECEMBER 14, 2018

LAKE COUNTRY ENGINEERING, INC.

Rob Davy, P.E. Mark Powers, R.L.S.

Kiefer Farms Storm Water Management Report Town of Merton, Waukesha Co., WI

December 11, 2018

Project No. 16-2980

The development of this property is to convert 15.2 acres of farmland and woods, to an 8-lot residential subdivision. No development will be in the 4+ acres of woods so the woods was not studied

The objectives of this report are to show that by adding this 8 lot development with an infiltration BMP the town and county requirements storm water requirement are met:

- The post conditions flow rates are less than the existing condition flow rates.
- That 25% of a 2 year storm will be infiltrated
- That 80% of the Tss will be removed from the storm water on an average annual basis.

The parameters used to evaluate this area are

- The soils are hydrologic group D (Hochheim) and B (Casco)
- Cn of 78 for grass Hm, 83 for cropland Hm, 61 for grass Cr, 69 for cropland Cr, and 98 for impervious
- Rainfall events for the different 24-hr storm events are 1-yr 2.4, 2-yr 2.7", 10-yr 3.81", and 100-yr 6.18" of rain
- Storm distributions are MSE3
- Hydrology Calculated using Hydraflow TR-55 modeling
- Tss removal rate calculated using WinSLAMM 10.2.0
- Infiltration / evaporation rate of 3.6 in/hr for the storm water bmp, and 0.07in/hr for the grass swales and grass buffer strips

This property has 5 - watersheds sheet flowing off the property. The first is to the east into the existing road ditches. Most of the storm water from the new road will be directed into a swale and taken to an infiltration basin to the north, so the remainder of the drainage area will be grass yard.

The flows leaving this drainage area (existing area 1, & pr. Area E) are as follows

Storm event	1-year	2-year	10-year	100- year
existing	1.45 CFS.	1.84 CFS.	3.36 CFS.	6.87 CFS.
proposed	0.25 CFS	0.31 CFS	0.58 CFS	1.21 CFS

This portion of the site generates 34.41 lbs of Tss on an average annual basis and only releases 0.78 lbs of Tss on an average annual, 33.63 lbs of Tss are removed on an average annual or 97.7%

The second area is to the south east into an existing depression off of the property. The crop land will be converted into a small amount of impervious (house and deck) and grass,

The flows leaving this drainage area (existing area 2, & pr. Area A) are as follows

Storm event	1-year	2-year	10-year	100- year
existing	0.81 CFS.	1.01 CFS.	1.78 CFS.	3.52 CFS.
proposed	0.59 CFS	0.76 CFS	1.43 CFS	2.99 CFS

This portion of the site generates 81.98 lbs of Tss on an average annual basis and only releases 0.75 lbs of Tss on an average annual, 81.23 lbs of Tss are removed on an average annual or 99.0%

The third area is to the south west into an existing depression partially on/off of the property. The crop land will be converted into a small amount of impervious (house and deck) and grass.

The flows leaving this drainage area (existing area 3, & pr. Area B) are as follows

Storm event	1-year	2-year	10-year	100- year
existing	1.97 CFS.	2.48 CFS.	4.52 CFS.	9.18 CFS.
proposed	1.31 CFS	1.69 CFS	3.27 CFS	7.00 CFS

This portion of the site generates 190.8 lbs of Tss on an average annual basis and only releases 2.12 lbs of Tss on an average annual, 188.68 lbs of Tss are removed on an average annual or 98.9%

The fourth area is to the south west into road ditch. The crop land will be converted into grass.

The flows leaving this drainage area (existing area 5, & pr. Area C) are as follows

Storm event	1-year	2-year	10-year	100- year
existing	0.51 CFS.	0.63 CFS.	1.13 CFS.	2.25 CFS.
proposed	0.35 CFS	0.46 CFS	0.91 CFS	1.99 CFS

This portion of the site generates 51.74 lbs of Tss on an average annual basis and only releases 0.09 lbs of Tss on an average annual, 51.65 lbs of Tss are removed on an average annual or 99.8%

The fifth area is to the north and west into the campus drive ditch. This area is all crop land will be converted into residential lots, a road with ditches and open space. The storm water from area D2 will be routed into an infiltration basin before it discharges into campus drive. The ditches and swales will partially remove sediment from the storm water before it reached the infiltration bmp. The Storm water from area D1 will sheet flow across the grass in the rear yards and then into Campus Dr.

The combined flows leaving this drainage area (existing area 4, & pr. Area D1 &D2) are as follows

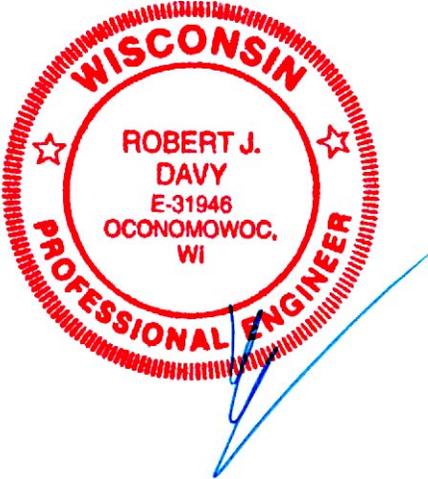
Storm event	1-year	2-year	10-year	100- year
existing	4.37 CFS.	5.44 CFS.	9.69 CFS.	19.28 CFS.
proposed	0.82 CFS	1.07 CFS	2.08 CFS	5.00 CFS

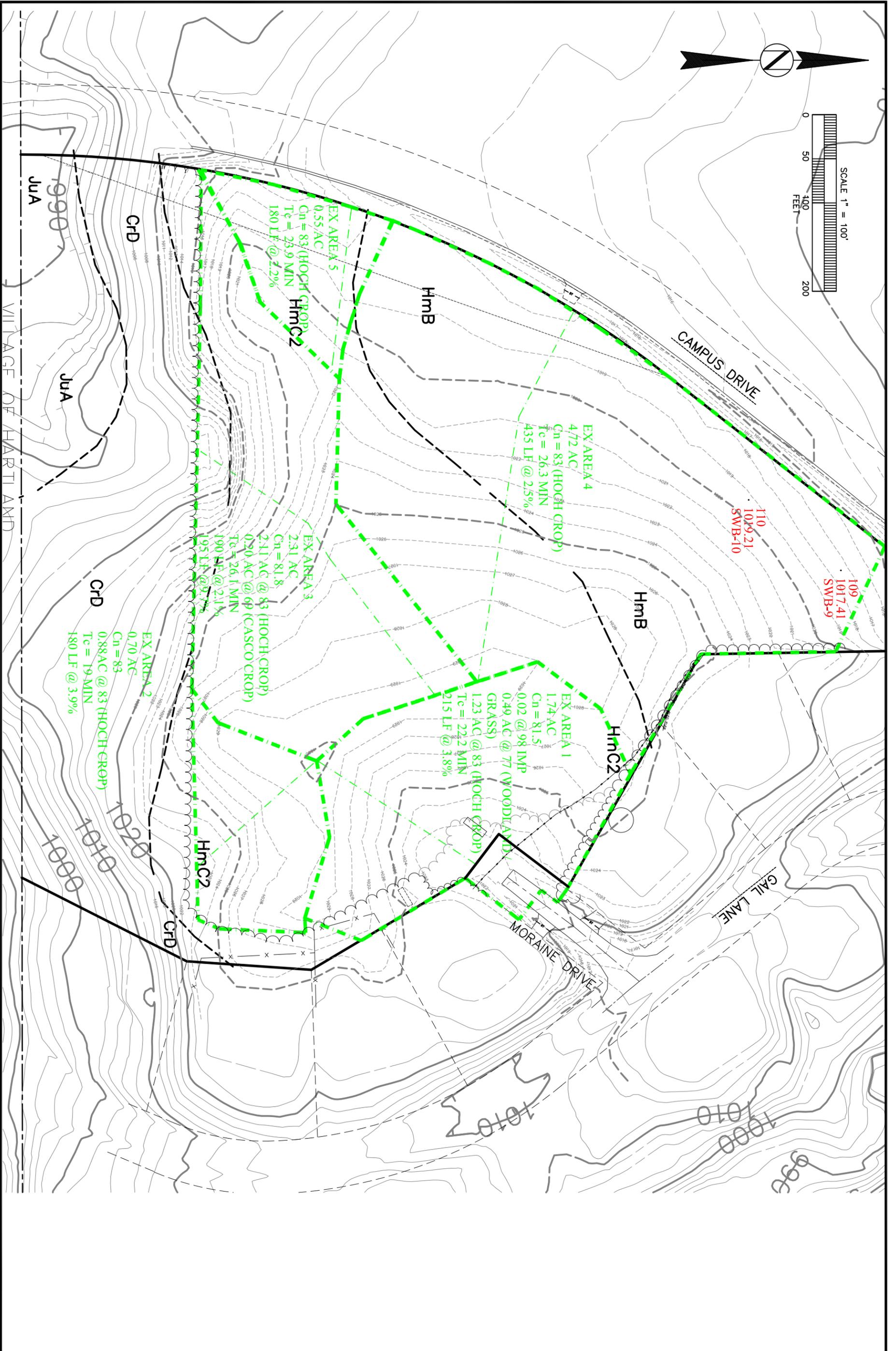
This portion of the site generates 1437 lbs of Tss on an average annual basis and only releases 0.32 lbs of Tss on an average annual, 1436.68 lbs of Tss are removed on an average annual or 99.9%

This site generates 0.885 ac.ft. of storm water in a 2-year storm event and infiltrates 0.576 ac.ft. or 65%, which is greater than the 25% needed so the infiltration requirement will be met.

This report shows that by converting cropland to lawns and routing the drives, part of the roofs and roads through the storm water bmp, the county and town storm water requirements are met.

Robert J Davy, P.E.



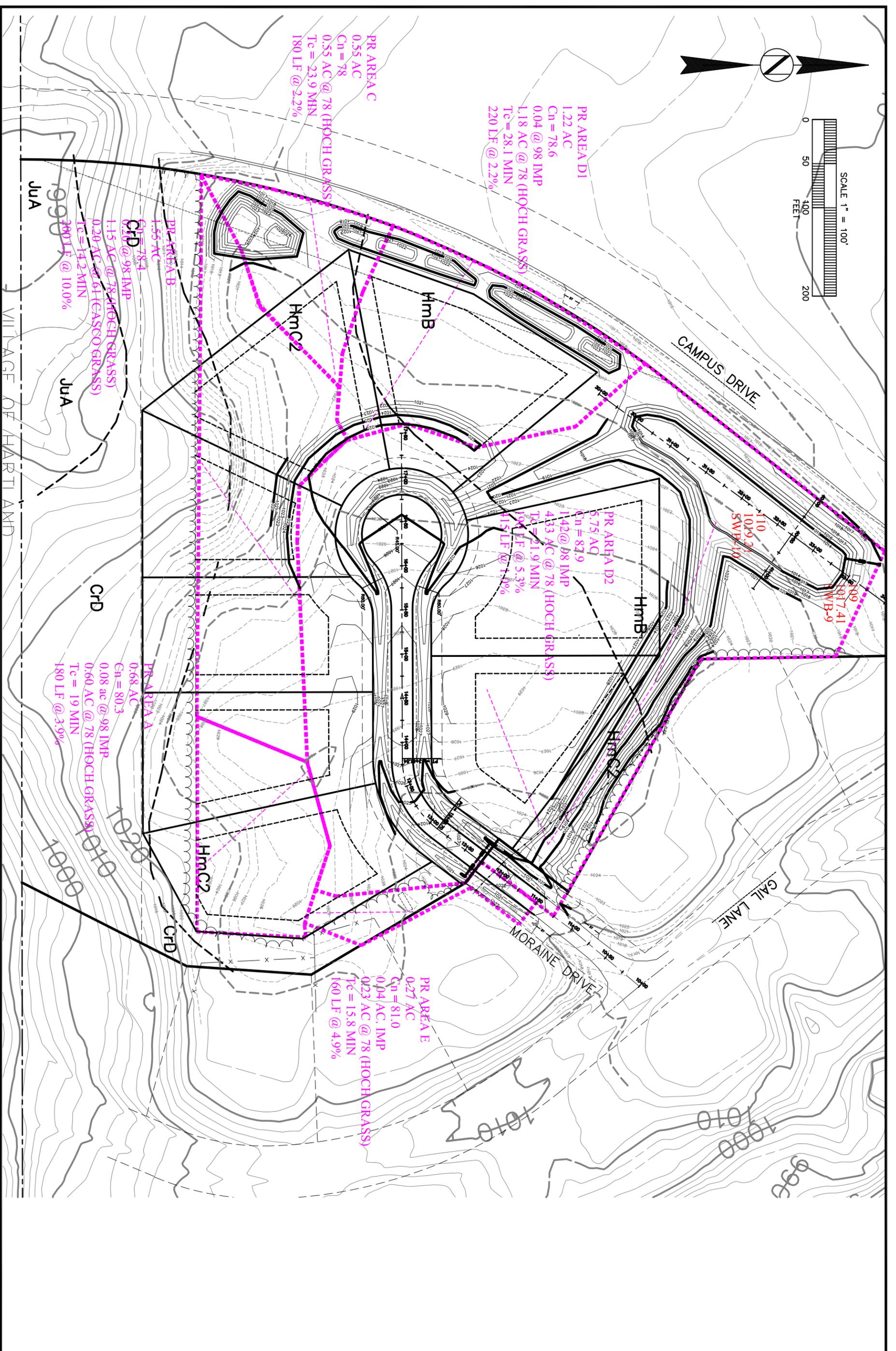
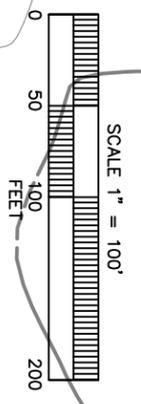


EXISTING DRAINAGE MAP
 KIEFER FARMS
 NW 1/4 OF SECTION 34, T.8N., R.18E.,
 TOWN OF MERTON, WAUKESHA CO., WI

LAKE COUNTRY ENGINEERING, INC.
 Consulting Engineers - Surveyors
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
 Phone (262) 569-9331 Fax (262) 569-9316

SCALE: 1" = 50'	REVISION DATE	REMARKS
DRAFTED BY: RJD.VY		
CHECKED BY: R.J.D.		
DATE: DECEMBER, 2018		

PROJ. #
18-3234
 SHEET #



PR AREA C
0.55 AC
Cn = 78
0.55 AC @ 78 (HOCH GRASS)
Tc = 23.9 MIN
180 LF @ 2.2%

PR AREA D1
1.22 AC
Cn = 78.6
0.04 @ 98 IMP
1.18 AC @ 78 (HOCH GRASS)
Tc = 28.1 MIN
220 LF @ 2.2%

PR AREA B
1.55 AC
Cn = 78.4
0.20 @ 98 IMP
1.15 AC @ 78 (HOCH GRASS)
0.20 AC @ 61 (CASCO GRASS)
Tc = 14.2 MIN
200 LF @ 10.0%

PR AREA D2
5.75 AC
Cn = 82.9
1.42 @ 88 IMP
4.33 AC @ 78 (HOCH GRASS)
Tc = 21.9 MIN
154 LF @ 5.3%
115 LF @ 1.0%

110
1029.21
SWT=10
1917.41
MB-9

PR AREA A
0.68 AC
Cn = 80.3
0.08 ac @ 98 IMP
0.60 AC @ 78 (HOCH GRASS)
Tc = 19 MIN
180 LF @ 3.9%

PR AREA E
0.27 AC
Cn = 81.0
0.04 AC IMP
0.23 AC @ 78 (HOCH GRASS)
Tc = 15.8 MIN
160 LF @ 4.9%

PROPOSED DRAINAGE MAP
KIEFER FARMS
NW 1/4 OF SECTION 34, T.8N., R.18E.,
TOWN OF MERTON, WAUKESHA CO., WI

LAKE COUNTRY ENGINEERING, INC.
Consulting Engineers - Surveyors
970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
Phone (262) 569-9331 Fax (262) 569-9316

SCALE: 1" = 50'
DRAFTED BY: RJDVY
CHECKED BY: R.J.D.
DATE: DECEMBER 2018

REVISION DATE	REMARKS

PROJ #
18-3234
SHEET #

DESIGN DATA

Project Type: RESIDENTIAL No. of Lots: 8

No. of Runoff Discharge Points: 5 Watershed (ultimate discharge): BEAVER LAKE

Watershed Area (including off-site runoff traveling through project area) 14.0 Acres

Public Land Survey Location: NW 1/4, Section 34 T 8 N, R 18 E, Town of MERTON

SUMMARY DATA ELEMENTS						
	EX AREA 1	PR AREA E	EX AREA 2	PRO AREA A	EX AREA 3	PRO AREA B
Watershed Areas (in acres) <i>(see attached map)</i>	1.74	0.27	0.70	1.74	2.31	1.55
Land Uses (acres of each) <i>(see attached map)</i>	1.23 CROPPED FIELD 0.49 WOODS 0.02 impervious	0.02 imp. 0.23 GRASS	0.70 CROPPED FIELD	0.08 IMP. 0.60 GRASS	2.31 CROPPED FIELD	0.20 IMP. 1.35 GRASS
Runoff Curve Numbers	0.02 AC @ 98 0.49 AC @ 77 1.23 AC @ 83 81.5	0.04 AC @ 98 0.23 AC @ 78 81	0.70 AC @ 83 83	0.08 AC @ 98 0.60 AC @ 78 80.3	2.11 AC @ 83 0.20 AC @ 83 81.8	0.20 AC @ 98 1.15 AC @ 78 0.20 AC @ 61 78.4
Conveyance Systems Types	OVERLAND	OVERLAND	OVERLAND	OVERLAND	OVERLAND	OVERLAND
Summary of Average Conveyance System Data	215 lf of sheet flow	160 lf of sheet flow	180 lf of sheet flow	180 lf of sheet flow	190 lf of sheet flow 195 lf shallow conc. flow	200 lf of sheet flow
Time of Concentration (T_c) <i>(see attached map & wrkshs)</i>	22.2 MIN	15.8 MIN	19.0 MIN	19.0 MIN	26.1 MIN	14.2 MIN
2-yr 24-hr post-dev runoff volume	N/A	0.023 AC.FT.	N/A	0.056 AC.FT.	N/A	0.114 AC.FT.
1-yr./24 hour Peak Flow	1.45 cfs	0.25 CFS	0.81 CFS	0.59 CFS	1.97 CFS	1.31 CFS
2-yr./24 hour Peak Flow	1.84 CFS	0.31 CFS	1.01 CFS	0.76 CFS	2.48 CFS	1.69 CFS
10-yr./24 hour Peak Flow	3.36 CFS	0.58 CFS	1.78 CFS	1.43 CFS	4.52 CFS	3.27 CFS
100-yr./24 hour Peak Flow	6.87 CFS	1.21 CFS	3.52 CFS	2.99 CFS	3.52 CFS	2.99 CFS

SEE BASIN INFOR FOR
OUTFLOW

DESIGN DATA

Project Type: RESIDENTIAL No. of Lots: 8

No. of Runoff Discharge Points: 5 Watershed (ultimate discharge): BEAVER LAKE

Watershed Area (including off-site runoff traveling through project area) 14.0 Acres

Public Land Survey Location: NW 1/4, Section 34 T 8 N, R 18 E, Town of MERTON

SUMMARY DATA ELEMENTS						
	EX AREA 5	PRO AREA C	EX AREA 4	PR AREA D1	PRO AREA D2	
Watershed Areas (in acres) <i>(see attached map)</i>	0.55	0.55	4.72	1.22	5.75	
Land Uses (% of each) <i>(see attached map)</i>	0.55 CROPPED FIELD	0.55 GRASS	4.72 CROPPED FIELD	0.04 IMP. 1.18 GRASS	1.42 IMP. 4.33 GRASS	
Runoff Curve Numbers	0.55 AC @ 83 83	0.00 AC @ 98 0.55 AC @ 78 78	4.72 AC @ 83 83	0.04 AC @ 98 1.18 AC @ 78 78.6	1.42 AC @ 98 4.33 AC @ 78 82.9	
Conveyance Systems Types	OVERLAND	OVERLAND	OVERLAND	OVERLAND	OVERLAND	
Summary of Average Conveyance System Data	180 lf of sheet flow	180 lf of sheet flow	200 lf of sheet flow 235 lf shallow conc. flow	220 lf of sheet flow	190 lf of sheet flow 415 lf shallow conc. flow	
Time of Concentration (T_c) <i>(see attached map & wrkshs)</i>	23.9 MIN	23.9 MIN	26.3 MIN	28.1 MIN	21.9 MIN	
2-yr 24-hr post-dev runoff volume	N/A	0.042 AC.FT.	N/A	0.091 AC.FT.	0.576 AC.FT.	
1-year/24 hour Runoff Volume	0.51 CFS	0.35 CFS	4.37 CFS	0.82 CFS	5.29 CFS	
2-yr./24 hour Peak Flow <i>(see attached hydrographs)</i>	0.63 CFS	0.46 CFS	5.44 CFS	1.07CFS	6.59 CFS	
10-yr./24 hour Peak Flow <i>(see attached hydrographs)</i>	1.13 CFS	0.91 CFS	9.69 CFS	2.08 CFS	11.76 CFS	
100-yr./24 hour Peak Flow	2.25 CFS	1.99 CFS	19.28 CFS	4.48 CFS	23.44 CFS	

SEE BASIN INFOR FOR
OUTFLOW

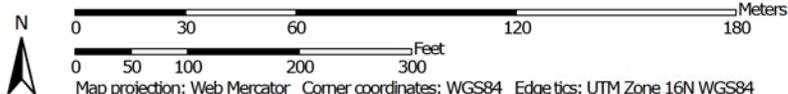
EXHIBIT E
DESIGN DATA

PROP. INFILTRATION BMP		
	Design Element	Design data
Site assessment data		
	Contributing Drainage area to basin(prop area 1)	5.75
	Distance to nearest private well (including off-site wells)	> 100 ft
	Distance to municipal well (including off-site wells)	NA
	wellhead protection area involved	no
	Ground slope at site of proposed basin	average 2.3%
	Any buried or overhead utilities in area	NO
	Proposed outfall conveyance system/discharge	INFILTRATION/ PIPE, OVERLAND
	Any down stream roads or other structures	YES
	Floodplain, shore land, or wetlands	NO
Soil investigation data (see report)		
	# of soil investigations in completed	2
	Do elevations of test holes extend 3' below prop bottom of infiltration	YES
	Average soil texture at bottom elevation	GRAVELY SAND
	Infiltration rate at bottom of infiltration basin	3.6 IN/HR
	Infiltration rate at bottom of fore bay	NA
	Distance from pond bottom to bed rock	> 5ft
	distance from pond bottom to seasonal water table	> than 5 ft.
General basin design data (see attached detail)		
	Basin bottom area	11,890 SQ.FT
	Basin bottom elevation	1014
	Top of berm elevation (after settling) and width	1018.00
	Basin storage below outlet	0.491 AC.FT.
	1-yr 24-hr post-development runoff volume	0.00 AC FT
	time to completely infiltrate stored water	5.0 HR
Design basin inflow, outflow and storage data		
	Inflow / Outflow	max water elev/storage volume
1-YR	5.29 CFS / 0.00 CFS	1014.77 / 0.235 AC-FT
2-yr	6.59 CFS / 0.00 CFS	1014.97 / 0.294 ac-ft
10 -YR	11.76 CFS / 0.10 CFS	1015.72 / 0.572 AC-FT
100-yr	23.44 CFS / 0.00 CFS	1017.02 / 1.133 AC-FT
OUTLET #1 INFILTRATION 3.6 "/HR - 1014.00		
OUTLET #2 10" DIA PIPE - 1015.50		
OUTLET #3 WEIR 5' WIDE ELEV 1017.00		

Soil Map—Milwaukee and Waukesha Counties, Wisconsin



Map Scale: 1:2,050 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edgetics: UTM Zone 16N WGS84



MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Soil Map Unit Polygons	 Very Stony Spot
 Soil Map Unit Lines	 Wet Spot
 Soil Map Unit Points	 Other
Special Point Features	 Special Line Features
 Blowout	Water Features
 Borrow Pit	 Streams and Canals
 Clay Spot	Transportation
 Closed Depression	 Rails
 Gravel Pit	 Interstate Highways
 Gravelly Spot	 US Routes
 Landfill	 Major Roads
 Lava Flow	 Local Roads
 Marsh or swamp	Background
 Mine or Quarry	 Aerial Photography
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Milwaukee and Waukesha Counties, Wisconsin
 Survey Area Data: Version 11, Sep 25, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Milwaukee and Waukesha Counties, Wisconsin (WI602)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CrD	Casco-Rodman complex, 12-20 percent slopes	0.2	1.4%
HmB	Hochheim loam, 2 to 6 percent slopes	4.5	41.5%
HmC2	Hochheim loam, 6 to 12 percent slopes, eroded	6.3	57.1%
Totals for Area of Interest		11.0	100.0%

Division of Safety and Buildings

in accordance with SPS 382.365 and 385, Wis. Adm. Code

Attach complete site plan on paper not less than 8 1/2 x 11" in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and % slope, scale or dimensions, north arrow, location & distance to nearest road.

Please print all information

Personal information you provide may be used for secondary purposes (Privacy Law, s. 15.04(1)(m)).

County	WAUKESHA
Parcel I.D.	MRTT0422985
Reviewed by	Date

Property Owner PATRICIA F. KIECKHEFER TRUST	Property Location SE 1/4, NW 1/4, S 34, T 8 N, R 18 E
Property Owner's Mailing Address W307N5276 ANDERSON RD.	Lot # Subd. Name or CSM#
City State Zip Code Phone Number HARTLAND, WI 53029	<input type="checkbox"/> City <input checked="" type="checkbox"/> Town Nearest Road MERTON CAMPUS DRIVE

Drainage area: 7 <input type="checkbox"/> sq.ft. <input type="checkbox"/> acres Optional: Test Site Suitable for (check all that apply) <input type="checkbox"/> Irrigation <input type="checkbox"/> Bioretention trench <input type="checkbox"/> Trenches <input type="checkbox"/> Rain garden <input type="checkbox"/> Grassed swale <input type="checkbox"/> Reuse <input type="checkbox"/> Infiltration trench <input type="checkbox"/> SDS (>15'wide) <input type="checkbox"/> Other _____	Hydraulic Application Test Method: <input checked="" type="checkbox"/> Morphological Evaluation <input type="checkbox"/> Double-Ring Infiltrometer <input type="checkbox"/> Other (specify) _____
--	--

<input type="checkbox"/> Boring									
9	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.	1017.41'	Depth to limiting factor	N/A			Hydraulic App. Rate
Horizon	Depth inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Inches/Hr
Ap	0-9	10YR3/2		sil	2fsbk	fr	as	2	0.13
2Bt	9-30	7.5YR4/4		scl	2fsbk	fi	cs	4	0.11
2C	30-112	10YR5/6		gr s	0sg	l		30	3.6

<input type="checkbox"/> Boring									
10	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.	1019.21'	Depth to limiting factor	N/A			Hydraulic App. Rate
Horizon	Depth inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Inches/Hr
Ap	0-10	10YR3/2		sil	2fsbk	fr	as	2	0.13
2Bt1	10-26	7.5YR4/4		scl	2fsbk	fr	cs	5	0.11
2B2	26-34	10YR4/6		gr sl	1fsbk	vfr	cs	20	0.5
2C	34-112	10YR5/6		gr s	0sg	l		30	3.6

CST Name	JEFFREY L. HAMMES	Signature:	CST Number 223300
Address	820 WILLIAMSON ST., #401 MADISON, WI 53703	Date Evaluation Conducted: 5/4/16	Telephone No. (608)233-9200

JEFFREY L. HAMMES

PLOT PLAN

CERTIFIED SOIL TESTING

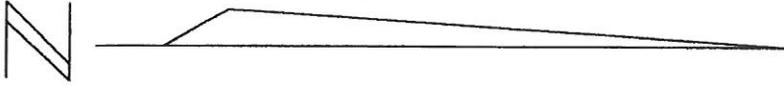
CERTIFIED DESIGNING

CONCEPTUAL LAND USE PLAN

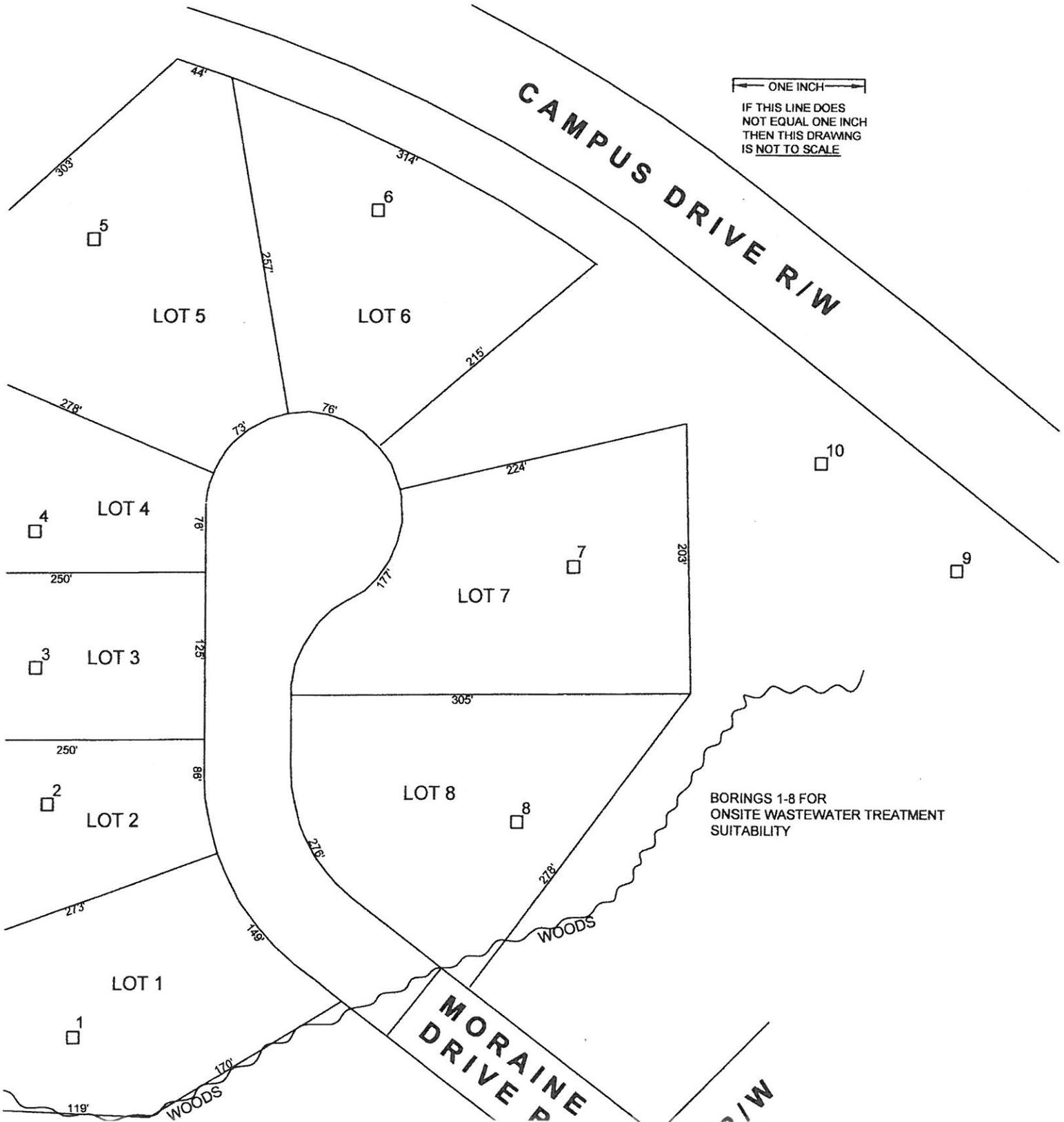
SE 1/4, NW1/4, SEC. 34, T8N, R18E, TOWN OF MERTON

PAGE 2 OF 2

CLIENT: PATRICIA F. KIECKHEFER LIVING TRUST



SCALE 1" = 100'
□ = SOIL BORING



ALAN G STANWICK 2008 LIVING TRUST
W305N5205 GAIL LN
HARTLAND WI 53029

ANDREW HUXFORD
SHANNON HUXFORD
W305N5280 GAIL LN
HARTLAND WI 53029-1025

ARROWHEAD UNION HIGH SCHOOL
DISTRICT
700 NORTH AVE
HARTLAND WI 53029

BOYD STAPLETON
ELIZABETH STAPLETON
W304N5309 EVELYN CT
HARTLAND WI 53029

BRIAN P THOMAS
REBECCA L MATTANO
W305N5311 GAIL LN
HARTLAND WI 53029

BRUCE PELTIER
WENDY PELTIER
W307N5440 ANDERSON RD
HARTLAND WI 53029

CHAD M KNUTSON
TERESA J KNUTSON
W304N5329 EVELYN CT
HARTLAND WI 53029

DANIEL FOGLE
KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

FREDERICK JESKO
R JESKO
N53W30509 ARROWHEAD DR
HARTLAND WI 53029

JAMES TERONDE
TERESA TERONDE
W304N5293 EVELYN CT
HARTLAND WI 53029

JOHN MALONEY
CHERYL MALONEY
290 HICKORY CT
HARTLAND WI 53029

JOHN PLESH
J BERGLES
N53W30510 ARROWHEAD DR
HARTLAND WI 53029

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

KATHLEEN P SMITH
W305N5310 GAIL LN
HARTLAND WI 53029

KURTIS W KRUEGER
DAWN M KRUEGER
W307N5460 ANDERSON RD
HARTLAND WI 53029-1034

LUTHERAN HIGH SCHOOL
ASSOCIATION OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

MARGARET E KINSEY
N53W30495 ARROWHEAD DR
HARTLAND WI 53029

MARK J GIMLA
FRANCINE J DEMLER-GIMLA
W305N5220 GAIL LN
HARTLAND WI 53029

MICHAEL A BARTON
N53W30582 ARROWHEAD DR
HARTLAND WI 53029

PATRICK HENZE
MARY HENZE
W305N5235 GAIL LN
HARTLAND WI 53029

PATRICK J BALISTRERI
DONNA W BALISTRERI
W305N5240 GAIL LN
HARTLAND WI 53029-1025

PAUL STAPLETON
W305N5247 GAIL LN
HARTLAND WI 53029

PETER MIHOJEVICH
SUSAN MIHOJEVICH
N52W30555 MORaine DR
HARTLAND WI 53029

PETER PURVIS
SHARON PURVIS
W305N5260 GAIL LN
HARTLAND WI 53029

PETER PURVIS JR
JILL PURVIS
W305N5250 GAIL LN
HARTLAND WI 53029

RENA L CZOSCHKE
W305N5321 GAIL LN
HARTLAND WI 53029

RUSSELL R GREIBER
JOYCE GREIBER
W307N5452 ANDERSON RD
HARTLAND WI 53029-1034

SAMUEL J GENGO
W307N5470 ANDERSON RD
HARTLAND WI 53029

STACEY A BITTMAN
W305N5200 GAIL LN
HARTLAND WI 53029

STEVE KURZ
LAURA M TRUDELL
W305N5295 GAIL LN
HARTLAND WI 53029

GUY JR & PATRICIA F KIECKHEFER
LIVING TRUST DTD 3/4/09
W307N5276 ANDERSON RD
HARTLAND WI 53029

TERENCE J FELLAUM
ELIZABETH A FELLAUM
W305N5270 GAIL LN
HARTLAND WI 53029

THOMAS A GILLIGAN
N53W30531 ARROWHEAD DR
HARTLAND WI 53029

THOMAS PETRI
DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

TIMOTHY S VANRIPER
N53W30542 ARROWHEAD DR
HARTLAND WI 53029