

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, FEBRUARY 18, 2019
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

FINAL – 2/13/2019

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of January 21, 2019.
2. Architectural Board and Plan Commission review and consideration of an application for a sign for Holzhauser, Hewett & Barta Orthodontics, 520 Hartbrook Drive.
3. Architectural Board and Plan Commission review and consideration of an application for a sign for Strike FC, 528 E. Industrial Drive.
4. Architectural Board and Plan Commission review and consideration of an application for office additions for Advanced Disposal, 559 Progress Drive.
5. Architectural Board review and consideration of a request for construction of a new residence for Craig Eisenhut on E. Capitol Drive, Tax Parcel HAV 0725 999 010.
6. Plan Commission review and consideration of a request to renew a Conditional Use Permit for operation of a temporary retail flower hut to be located in the Piggly Wiggly parking lot, 550 Cottonwood Ave.
7. Plan Commission review and consideration of a petition to rezone property at 345 Cottonwood Ave. to the RS-3 Residential Single Family District.
8. Adjourn

David E. Cox, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

MEMORANDUM

TO: Architectural Board and Plan Commission
FROM: David E. Cox, Village Administrator 
DATE: February 13, 2019
SUBJECT: Agenda Information

The following information relates to the upcoming Architectural Board and Plan Commission meeting agenda and includes additional or summary information and staff recommendations as necessary. The numbering will follow the numbering of the agenda.

Item 2 Related to the proposed Orthodontics sign.

Background: Holzhauser, Hewett and Barta Orthodontics (HHBO) has requested a permit to install a sign on their building as shown in the packet. The sign, which is set far back on the property at the location of the business entrance, is proposed to be located on the wall of a second story dormer-type feature in the architecture. This sign would be in addition to the business sign on the multi-tenant ground sign along Hartbrook and the ground sign at the Rae Drive entrance, which solely lists this business. It does not appear this sign meets the strict requirements of the Sign Code. While HHBO does not have a wall sign, section 46-980 (10) of the Sign Code limits the number of signs per business to two (2). As noted, the business has ground signs at Hartbrook Drive and Rae Drive. Further, the location of the wall sign appears to be in a location that is not compliant. It is proposed to be located above the adjacent roof line and above the second story window located on the west face of the building. Section 46-980 (1) of the Sign Code indicates that “signs above the first story or the second floor window sill, whichever is higher, are prohibited.” These matters notwithstanding, the Sign Code provides at 46-980 (10) that the Architectural Board has the authority to alternatively determine the “type, number, size, height and location” of signs for properties with two or more businesses. This property has at least four (4) businesses. Therefore, the body has the authority to determine whether the proposed sign is acceptable in this instance.

Recommendation: Determine whether the sign will be allowed.

Item 6 Related to the Conditional Use Permit for temporary retail flower sales.

Background: The ownership of Homegrown Flowers, Genesee Lake School, has petitioned for an extension of the Conditional Uses Permit they have held for some time, which allows them to construct a temporary facility for the sale of flowers on the property on Cottonwood occupied by Piggly Wiggly and other businesses. The facility will be located in the grass area between the south edge of the parking lot and the adjacent entrance drive. The

Commission is asked to give preliminary review of the proposed extension and to set the required public hearing for the next Plan Commission meeting on March 18.

Recommendation: Review the matter and set the public hearing for March 18.

Item 7 Related to the proposed rezoning of 345 Cottonwood Ave.

Background: The owner of the building at 345 Cottonwood Avenue has requested rezoning of the parcel from B-3 Central Business/Mixed Use District to RS-3 Single-Family Residential District. The parcel is located in the downtown business area and is the southernmost of three adjacent house structures on this stretch of Cottonwood. The Village's Comprehensive Plan identifies this area, including the entirety of the downtown, as "Mixed-Use Commercial/Residential (Part of the Village Center)." The parcel immediately north of the subject parcel is zoned RM-2 Multiple-Family Residential District and is currently a single family house. The next parcel north is zoned RM-1 Multiple-Family Residential District and is used as a multiple tenant, 3-unit residential building. South of the subject property (south of the driveway for Hartland Meadows) is a multiple tenant business property. Previously, the subject parcel was used as a commercial use and will be modified to meet the residential building codes. As a reminder, while the B-3 zoning allows some residential use of a building, such use is only allowed at the rear of the first floor and on the second floor and above. The front portion of the lower level would be required to be a commercial use. The petitioner has suggested RM-3 zoning. However, other single family zoning in and around the downtown is the RS-5 Single-Family District, which calls for a minimum frontage of 70 feet and minimum lot size of 8,000 square feet. The subject lot is 90 feet wide and is about 22,000 square feet. If the Plan Commission is inclined to recommend approval of the zoning change, the RS-5 District may be more appropriate. Procedurally, the Plan Commission is asked to give initial review of this proposed rezoning at this meeting and to provide any initial comments as may be appropriate. At its March meeting, the Commission will be asked to give a specific recommendation to the Village Board. For its part, the Village Board will be asked to give its preliminary review of the proposed zoning at its upcoming meeting and will be asked to set the required public hearing on the matter for the second meeting in March.

Recommendation: Recommend approval of the Final Plat with conditions.

DC:PC Agenda Info 2-18

cc: Ryan Amtmann, Village Engineer
Scott Hussinger, Building and Zoning Official

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JANUARY 21, 2019
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, Ann Wallschlager, James Schneeberger, Tim Fenner, Jack Wenstrom, and Tim Hallquist.

Absent: David deCourcy-Bower

Others Present: Administrator Cox, Building Inspector Hussinger and Deputy Clerk Bush y.

Call to Order-

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of December 17, 2018.

Motion (Hallquist/Wenstrom) to approve the Jt. Architectural Board/Plan Commission minutes of December 17, 2018. Carried (6-0).

2. Architectural Board review and consideration of an application for replacement of signs for First Citizen Bank, 400 Cardinal Lane.

A representative from Sign Effectz Inc. was present and said First Citizens Bank is looking to change out the existing signs. Sign A is a free standing sign and will be 16' ft. high, Signs B & C will be on the building itself, and signs D & E are smaller signs with letter on both sides. The wall signs are interior illuminated which is allowed in this district.

Motion (deCourcy-Bower/Wenstrom) to approve the application for replacement of signs for First Citizen Bank, 400 Cardinal Lane. Carried (6-0).

3. Architectural Board review and consideration of an application for a bedroom addition to the Priess Herkowski residence, 807 E. Capitol Drive.

Building Inspector Hussinger the addition is in the rear of the house and the footprint of the house itself is not changing. The addition faces the rear and a little east and the material will be similar to the existing material.

Motion (Wenstrom/Hallquist) to approve the application for a bedroom addition to the Priess Herkowski residence, 807 E. Capitol Drive. Carried (6-0).

4. Architectural Board review and consideration of an application for construction of a new residence at 566 E. Birchwood Drive, The Traditions of Hartland.

Dan Belman from Belman Construction was present. Building Inspector Hussinger said the Home Owners Association has approved the application as submitted. He said it is the last lot on Birchwood and it abuts Mary Hill.

Motion (Hallquist/Schneeberger) to approve the application for construction of a new residence at 566 E Birchwood Drive, The Traditions of Hartland. Carried (6-0).

5. Architectural Board and Plan Commission review and consideration of an application for construction of a lift station at 120 Crystal Drive in the Lake Country Meadow's subdivision.

Utility Operations Supervisor Felkner was present to explain the lift station. He said during a power failure last year, the control and relay didn't send a signal back to the shop, so they didn't discover the failure until the next morning. He said it is up for budget anyway and in constructing the lift station building there won't be a problem with it again. He went on to say the HOA said no metal, so they are going with a brick building with wood strands, the color will be embedded when they make it and it will match the entrance wall. The design was changed to go south so the subdivision won't hear it and the testing of the generator will be done every Wednesday at 9 a.m. Administrator Cox asked about the type of generator and Village engineer Ryan Amtmann said it will be the same as the one in the Four Winds subdivision. He handed out an updated landscape plan and said he has already discussed it with the HOA president. Paul Listius the HOA president was present and said they will be having a HOA meeting in several months and Utility Operations Supervisor Felkner will attend the meeting to explain the lift station to the HOA. There was discussion on the decibel level of the generator. Felkner said the generator exhaust is pointed away from the subdivision and if someone did hear it, it would sound like a low hum similar to a car idling. Pfannerstill commented on getting a decibel level done, and Felkner said he could work on it tomorrow. Pfannerstill commented on possibly notifying more of the residents of the subdivision before acting on it. It was pointed out that residents within so many feet of the proposed lift station were sent an agenda for tonight's meeting. deCourcy-Bower commented that the lift station is needed and it is a nice building. He said it will only be run for 30 minutes every Wednesday morning and in the case of an emergency.

Motion (Hallquist/Schneeberger) to approve the application for construction of a lift station at 120 Crystal Drive in the Lake Country Meadow's subdivision with contingency on decibel level. Carried (5-1). Pfannerstill voted no.

Motion by Pfannerstill to amend the original motion so that more people have time to review it. No one seconded the motion so the motion failed.

Original motion stands.

- More action was taken on this item at the end of the meeting.

6. Plan Commission consideration of an Extraterritorial Certified Survey Map to redraw lot lines between two parcels on Orchard Ave. in the Town of Delafield.

Administrator Cox briefly explained that 2 neighbors own 7 lots on Orchard Ave & are trading 1 of those lots. He said there are 2 existing homes on the lots and this will have no impact on the Village of Hartland.

Motion (deCourcy-Bower/Pfannerstill) to approve the Extraterritorial Certified Survey Map to redraw lot lines between two parcels on Orchard Ave. in the Town of Delafield. (6-0).

7. Plan Commission consideration of a final Plat for Kiefer Farms subdivision in the Town of Merton.

Administrator Cox said this was tabled in the past to get the Storm water issue clarified and we are satisfied with Storm Water now.

Motion (deCourcy-Bower/Wenstrom) to approve the final Plat for Kiefer Farms subdivision in the Town of Merton. (6-0).

*Motion (Pfannerstill/deCourcy-Bower) to reconsider application for construction of a lift station at 120 Crystal Drive in the Lake Country Meadow's subdivision. (6-0).

Motion (Hallquist/Schneeberger) to approve the application for construction of a lift station at 120 Crystal Drive in the Lake Country Meadow's subdivision with contingency on decibel level. Carried (6-0).

8. Adjourn

Motion (Wenstrom/deCourcy-Bower) to adjourn. Carried (6-0). Meeting adjourned at 7:29 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bushéy, Deputy Clerk



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot	Block	Subdivision	Key No. HAV
Owner DHCH Properties		EMAIL hobey@hhortho.com	Phone 262-367-7076
Address 520 Hartbrook Drive		City Hartland	State WI Zip 53029
Contractor Signworks of Wisconsin, Inc.	Phone 262-673-7318	FAX 262-673-0718	EMAIL lisa@signworkswi.com
Address 501 W Sumner Street		City Hartford	State WI Zip 53027

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 520 Hartbrook Drive, Hartland WI TAX KEY # _____
OWNER DHCH Properties PHONE 262-367-7076
ADDRESS 520 Hartbrook Drive CITY Hartland STATE WI ZIP 53029
CONTRACTOR SIGNworks of Wisconsin, Inc. PHONE 262-673-7318
ADDRESS 501 West Sumner Street CITY Hartford STATE WI ZIP 53027

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:
ORTHODONTICS

OVERALL DIMENSIONS OF SIGN 16" H x 186.37" W COLOR OF BACKGROUND N/A

SIZE OF LETTERS IN INCHES 16" H COLOR OF LETTERS Day - Black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.) Night - White
Aluminum Fabricated Channel Letters - Mounted to an Aluminum Raceway

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 2,989.00

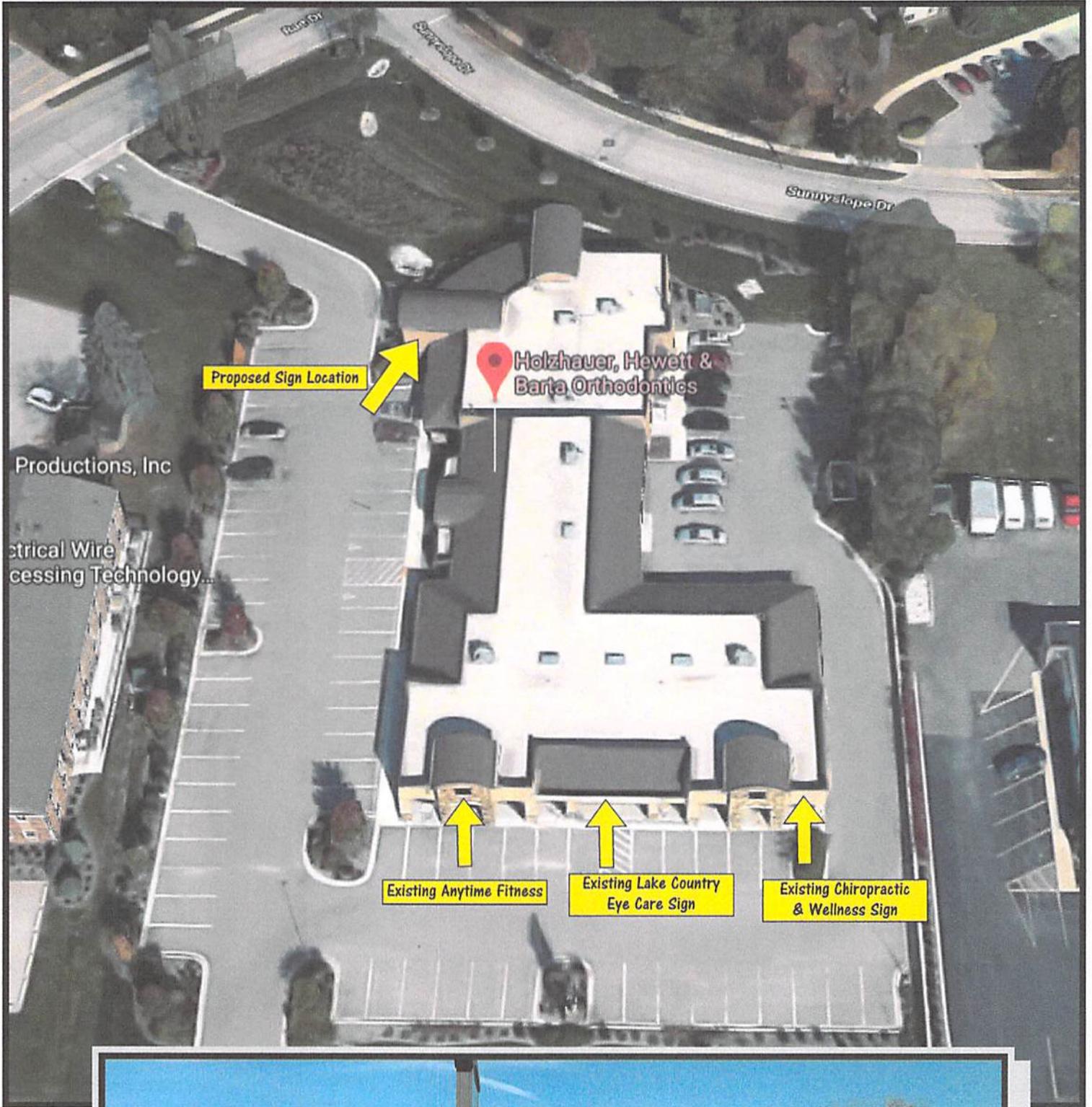
TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Lisa Schroder DATE 11/16/2019

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____



Qty One Set - Internally Illuminated - White LED's
 Face to Be Day Night Film
 Raceway Color to Match Building Color

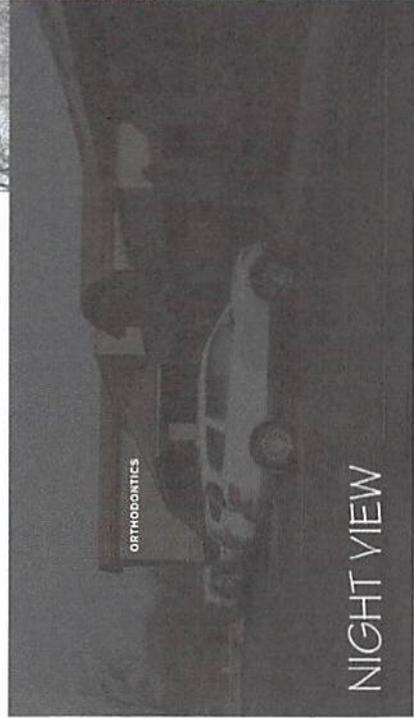
DAY VIEW

186.37 in

16 in
ORTHODONTICS

NIGHT VIEW

ORTHODONTICS



NIGHT VIEW

SIGNworks
 GRAPHIC SIGNS & DIGITAL GRAPHICS
 501 West Summer Street
 Hartford, Wisconsin
 262-673-7318
 signworkwi.com

Job Name: Holzhauser	Sales Person: Heidi Schaefer heid@signworkwi.com
Date: 1/16/2019	Revision: Final
EST # 15096	Designer: Jim
2019 Sketches/ Holzhauser/ Channel Letters Hartland	

DAISY PROPERTIES LLC
9700 W BLUEMOUND RD
WAUWATOSA WI 53226

DHCH PROPERTIES LLC
10225 W CAPITOL DR
WAUWATOSA WI 53222

WHPC-DOMINIUM LLC
2 E MIFFLIN ST STE 801
MADISON WI 53703-2862

RAINTREE INVESTMENTS LLC
N61W29425 RYBECK RD
HARTLAND WI 53029



ADMINISTRATION
 210 COTTONWOOD AVENUE
 HARTLAND, WI 53029
 PHONE (262) 367-2714
 FAX (262) 367-2430

DEPARTMENT OF BUILDING INSPECTION
 APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 528 E INDUSTRIAL DR TAX KEY # _____
 OWNER HARTLAND PROPERTIES PHONE 262 622 5286
 ADDRESS 15915 WILLOW GLEN RD CITY SULLIVAN STATE WI ZIP 53178
 *CONTRACTOR P.O. Box 180668 - STRIKE F.L. PHONE _____
 ADDRESS PO Box 180668 CITY DELAFIELD STATE WI ZIP 53018
Strikefield@gmail.com - 262 370 4048.

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

STRIKE FC EST 2013 528 E INDUSTRIAL DRIVE, HARTLAND

OVERALL DIMENSIONS OF SIGN 48x96 + 48x72 COLOR OF BACKGROUND BLUE/GREY

SIZE OF LETTERS IN INCHES 4 INCH APPROX COLOR OF LETTERS WHITE

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

ALUMINUM

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 850 TOTAL

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 7th FEB 19th

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

COMMENTS: _____

TOTAL FEES: \$175.00 DATE PAID 2-7-19 RECEIPT # 204578



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <i>528 E. INDUSTRIAL DR, HARTLAND, WI 53029</i>			
Lot	Block	Subdivision	Key No. HAV
Owner <i>HARTLAND PROPERTIES</i>		EMAIL <i>strikefced@gmail.com</i>	Phone <i>262-622-5286</i>
Address <i>NS915 WILLOW GLEN RD</i>		City <i>SULLIVAN</i>	State <i>WI</i> Zip <i>53178</i>
Contractor		Phone	FAX
Address		City	State Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

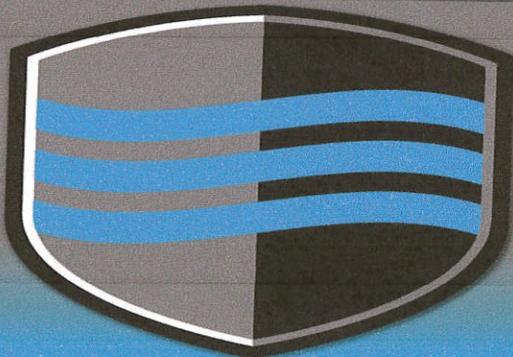
All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

East Facing



48"



STRIKE FC

EST. 2013

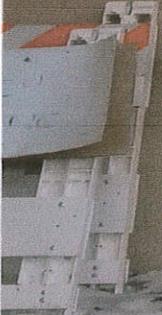
528 E INDUSTRIAL DRIVE, HARTLAND



72"



PRIVATE
PROPERTY
NO
LOITERING
SOLICITING
SKATEBOARDS
ROLLERBLADES





STRIKE FC

EST. 2013

528 E INDUSTRIAL DRIVE, HARTLAND

LINDSAY REAL ESTATE HOLDINGS LLC
2222 N 111TH ST
OMAHA NE 68164-3817

KINNEY PROPERTIES INC
W291N7051 LEANNE CT
HARTLAND WI 53029-9499

HARTLAND PROPERTIES LLC
N5915 N WILLOW GLEN RD
SULLIVAN WI 53178-9727

VIRGINIA A SCHREIB AMENDED &
RESTATED TRUST
S87W29868 LEPPIN CT
MUKWONAGO WI 53149-8620

LEAF INVESTMENTS LLC
512 INDUSTRIAL DR
HARTLAND WI 53029-2310

pd 2/7/19 Rpt # 201584



**APPLICATION FOR
PLAN COMMISSION**

\$300 REVIEW FEE DUE AT TIME OF APPLICATION

Project Description ADDITION TO EXISTING COMMERCIAL BLDG.			
Proposed Use BUSINESS		No. of Employees	
Project Location 559 PROGRESS DR.			
Project Name ADVANCED DISPOSAL			
Owner ADVANCED DISPOSAL		Phone 262-369-3071	
Address 559 PROGRESS DR.		City HARTLAND	State WI Zip 53029
Engineer/Architect PATERA, LLC		Phone 262-786-6776	FAX
Address 2601 S. SUNNY SLOPE		City NEW BERLIN	State WI Zip 53151
Contact Person CHARLES FLORAMO	Phone (SAME)	FAX	E-mail charles@paterallc.co

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.

Applications that include site plans must depict the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Date Applied 2-7-19	Date of Meeting:	Return Comments by:
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**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address				
Lot	Block	Subdivision	Key No. HAV	
Owner		EMAIL	Phone	
Address		City	State	Zip
Contractor		Phone	FAX	EMAIL
Address		City	State	Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

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Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.

Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.

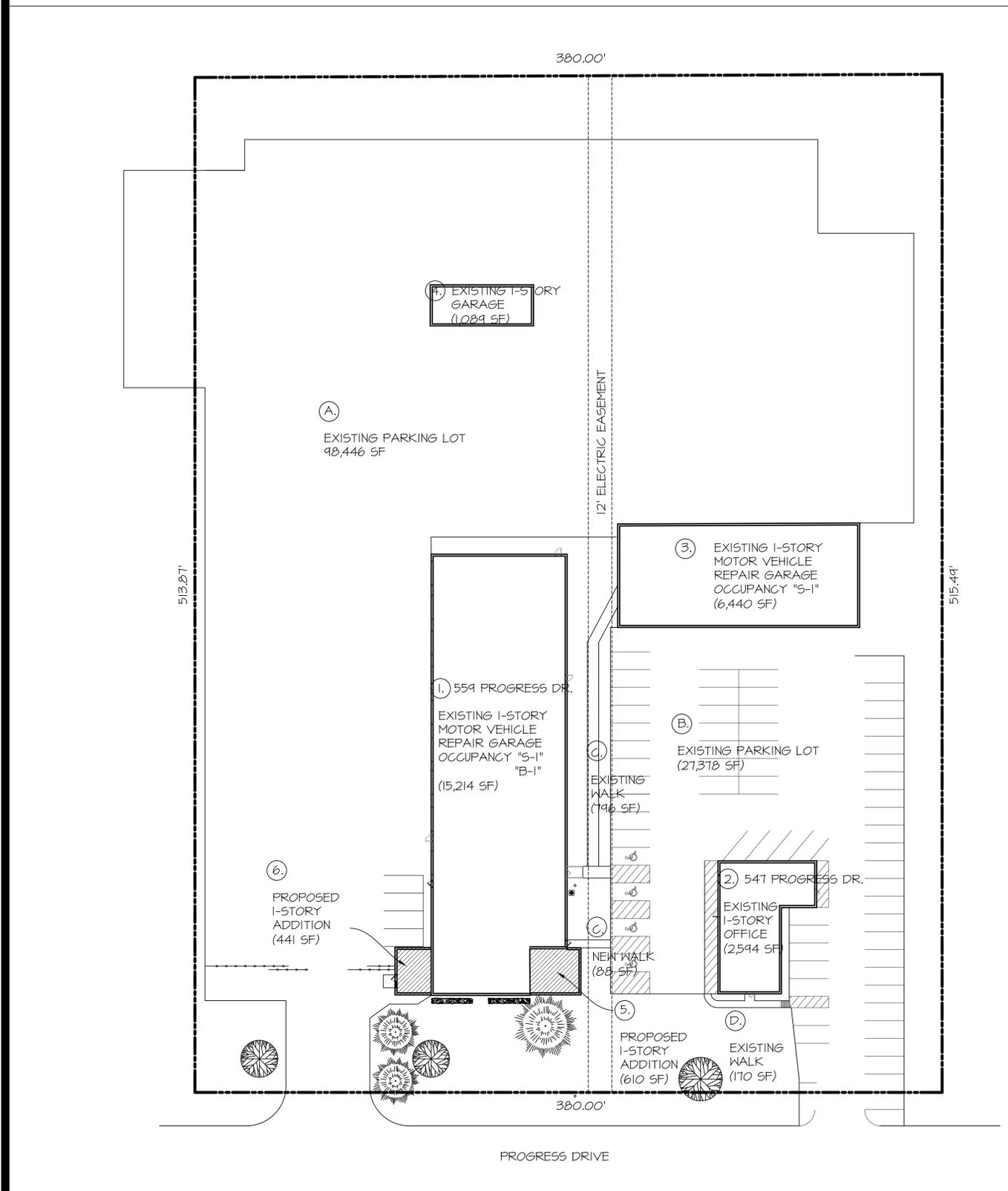
Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.

Four (4) sets of lighting details. Include type, location, number and photometric plan.

Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



SITE DATA	
SITE AREA:	195,570 SF (4.49 ACRES)
EXISTING BUILDING AREA:	
1. 559 PROGRESS DR.	15,215 SF
2. 541 PROGRESS DR.	2,544 SF
3. EXISTING 1-ST GARAGE	6,440 SF
4. EXISTING 1-ST GARAGE	1,089 SF
TOTAL EXISTING BUILDING:	26,384 SF
PROPOSED ADDITION AREA:	
5. NORTH ADDITION	610 SF
6. SOUTH ADDITION	441 SF
TOTAL NEW ADDITION	1,051 SF
HARD SURFACE	
A. EXISTING PARKING PAVEMENT:	98,446 SF
B. EXISTING PARKING PAVEMENT:	27,378 SF
C. EXISTING WALK	796 SF
D. EXISTING WALK	170 SF
E. EXISTING WALKWAY	170 SF
TOTAL EXISTING HARD SURFACE:	126,810 SF
F. PROPOSED WALK	88 SF
TOTAL HARD SURFACE AREA:	126,966 SF
LOT COVERAGE:	
- EXISTING BUILDING:	25,330/195,570 = 13.0%
- PROPOSED BUILDING:	26,384/195,570 = 13.5%
IMPERVIOUS SURFACE AREA:	
- EXISTING BUILDING:	25,330 SF
- EXISTING PAVING:	126,378 SF
TOTAL	152,216 SF = 77.8 %
- PROPOSED ADDITION	1,051 SF
- PROPOSED NEW PAVING	88 SF
TOTAL	1,139 SF = 0.6 %
- TOTAL BUILDING:	26,384 SF = 13.5 %
- TOTAL PAVING:	126,966 SF = 64.9 %
TOTAL	153,300 SF = 78.4 %

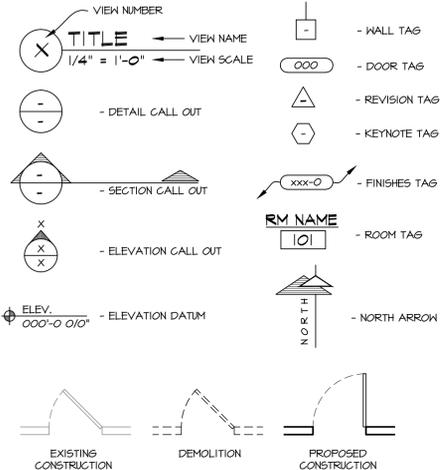
- ### PLAN NOTES:
- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
 - DO NOT SCALE DIMENSIONS FROM DRAWINGS, CONSULT THE ARCHITECT WITH ANY QUESTIONS.
 - ALL INTERIOR WALLS ARE DIMENSIONED STUD-TO-STUD UNLESS NOTED OTHERWISE. (SEE WINDOW TYPES FOR ACTUAL DIMENSIONS)
 - PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP., APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS

- ### GENERAL NOTES:
- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
 - CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
 - THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
 - UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE
 - UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
 - THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
 - ALL STATE OF WISCONSIN, LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.

ABBREVIATIONS

AFB	Above Finished Floor	FC	Fire Code
ALUM	Aluminum	FD	Floor Drain
ARCH	Architect	FDN	Foundation
BLDG	Building	FG	Fiberglass
BLKG	Blocking	FIN	Finished
BRG	Bearing	FLR	Floor
CLS	Ceiling	FT	Foot or Feet
CONC	Concrete	FTG	Footing
CONSTR	Construction	GYP	Gypsum
CONT	Continuous	HT	Height
CONTR	Contractor(s)	HC	Handicap
GTR	Center	HDR	Header
DP	Deep	HR	Hour
DBL	Double	HVAC	Heating, Ventilating & Air Conditioning
DET	Detail	INCL	Including
DIA	Diameter	INSUL	Insulation
DN	Down	INT	Interior
DIM	Dimension	JST	Joist
DN	Down	KD	Kiln Dried
DR	Door	LAV	Lavatory
DS	Downspout	LT	Light
DWG	Drawing	LVL	LVL
EA	Each	MAX	Maximum
ELEG	Electrical	MC	Moisture Content
ELEV	Elevation	MECH	Mechanical
EP	Electrical Panel	MET	Metal
EXT	Exterior	MFR	Manufacturer
NIC	Not in Contract	MIN	Minimum
NO	Number	MISC	Miscellaneous
NONCOM	Noncombustible	T	Tread
NTS	Not to Scale	T & G	Tongue & Groove
OP	On, Over	TEMP	Temporary
OC	On Center	THK	Thick
OPNS	Opening	TOF	Top of Footing
OPP	Opposite	TRTD	Treated
OH	Overhead	TV	Television
PLY	Plywood	TYP	Typical
PROP	Property	UL DES	Underwriters Laboratories Designation
PT	Point	UNO	Unless Noted Otherwise
PVMT	Pavement	VB	Vapor Barrier
PWR	Power	VCT	Vinyl Composite Tile
PSF	Pounds per Square Foot	VEN	Veneer
PSL	Parallel Structure	W	Wide
PLF	Per linear foot	WV	With
R	Riser	WD	Wood
RAD	Radius	WIN	Window
REF	Refrigerator	W/O	Without
REINF	Reinforcing	WP	Weatherproof
REQD	Required	W/F	Welded Wire Fabric
REV	Revision	∅	And
RM	Room	⊕	At
RO	Rough Opening	CL	Center Line
SECT	Section	∅	Diameter
SH	Sheet		
SHG	Sheeting		
SIM	Similar		
SPEC	Specified		
STD	Standard		
STOR	Storage		
SYF	Southern Yellow Pine		

SYMBOL LEGEND



SCOPE OF DRAWING:
 THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDINGS, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

SHEET INDEX:

SHEET T-1	GENERAL NOTES, SITE PLAN
SHEET EX-1	EXISTING FLOOR PLANS
SHEET EX-2	EXISTING ELEVATIONS
SHEET D-1	FIRST FLOOR DEMO PLAN
SHEET D-2	SECOND FLOOR DEMO PLAN
SHEET A-0	KEY PLANS
SHEET A-1	PROPOSED FIRST FLOOR PLAN
SHEET A-2	PROPOSED SECOND FLOOR PLAN
SHEET A-3	EAST AND SOUTH ELEVATIONS
SHEET A-4	NORTH ELEVATION AND BUILDING SECTION

SITE PLAN
 1/32" = 1'-0"
 NORTH

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ADVANCED DISPOSAL

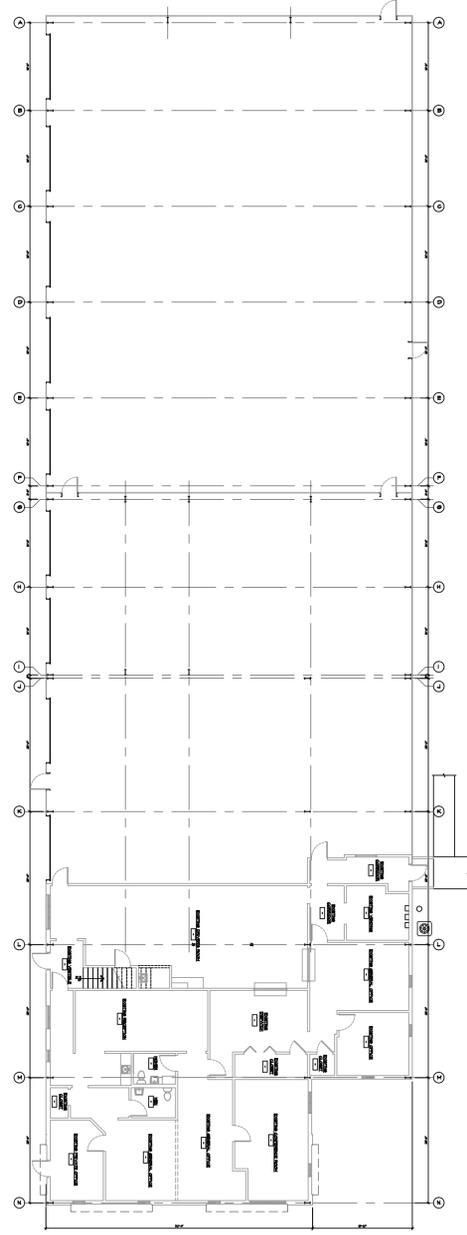
559 PROGRESS DRIVE
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SITE PLAN, BUILDING DATA, NOTES, SYMBOL LEGEND

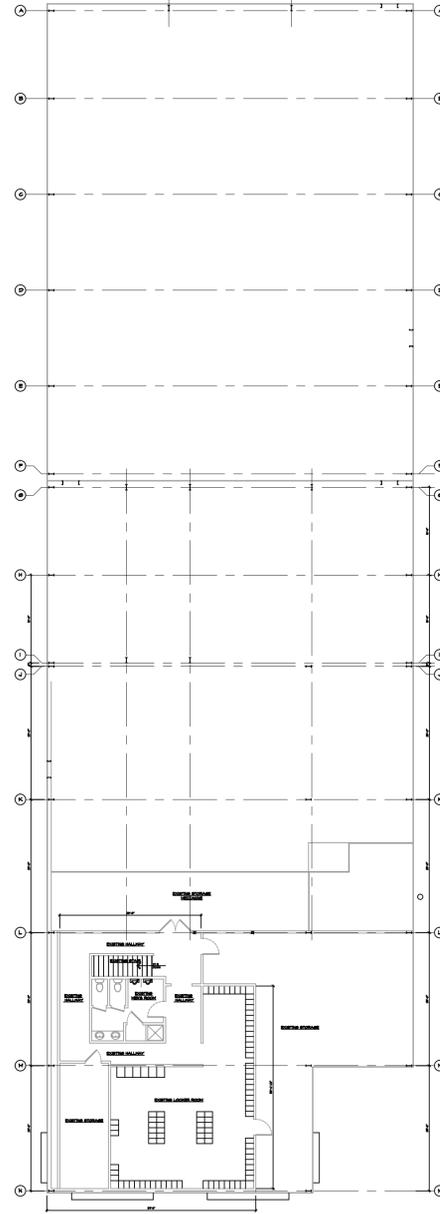
T-1

DATE: 12.19.2018
 PROJECT NUMBER: 18-189

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1 EXISTING FIRST FLOOR PLAN
1/16" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
1/16" = 1'-0"

EX-1

DATE: 12.19.2018
PROJECT NUMBER: 18-189

ADVANCED DISPOSAL

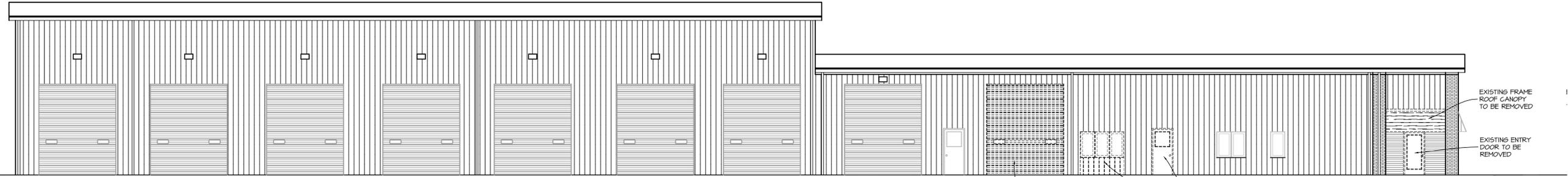
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EXISTING FLOOR PLANS



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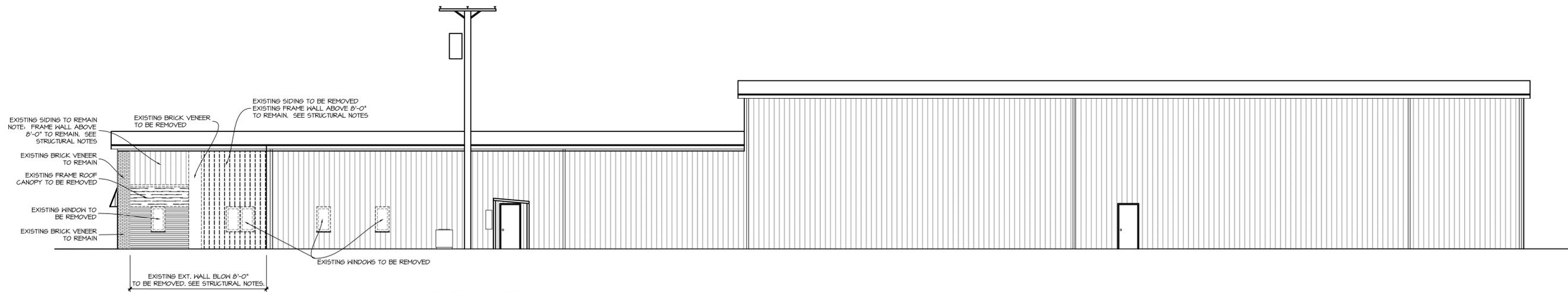
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EXISTING/DEMO SOUTH ELEVATION
1/8" = 1'-0"



EXISTING/DEMO EAST ELEVATION
1/8" = 1'-0"

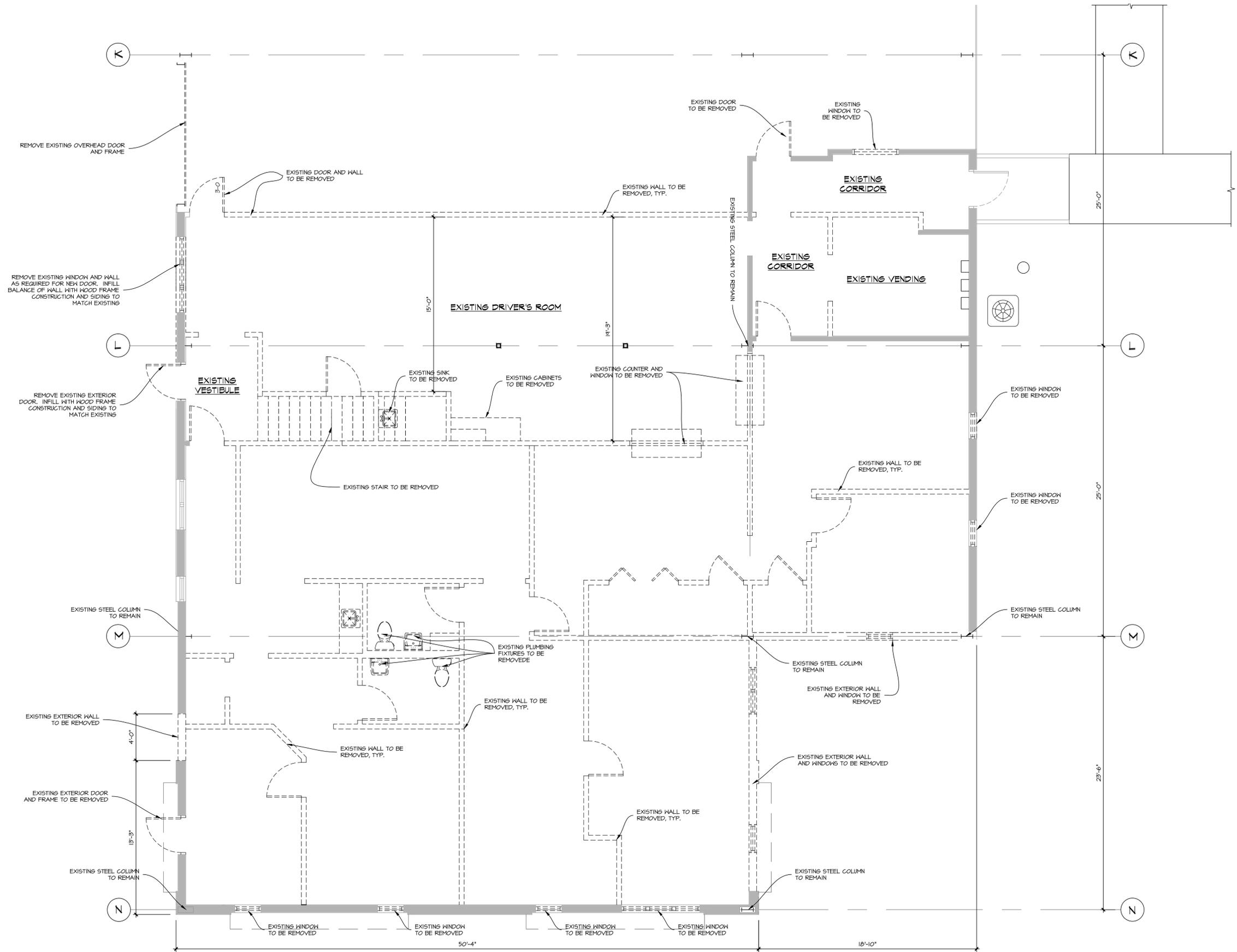


EXISTING/DEMO NORTH ELEVATION
1/8" = 1'-0"



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1.28.2019	



1 FIRST FLOOR DEMO PLAN NORTH
1/4" = 1'-0"

WALL KEY

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED (T.B.R.)
- NEW WALL

NOTES:
 - REMOVE ALL FLOOR FINISHES IN AREAS OF WORK
 - REMOVE ALL CEILINGS AND LIGHT FIXTURES IN AREAS OF WORK



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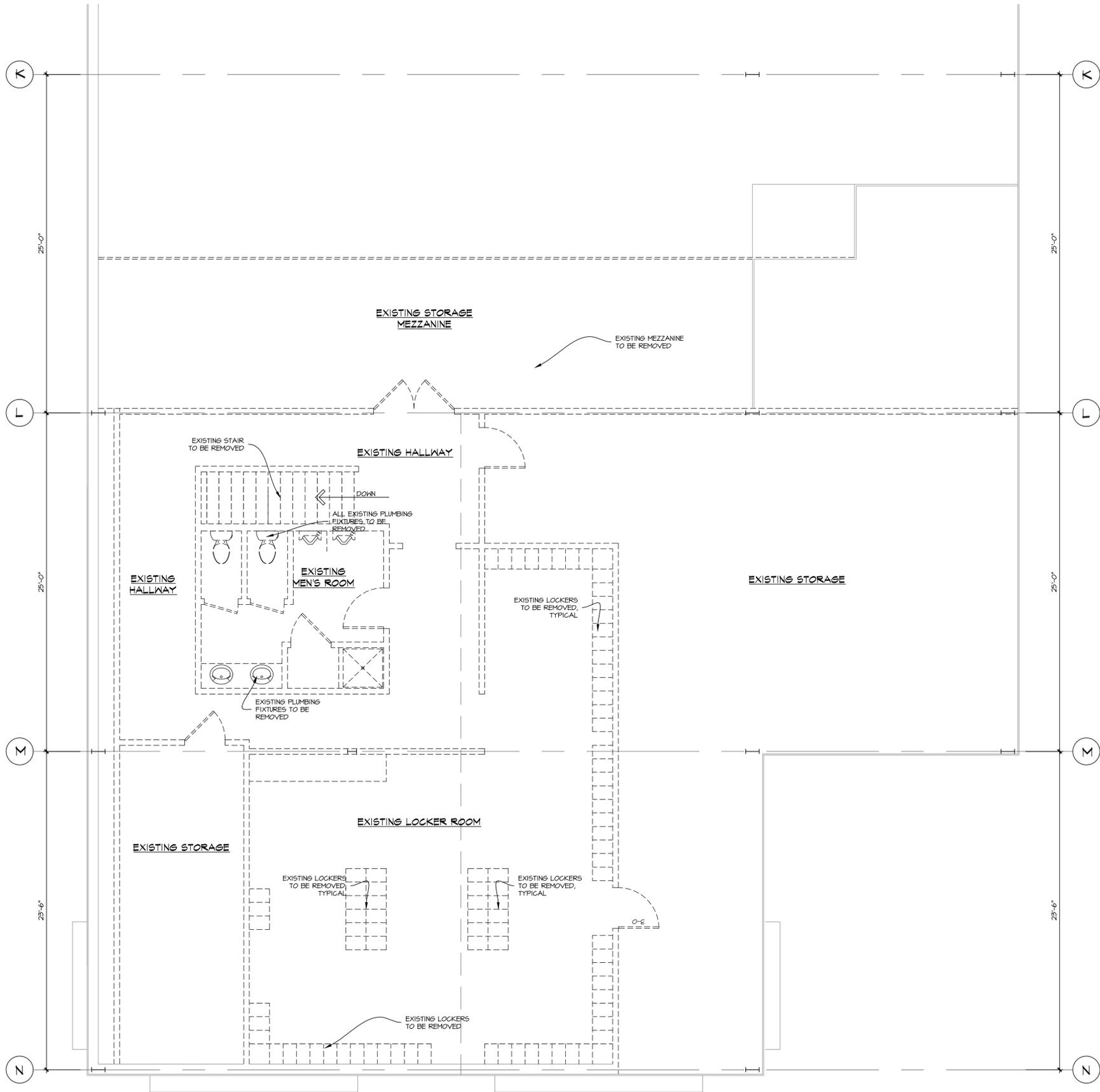
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ADVANCED DISPOSAL

559 PROGRESS DRIVE
 HARTLAND, WI 53029
 FIRST FLOOR DEMOLITION PLAN

D-1

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X SECOND FLOOR DEMO PLAN
 1/8" = 1'-0"



EXISTING WALLS, FLOOR,
 STAIRS TO BE REMOVED
 COMPLETELY.

ADVANCED DISPOSAL

559 PROGRESS DRIVE
 HARTLAND, WI 53029

LOFT DEMOLITION PLAN

D-2

DATE: 12.19.2018
 PROJECT NUMBER: 18-189

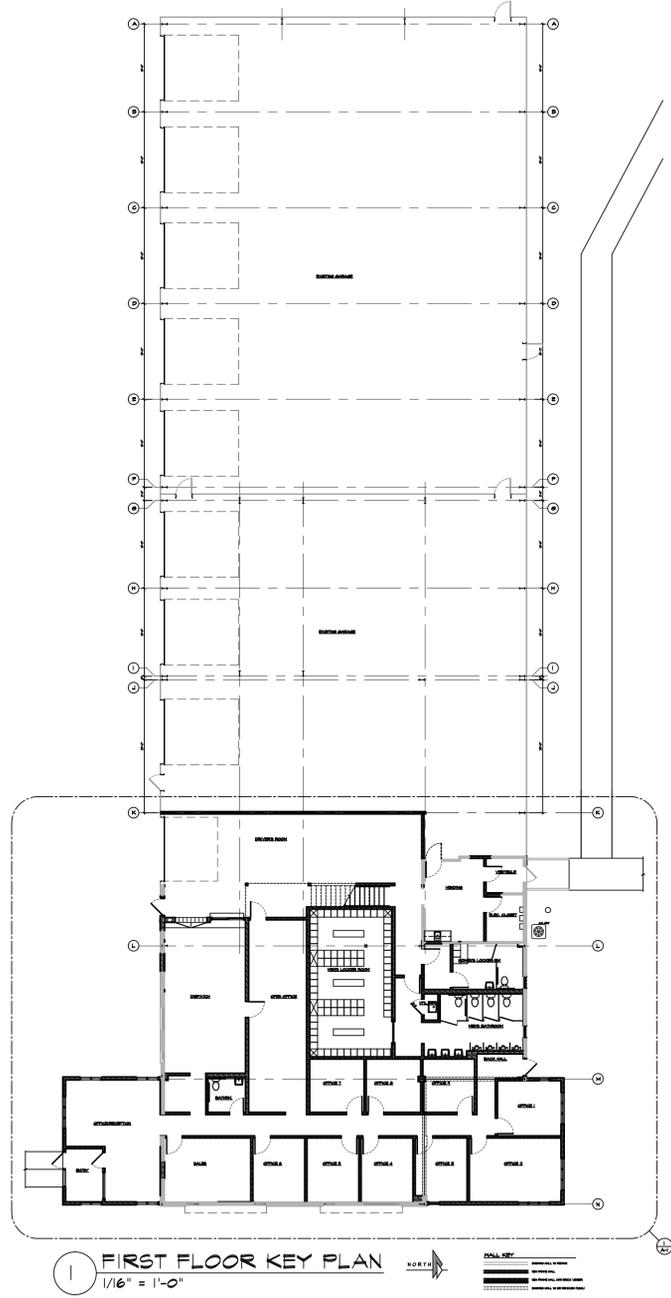
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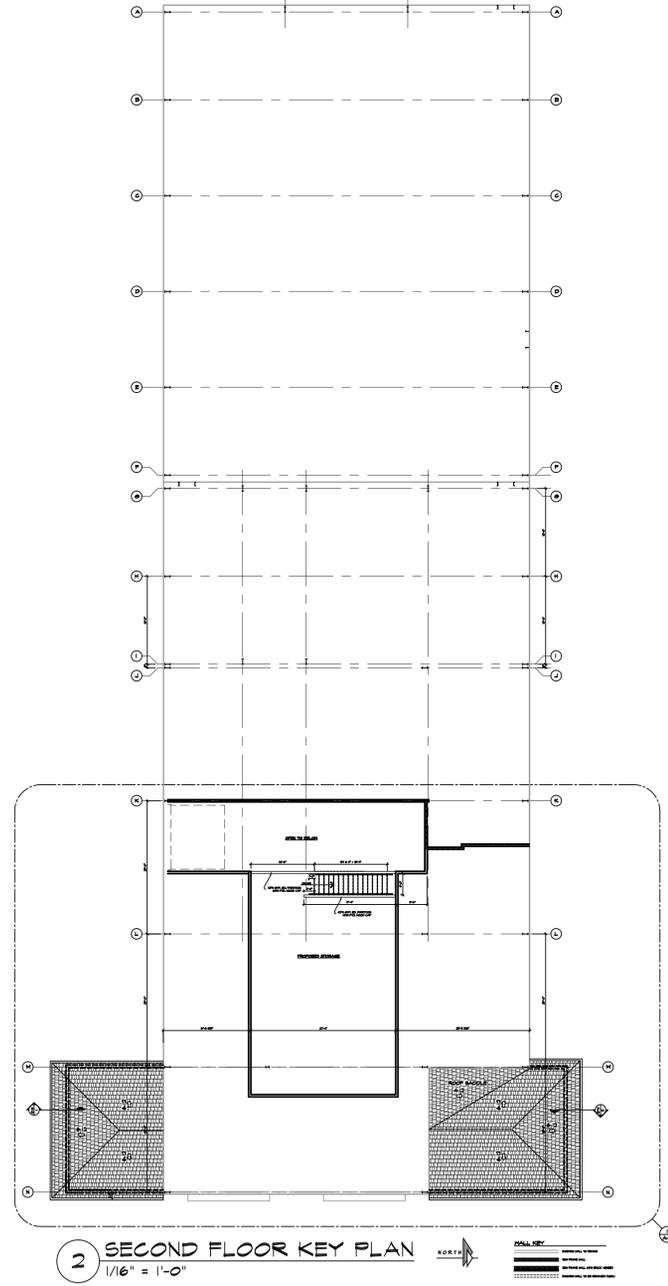


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1 FIRST FLOOR KEY PLAN
1/16" = 1'-0"



2 SECOND FLOOR KEY PLAN
1/16" = 1'-0"

ADVANCED DISPOSAL

559 PROGRESS DRIVE
HARTLAND, WI 53029

SITE PLAN, KEY PLANS

A-0

DATE: 12.19.2018

PROJECT NUMBER: 18-189

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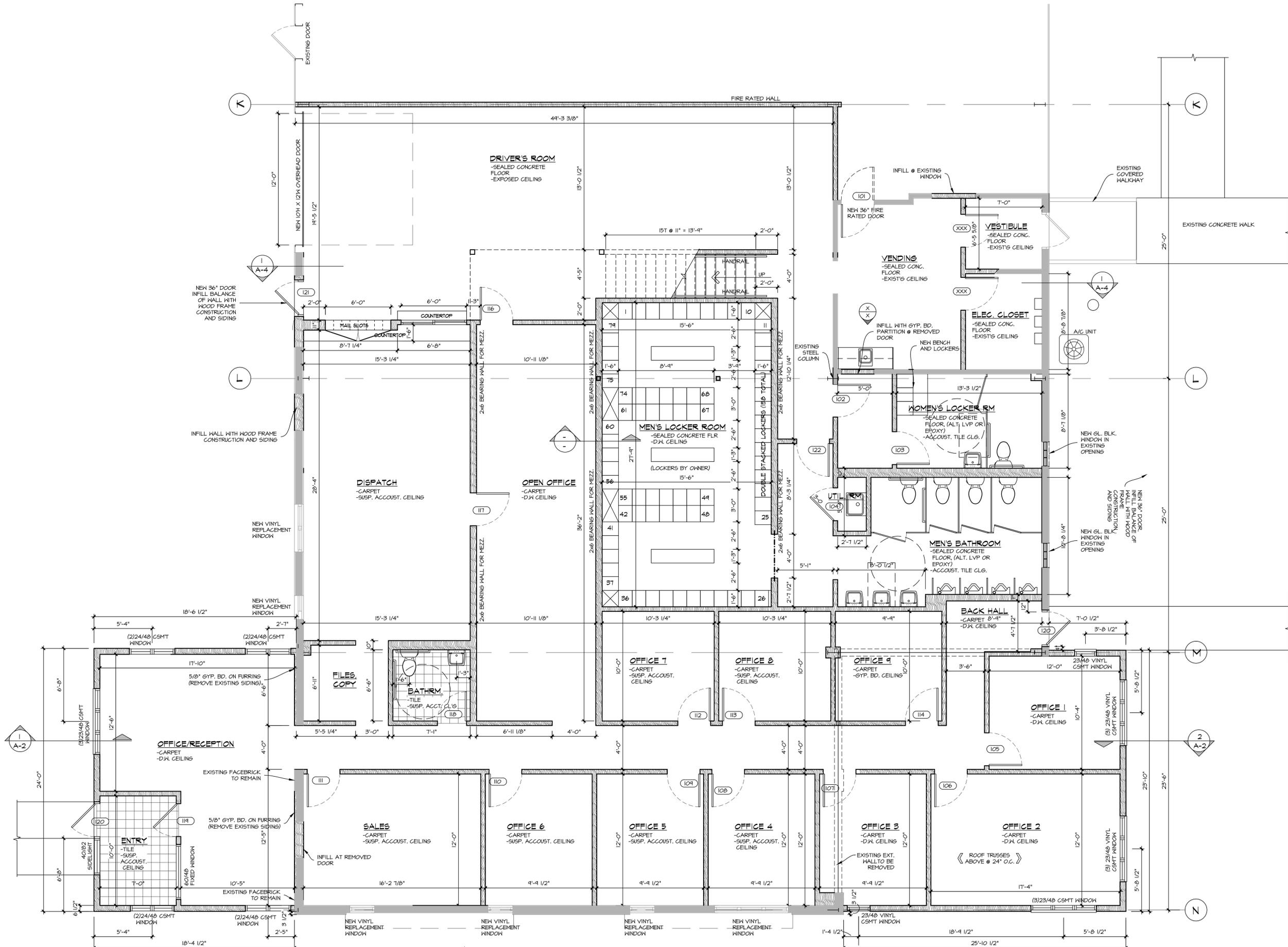


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PROPOSED FIRST FLOOR PLAN NORTH
1/4" = 1'-0"

TOTAL AREA OF REMODEL/ADDITION
(NOT INCLUDING MEZZANINE) - 5,266 SQ. FT.
MEZZANINE - 819 SQ. FT.
NORTH ADDITION - 654 SQ. FT.
SOUTH ADDITION - 448 SQ. FT.



GENERAL NOTE:
*ALL NEW DOORS TO BE 36" *DRYWALL CEILINGS WHERE NEW TRUSSES AND FLOOR FOR MEZZANINE, DROP ACCOUSTICAL TILE WHERE EXISTING CEILING IS ABOVE

ADVANCED DISPOSAL

559 PROGRESS DRIVE
HARTLAND, WI 53029

PROPOSED FOUNDATION PLAN AND FIRST FLOOR PLAN

A-1

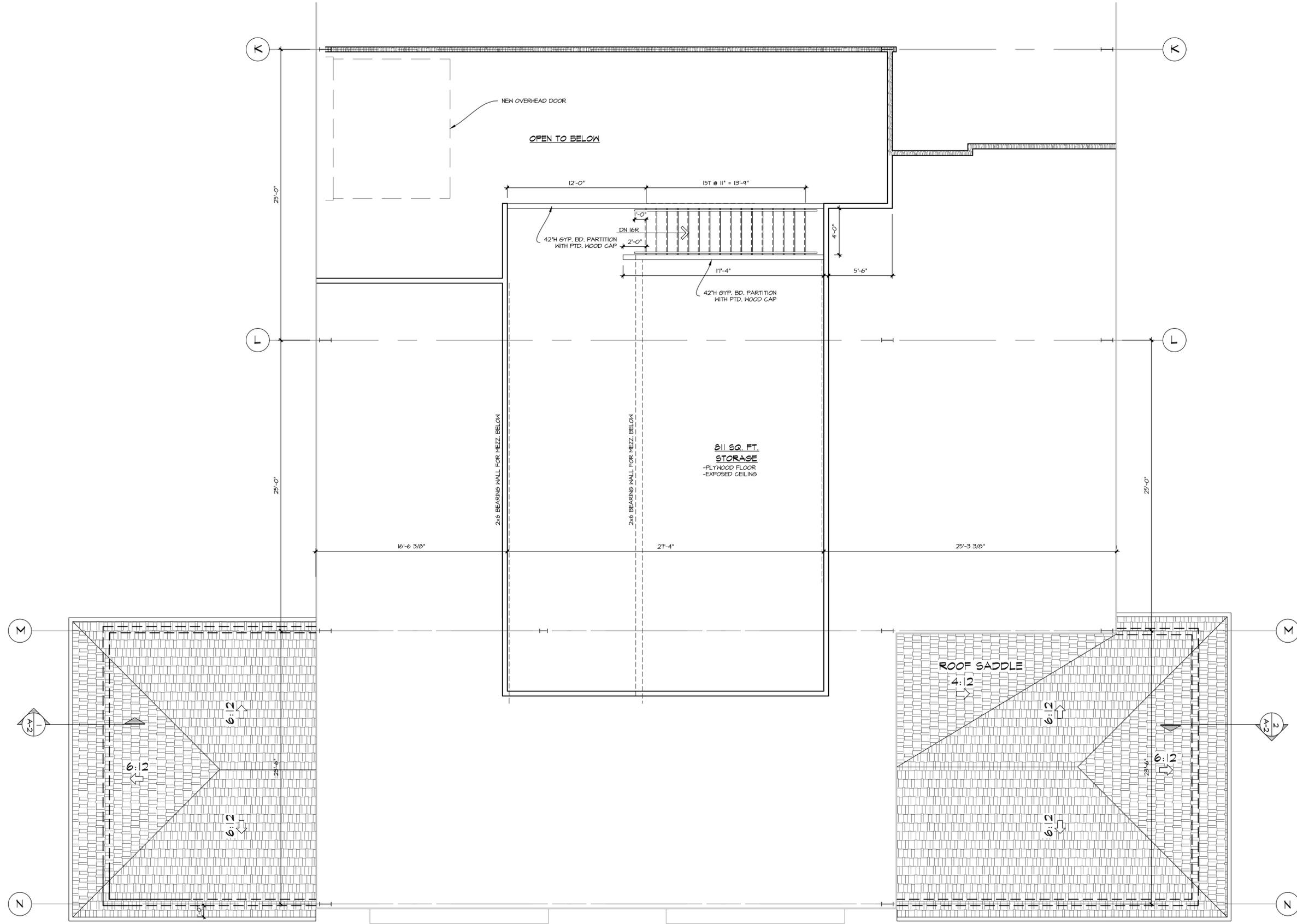
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PROJECT NUMBER: 18-189

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PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0" NORTH

ADVANCED DISPOSAL

559 PROGRESS DRIVE
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PROPOSED SECOND FLOOR PLAN

A-2

DATE: 12.19.2018
 PROJECT NUMBER: 18-189

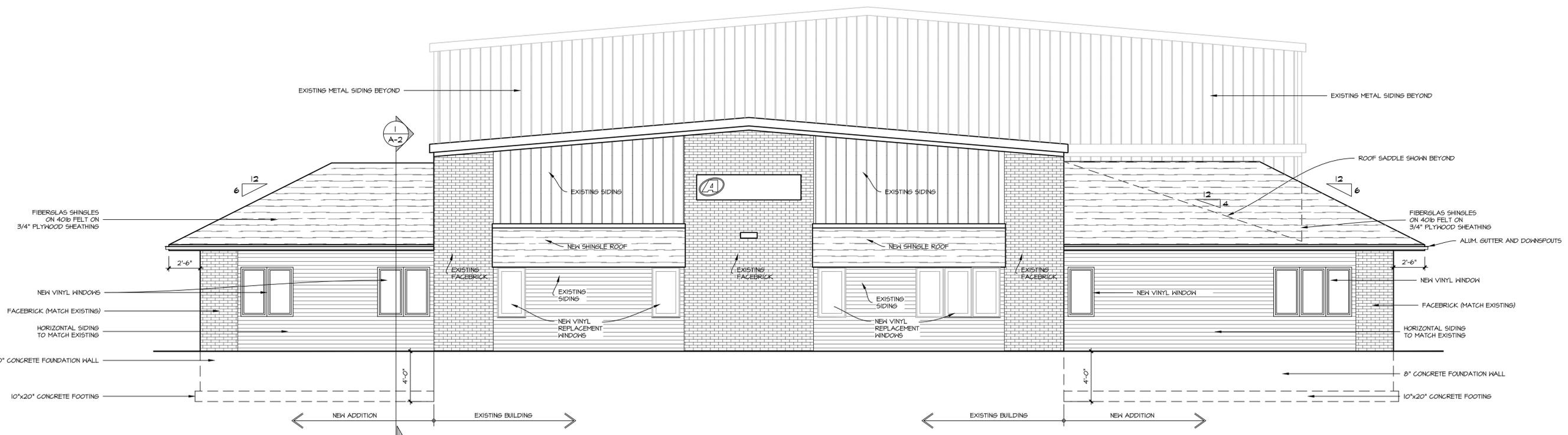
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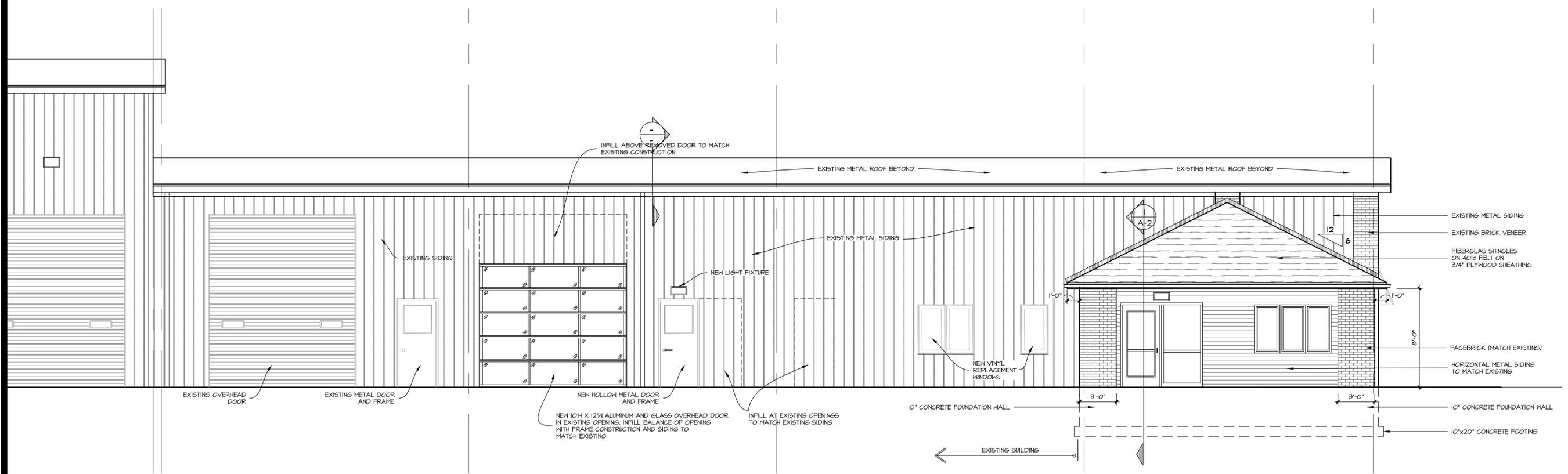


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1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



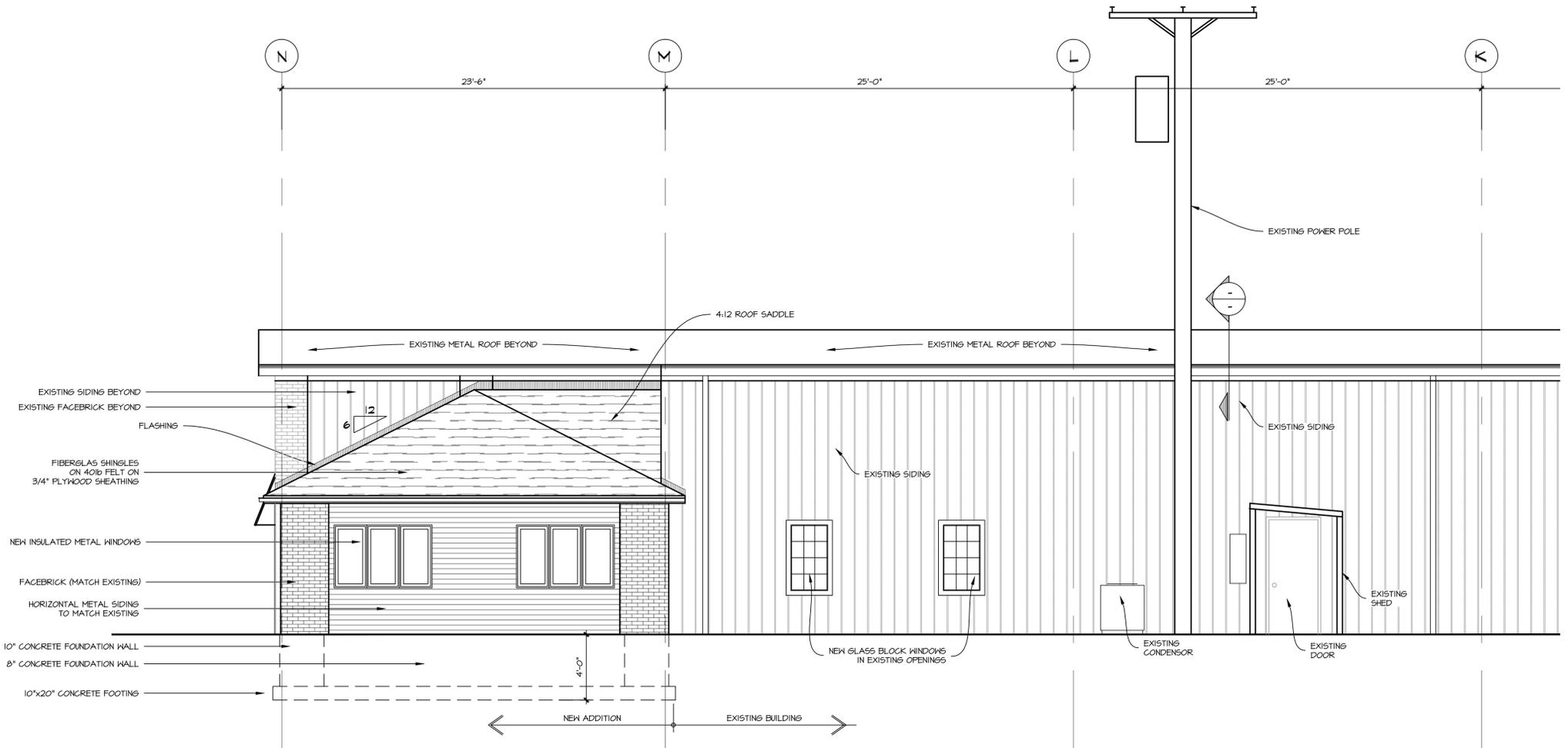
2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



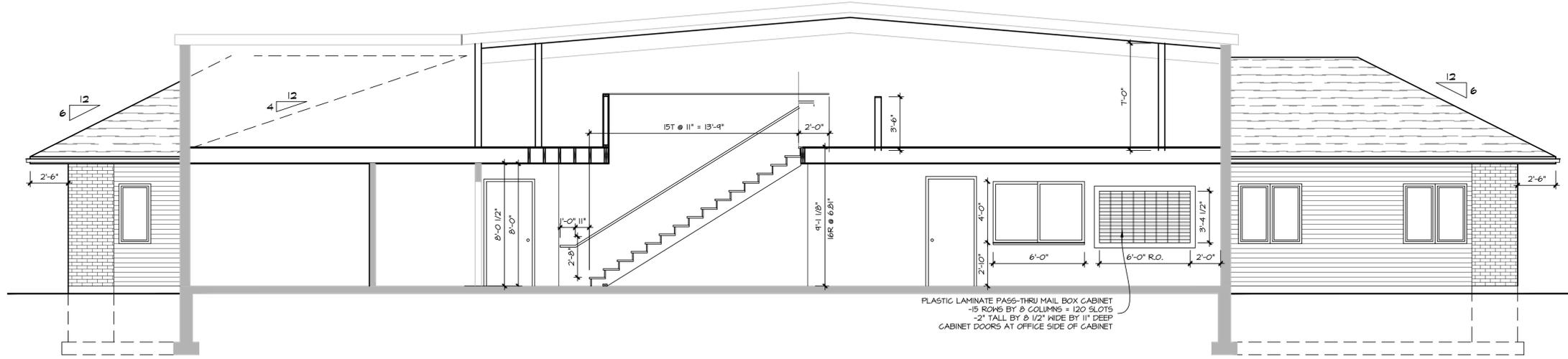
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2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



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MYRA PROPERTIES LLC
1795 LINCOLN PARK CIR
SARASOTA FL 34236

HERAEUS ELECTRO-NITE CO LLC AND
RICHARD A FALK
541 S INDUSTRIAL DR
HARTLAND WI 53029-2323

HM INVESTMENT PARTNERS LLC
581 S INDUSTRIAL DR
HARTLAND WI 53029

MIDWEST SHRC LLC
530 PROGRESS DR
HARTLAND WI 53029-2304

GARDENBOV LLC
13205 W VAN NORMAN AVE
NEW BERLIN WI 53151

MGD INVESTMENTS 2 LLC
1101 W 2ND ST
OCONOMOWOC WI 53066-3401

BUSKE FAMILY LIMITED PARTNERSHIP
PO BOX 116
HARTLAND WI 53029-0116

TROMPLER PROPERTIES LLC
580 S INDUSTRIAL DR
HARTLAND WI 53029-2357

JOHN GEBHARD AND TRUDY GEBHARD
N56W28754 CTH K
HARTLAND WI 53029

JAMES ORDWAY AND KRISTIN ORDWAY
N45W29221 FORSETH DR
HARTLAND WI 53029

SUPERIOR OF WISCONSIN INC AND
EXPERT DISPOSAL SERVICE INC
PO BOX 168
HARTLAND WI 53029-0168

LINDSAY REAL ESTATE HOLDINGS LLC
2222 N 111TH ST
OMAHA NE 68164-3817

MGD INVESTMENTS LLC
1101 W 2ND ST PO BOX 644
OCONOMOWOC WI 53066-0644

SCI INVESTMENT HOLDINGS LLC
540 PROGRESS DR
HARTLAND WI 53029-2304

596 PROGRESS DRIVE LLC
596 PROGRESS DR
HARTLAND WI 53029-2304

S&M RABAY LLC
550 PROGRESS DR
HARTLAND WI 53029-2304

VIRGINIA A SCHREIB AMENDED &
RESTATED TRUST
S87W29868 LEPPIN CT
MUKWONAGO WI 53149-8620

STELLAR V LLC
N28W29721 OAKWOOD GROVE RD
PEWAUKEE WI 53072

LAUDERMILK 710 LLC
710 CARDINAL LN
HARTLAND WI 53029

MGD INVESTMENTS LLC
1101 W SECOND ST
OCONOMOWOC WI 53066

MWE LLC
520 INDUSTRIAL DR
HARTLAND WI 53029-2324

WATERTRONICS PROPERTIES LLC
579 E INDUSTRIAL DR
HARTLAND WI 53029-2323

DBA SANFORD ENTERPRISES
169 HIGHWAY 67 APT A
DOUSMAN WI 53118-9664

ADV LLC
1000 S IMPERIAL DR
HARTLAND WI 53029-2736

MEGAL DEVELOPMENT CORP
12650 W LISBON RD
BROOKFIELD WI 53005-1825

TOLLEFSEN ENTERPRISES LLC
N23W23838 TALON CT
WAUKESHA WI 53188-1829

MISALICO LLC
1204 PILGRIM RD
PLYMOUTH WI 53073-4977

LAKE COUNTRY RACQUET & ATHLETIC
CLUB INC
560 INDUSTRIAL DR PO BOX 76
HARTLAND WI 53029

PROGRESS ENTERPRISES LLC
590B PROGRESS DR
HARTLAND WI 53029

SJAMB LLC AND PSI HOLDINGS LLC
535 S INDUSTRIAL DR
HARTLAND WI 53029-2323



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot 1	Block 7	Subdivision	Key No. HAV 0725999006
Owner Craig Eisenhut			Phone 262-719-6650
Address N46 W29096 E Capitol Dr		City Hartland	State WI Zip 53029
Contractor TurnKeyHome.com	Phone 262-662-5570	E-Mail Address Judy.Kreyer@turnkeyhome.com	
Address 7402 Poplar Circle		City Waterford	State WI Zip 53185

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

Wisconsin Division of Safety and Buildings Wisconsin Stats. 101.63, 101.73	WISCONSIN UNIFORM BUILDING PERMIT APPLICATION	Application No. Parcel No. <u>0725999006</u>
Instructions on back of second ply. The information you provide may be used by other government agency programs [(Privacy Law, s. 15.04 (1)(m))]		

PERMIT REQUESTED Constr. HVAC Electric Plumbing Erosion Control Other:

Owner's Name <u>Craig Eisenhul</u>	Mailing Address <u>N46 W29096 E. Capitol Dr. Hartland, WI 53029</u>	Tel. <u>262-719-6650</u>
Contractor's Name: <input checked="" type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg <u>TurnKeyHome.com</u> <u>Div. of Creative Horizons, Inc.</u>	Lic/Cert# <u>2553</u>	Mailing Address <u>7402 Poplar Circle</u> <u>Waterford, WI 53185</u>
Contractor's Name: <input type="checkbox"/> Con <input checked="" type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg <u>Brinks Electric</u>	Lic/Cert# <u>141527</u>	Mailing Address <u>W309 S8686 Greenview Dr.</u> <u>Wauwatosa, WI 53149</u>
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input checked="" type="checkbox"/> HVAC <input type="checkbox"/> Plbg <u>Competitive Heating & A/C</u>	Lic/Cert# <u>1049584</u>	Mailing Address <u>820 Forrest Lane</u> <u>Waterford, WI 53185</u>
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input checked="" type="checkbox"/> Plbg <u>Joe's Plumbing</u>	Lic/Cert# <u>639961</u>	Mailing Address <u>N9153 Deer Path Rd.</u> <u>East Troy, WI 53120</u>

PROJECT LOCATION Lot area 3442.4 Sq.ft. One acre or more of soil will be disturbed NE 1/4, NE 1/4, of Section 2, T 7, R 18 (or) W

Building Address E. Capitol Dr. Subdivision Name _____ Lot No. 1 Block No. _____

Zoning District(s) _____ Zoning Permit No. _____ Setbacks: Front 40 ft. Rear 160.40 ft. Left 25.45 ft. Right 25.45 ft.

1. PROJECT <input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Other: <input type="checkbox"/> Repair <input type="checkbox"/> Raze <input type="checkbox"/> Move	3. OCCUPANCY <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input checked="" type="checkbox"/> Garage <input type="checkbox"/> Other:	6. ELECTRIC Entrance Panel Amps: <u>200</u> <input checked="" type="checkbox"/> Underground <input type="checkbox"/> Overhead 7. FOUNDATION <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Treated Wood <input type="checkbox"/> Other:	9. HVAC EQUIP. <input checked="" type="checkbox"/> Furnace <input type="checkbox"/> Radiant Basebd <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Fireplace <input type="checkbox"/> Other: 10. SEWER <input type="checkbox"/> Municipal <input checked="" type="checkbox"/> Sanitary Permit# _____	12. ENERGY SOURCE <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>Fuel</td><td>Nat Gas</td><td>LP</td><td>Oil</td><td>Elec</td><td>Solid</td><td>Solar</td></tr> <tr><td>Space Htg</td><td><input checked="" type="checkbox"/></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>Water Htg</td><td><input checked="" type="checkbox"/></td><td></td><td></td><td></td><td></td><td></td></tr> </table> <input type="checkbox"/> Dwelling unit has 3 kilowatt or more in electric space heating equipment capacity. 13. HEAT LOSS _____ BTU/HR Total Calculated Envelope and Infiltration Losses ("Maximum Allowable Heating Equipment Output" on Energy Worksheet; "Total Building Heating Load" on Rescheck report)	Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar	Space Htg	<input checked="" type="checkbox"/>						Water Htg	<input checked="" type="checkbox"/>					
Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar																			
Space Htg	<input checked="" type="checkbox"/>																								
Water Htg	<input checked="" type="checkbox"/>																								
2. AREA INVOLVED (sq ft) <table border="1" style="width:100%; border-collapse: collapse;"> <tr><th>Unit 1</th><th>Unit 2</th><th>Total</th></tr> <tr><td>Unfin. Bsmt</td><td></td><td></td></tr> <tr><td>Living Area</td><td></td><td></td></tr> <tr><td>Garage</td><td></td><td></td></tr> <tr><td>Deck</td><td></td><td></td></tr> <tr><td>Totals</td><td></td><td></td></tr> </table>	Unit 1	Unit 2	Total	Unfin. Bsmt			Living Area			Garage			Deck			Totals			4. CONST. TYPE <input type="checkbox"/> Site-Built <input checked="" type="checkbox"/> Mfd. per WI UDC <input type="checkbox"/> Mfd. per US HUD 5. STORIES <input checked="" type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other: <input checked="" type="checkbox"/> Plus Basement	8. USE <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Other:	11. WATER <input type="checkbox"/> Municipal <input checked="" type="checkbox"/> On-Site Well	14. EST. BUILDING COST w/o LAND \$ _____			
Unit 1	Unit 2	Total																							
Unfin. Bsmt																									
Living Area																									
Garage																									
Deck																									
Totals																									

I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of the last ply. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

APPLICANT'S SIGNATURE [Signature] **DATE SIGNED** 02.11.19

APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. See attached for conditions of approval.

ISSUING JURISDICTION Town of Village of City of County of State → State-Contracted Inspection Agency#: _____ Municipality Number of Dwelling Location _____

FEES: Plan Review \$ _____ Inspection \$ _____ Wis. Permit Seal \$ _____ Other \$ _____	PERMIT(S) ISSUED <input type="checkbox"/> Construction <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Erosion Control	WIS PERMIT SEAL # _____	PERMIT ISSUED BY: Name _____ Date _____ Tel. _____
--	---	--------------------------------	---

02/11/19



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Custom Designs - Second Stories - Lake Homes**



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SHIRE WOODS

Joe & Sue Ciesielczyk

Drawn By: JJK

Scale: 3/16" = 1'-0"

Date: 11/0218

Revised: 02/11/19

DIV OF CREATIVE HORIZONS, INC.
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Ben Lucas BML.ackas@gmail.com 920-904-2132
Chris Cook inmybook@yahoo.com, 262-719-9274



BUILDER CREDENTIALS: DDC ID 2553, DCQC ID 10077, Milwaukee HICN-0196489, MH Lic 12566831



ROAD FRONT FACING SOUTH



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SHIRE WOODS

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REAR FACING NORTH



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ROAD LEFT FACING WEST



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SHIRE WOODS

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ROAD RIGHT



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SHIRE WOODS

Joe & Sue Ciesielczyk

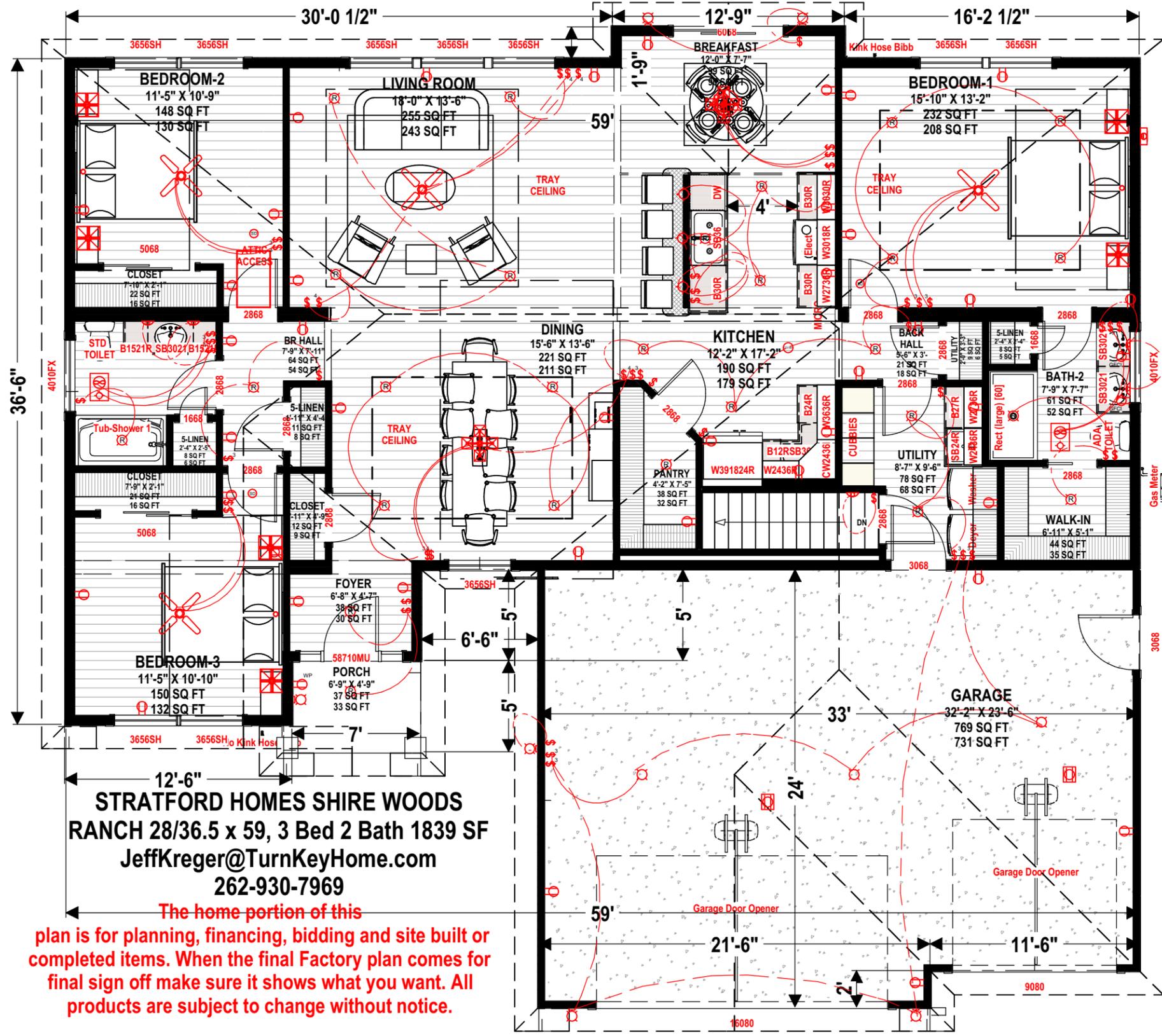
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STRATFORD HOMES SHIRE WOODS
RANCH 28/36.5 x 59, 3 Bed 2 Bath 1839 SF
 JeffKreger@TurnKeyHome.com
 262-930-7969

The home portion of this plan is for planning, financing, bidding and site built or completed items. When the final Factory plan comes for final sign off make sure it shows what you want. All products are subject to change without notice.

1ST FLOOR....5/32 SCALE

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SHIRE WOODS

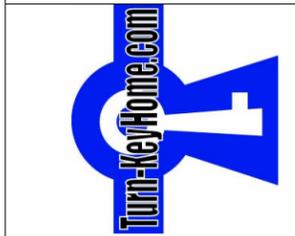
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1ST FLOOR....OVERVIEW-1



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1ST FLOOR....OVERVIEW-2



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SHIRE WOODS

Joe & Sue Ciesielczyk
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SHIRE WOODS

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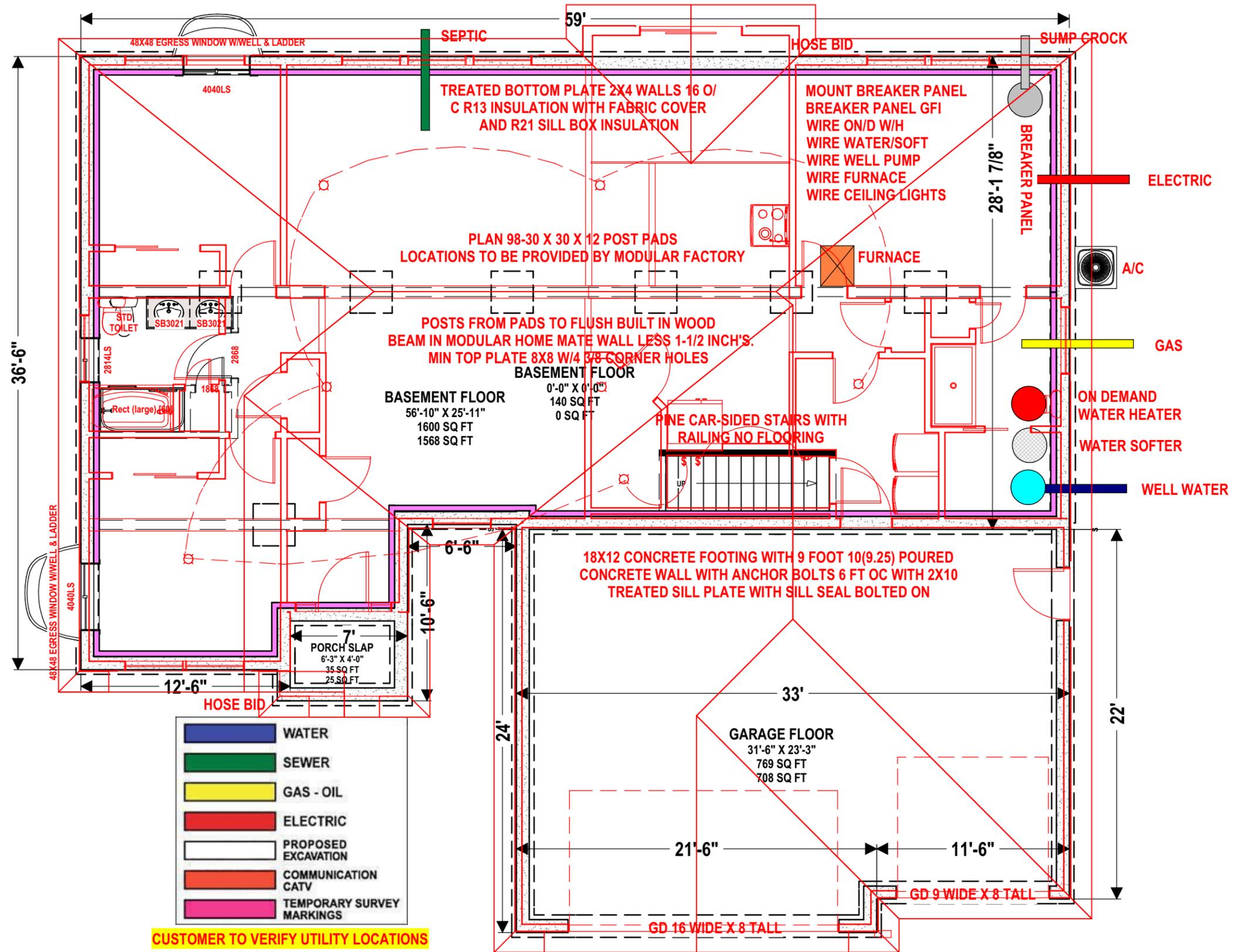
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1ST FLOOR OVER FOUNDATION...5/32 SCALE

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 Chris Cook inmybook@yahoo.com, 262-719-9274



BUILDER CREDENTIALS: DDC ID 2553, DCQC ID 10077, Milwaukee HICN-0196489, MH Lic 12566831

MODULAR HOME:
Designed, Engineered & Inspected by 3rd Party
Inspectors Licensed and approved by the State of
Wisconsin

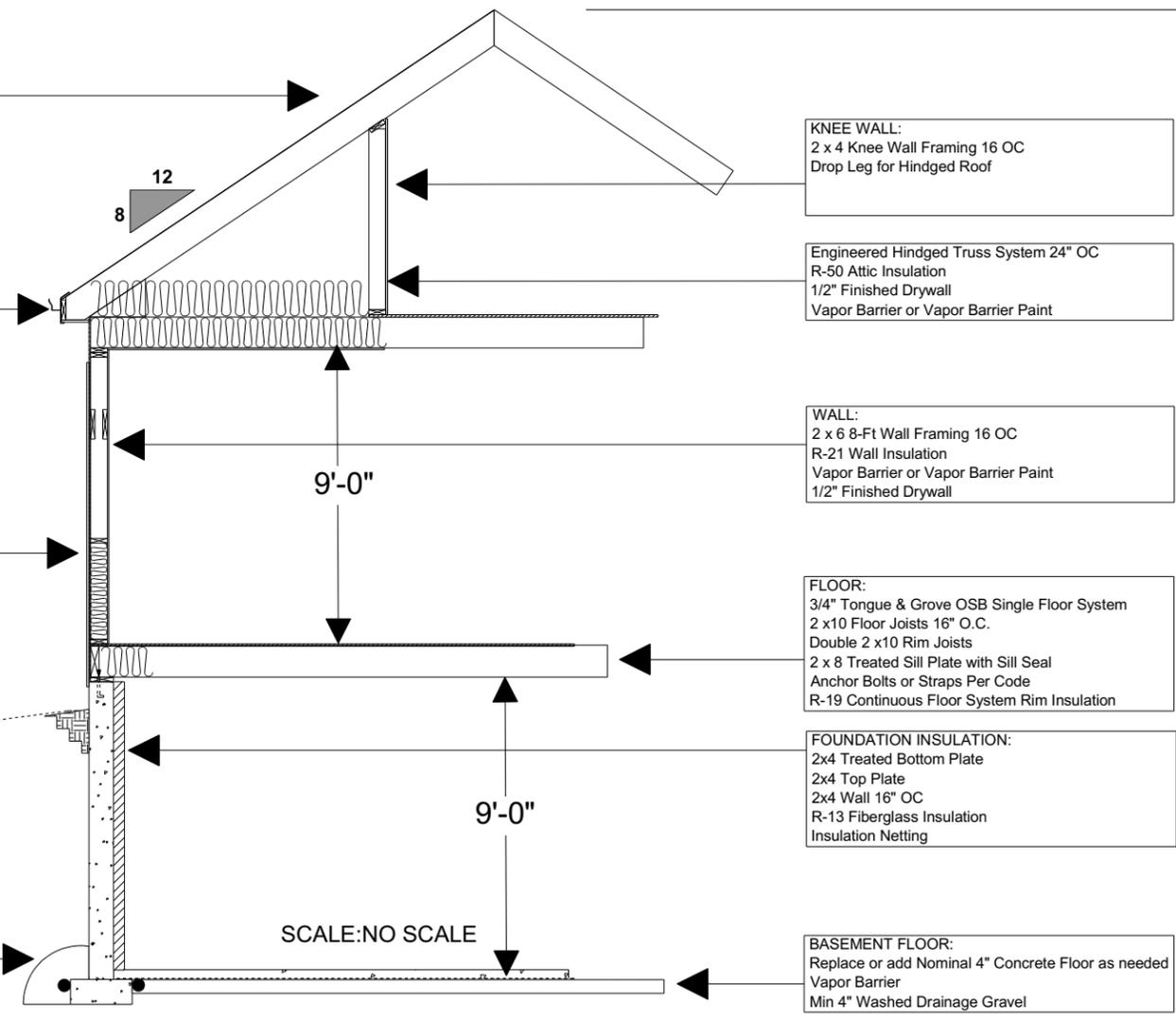
ROOF:
Engineered Energy Heel Attic Truss System 24" OC
7/16 Continuous Roof Sheeting with Clips
Min 1 Row Eave Ice & Water Shield
Min 1 Row Valley Ice & Water Shield
Min Ice & Water Shield around all Penetrations
Balance of roof 15# Felt
30yr Textured Shingles
Continuous Shingled Ridge Vent

OVERHANG:
14" Eave & 2" Gable Overhang
2 x 6 Sub Fascia
Aluminum Drip Edge
Aluminum Fascia
Vented Vinyl Soffit
5" Continuous Aluminum Seamless Gutters
4x3" Downspouts with Tip Up Ends

EXTERIOR WALL:
8" Double 4 1/2 Dutch Lap Vinyl Siding
House Wrap
7/16 Solid OSB Sheeting
2 x 6 Exterior 8-0 Wall Framing 16" O.C.
2 x 6 Double Top Plate
2 x 6 Single Bottom Plate
Door & Window Headers to Code

GRADE:
Min 8" Below Top Of Wall
Min 1/4" Pitch For Drainage
Per Drainage Plan

FOUNDATION WALL:
8" X 8" Poured Concrete wall as needed
Interior & Exterior Drain Tile with Bleeders
Or Form-A-Drain
Sump Crock Pit & Pump existing
Min 18" Washed Drainage Stone
Min 18 x 8 Concrete Footing



KNEE WALL:
2 x 4 Knee Wall Framing 16 OC
Drop Leg for Hinged Roof

Engineered Hinged Truss System 24" OC
R-50 Attic Insulation
1/2" Finished Drywall
Vapor Barrier or Vapor Barrier Paint

WALL:
2 x 6 8-Ft Wall Framing 16 OC
R-21 Wall Insulation
Vapor Barrier or Vapor Barrier Paint
1/2" Finished Drywall

FLOOR:
3/4" Tongue & Groove OSB Single Floor System
2 x10 Floor Joists 16" O.C.
Double 2 x10 Rim Joists
2 x 8 Treated Sill Plate with Sill Seal
Anchor Bolts or Straps Per Code
R-19 Continuous Floor System Rim Insulation

FOUNDATION INSULATION:
2x4 Treated Bottom Plate
2x4 Top Plate
2x4 Wall 16" OC
R-13 Fiberglass Insulation
Insulation Netting

BASEMENT FLOOR:
Replace or add Nominal 4" Concrete Floor as needed
Vapor Barrier
Min 4" Washed Drainage Gravel

YARD GRADE
TO
ROOF RIDGE
18'-9"

Modular Ranch Home on Full Foundation

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Chris Cook inmynook@yahoo.com, 262-719-9274





TaxKey: HAV 0725999006 > ...

[Link to Tax File](#)

Mapped Acreage: 3.0084

Property Address: NOT ASSIGNED

Owner and Mailing Address:
 CRAIG A EISENHUT AND AMY S EISEN HUT
 N46W29096 E CAPITOL DR
 HARTLAND WI 53029-2243

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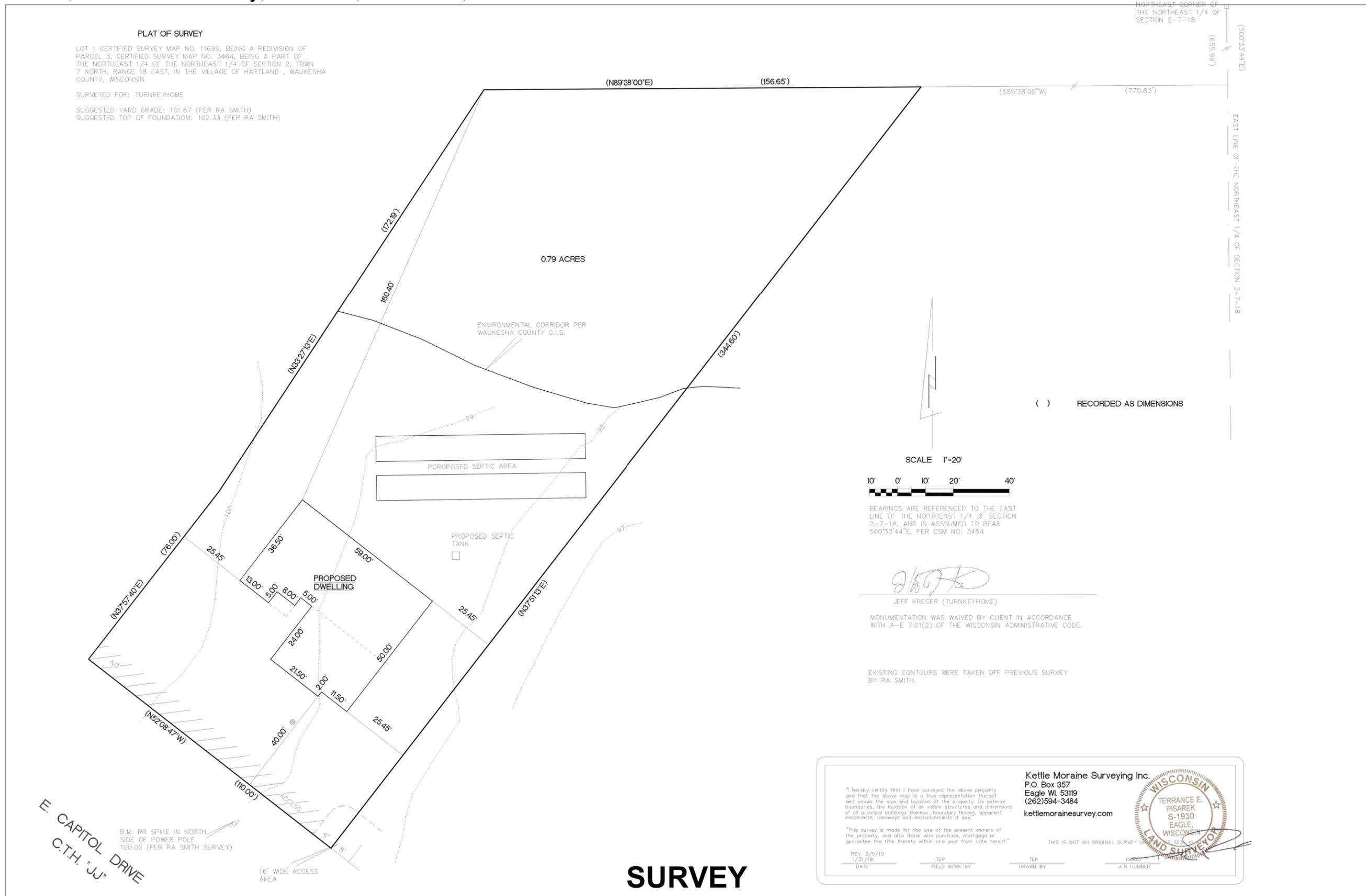
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Waukesha County GIS Overview

BUILDER CREDENTIALS: DDC ID 2553, DCQC ID 10077, Milwaukee HICN-0196489, MH Lic 12566831

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"I hereby certify that I have surveyed the above property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments if any."

"This survey is made for the use of the present owners of the property, and also those who purchase, mortgage or guarantee the title thereto within one year from date hereof."

REV. 2/5/19
DATE

TEP
FIELD WORK BY

TEP
DRAWN BY

1995
JOB NUMBER

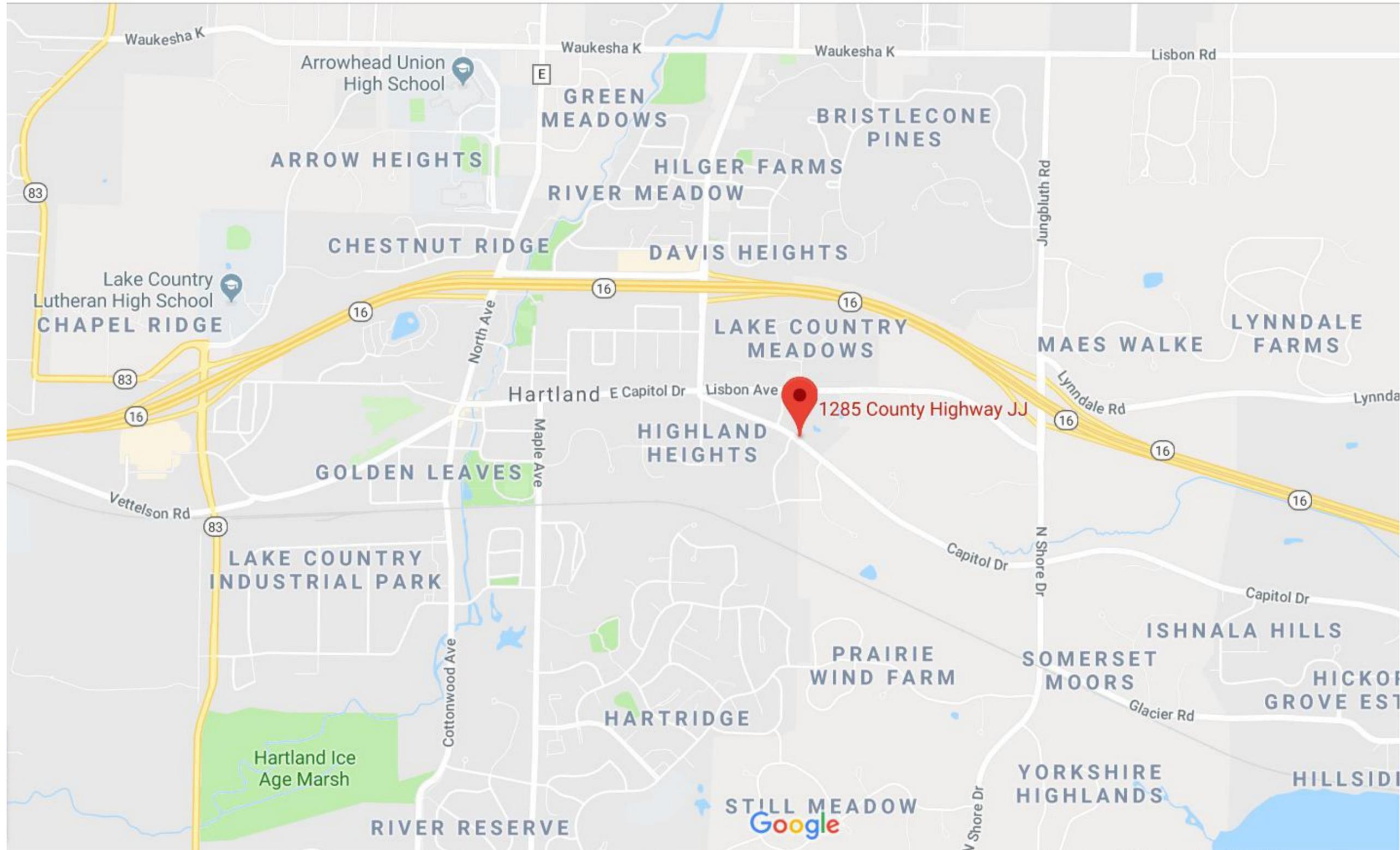
Kettle Moraine Surveying Inc.
P.O. Box 357
Eagle WI 53119
(262)594-3484
kettlemorainesurvey.com

TERRANCE E. PISAREK
S-1930
EAGLE, WISCONSIN
LAND SURVEYOR

THIS IS NOT AN ORIGINAL SURVEY



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AREA MAP

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SHIRE WOODS

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CUSTOMER: Craig Eisenhut, E Capital Dr, Hartland, WI 53029, 262-719-6650, Eisenstein69@Yahoo.com SITE: Was 1285 E Capitol Dr or Hwy JJ, Village of Hartland, Waukesha County, Hartland, WI 53029, Parcel 0725999006

02/11/19



To Right of 1285 E Capitol Dr or Hwy JJ Village of Hartland, WI



3 Los, Need shared drive, septic, well, underground electric and gas



SITE PICTURES TO BE ADDED

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Project Managers
 Rob Turfle, RKTurf@gmail.com, 414-793-6683
 Tom, TSwendrowski@hotmail.com, 262-758-0311
 Ben Lucas BML.ackas@gmail.com 920-904-2132
 Chris Cook inmybook@yahoo.com, 262-719-9274



BUILDER CREDENTIALS: DDC ID 2553, DCQC ID 10077, Milwaukee HICN-0196489, MH Lic 12566831

BUILDING INSPECTOR: Scott Hussinger, Village of Hartland, 262-490-8222, Scotth@villageofhartland.com, 210 Cottonwood Ave, Hartland, WI, 53029, Village Hall 262-367-4744

WAUKESHA COUNTY NO. 607495
STATE SANITARY PERMIT

TRANSFER/RENEWAL PREVIOUS NO. _____

OWNER Craig Eisenhut

PLUMBER Michael McBride LIC. # 225034

TOWN OF Village of Hartland

SEC 2, T 7 N, R 18 E/W

AND/OR LOT _____ BLOCK _____

SUBDIVISION _____

Michael Radonka AUTHORIZED ISSUING OFFICER – DATE 7/12/2018

THIS PERMIT EXPIRES 7/12/2020 UNLESS RENEWED BEFORE THAT DATE

POST IN PLAIN VIEW

VISIBLE FROM THE ROAD FRONTING THE LOT DURING CONSTRUCTION

SBD-06499 (R. 10/11)

CHAPTER 145.135 (2) WISCONSIN STATUTES
(a) The purpose of the sanitary permit is to allow installation of the private sewage system described in the permit.
(b) The approval of the sanitary permit is based on regulations in force on the date of approval.
(c) The sanitary permit is valid and may be renewed for a specified period.
(d) Changed regulations will not impair the validity of a sanitary permit.
(e) Renewal of the sanitary permit will be based on regulations in force at the time renewal is sought, and that changed regulations may impede renewal.
(f) The sanitary permit is transferable.
History: 1977 c. 168; 1979 c. 34,221; 1981 c. 314
Note: If you wish to renew the permit, or transfer ownership of the permit, please contact the county authority.

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SHIRE WOODS
Joe & Sue Ciesielczyk
Drawn By: JJK
Scale: 3/16" = 1'-0"
Date: 11/0218
Revised: 02/11/19

DIV OF CREATIVE HORIZONS, INC.
7402 Poplar Circle, Waterford, WI 53185-1834
OFFICE-----EXPEDITE-----APPOINTMENTS
JudyKreger@TurnKeyHome.com 262-662-5570
LauraHammler@TurnKeyHome.com 262-208-6734
DESIGN SALES
JeffKreger@TurnKeyHome.com, 262-930-7969
Project Managers
Rob Turfle, RKTurfl@mail.com, 414-793-6683
Tom, TSwendrowski@hotmail.com, 262-758-0311
Ben Lucas BML.ackas@gmail.com 920-904-2132
Chris Cook inmybook@yahoo.com, 262-719-9274



BUILDER CREDENTIALS: DDC ID 2553, DCQC ID 10077, Milwaukee HICN-0196489, MH Lic 12566831

PLAT OF SURVEY

LOT 1 CERTIFIED SURVEY MAP NO. 11699, BEING A REDIVISION OF PARCEL 3, CERTIFIED SURVEY MAP NO. 3464, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWN 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

SURVEYED FOR: TURNKEYHOME

SUGGESTED YARD GRADE: 101.67 (PER RA SMITH)
SUGGESTED TOP OF FOUNDATION: 102.33 (PER RA SMITH)

NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 2-7-18

(S00°33'44"E)
(655.99')

EAST LINE OF THE NORTHEAST 1/4 OF SECTION 2-7-18

(N89°38'00"E)

(156.65')

(S89°38'00"W)

(770.83')

0.79 ACRES

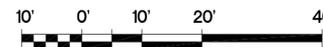
ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY G.I.S.

PROPOSED SEPTIC AREA

PROPOSED SEPTIC TANK

PROPOSED DWELLING

SCALE 1"=20'



BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 2-7-18, AND IS ASSUMED TO BEAR S00°33'44"E, PER CSM NO. 3464

() RECORDED AS DIMENSIONS

Jeff Kregar

JEFF KREGAR (TURNKEYHOME)

MONUMENTATION WAS WAIVED BY CLIENT IN ACCORDANCE WITH A-E 7.01(2) OF THE WISCONSIN ADMINISTRATIVE CODE.

EXISTING CONTOURS WERE TAKEN OFF PREVIOUS SURVEY BY RA SMITH.

E. CAPITOL DRIVE
C.T.H. "JJ"

B.M. RR SPIKE IN NORTH SIDE OF POWER POLE 100.00 (PER RA SMITH SURVEY)

16' WIDE ACCESS AREA

Kettle Moraine Surveying Inc.
P.O. Box 357
Eagle WI. 53119
(262)594-3484
kettlemorainesurveying.com



"I hereby certify that I have surveyed the above property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments if any."

"This survey is made for the use of the present owners of the property, and also those who purchase, mortgage or guarantee the title thereto within one year from date hereof."

THIS IS NOT AN ORIGINAL SURVEY COPY

REV. 2/5/19
1/31/19
DATE

TEP
FIELD WORK BY

TEP
DRAWN BY

19005
JOB NUMBER

WILLIAM ANDERSON & S ANDERSON
N47W29095 COUNTY ROAD JK
HARTLAND WI 53029-2353

SHAWN BRUNNER
N46W29247 CAPITOL DR
HARTLAND WI 53029-2246

THOMAS W & SHARYN K SCHMIDT
230 RUSTIC LN
HARTLAND WI 53029-2288

GLEN & JOY KULKOSKI
W291N4616 TOLBERT LN
HARTLAND WI 53029

JAMES WATERS AND CYNTHIA WATERS
W291N4651 TOLBERT LN
HARTLAND WI 53029

MICHAEL J O'SHEA
107 BLUE RIDGE CT
HARTLAND WI 53029-1830

JOHN BIEVER AND J BIEVER
N46W29180 CAPITOL DR
HARTLAND WI 53029

ROLAND & D NIEMETSCHKE
N47W29111 COUNTY ROAD JK
HARTLAND WI 53029-2352

MARC A & JENNIFER R CHAPEL
108 BLUE RIDGE CT
HARTLAND WI 53029-1830

WILLIAM B HUSSEL
1301 LISBON AVE
HARTLAND WI 53029-2298

CHRISTOPHER D & REBECCA J CABLE-
NELSON
1270 E CAPITOL DR
HARTLAND WI 53029-2218



PETITION FOR CONDITIONAL USE

\$150 REVIEW FEE DUE AT TIME OF APPLICATION PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner <i>MSI General Corp / Piggy Wiggly</i>	
Business Name <i>Honeyann Farms & Genesee Lake School</i>	
Business Owner <i>Genesee Lake School / ODTA</i>	
Address <i>34100 Genesee Lake Rd. Ocon.</i>	
Contact Person <i>Cathy Masill</i>	Phone <i>414-581-4532</i>
Key No. HAV	Email <i>Cathy.Masill@genesee.lake.school.com</i>

The Plan Commission meets on the third Monday of the month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

<i>Temporary spring flower hut.</i>
<i>Selling flowers from April to June.</i>

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature <i>Cathy Masill</i>
Print Name <i>Cathy Masill</i> Date <i>1/14/19</i>

OFFICE USE ONLY:

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------



Homegrown Farms
at Genesee Lake School

January 9th, 2019

Plan of Operation:

Temporary retail flower hut:

Location: 550 Cottonwood Ave. Hartland, Wis. in the Piggly Wiggly Parking Lot.

Opening day will be approx. April 26th, 2019, weather permitting; it will run until the end of June. We will need two days to put the structure prior to opening. We will be opening Monday through Sunday 8:30-6pm. We operate with approx. 6 employees, one during the morning hours and 1 in the afternoon, double coverage on weekends. We will have vocational students helping out occasionally during the morning hours along with their vocational job coach.

We will handle the electrical and garbage needs.

We rent the unit to use the fire hydrant close to the retail hut.

Signage: Our sign with our name will be attached to the hut, which measures 21/36" in length.

We will also have a sandwich board that will be located close to the location.

If there are any questions or concerns, you can reach me at either of the numbers listed below.

Thank you,

Cathy Magill

Greenhouse: #262-569-5531

Cell: #414-581-4532

Temporary retail flower hut

Proposed Use 2019

Measurements: 21' x 48' (Picture enclosed)

Frame: 2"x14" galvanized steel tubing

Sides: 5' high clear polycarbonate

End wall: Clear or white 6mil UVI treated polyethylene plastic

Outside fencing: Garden timbers with cement blocks along parking lot edge and in front.

Signage:

There will be a sign in front with our name Homegrown Farms

@Genesee Lake School

This measures 33" x3'

We will also display a sandwich board listing today's specials

Electrical/Garbage:

We will be responsible for the removal of all garbage. We will use the water from the fire hydrant east of the hut, which we lease through the city.

The cash register is powered by a battery.

No electrical power is needed.

We will be responsible for the repair of the lawn once we have closed for the season.

Operation:

Operation of the hut would be April 26th 2019 until the end of June.

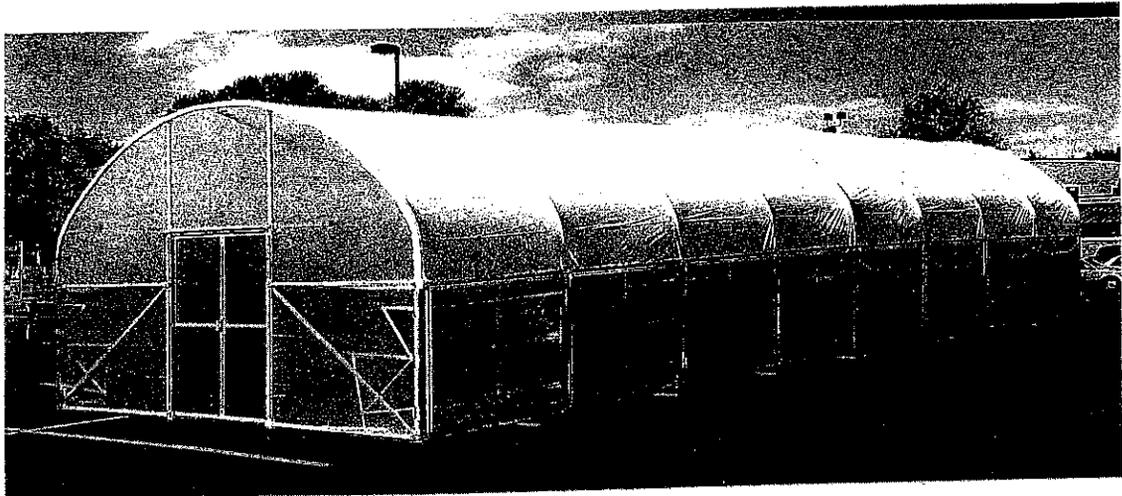
We would be open Monday through Sunday 8am-6pm. Set up will take approx. 1 ½ days prior to opening.

We will operate with approx. 8 employees, one during the morning hours and one in the afternoons and double on weekends. This includes our students and job coaches.

Parking:

Customers will use the normal parking area in the lot. We will not take up any spaces except possibly one directly in front of the opening to enter.





STEPHANIE JEAN MOEBIUS
100 CARDINAL LN
HARTLAND WI 53029-2337

KATHLEEN NOHL
203 HILL ST
HARTLAND WI 53029

RONALD RADMER AND MARY RADMER
174 GRANARY CIR
HARTLAND WI 53029

GARY BURGDORFF AND MARY
BURGDORFF
180 GRANARY CIR
HARTLAND WI 53029

MICHAEL R WHITE REVOCABLE TRUST
OF 1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

CIRCLE J PROPERTIES LLC
PO BOX 131
HARTLAND WI 53029-0131

DARYL D ZIGAN AND JACKIE L ZIGAN
W752 WASHINGTON RD
RUBICON WI 53078

JAMIE B THOMSON 2013 LIVING TRUST
530 COTTONWOOD AVE
HARTLAND WI 53029-2309

RENEE M EVERT-BOOTH
287 CARDINAL LN UNIT 501
HARTLAND WI 53029-2307

THOMAS A WRIGHT AND MICHAEL S
WRIGHT
510 HARTBROOK DR STE 206
HARTLAND WI 53029-2309

BARK RIVER PROPERTIES
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

ROBERT G MORRIS
N1100 NIMM LN
WATERTOWN WI 53098

THOMAS A WRIGHT & MICHAEL S
WRIGHT
510 HARTBROOK DR STE 206
HARTLAND WI 53029-2309

JEFF WOOD AND KATHLEEN WOOD
176 GRANARY CIR
HARTLAND WI 53029

EYE COMMUNICATION SYSTEMS
1823 EXECUTIVE DR
OCONOMOWOC WI 53066-4832

445 CARDINAL LLC
445 CARDINAL LN
HARTLAND WI 53029-2332

DENNIS L KAHN AND JANET M KAHN
N16W27394 RIVERLAND DR
PEWAUKEE WI 53072-5382

SW 2017 1 LLC & J F CLEARCOTTON LLC
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288

BRAD WINNEKINS AND CARY
WINNEKINS
285 CARDINAL LN
HARTLAND WI 53029

DORIS A GORDON REVOCABLE TRUST
293 CARDINAL LN
HARTLAND WI 53029

ROBERT J ANDLER JR
202 CROOKED STICK PASS
NORTH PRAIRIE WI 53153-9622

ICE AGE PARK & TRAIL FOUNDATION
INC
2110 MAIN ST
CROSS PLAINS WI 53529-9596

ROBERT J ANDLER JR
202 CROOKED STICK PASS
NORTH PRAIRIE WI 53153-9622

JOSEPH D HANLEY AND SUSAN M
HANLEY
253 CARDINAL LN
HARTLAND WI 53029

MICHAEL J BUDISCH AND SUSAN M
BUDISCH
196 MARKET LN
HARTLAND WI 53029

MATTHIAS SCHUETH AND ELIZABETH
SCHUETH
178 GRANARY CIR
HARTLAND WI 53029

WAYNE & MARLENE IVERSON TRUST
277 CARDINAL LN
HARTLAND WI 53029

GREG C JESKE AND JEAN M JESKE
267 CARDINAL LN UNIT 304
HARTLAND WI 53029-2307

BERIT A PIETSCH
375 STATE ROAD 67 APT 174C
DOUSMAN WI 53118-9673

JEFF & JOICELYN SCHWAGER TRUST
271 CARDINAL LN
HARTLAND WI 53029

GAIL L LENTZ
295 CARDINAL LN
HARTLAND WI 53029

CHRISTINE SCHIMENZ
273 CARDINAL LN #103
HARTLAND WI 53029

DENNIS SCHULTZ AND MARLENE
SCHULTZ
263 CARDINAL LN UNIT 302
HARTLAND WI 53029-2307

KAREN S COAN
261 CARDINAL LN UNIT 301
HARTLAND WI 53029-2307

SALLY L GERLACH REVOCABLE TRUST
281 CARDINAL LN UNIT 504
HARTLAND WI 53029-2307

JULIE D MILLER
265 CARDINAL LN UNIT 303
HARTLAND WI 53029

RONALD W BOETTCHER
291 CARDINAL LN
HARTLAND WI 53029-2307

LYNDA CROOKE
255 CARDINAL LN
HARTLAND WI 53029-2307

EDWARD & JEANINE MALY TRUST
275 CARDINAL LN
HARTLAND WI 53029

CAROLYN M MERKEL
297 CARDINAL LN
HARTLAND WI 53029-2307

JOHN M & LINDA J CONNELLY JOINT
REVOCABLE TRUST
283 CARDINAL LN UNIT 503
HARTLAND WI 53029-2307

PATRICIA A NUNN AND JOHN C NUNN
251 CARDINAL LN
HARTLAND WI 53029-2307

CONDITIONAL USE PERMIT

**[Homegrown Greenhouse
505 Cottonwood Ave.]**

Document Number

Document Title

THIS CONDITIONAL USE PERMIT is hereby granted this 24th day of February, 2014, by the Village of Hartland (hereinafter Village) to Homegrown Greenhouse/Paragon Industries (hereinafter "Grantee") for the operation of a **temporary retail flower hut** at the property located at 505 Cottonwood Avenue.

RECITALS

WHEREAS, Grantee has applied for a conditional use permit (the "CUP") pursuant to Section 46-847 of the Village of Hartland Code of Ordinances for the operation of a temporary retail flower hut at 505 Cottonwood Avenue, Hartland, Wisconsin, (the "Property") more specifically described as:

**Tax Key No. HAV 0732.996.006
Owned by Bark River Properties
PO Box 223
Oconomowoc, WI 53066**

Recording Area

Name and Return Address
Village of Hartland
210 Cottonwood Ave.
Hartland, WI 53029

Parcel Identification Number
HAV 0732.996.006

WHEREAS, the Property is located in the B-2 Zoning District; and

WHEREAS, Section 46-469 of the Village of Hartland Code of Ordinances provides that Temporary Uses in the B-2 District is a conditional use; and

WHEREAS, Applicant has submitted all information as required under Section 46-847 of the Village of Hartland Code of Ordinances and a Plan of Operation which is attached hereto and incorporated herein; and

WHEREAS, the Village Plan Commission reviewed the subject CUP application and Plan of Operation and held a Public Hearing on February 17, 2014 pursuant to Section 46-848 of the Village of Hartland Code of Ordinances and recommended the following conditions of approval necessary to fulfill the purpose and intent of the Village Code of Ordinances:

1. Compliance with all items in the applicant's "proposed use" description, except that signage shall be reviewed and ultimately approved by the zoning inspector consistent with code standards and associated fees.
2. Maintenance of minimum 15' vision triangles at the entrance to the parking lot and drive connection with Cottonwood Avenue
3. Prohibition of outside storage of materials on the site in the right-of-way
4. Posting of "No Parking" signs on either side of the drive entrance adjacent to the retail hut
5. Site restoration following removal of the retail hut

; and

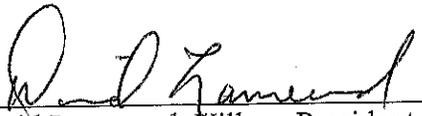
WHEREAS, the Village Board of Trustees has considered the Plan Commission's recommendations and has determined that the proposed conditional use and structure(s) are in accordance with the purpose and intent of Chapter 46 of the Village Code of Ordinances and is found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community.

NOW THEREFORE, the Village Board of Trustees hereby approves the issuance of this conditional use permit to Homegrown Greenhouse/Paragon Industries, 36130 Genesee Lake Rd., Oconomowoc, WI 53066 for the operation of a temporary retail flower hut, at the Property, which conditional use permit shall be subject to the following conditions:

1. The conditional use permit granted hereunder is for the sole benefit of Homegrown Greenhouse/Paragon Industries.
2. The business activities permitted hereunder are limited to retail flower sales.
3. All business activities conducted on the Property shall conform to this CUP and the approved Plan of Operation and the Village of Hartland Code of Ordinances. The approved Plan of Operation is attached hereto and incorporated herein.
4. The foregoing recommended conditions of the Plan Commission are hereby included by reference as if set forth herein.
5. Changes subsequent to the initial issuance of this CUP shall require an amendment to this CUP.
6. This CUP shall terminate upon the occurrence of any of the following:
 - a. Upon Grantee failing to conduct business at the Property in substantial conformity with this CUP or the approved Plan of Operation; or
 - b. Upon the cessation of the operations permitted under this CUP.
7. Notwithstanding the forgoing, this CUP shall expire on February 24, 2019.

This conditional use permit is hereby issued this 24th day of February, 2014 subject to the conditions provided herein.

VILLAGE OF HARTLAND


David Lamerand, Village President


Connie Casper, CMC, Village Clerk



A:30



VILLAGE OF HARTLAND
PETITION FOR:



REZONING

ZONING CODE AMENDMENT

(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

FEE: \$400.00 + \$200 Professional Fee Deposit

Date Filed: <u>2-1-2019</u>	Fee Paid:
	Receipt No.

- Name: Donna M. Kultz
Address of Owner/Agent: 345 Cottonwood Ave., Hartland
(mailing is P.O. Box 505, Hartland)
Phone Number of Owner/Agent: 262-490-2970
FAX No. na E-mail donna.kultz@gmail.com
- State zoning change desired. (Example: From RS-1 (Single Family) to B-1 (Neighborhood Business))
From: Commercial to: RS1 Residential Sgl. family
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use. Currently commercial, intended use is residential, single family
- State present language change code section and proposed language (use additional paper if necessary).
commercial, proposed is residential

Donna M. Kubit
Signature of Petitioner

P.O. Box 505, Hartland
Address

262 490-2970
Phone

NOTE:

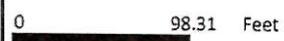
- a. Upon receipt of the petition of rezoning or zoning amendment change, the Plan Commission shall consider the request after the second meeting and make a recommendation to the Village Board. If the Village Board, upon reviewing the Plan Commission's recommendation, determines the request to have merit, it may order publication for a public hearing. After the public hearing held by the Village Board, it will take any action deemed necessary.
- b. Include a Plat Map in triplicate, drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and direction of each boundary thereof, the location of existing buildings and uses of same on such lands. Also, show the proposed building and the plat plans and indicate setbacks and offsets from the lot line. Parking area should also be shown.
- c. Ask for a copy of the Village Ordinance relating to zoning changes.
- d. Include fee payable to **The Village of Hartland**
\$400 for Rezoning + \$200 Professional Fee Deposit
- e. Mail or deliver request, in triplicate, to:

**Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029**



Legend

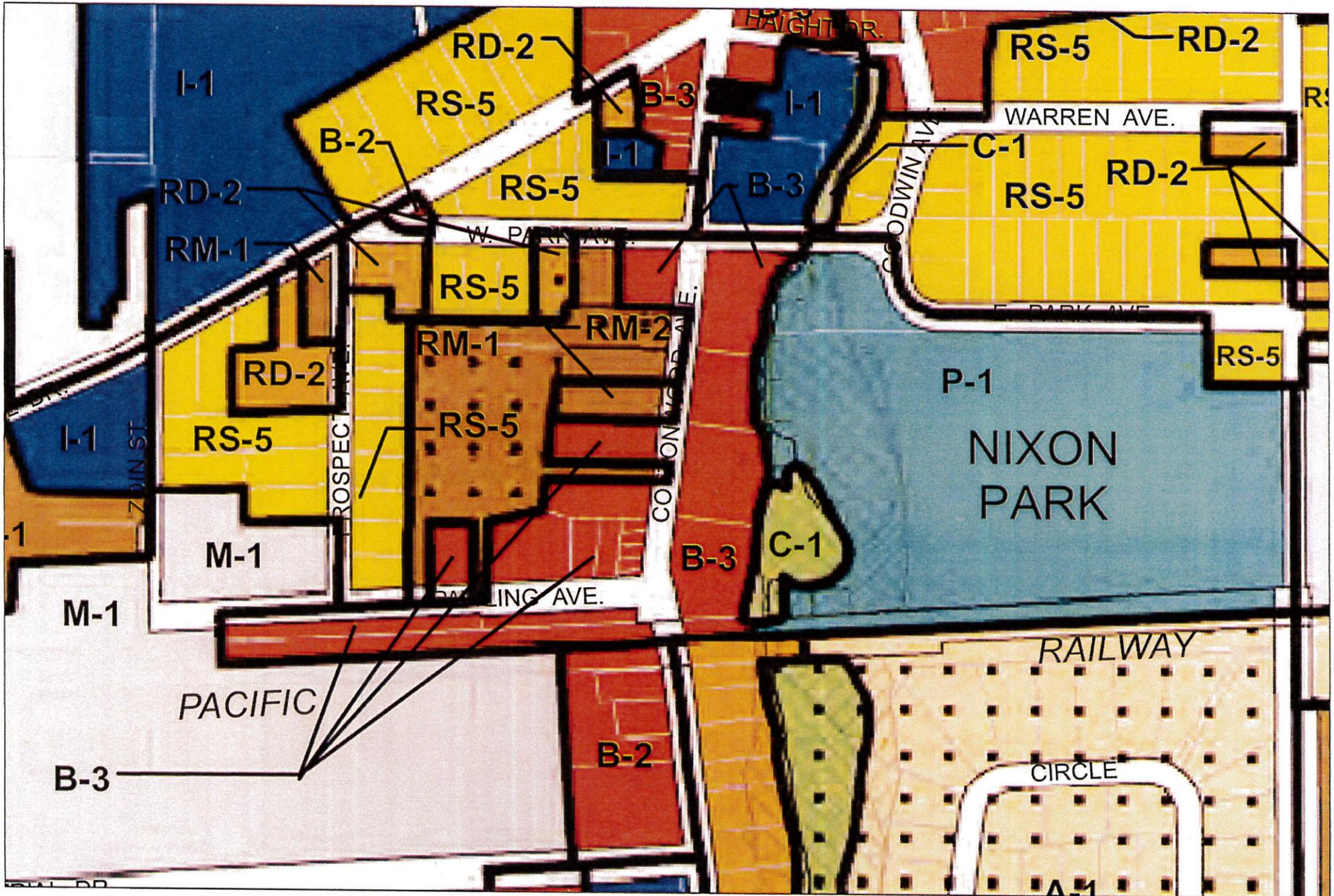
- Parcels
- Retired Parcels
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Lots_2K
 - Lot
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K
 - <all other values>
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
- Road Centerlines_2K
- Railroad_2K
- TaxParcel_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels
- Municipal Boundary_5K
- FacilitySites_5K_Labels
- Waterbodies_5K_Labels
- Waterlines_5K_Labels
- Railroad_5K
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- TaxParcel_5K



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 1/31/2019



ANDREW J FALLON AND KYLE M MILLER
230 PAWLING AVE
HARTLAND WI 53029-2013

NAOMI N SOPKO
213 W CAPITOL DR
HARTLAND WI 53029-2049

ELIZABETH M TOBOLT
W313N9173 HOFF RD
HARTLAND WI 53029

SHAWN M HOPPE
320 PROSPECT AVE
HARTLAND WI 53029-2023

RONALD JAEGER AND ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029

MICHAEL J HORVATH
205 W PARK AVE
HARTLAND WI 53029

DAVID JAMBRETZ AND SUSAN
JAMBRETZ
338 PROSPECT AVE
HARTLAND WI 53029

LEROY HUNDLEY
W289S2547 COUNTY ROAD DT
WAUKESHA WI 53188-9210

CYNTHIA M BROWN
243 W CAPITOL DR
HARTLAND WI 53029

HARMANN RENTALS LLC
W320N9189 HIGHWAY 83
HARTLAND WI 53029-9737

HARTLAND STATION LLC
249 PAWLING AVE
HARTLAND WI 53029-2052

JRT INVESTMENTS LLC
W354N5095 ROAD T
OCONOMOWOC WI 53066

ROBERT J & SUSAN L KOSANKE 2007
LIVING TRUST
237 W PARK AVE
HARTLAND WI 53029

ROBERT F KALKE JR
370 PROSPECT AVE
HARTLAND WI 53029

DANIEL R SMITH JR
248 PAWLING AVE
HARTLAND WI 53029

KELLY NORDBY
221 COTTONWOOD AVE
HARTLAND WI 53029

ANDREW J SALOMONE
337 PROSPECT AVE
HARTLAND WI 53029-2022

HOGGERS PUB PROPERTIES LLC
335 COTTONWOOD AVE
HARTLAND WI 53029-2010

JOSEPH D FLANIGAN AND KAREN L
FLANIGAN
214 W PARK AVE
HARTLAND WI 53029-2021

CARL B HAROLDSON AND MARILYN K
HAROLDSON
W292N6299 DORN RD
HARTLAND WI 53029-9500

NANCY DAY AND MILO DAY
206 W PARK AVE
HARTLAND WI 53029-2021

THOMAS H DALY
247 W PARK AVE
HARTLAND WI 53029-2020

SARAH J SAUER
360 PROSPECT AVE
HARTLAND WI 53029

492 PARTNERS LLC
492 RIVERSIDE DR
PRINCETON NJ 08540-5421

HJH 211 LLC
211 COTTONWOOD AVE
HARTLAND WI 53029-2016

HARTLAND MEADOWS RETIREMENT
APARTMENTS LLC
W320N1161 BUTTERNUT RIDGE CT
DELAFIELD WI 53018

SILVER OAK PROPERTIES LLC
352 COTTONWOOD AVE
HARTLAND WI 53029-2011

EDWIN & ANNETTE MILLER TRUST
354 PROSPECT AVE
HARTLAND WI 53029

MAC HOLDINGS LLC
PO BOX 602
HARTLAND WI 53029

JERRY L & NANCY L NUTTER 2006
LIVING TRUST
207 W CAPITOL DR
HARTLAND WI 53029

CHARLES KUHTZ III AND DONNA KUHTZ
PO BOX 505
HARTLAND WI 53029-0505

K&A HOME INVESTMENTS INC
230 PAWLING AVE
HARTLAND WI 53029-2013

DANIEL FEISTHAMMEL
PO BOX 242
HARTLAND WI 53029

KUSCH INVESTMENTS LLC
N65W30981 BEAVER LAKE RD
HARTLAND WI 53029-9799

STEPHEN SECOSH
213 W PARK AVE
HARTLAND WI 53029

THOMAS CANTRELL AND DIONNE
CANTRELL
359 PROSPECT AVE
HARTLAND WI 53029-2022

MICHELE H WARD AND MICHELE H
ANDRAE
256 W CAPITOL DR
HARTLAND WI 53029

TIMOTHY E MUELLER
330 PROSPECT AVE
HARTLAND WI 53029-2023

UNIQUE SUITES LLC
1318 RIVERS EDGE CT
OCONOMOWOC WI 53066-6912

DAVID PEERS AND ERICA D PEERS
345 PROSPECT AVE
HARTLAND WI 53029-2022

NICHOLAS AND KATELYN GOMEZ
221 W PARK AVE
HARTLAND WI 53029-2020

FREDERICK F AND MARY J OTT 2011
LIVING TRUST
229 W PARK AVE
HARTLAND WI 53029-2020

SUSAN K STERNKOPF
404 COTTONWOOD AVE
HARTLAND WI 53029

JACK DAHLKE PROPERTIES LLC
336 COTTONWOOD AVE
HARTLAND WI 53029

DAVID CATANIA AND JEAN CATANIA
328 PROSPECT AVE
HARTLAND WI 53029-2023

MATTHEW J STRUVE AND KAZUKI
STRUVE
227 W CAPITOL DR
HARTLAND WI 53029-2027

PAMELA FILO
344 PROSPECT AVE
HARTLAND WI 53029

ELMORE MACHINERY CORP
403 EAST AVE
EAGLE WI 53119-2109

RONALD JAEGER AND ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029-2329

LINDA J LAVALLEY
335 COTTONWOOD AVE
HARTLAND WI 53029

PARK IT REAL ESTATE INVESTING LLC
N78W29196 FLYNN RD
HARTLAND WI 53029-9551

BARK RIVER PROPERTIES
1285 SUNNYRIDGE RD
PEWAUKEE WI 53072-3817

GUY S JENSON & MARIJEAN JENSON
2014 LIVING TRUST
N45W28965 E CAPITOL DR
HARTLAND WI 53029-2249