

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AMENDED AGENDA  
MONDAY, MAY 20, 2019  
7:00 PM  
BOARD ROOM  
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of April 15, 2019.
2. Architectural Board review and consideration of façade improvements for Heartfelt Properties, LLC, 111 E. Capitol Drive.
3. Architectural Board review and consideration of an application for signs for Keller Williams Realty, 200 E. Capitol Drive.
4. Architectural Board and Plan Commission review and consideration of a plan for an expanded entertainment area in Bristlecone Pines.
5. Architectural Board and Plan Commission review and consideration of a request for a Conditional Use for the operation of a daycare at Hartland South, 651 E. Imperial Drive.
  - a. Preliminary consideration of plans for the proposed Conditional Use in the I-1 District.
  - b. Motion to set a Public Hearing to be held during the regular Plan Commission meeting on June 17, 2019.
  - c. Consideration of plans for a parking lot extension for Hartland South, 651 E. Imperial Drive.
6. Plan Commission review and consideration of a Certified Survey Map to divide the Zion Evangelical Lutheran Church property located 415 W. Capitol Drive into two parcels and to consider a petition to rezone the property to the RS-5 Single-Family Residential Estate District.
7. Plan Commission consideration of a Extraterritorial Certified Survey Map to combine seven parcels parcels in the Town of Delafield on Franciscan Road and Oakwood Grove Road into one parcel.
8. Adjourn

Ryan Bailey, Interim Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: [www.villageofhartland.com](http://www.villageofhartland.com) (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this

Joint Architectural Board/Plan Commission Agenda

Monday, March 18, 2019

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service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES**  
**MONDAY, APRIL 15, 2019**  
**7:00 PM**  
**BOARD ROOM**  
**MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, David deCourcy-Bower, Jack Wenstrom, James Schneeberger, Ann Wallschlager, Tim Fenner and Tim Hallquist.

Others Present: Administrator Cox, Building Inspector Hussinger, and Deputy Clerk Bushéy.

Call to Order-

**1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of March 18, 2019.**

Motion (Wallschlager/Schneeberger) to approve the Jt. Architectural Board/Plan Commission minutes for March 18, 2019. Carried (7-0).

**2. Architectural Board review and consideration review and consideration of an application for a signs for Hartland Service, Inc., 400 E. Industrial Drive.**

Mike Kusch was present and said he is not on a major thoroughfare so the flags help advertise for the car wash and free vacuums. He said he would prefer to keep them up all year and that he would take the signs down when it is too windy plus change them out when they get worn or torn. Building Inspector Hussinger said in the past temporary was ok, now if someone wants a permanent sign they have to come before the board. Pfannerstill commented that not every business would be as committed to changing signs out as they become worn.

Wallschlager asked if the signs would only be along Cottonwood Ave, and Mr. Kusch said yes. deCourcy-Bower commented the bigger question is how to manage these signs. There was discussion on temporary vs permanent.

Fenner said these being permanent signs won't work. He said a temporary sign can be for 30 days or special events which can be approved by the Plan Commission, and today it has to be in the context of temporary signs. Pfannerstill commented that the Plan Commission has the authority to extend it but with the sign code. Fenner commented that sign code won't change overnight.

Hussinger said Mr. Kusch came here to start the conversation about the signs and the Plan Commission can extend it. There was more discussion on other businesses putting up these type of signs and how to manage them.

There was discussion on them being permanent signs and have them come in every year similar to a conditional use. Fenner said he would like to get feedback from the BID. Pfannerstill commented that he would like to see extended 180 days and see how it goes.

Motion (deCourcy-Bower/Fenner) to approve temporary signs for Hartland Service with a 30 day aggregate. Carried (4-3).

**3. Archectitural Board review and consideration of an application for a sign for Espire Homes, 350 Hartbrook Drive.**

Building Inspector Hussinger said this is a free standing sign and they are just replacing an existing sign. It was stated it is internally illuminated.

Motion (Hallquist/deCourcy-Bower) to approve the sign application for Espire Homes, 350 Hartbrook Drive. Carried (7-0).

**4. Plan Commission review and consideration of a request to renew a Conditional Use Permit for operation of a temporary greenhouse to be located at Biebel's True Value, 580 Hartbrook Drive.**

Sue Biebel was present and said they would like to change the location of the temporary greenhouse for better traffic flow. She said moving the greenhouse will take out 4 parking stalls & increase by 6 parking spots that were previously block off. The topsoil will be located on the east side of the building.

**a. Public Hearing to hear comments on the request to renew the request for a Conditional Use.**

Pfannerstill opened the Public Hearing at 7:31pm for comments. There were no comments so Pfannerstill closed the Public Hearing at 7:32pm.

**b. Consideration of a motion to approve the Conditional Use for Biebel's True Value.**

Motion (deCourcy-Bower/Wenstrom) to approve the Conditional Use for Biebel's True Value. Carried (7-0).

**5. Plan Commission review and consideration of a petition to rezone property at 345 Cottonwood Ave. to the RS-3 Residential Single Family zoning.**

Donna Kuntz was present and briefly explained again that she can't attract commercial buyers the way the rooms are configured. She thinks it would be better off as a residential property as it seems more conducive to residential. Pfannerstill commented that to the east & the south is zoned business, to the north is residential and to the west is senior living. Fenner asked Ms. Kuntz if she uses this as her residence and she said yes. Fenner asked if the property is ADA accessible. Ms. Kuntz said yes, only to the 1<sup>st</sup> floor.

deCourcy-Bower said the question is the zoning and the intent of the comp plan. He said at the last comp plan meeting they are looking at making that entire side of the street business in the future, so asking to rezone goes against the comp plan and for what it will be in the future.

Wallschlager commented that she doesn't see why it can't go back to residential. She said she doesn't want to see it sit vacant.

Fenner said he agrees with both deCourcy-Bower and Wallschlager but is reluctant to rezone the property. He said he is also concerned about it being vacant, as vacant can be an eyesore.

There was discussion on applying for a Conditional Use for people over 55 and it could terminate upon death or removal of her as a resident. A Conditional Use process could be applied and still project the Village zoning code. Hallquist stated he liked that idea and also doesn't want to see the house vacant. Pfannerstill asked Ms. Kuntz if she lived there 50% of the time and she said yes, however she is gone a lot during the summer months.

It was stated that motion is only for a rezone. Fenner gave clarity on a Conditional Use process if Ms. Kuntz wanted to go that route.

Motion (deCourcy-Bower/Fenner) to deny the rezone of property at 345 Cottonwood Ave to RS-3 Residential Single. Carried (6-1) Wallschlager in favor of the rezone.

## **6. Adjourn**

Motion (deCourcy-Bower/Wenstrom) to adjourn. Carried (7-0). Meeting adjourned at 8:03 PM.

Respectfully submitted by  
Recording Secretary,

Deidre Bush y, Deputy Clerk



**DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address III EAST CAPITOL DRIVE, HARTLAND, WI 53029			
Lot 44	Block	Subdivision	Key No. HAV 0729985
Owner HEARTFELT PROPERTIES, LLC		EMAIL	Phone
Address N46W28654 Willow Brook Ct		City HARTLAND	State WI Zip 53029
Contractor DANE'S QUALITY		Phone 47732 1169 FAX	EMAIL dan@danesquality.com
Address 36543 Norman Dale Dr.		City Oconomowoc	State WI Zip 53066

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

**All applications for consideration by the Architectural Board are subject to the policies described in this document.**

**Commercial/Industrial/Multifamily:**

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

*\*DRAWINGS PROVIDED*

**Signs:**

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

**NOTE:** Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 5/3/19 Date of Meeting: \_\_\_\_\_ Item No. \_\_\_\_\_

**Property Details**

Tax Key: **HAV 0729985**  
Tax Year: **2019**

**4/24/2019 8:59:34 AM**  
**WAUKESHA COUNTY**  
**VILLAGE OF HARTLAND**

**OWNER NAME AND MAILING ADDRESS**

**PROPERTY ADDRESS**

HEARTFELT PROPERTIES LLC  
N46W28654 WILLOW BROOK CT  
HARTLAND, WI 53029-2290

111 E CAPITOL DR

Contact Us to Update Mailing Address

**LEGAL DESCRIPTION**

LOT 44 VILLAGE OF HARTLAND ASSESSORS PLAT NO 1 PT NE1/4 SEC 3 T7N R18E :: DOC # 4101983

**ASSESSMENT STATUS**

**OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS**

Assessment Year: 2019 BASIC VESTING DEED DOC 4101983  
Assessment Status:  
Assessment Attributes: NONE  
Deeded Acres:

**ASSESSMENT INFORMATION**

Assessed By: GROTA APPRAISALS, LLC  
262-253-1142  
MIKE@WI-ASSESSOR.COM  
Board of Review Date: 7/31/2019

Links to WI Dept of Revenue Resources:  
Guide for Property Owners  
Property Assessment Appeal Guide  
Board of Review Calendar

**PROPERTY VALUES**

**Property Class**      **Acres**      **Land**      **Improvement**      **Total**  
The current property valuation is in process. You will find the contact information for the Municipal Assessor shown above. The Links to WI Dept of Revenue will provide more information about the property assessment process. You can see assessment values for a previous year by changing the tax year at the top of this screen.

**DISTRICTS**

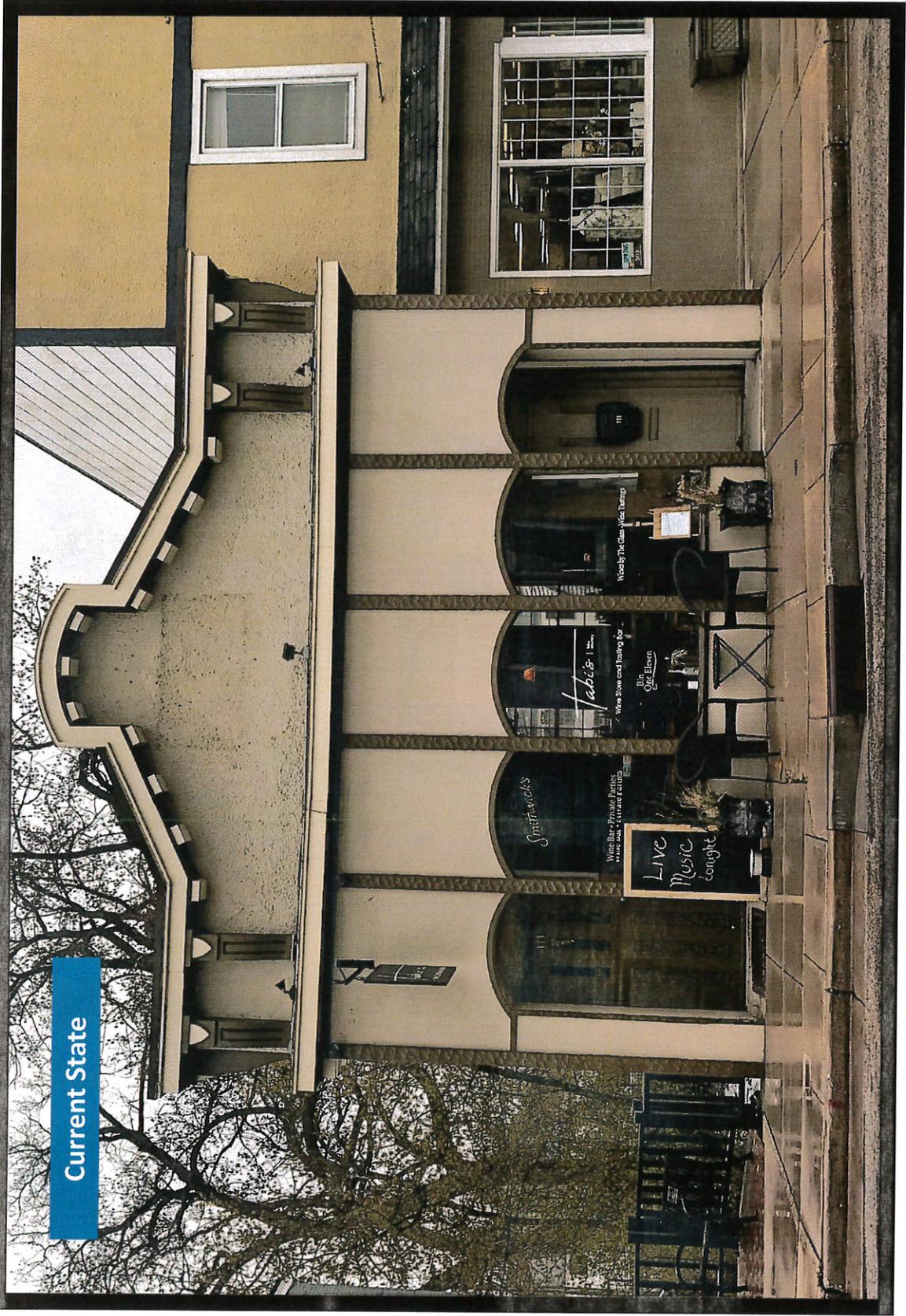
District Type	District Name	DOR Code
VILLAGE	VILLAGE OF HARTLAND	136
SCHOOL	HARTLAND LKSIDE 2460	2460
HIGH	ARROWHEAD U H S 2450	2450
TCDB	WAUKESHA TECH COLLEGE	08

This program accesses data from databases maintained by several County Departments and Local Municipalities. There may be inconsistencies in data depending on the date the information was gathered or the purpose for which it is maintained. Due to variances in sources and update cycles, there is no guarantee as to the accuracy of the data. For questions regarding Tax Listing or Tax Bill information, please contact the Real Property Tax Listing Division at (262)896-8557 or [taxlisting@waukeshacounty.gov](mailto:taxlisting@waukeshacounty.gov). For questions regarding Outstanding Taxes and Tax Payment records, contact the County Treasurer's office at (262)548-7029.

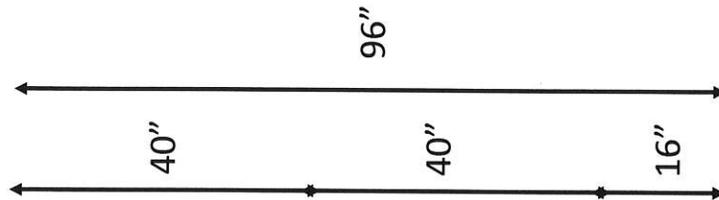
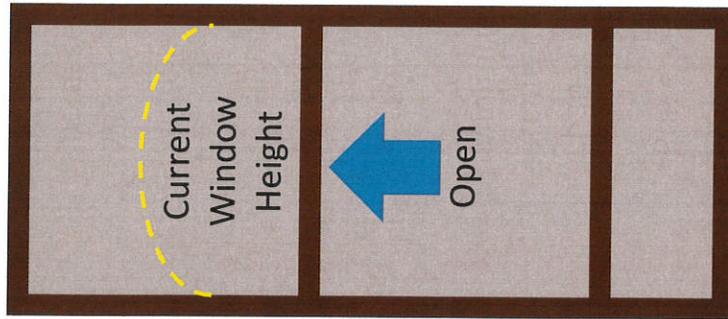
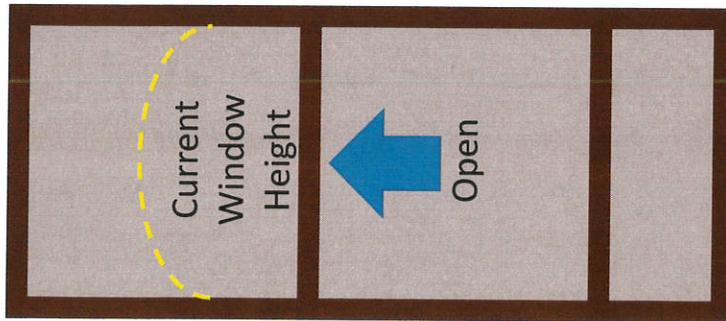
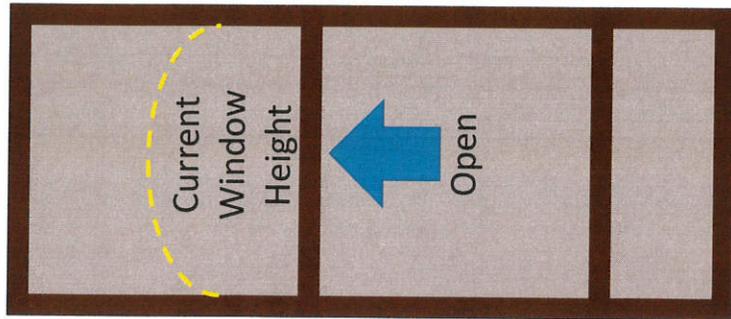
For all GIS related issues, please contact Waukesha County Land Information Systems at [landinformation@waukeshacounty.gov](mailto:landinformation@waukeshacounty.gov).

The following browsers are supported:    This page run 4/24/2019 8:59:34 AM.

Current State



## Window Replacement



Increase Glass by 25% from 6' to 8' window height.

- Aluminum
- Bronze Color
- Thermo
- Low E Glass

Minimizes architectural changes.

Preserves Historic look

Addition of Windows



111

fab's | Since 1988  
Wine Store and Tasting Bar  
But One Eleven

Wine Bar - Private Parties

LIVE  
MUSIC  
every night

Addition of Awnings



127 E CAPITOL LLC  
249 PAWLING AVE  
HARTLAND WI 53029

ARKAD GROUP  
139 E CAPITOL DR  
HARTLAND WI 53029

AUGUST E & DONA J FABYAN 1998  
LIVING TRUST  
115 E CAPITOL DR  
HARTLAND WI 53029-2103

BEHREND PROPERTY LLC  
220 E CAPITOL DR  
HARTLAND WI 53029-2106

BMO HARRIS BANK NA  
111 W MONROE ST  
CHICAGO IL 60603-4096

BRASS INVESTMENTS LLC  
151 E CAPITOL DR  
HARTLAND WI 53029

CHERYL DEVITT  
123 NORTH AVE  
HARTLAND WI 53029

COTTONWOOD INVESTMENTS INC  
724 WINSTON WAY  
HARTLAND WI 53029-2538

DBA LAKE CO PROPERTIES  
W333N5426 LINDEN CIR  
NASHOTAH WI 53058

AMERICAN LEGION AND FLANAGAN-  
DORN AMERICAN LEGION POST  
231 GOODWIN AVE  
HARTLAND WI 53029

EMANDEMCO LLC  
142 E CAPITOL DR STE 300  
HARTLAND WI 53029

EPPLER ENTERPRISES LLC  
502 W 5TH ST  
OCONOMOWOC WI 53066

GD HOLDING LLC  
W300N9083 E COUNTY RD E  
HARTLAND WI 53029-9512

HEARTFELT PROPERTIES LLC  
N46W28654 WILLOW BROOK CT  
HARTLAND WI 53029-2290

JUDITH KLINK REVOCABLE LIVING  
TRUST  
357 COTTONWOOD AVE APT 213  
HARTLAND WI 53029-2031

LAKE COUNTRY PROPERTIES AND  
JUDITH KLINK REVOCABLE TRUST  
357 COTTONWOOD AVE APT 213  
HARTLAND WI 53029-2031

LOUIS D KAISER REVOCABLE TRUST  
138 NORTH AVE  
HARTLAND WI 53029

LT GROUP LLC  
250 MONASTERY HILL DR  
OCONOMOWOC WI 53066

MARGRIT MEIER AND MAX MEIER  
FAMILY TRUST  
110 COTTONWOOD AVE  
HARTLAND WI 53029

MAUREEN SLATTERY AND THOMAS  
SLATTERY  
128 COTTONWOOD AVE  
HARTLAND WI 53029-2015

P RADNEK AND J BOWAN  
128 E CAPITOL DR  
HARTLAND WI 53029

PREMIER HOLDINGS LLC  
134 COTTONWOOD AVE  
HARTLAND WI 53029

RENEE M EVERT  
170 WARREN AVE  
HARTLAND WI 53029

ROBERT S BEHREND  
142 W MAIN ST  
WALES WI 53183-9400

SSI WALKER PROPERTIES LLC  
143 E CAPITOL DR  
HARTLAND WI 53029

STOP-N-GO OF MADISON INC  
2934 FISH HATCHERY RD  
MADISON WI 53713





DEPARTMENT OF BUILDING INSPECTION  
APPLICATION FOR ARCHITECTURAL BOARD

Job Address			
Lot	Block	Subdivision	Key No. HAV
Owner Bldg #3 - Riverwalk Development, llc		EMAIL ryne@jdMcCormick.com	Phone 608-501-7020
Address 200 E. Capitol Drive		City Hartland	State WI Zip 53029
Contractor Tenant = Keller Williams Realty	Phone 414-397-9734	FAX	EMAIL Rstalle@kw.com
Address 200 E. Capitol Drive		City Hartland	State WI Zip 53029

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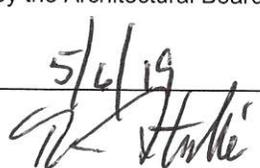
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- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

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Date Applied: 5/6/19 Date of Meeting: May 20, 2019 Item No. \_\_\_\_\_  
Commercial 2018  Page 1 of 2

**Hartland Architectural Board  
Application Review Policies**

**All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.**

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
  - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
  - b. Scale and north arrow
  - c. All structures (include building elevations and height)
  - d. Drainage and grades (include design calculations for drainage)
  - e. Storm Water Management Plan
  - f. Utilities and easements (sewer, water, storm etc.)
  - g. Calculation of lot coverage
  - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
  - i. Grading and erosion control
  - j. Landscaping, including a Tree Protection Plan
  - k. Exterior lighting details
  - l. Exterior HVAC equipment location
  - m. Dumpster location (screening required)
  - n. Street right-of-way
  - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

Village of Hartland - Architectural Board Review Application for Keller Williams Realty Signs @ 200 E. Capitol Drive - Hartland, WI - Application Date: May 6, 2019



Riverwalk Building #3 @ 200 E. Capitol Drive



Riverwalk / Keller Williams Realty Building @ 200 E. Capitol Drive.

Village of Hartland - Architectural Board Review Application for Keller Williams Realty Signs  
@ 200 E. Capitol Drive - Hartland, WI - Application Date: May 6, 2019



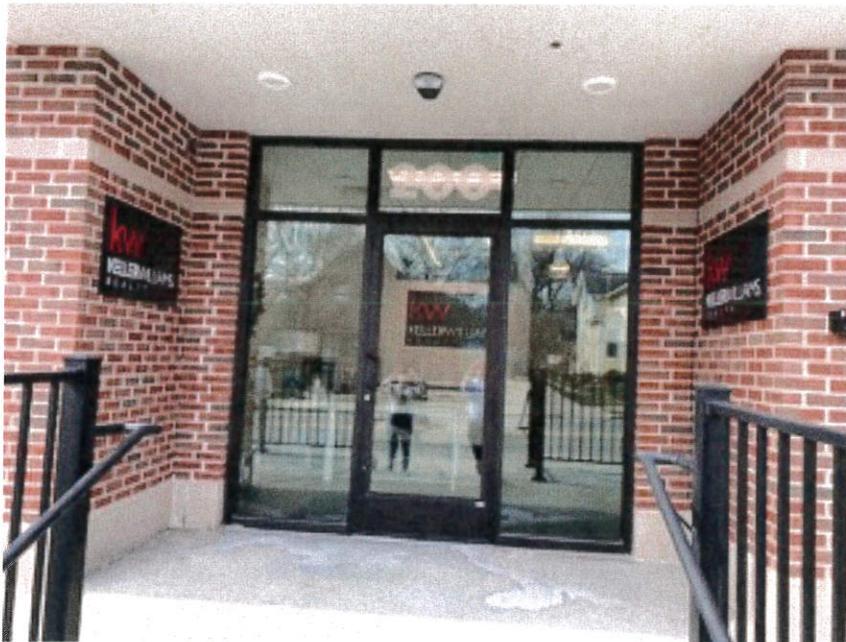
21" sign showing 1" wide x 2" metal standoffs - Not on surface of proposed installation.



Main entry of KW building @ 200 E. Capitol Drive  
From Westbound approach - across the street.



Main entry of KW building @ 200 E. Capitol Drive  
From Eastbound approach - from sidewalk



Main entry of building from Sidewalk.  
21" tall x 24" signs temporarily installed with double stick tape  
Two signs total - one each side of main reception door.

**Proposed Keller Williams Sign Specs:**

2 exterior entry signs on metal Dibond substrate - each measuring 36" wide x 21" tall.

Lettering for the red "KW" has a 9" tall "K" font.

3" tall fonts are used for the "KELLER WILLIAMS" lettering in the second line

Signs will be installed on the 4' wide brick walls. These walls are 11' apart and 6' - 6" above ground and parallel to the main front entry of the KW office.

1" round metal standoffs - 4 per sign - will be secured to the brick mortar joints and hold the sign panel 2" from brick face leaving 6" of brick exposed on both ends of the sign.

Lighting for the signs will use the 2 existing soffit lights overhead in the 5' deep and 11' wide covered entry. Lighting will be timed to illuminate the signs during sundown hours.

Signs are intended to be visible to both eastbound and westbound traffic on Capitol Drive.

Signs were strategically designed for non-obtrusive nighttime illumination and so that they do not protrude from the main Capitol Drive facade of the building.

Pictures as shown represent the signs being placed temporarily for photo purposes only with and will be permanently affixed, after municipal approval as specified.

BEHREND PROPERTY LLC  
220 E CAPITOL DR  
HARTLAND WI 53029-2106

BENJAMIN LYONS AND CANDIDA  
LYONS  
123 CHURCH ST  
HARTLAND WI 53029

BRASS INVESTMENTS LLC  
151 E CAPITOL DR  
HARTLAND WI 53029

BRICK LAWN LLC  
231 LAWN ST  
HARTLAND WI 53029-1705

CAPITOL MOVE LLC  
163 E CAPITOL DR  
HARTLAND WI 53029

CHARLES W LIPPERT  
226 LAWN ST  
HARTLAND WI 53029

FIRST CONG CHURCH  
111 CHURCH ST  
HARTLAND WI 53029-1701

HARTLAND RIVERWALK LLC  
411 W MAIN ST #106  
MADISON WI 53703-3105

HOPKINS SAVINGS & LOAN  
2800 E LAKE ST  
MINNEAPOLIS MN 55406

JAS COFFEE LLC  
150 E CAPITOL DR  
HARTLAND WI 53029-2104

JEFFERY L HEIMSCH AND LAURA J  
HEIMSCH  
129 CHURCH ST  
HARTLAND WI 53029

KOECK MANAGEMENT LLC  
W294N6030 RIVER GROVE LN  
HARTLAND WI 53029-8211

LAKE COUNTRY PLAYERS INC  
221 E CAPITOL DR  
HARTLAND WI 53029

MICHAEL STOLL AND SARAH STOLL  
221 LAWN ST  
HARTLAND WI 53029

PRESCOTT F LAIRD AND RAECHAL M  
LAIRD  
214 LAWN ST  
HARTLAND WI 53029-1706

RICHARD NOWAKOWSKI AND PATRICIA  
NOWAKOWSKI  
220 LAWN ST  
HARTLAND WI 53029-1706

ROBERT F & LINDA J HAMILTON 2010  
LIVING TRUST  
207 E CAPITOL DR  
HARTLAND WI 53029

SHERPERS INC AND GALE L SLATES  
TRUST  
N49W34291 ROAD P  
OKAUCHEE WI 53069-9706



**APPLICATION FOR  
PLAN COMMISSION**

**■ \$300 REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description				Bristlecone Pines entertainment complex			
Proposed Use			Subdivision gatherings and use specifically for Bristl		No. of Employees		
Project Location				Hwy K and Bristlecone Drive			
Project Name				Bristlecone Pines entertainment complex			
Owner		Bristlecone HOA/ JON SCHOENHI		Phone		262-894-4612	
Address		BRISTLECONE Pines		City		State	Zip
Engineer/Architect		David J Frank		Phone		FAX	
Address		City		State		Zip	
Contact Person		Vance Barnes	Phone	FAX		E-mail jon@regencywi.c	

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

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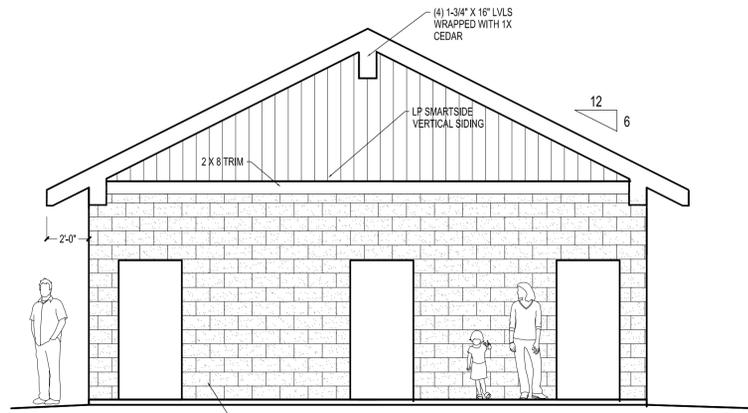
- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

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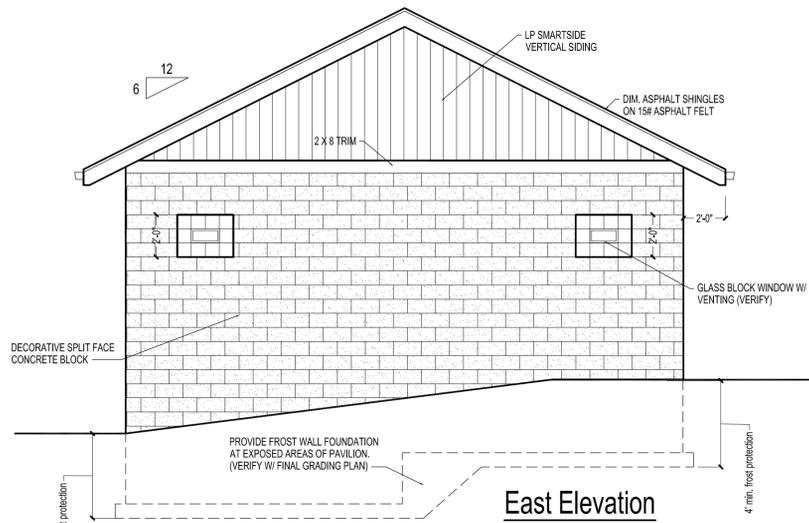
Date Applied:	Date of Meeting:	Return Comments by:
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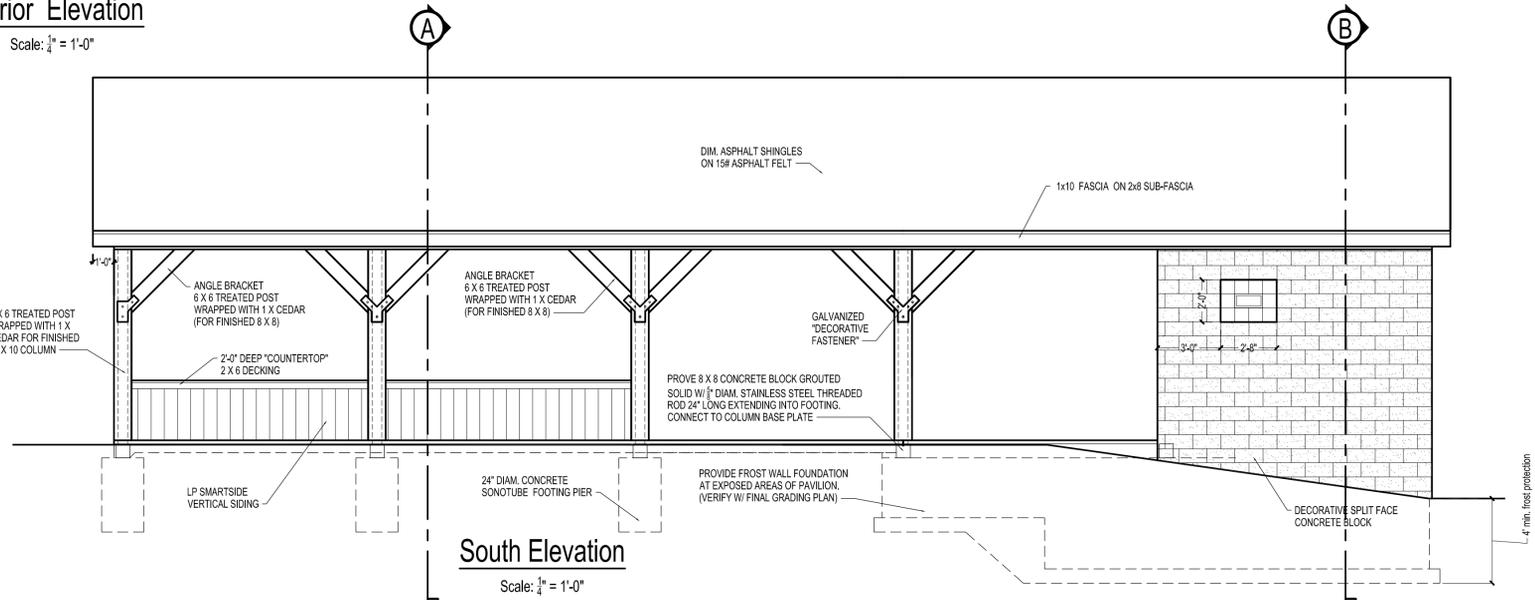
**Interior Elevation**

Scale:  $\frac{1}{4}" = 1'-0"$



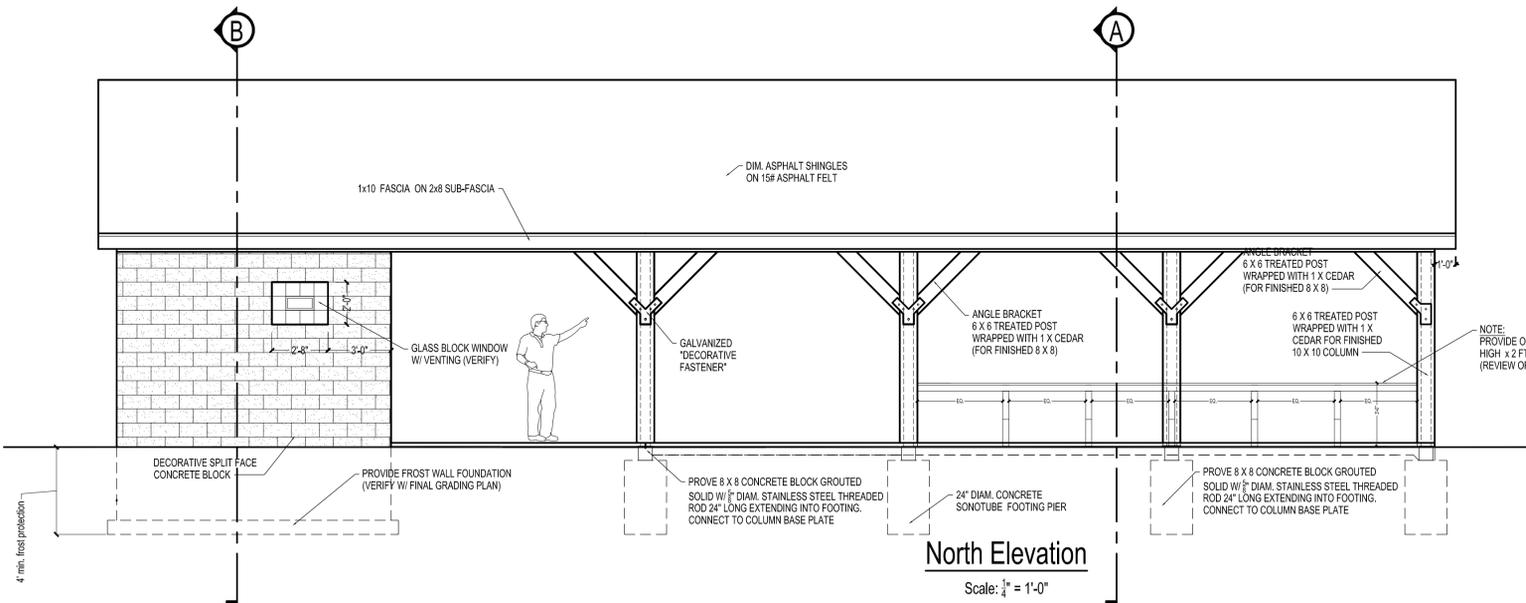
**East Elevation**

Scale:  $\frac{1}{4}" = 1'-0"$



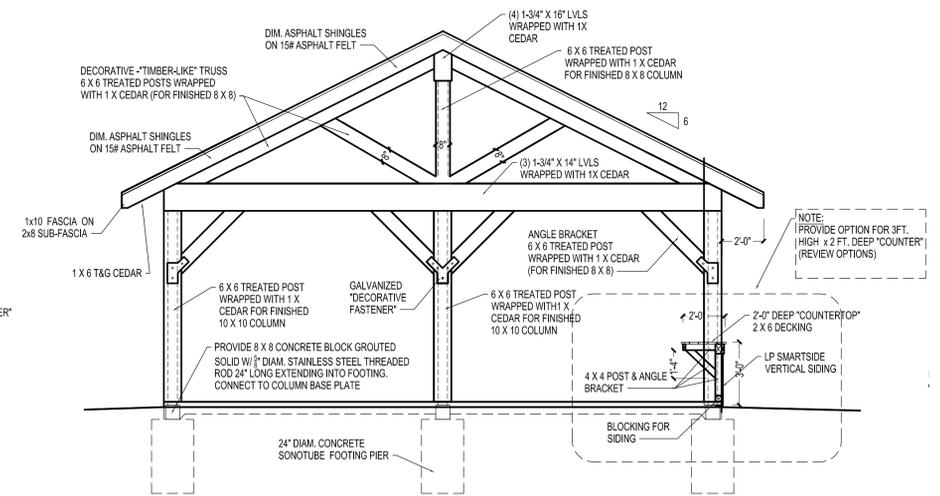
**South Elevation**

Scale:  $\frac{1}{4}" = 1'-0"$



**North Elevation**

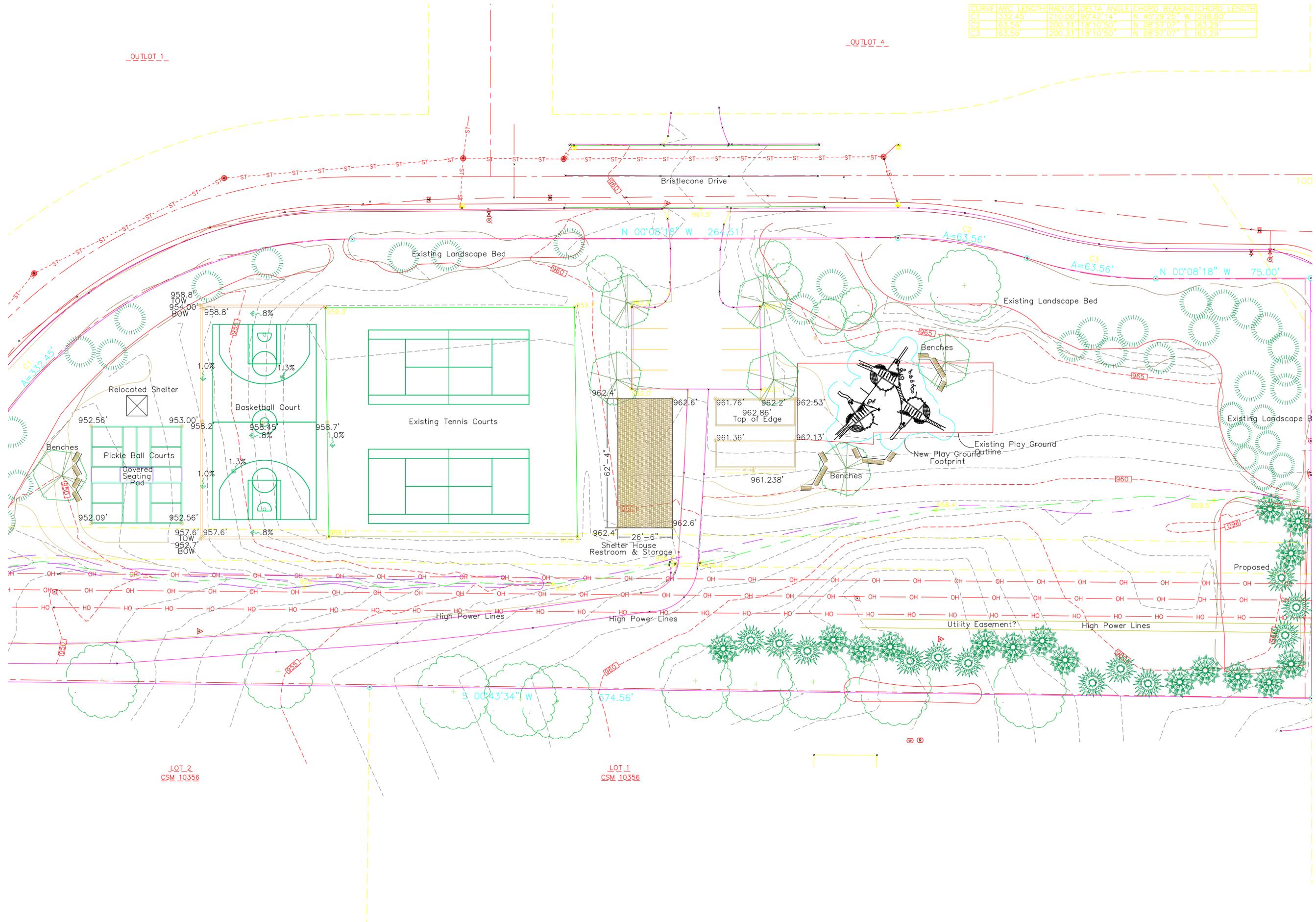
Scale:  $\frac{1}{4}" = 1'-0"$



**West Elevation**

Scale:  $\frac{1}{4}" = 1'-0"$

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	332.45'	210.00'	90°42'14"	N 45°29'25" W	298.80'
C2	63.56'	200.31'	18°10'50"	N 08°57'07" E	63.29'
C3	63.56'	200.31'	18°10'50"	N 08°57'07" E	63.29'



N120 W21350 Freistadt Road  
P.O. Box 70  
Germantown, Wisconsin 53022  
(262) 255-4888 office  
mail@davidjfrank.com  
davidjfrank.com

**LANDSCAPE DEVELOPMENT BY**

Vance C. Barnes,  
PLA  
(262)894-2667 cell  
vcbla@davidjfrank.com

**LANDSCAPE DEVELOPMENT FOR**

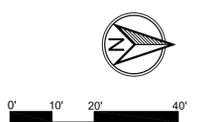
**Bristlecone Pines  
Entertainment Facility**

Hartland, Wisconsin

**REVISIONS**

Δ	DATE	DESCRIPTION
1	4.30.19	Elevation Revisions
2	5.10.19	Shelter House Revis.
3	5.12.19	Shelter House Revis.

**PROJECT NUMBER**



0' 10' 20' 40'  
**SCALE** 1" = 20'-0"  
**DATE** 04.24.19  
**SHEET** 1 of 1

**L1.0**

This drawing is made solely for the individual named herein and is the property of David J Frank Landscape Contracting, Inc. Any unauthorized use or duplication is in violation of the copyright laws and subject to prosecution. Plantings, structures, and other representations shown on this plan are for the purpose of conveying landscape design features. Refer to prepared contract documents for specific items included in any particular phase of landscape construction.







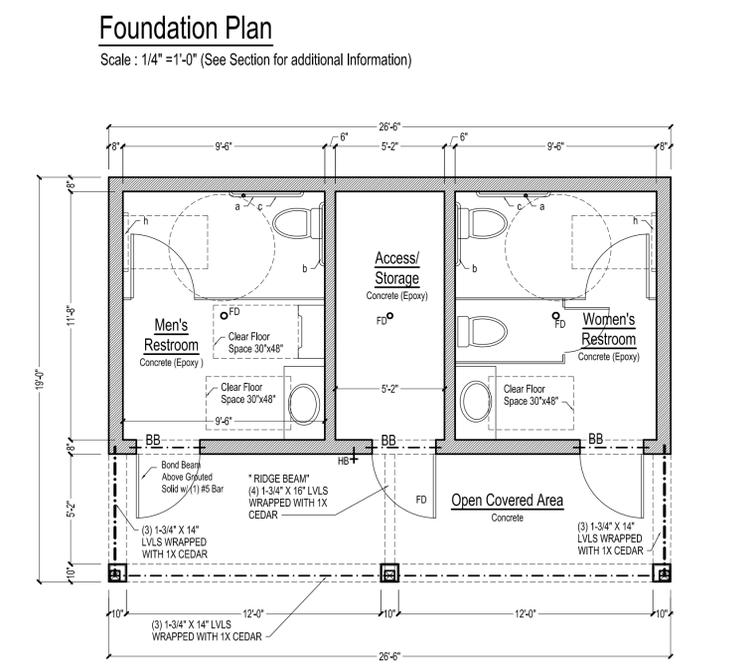
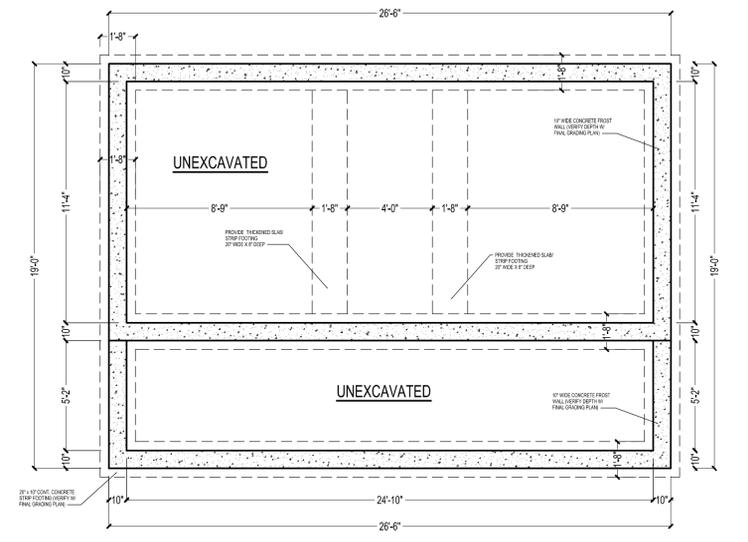
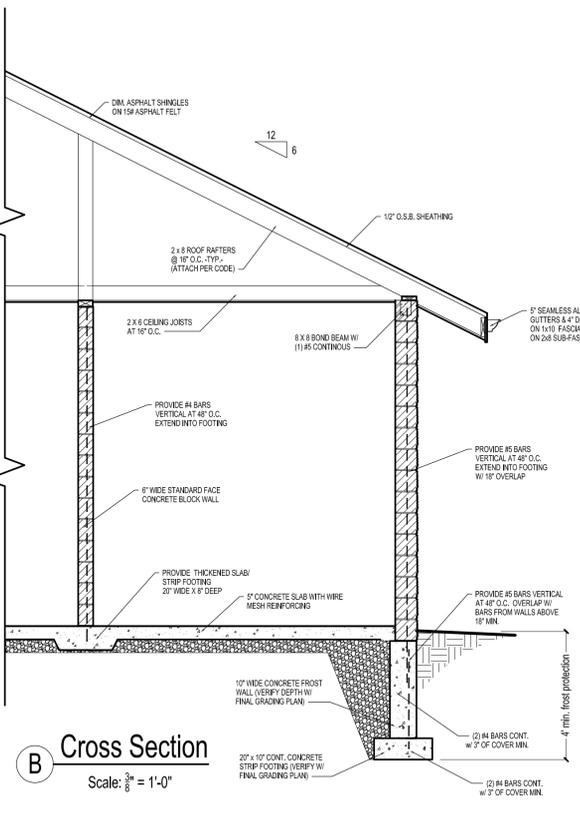
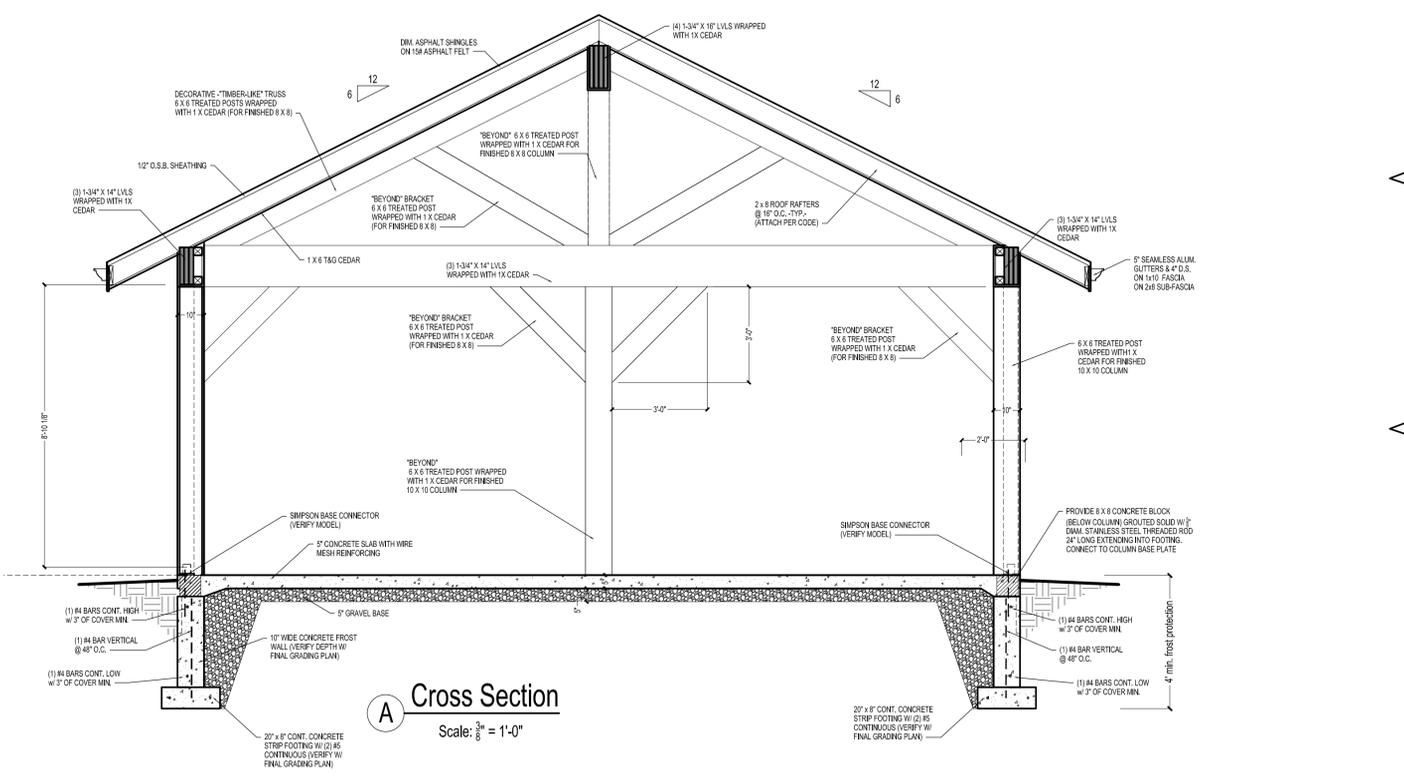
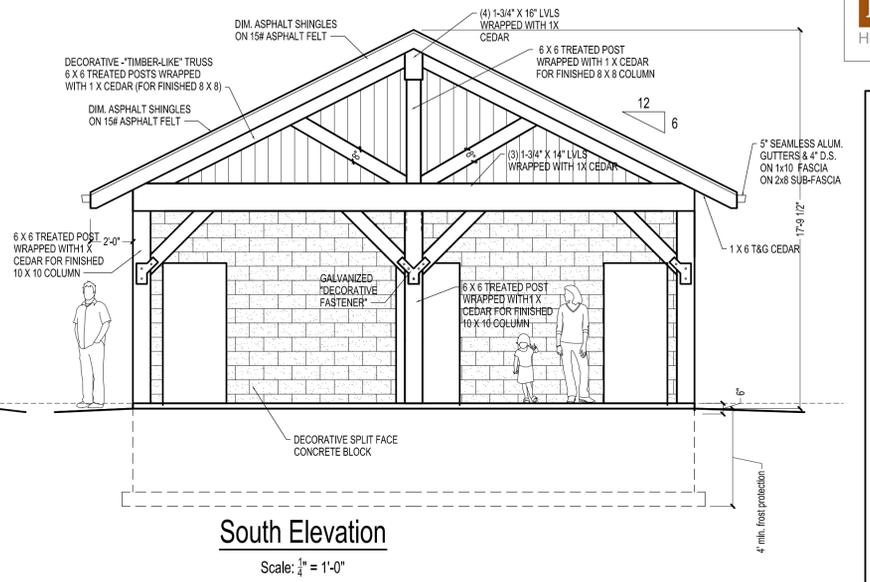
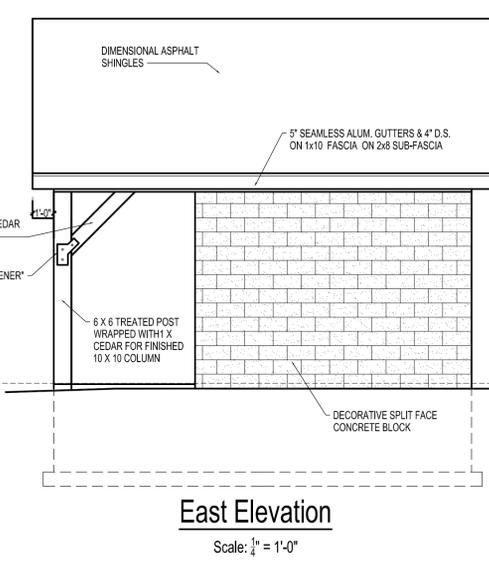
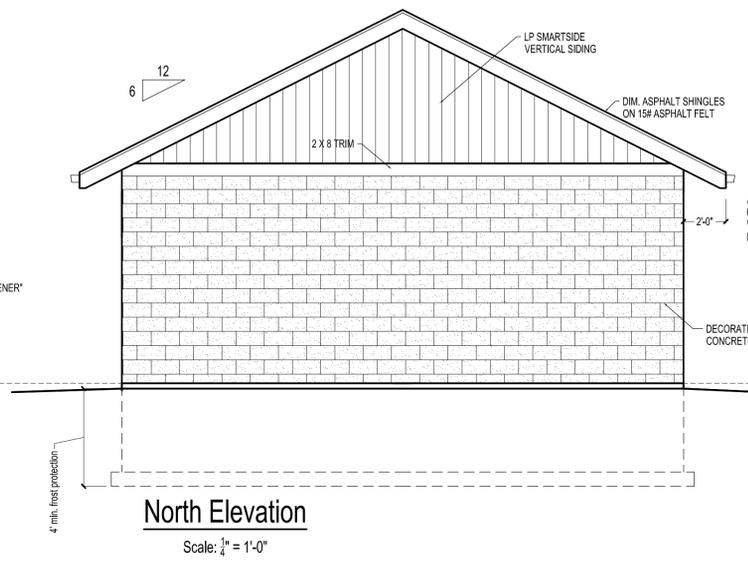
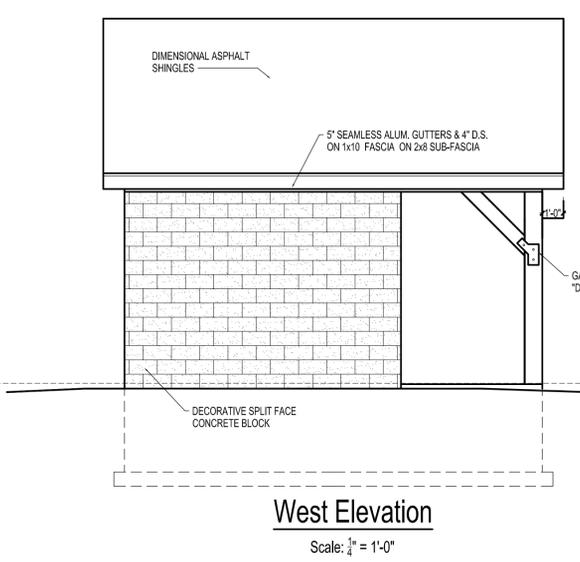












- BB = Bond Beam Grouted solid with (1) #5 Bar
- FD = Floor drain
- HB = Hose Bibb
- a = 18" Vertical Grab Bar
- b = 36" Horizontal Grab Bar
- c = 42" Horizontal Grab Bar
- d = Surface-Mounted double-roll Toilet tissue Dispenser
- e = Mirror 18" W x 36" H
- f = Recessed Paper Towel Receptacle
- g = Recessed Waste Dispenser
- h = Wall Mounted Baby Changing Station

**From:** [Amtmann, Ryan](#)  
**To:** [Jonathan Schoenheider](#); [Vance Barnes](#); [Steve Wollersheim](#)  
**Cc:** [Mike Sabourin](#); [Jack Campbell](#); [Ben Labarre](#); [Scott Hussinger](#); [Mike Gerszewski](#); [Darlene Igl](#)  
**Subject:** RE: Proposed final entertainment facility drawings  
**Date:** Wednesday, May 8, 2019 2:11:26 PM  
**Attachments:** [image045833.png](#)  
[image372249.png](#)  
[image281021.png](#)  
[image615970.png](#)  
[image895013.png](#)  
[image396958.png](#)  
[image237133.png](#)  
[image919628.png](#)  
[image514395.png](#)

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Jonathan,

I met with Village staff Monday to discuss your Bristlecone Pines Entertainment Facility – Site Plan L1.0 dated 4/24/2019. I followed up with you regarding our comments and suggestions to collocate the shelter and bathroom as one building.

The following summarize our comments to allow you to prepare updated drawings for submittal. You should provide updated drawings to Darlene Igl by 5/14, so that we can complete a review and provide comments for updated materials to be included in the Arch Board/Plan Commission meeting packet in time for the 5/20 meeting agenda packet to be distributed.

1. Based on our discussion on 5/7, you are planning to collocate the bathroom with the shelter. The furthest easterly extent of the structure should align no further easterly than the easterly edge of the tennis court. All work, grading and structures will not encroach within the 15-foot wide drainage easement that exists along the drainage way.
2. Water service needs to be routed to the irrigation service line that is furthest north on this site near the fire hydrant. You should confirm that the water service will allow for service for the bathroom facility and irrigation purposes. A meter horn will be required. A new tee should be installed east of the existing water service curb stop valve/box, and two additional curb stop valve/boxes should be installed with a service line connecting to the existing irrigation line and a service line extending to your bathroom facility. There is an existing meter for the irrigation line in a pit. A new meter shall be installed in the closet of the bathroom facility.
3. Sewer service needs to be routed to the manhole at N. Ponderosa Drive. Because the road has recently been paved, Village does not want the road cut. The sewer lateral line may be able to be bored/drilled under the road directly into the manhole with a rock bit. Inside the manhole the lateral will need an “inside drop” so the flow from the lateral discharges to the flowline of the sewer line in the manhole. If you will be winterizing the water and sewer lines, it may impact the installation depths.
4. Your sewer/water service lines and their connections to the existing system will need to be design and plan/profile drawings submitted. All existing public/private utilities that they sewer/water laterals may cross shall be shown. If using trenchless excavation methods, we recommend that all utilities being crossed be vacuum excavated and exposed prior to installation. A Village representative will need to be on site during any installation within the Village’s right-of-way.
5. You will need to develop an erosion control plan and will need to obtain an erosion control permit from the Village.

6. The spot grades shown appear to blend with adjacent ground. The erosion control plan shall identify the work/grading disturbance/restoration area limits.
7. We recommend that you coordinate with ATC regarding whether or not there is any impact with your proposed structure in proximity to ATC facilities or easement.
8. We recommend that you bring building material samples (roof/siding/block) to the 5/20 meeting.
9. Plan of operation – you should narrate and identify how you plan to utilize the facilities, ie: security, lighting, winterizing, hours of operation, etc.
10. Permits needed:
  - a. Village Erosion Control Permit
  - b. Village Right-of-way permit
  - c. Village Building permit
  - d. HOA approval
  - e. Others deemed necessary or required

We look forward to receiving your updated materials.

Ryan

**Ryan T. Amtmann, P.E. (WI, IL)**

*Vice President*



☎ 262-953-3002

📱 414-840-3296

✉ ramtmann@ruekert-mielke.com

🌐 ruekertmielke.com



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AMY M VETTA  
577 SOUTHERN OAK  
HARTLAND WI 53029-8005

ANN E FREDRICKSON-LORENZ 2009  
LIVING TRUST  
N56W29156 COUNTY ROAD K  
HARTLAND WI 53029-9108

BEN ROCCO AND JULIE ROCCO  
585 SOUTHERN OAK CIR  
HARTLAND WI 53029

BRIAN A MORRISON AND REBECCA L  
MORRISON  
1125 COLONIAL DR  
HARTLAND WI 53029

BRIAN D DEMASTER AND JILL  
DEMASTER  
915 N EVERGREEN CIR  
HARTLAND WI 53029-8636

BRISTLECONE PINES COMMUNITY  
ASSOCIATION INC  
1209 SWEETBRIAR LN  
HARTLAND WI 53029-8635

BRUCE KRANTZ AND BILLIE KRANTZ  
N55W28983 COUNTY ROAD K  
HARTLAND WI 53029-8615

CICATELLO REVOCABLE TRUST  
1219 E SWEETBRIAR LN  
HARTLAND WI 53029-8635

ERIC B ROSENQUIST AND DARLENE M  
ROSENQUIST  
1502 E BRISTLECONE DR  
HARTLAND WI 53029

GARRETT R HERNING AND LAURA A  
HERNING  
N56W29128 COUNTY ROAD K  
HARTLAND WI 53029-9108

GARY PEPPEL AND JULIE PEPPEL  
1121 COLONIAL DR  
HARTLAND WI 53029

GEOFFREY OCONNOR AND AGNES  
OCONNOR  
917 N EVERGREEN CIR  
HARTLAND WI 53029

GLEN SPOOLSTRA AND KRISTI  
SPOOLSTRA  
1115 COLONIAL DR  
HARTLAND WI 53029-8017

GORDON GEIGER AND KRISTINE KILE  
N55W28903 COUNTY ROAD K  
HARTLAND WI 53029-8615

JEFFREY W LOMBARDI AND PENNI A  
LOMBARDI  
1501 E BRISTLECONE DR  
HARTLAND WI 53029

JOHN CARLSON AND JUDITH CARLSON  
1401 E BRISTLECONE DR  
HARTLAND WI 53029

JOHN M STAHL  
1235 MARY HILL CIR  
HARTLAND WI 53029

JULIE S CHANG  
923 N EVERGREEN CIR  
HARTLAND WI 53029-8636

LAURA E HARRIS  
1114 COLONIAL DR  
HARTLAND WI 53029

LORI HAYDEN TEEL  
1122 COLONIAL DR  
HARTLAND WI 53029-8016

MARC P VETUSCHI AND KIM A  
VETUSCHI  
593 SOUTHERN OAK CIR  
HARTLAND WI 53029-8005

MARK D LESLIE AND TRACI R LESLIE  
578 SOUTHERN OAK CIR  
HARTLAND WI 53029

MARTIN VALLEBONA LASTRA AND  
FANNY GUADALUPE SOTO MONTEJOS  
1111 COLONIAL DR  
HARTLAND WI 53029

MARY E DORAU REVOCABLE TRUST  
579 SUTHERN OAK CIR  
HARTLAND WI 53029

NEAL P WEST AND MELODY D WEST  
1110 COLONIAL DR  
HARTLAND WI 53029

OLGA HORNSBY  
1504 E BRISTLECONE DR  
HARTLAND WI 53029-8678

PETER J JUNGBLUTH  
N55W28945 COUNTY ROAD K  
HARTLAND WI 53029-8615

ROBERT DIDONATO II REVOCABLE  
TRUST OF 2015 AND ANN MARIE  
MASSARO REVOCABLE LIVING TRUST  
1500 E BRISTLECONE DR  
HARTLAND WI 53029-8678

SIDDHARTH TRIPATHI AND SHALINI  
SHUKLA  
1118 COLONIAL DR  
HARTLAND WI 53029-8016

STEPHEN W HAMPTON  
921 N EVERGREEN CIR  
HARTLAND WI 53029-8636

TERRY J DUESTERHOEFT AND LINDA  
BROYLES  
525 CUESTA DR  
APTOS CA 95003-5503

THE LEGEND AT BRISTLECONE PINES  
LLC  
1 LEGEND WAY  
WALES WI 53183

THOMAS A BALISTRERI AND DEBRA M  
FELKER-BALISTRERI  
1410 E BRISTLECONE DR  
HARTLAND WI 53029

TIMOTHY F ONEILL AND BRENDA L  
ONEILL  
1420 E BRISTLECONE DR  
HARTLAND WI 53029

TODD J BARDEN AND GURLYS Y  
BARDEN  
904 N PONDEROSA DR  
HARTLAND WI 53029

WALLSCHLAGER TRUST DATED  
JANUARY 21 2002  
W292N5672 DORN RD  
HARTLAND WI 53029

WESTLAKE LIVING TRUST  
1403 E BRISTLECONE DR  
HARTLAND WI 53029

pd 5/15/19  
rcpt 206735



PETITION FOR CONDITIONAL USE  
 \$150 REVIEW FEE DUE AT TIME OF APPLICATION  
PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner	HARTLAND LAKESIDE SCHOOLS		
Business Name	LAKESIDE EARLY LEARNING Academy		
Business Owner	HARTLAND LAKESIDE SCHOOLS		
Address	651 E. Imperial Dr		
Contact Person	Stephen J. Hogan	Phone	262-369-6740
Key No. HAV		Email	shogan@hartlake.org

The Plan Commission meets on the third Monday of the month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

Present use: Education
Intended Use: DAYCARE

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature	
Print Name	Date

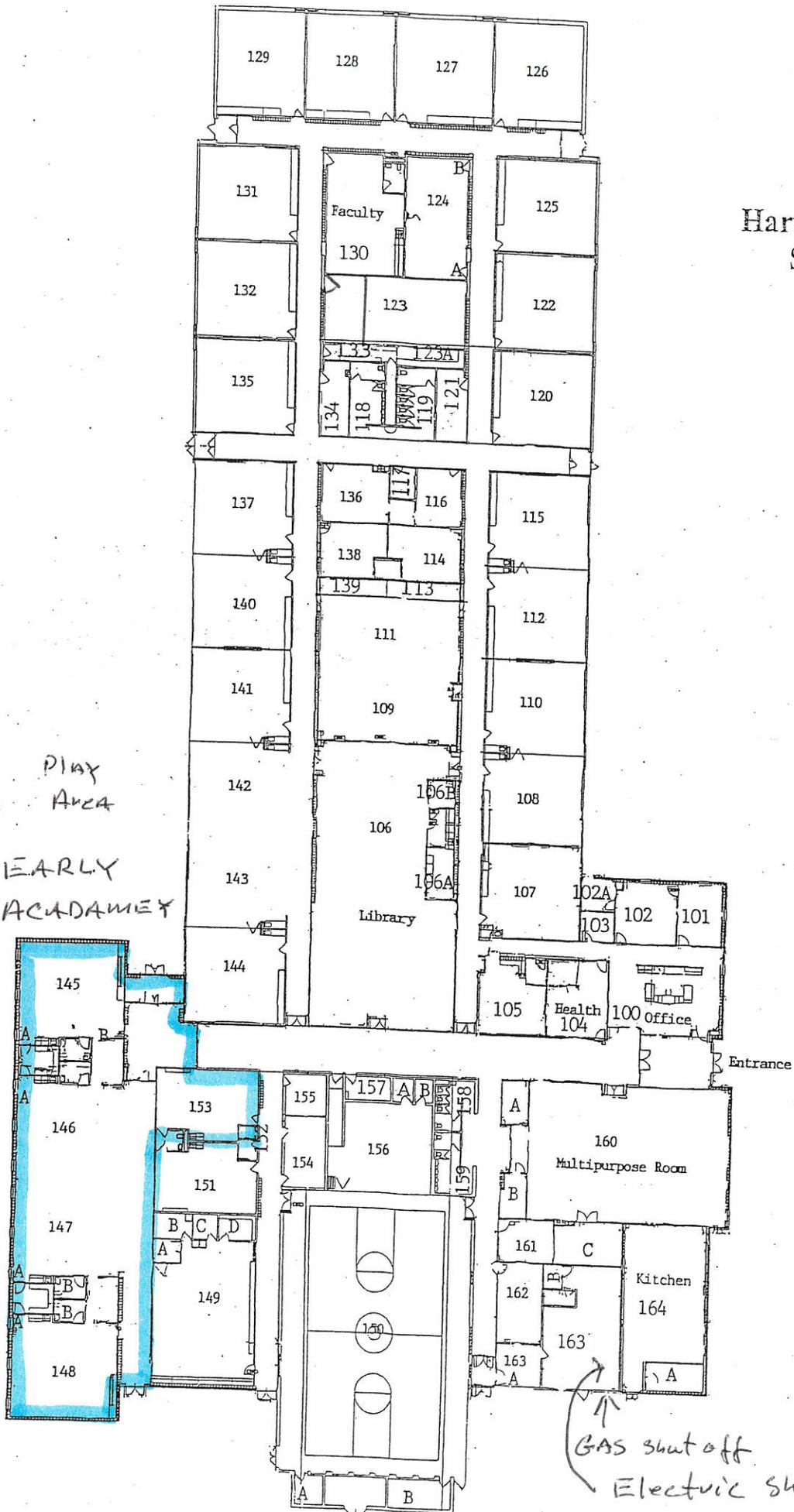
OFFICE USE ONLY:

Date Applied:	Date of Meeting:	Return Comments by:
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# Hartland South School Map

LAKESIDE EARLY LEARNING ACADEMY

Play Area



Permit Fee:	\$75
Refundable Occupancy Deposit:	\$500
(Refundable Deposit Returned Upon Release by Building Inspector)	
Total Due:	\$575
Date Paid:	_____
Receipt No.:	_____

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION

- Please Note that operation of business is not allowed until occupancy permit application has been approved.
- Allow approximately 5 working days for review.

After an occupancy permit application has been received and an occupancy inspection has been completed by the building inspection department, an occupancy letter will be sent to the applicant listing all violations. **An occupancy permit will be issued when all violations have been corrected.**

A conditional occupancy permit can be requested by the prospective occupant, if no life-safety violations exist as determined by the building inspection department.

If the conditional occupancy permit is issued, the applicant agrees to have all violations corrected within forty five (45) days. A reinspection will be scheduled after 45 days to check for compliance. If any violations exist, a penalty of \$25.00 per day will be assessed until all violations are corrected.

The \$500 Refundable Occupancy Deposit will be returned upon release by the Building Inspector.

VILLAGE OF HARTLAND  
BUSINESS OCCUPANCY  
PERMIT APPLICATION  
PAGE 2

BUSINESS:

Name: LAKE SIDE EARLY LEARNING ACADEMY  
Address: 651 E. IMPERIAL DR. Unit/Suite No. —  
Phone No: 262-369-6700 FAX No. 262-369-6755

BUSINESS OWNER:

Name: HARTLAND LAKE SIDE SCHOOLS  
Address: 800 E. NORTH SHORE DR. 262  
Day Phone: 262-369-6700 Evening Phone: 262-490-6700 Emergency Phone: 490-6700

BUILDING OWNER:

Name: H. Same As Above  
Address: \_\_\_\_\_  
Day Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_ Emergency Phone: \_\_\_\_\_

2<sup>ND</sup> EMERGENCY CONTACT:

Name: Steve Hogan  
Address: \_\_\_\_\_  
Emergency Phone: 262-490-6700

CONTACT FOR FIRE DEPARTMENT TO MAKE ARRANGEMENT FOR INSPECTION:

Name: Steve Hogan Phone: 262-369-6740

DETAILED DESCRIPTION OF BUSINESS OPERATION: Day Care for children  
6 months - 4 year old

Hours and days of operation: M-F 6am - 6pm

Number of full and part time employees on site during each shift (count working owner as an employee): 10-15

Estimated max. total of customers/clients/visitors on site at one time: 50

Number of total off-street parking stalls provided on site: 100

Number of above parking stalls dedicated for use by this business: 18

Describe anticipated method and frequency of deliveries to/from the site, and location on site where loading/unloading/parking of shipping vehicle is to occur: School Loading Dock

Describe any activities that may occur outside the building but still on-site such as dumpster, outside storage, equipment, accessory buildings, etc. (Please attach site plan showing these items): Play Area

Detailed description of any equipment, operation, device, or process that may emit noise, vibration, or odors from the site: N/A

BUSINESS OCCUPANCY  
PERMIT APPLICATION  
PAGE 3

The names and amounts of any noxious or hazardous substances or fumes that may be created, stored, or used on the site: NONE

Describe or sketch area for storage of above substances and any other high fire hazard areas: NA

Fire extinguisher size, type, and quantity: 4 ABC 10#

Is there a fire sprinkler system: NO

Is there an alarm system: YES

Heating type and location: Roof top gas and electric reheat

Describe or sketch gas shut off location: Near Dumpsters

Describe or sketch electric shut off location: Castellon Room 163

Describe or sketch fire sprinkler shut off location: NA

Attach a sketch of the area of the building to be used for this business unless all of building is to be used.

Please note that operation of a business is not allowed until the occupancy permit application has been approved.

You may need to attach additional pages to this application.

If you have questions call Building Inspector at 262-367-4744.

Incomplete applications will not be approved.

Applicant's

Signature: Stephan Hoza

Date: \_\_\_\_\_

FOR OFFICE USE ONLY

ZONING DEPARTMENT/BUILDING INSPECTION DEPARTMENT

Zoning Classification:

Zoning Approved:

By:

Application Approved:

Permit Number:

Notes/Conditions:

FIRE DEPARTMENT

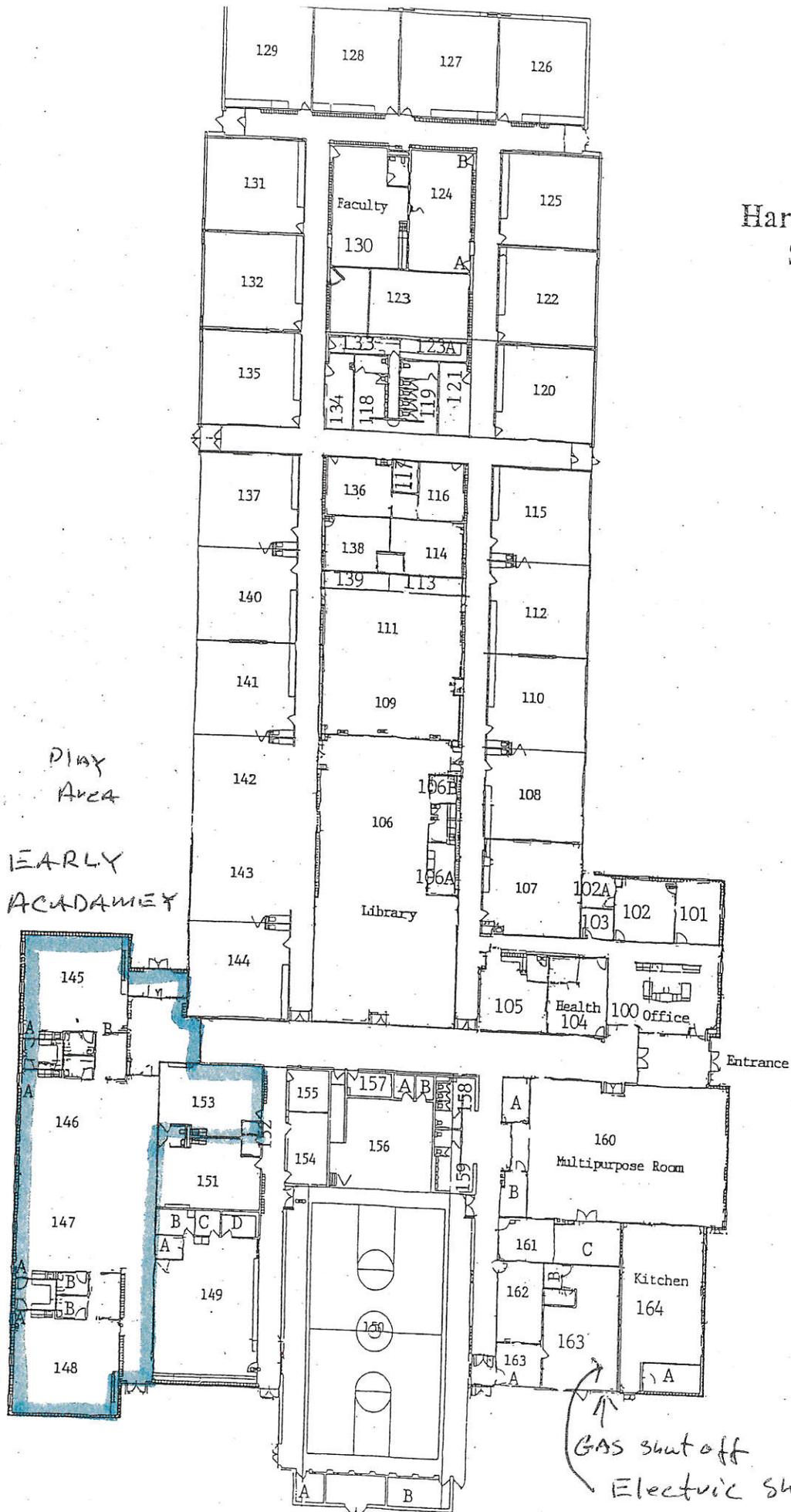
Site Approved:

By:

Notes/Conditions:

# Hartland South School Map

Play Area  
LAKESIDE EARLY LEARNING ACADEMY





**APPLICATION FOR  
PLAN COMMISSION**

**\$300 REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description <i>Expansion of Parking spaces</i>			
Proposed Use <i>Parking</i>		No. of Employees	
Project Location <i>Hartland South 651 E Imperial Dr.</i>			
Project Name <i>Parking Hartland South</i>			
Owner <i>Hartland Lakeside Schools</i>		Phone <i>262-369-6740</i>	
Address <i>800 E. NORTH SHORE DR.</i>		City <i>Hartland</i>	State <i>WI</i> Zip <i>53025</i>
Engineer/Architect <i>N/A</i>		Phone	FAX
Address		City	State Zip
Contact Person <i>Steve Hogan</i>	Phone <i>262-369-6740</i>	FAX <i>262-369-6766</i>	E-mail <i>shogan@hartlake.org</i>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.

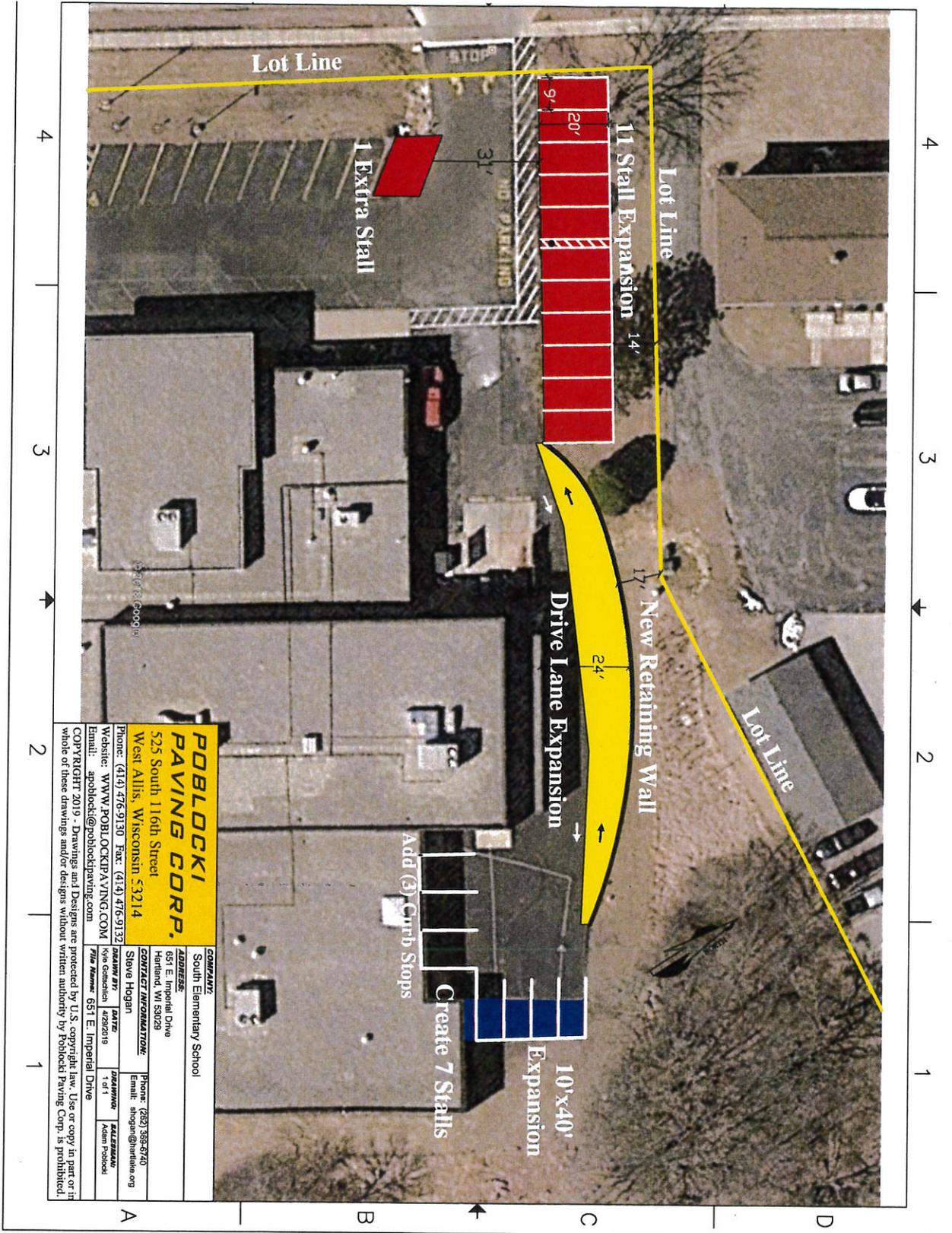
Applications that include site plans must depict the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

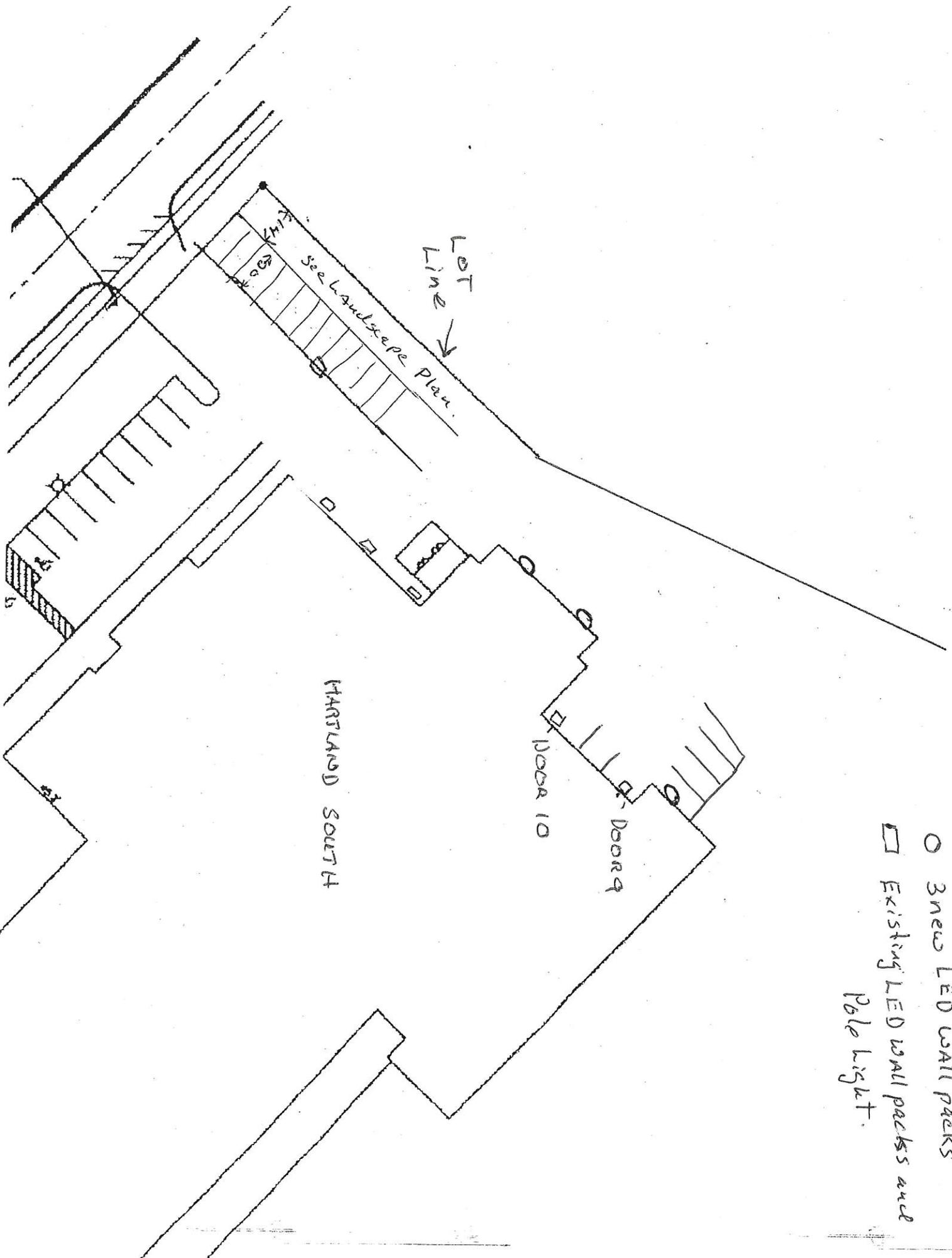
Date Applied: <i>5-3-19</i>	Date of Meeting: <i>5-20-19</i>	Return Comments by: <i>5-10-19</i>
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**POBLACKI PAVING CORP.**  
 525 South 116th Street  
 West Allis, Wisconsin 53214  
 Phone: (414) 476-9130 Fax: (414) 476-9132  
 Website: www.poblackipaving.com  
 Email: apoblacki@poblackipaving.com

<b>COMPANY:</b>	South Elementary School
<b>ADDRESS:</b>	651 E. Imperial Drive Hartland, WI 53029
<b>CONTACT INFORMATION:</b>	Phone: (483) 383-8740 Email: hogan@shelton.org
<b>INSTALLER:</b>	Steve Hogan
<b>DATE:</b>	4/28/2018
<b>PROJECT:</b>	1 of 1
<b>INSTALLER:</b>	Adam Poblacki
<b>PROJECT:</b>	651 E. Imperial Drive

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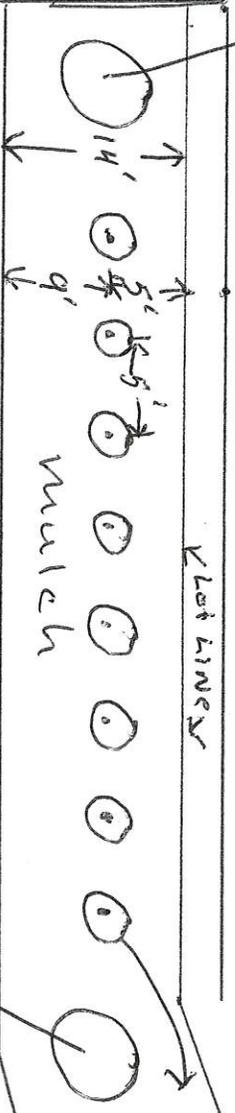
- New LED wall packs
- Existing LED wall packs and Pale light.

4 Plex  
Windows

1 1/2" Quaking Aspen

Driveway

Plantings



11 parking stalls 1 1/2" Flame Maple

8'5" Teakney Arborvitae

1 1/2" Quaking Aspen



NORTH

Hartland South  
651 E. Imperial

NOT TO SCALE.

ANDREW BYSHENK AND SUSAN KAY  
BYSHENK  
N39W29393 BURNING TREE CT  
PEWAUKEE WI 53072

ANDREW MAHLKUCH-ROMAGNA AND  
CHRISTINE MAHLKUCH-ROMAGNA  
S89W34670 EAGLE TER  
EAGLE WI 53119

ANGELA M OCONNELL  
1515 PUMPKIN PATH  
OCONOMOWOC WI 53066

ANTHONY J WOLF AND CHRISTINE A  
WOLF  
PO BOX 255  
MENOMONEE FALLS WI 53052-0255

ARNE A ERICKSEN  
733 S IMPERIAL DR  
HARTLAND WI 53029

ARTON CERKINI AND ILIRE CERKINI  
621 HARTRIDGE DR  
HARTLAND WI 53029-2626

BARRY S ARNOLD  
654 DUNDEE LN  
HARTLAND WI 53029

BEAR PASS LLC  
1601 E RACINE AVE STE 200  
WAUKESHA WI 53187-6800

BETTE BOLD  
809 CRESCENT LN  
HARTLAND WI 53029

CAROL J HENDREN  
804 S IMPERIAL DR  
HARTLAND WI 53029

CHRISTLE REAL ESTATE LLC  
PO BOX 180682  
DELAFIELD WI 53018-0682

DALE A HACKBARTH  
608 HARTRIDGE DR  
HARTLAND WI 53029-2631

DAVID A HORNING AND JACKIE A  
HORNING  
N37W29414 OLD SCHOOL HOUSE RD  
PEWAUKEE WI 53072

DAWN SCHAEFER  
N37W29348 OLD SCHOOL HOUSE RD  
PEWAUKEE WI 53072-3169

DEAN URBANOWSKI  
801 CRESCENT LN  
HARTLAND WI 53029

DEBOTH PROPERTIES LLC  
PO BOX 1832  
WAUKESHA WI 53187-1832

DOUGLAS NILSON AND DEBORAH  
NILSON  
805 CRESCENT LN  
HARTLAND WI 53029

EMERSON MUELLER  
621 DUNDEE LN  
HARTLAND WI 53029

FREDDY ALFREDO MENDOZA AND  
LAURA FIGUEROA  
627 DUNDEE LN  
HARTLAND WI 53029-2722

GREGORY A KOPULOS AND VALERIA V  
KOPULOS  
N39W29371 BURNING TREE CT  
PEWAUKEE WI 53072

HAIDEMAN PROPERTIES LLC AND JULIE  
A HAIDEMAN  
N34W28477 TAYLORS WOODS RD  
PEWAUKEE WI 53072

HARRY & BARBARA WIESE REVOCABLE  
TRUST  
N73W23281 BLACKSTONE CT  
SUSSEX WI 53089

HARTLAND INVESTMENTS LLC  
N27W30071 MAPLE AVE  
PEWAUKEE WI 53072

HARTLAND-LAKESIDE JOINT NO 3  
SCHOOL DISTRICT  
651 E IMPERIAL DR  
HARTLAND WI 53029

IMPERIAL DEVELOPMENT LLC  
161 W SUNSET DR STE 202  
WAUKESHA WI 53189

J&J ASSOCIATES HOLDINGS LLP  
2105 BRIDLE CT  
ST CHARLES IL 60174

JAMES HEIN AND MICHELE HEIN  
N39W29368 BURNING TREE CT  
PEWAUKEE WI 53072

JASON L BACHMANN  
801 S IMPERIAL DR  
HARTLAND WI 53029-2731

JEFFREY A HAIMA AND JUSTINE M  
HAIMA  
756 E IMPERIAL DR  
HARTLAND WI 53029

JOHN BOSTROM AND VALERIE  
BOSTROM  
6609 RIVERSIDE RD  
WATERFORD WI 53185

JOHN HANUS  
611 DUNDEE LN  
HARTLAND WI 53029

JOHN J LANGE  
138 LEGEND WAY  
WALES WI 53183-9541

JONATHAN T LOOMAN AND MARIE E  
LOOMAN  
1391 MAMEROW LN E  
OCONOMOWOC WI 53066-4194

JOSE G TUAZON AND ARMINDA F  
TUAZON  
625 DUNDEE LN  
HARTLAND WI 53029

JUDITH E MALONE  
731 S IMPERIAL DR  
HARTLAND WI 53029-2700

KARL LUNOWA AND M J BELL  
W339S9855 RED BRAE  
MUKWONAGO WI 53149

KEITH ZYLKA  
232 STEEPLE POINTE CIR  
DELAFIELD WI 53018

KENNETH L FISCHER  
PO BOX 407  
HARTLAND WI 53029

LAURIE A JENSON  
652 DUNDEE LN  
HARTLAND WI 53029-2740

LISA D TURNACLIFF  
650 DUNDEE LN  
HARTLAND WI 53029

LYNETTE KRAJEWSKI  
605 DUNDEE LN  
HARTLAND WI 53029-2722

MADONNA J ORCHOLSKI  
737 S IMPERIAL DR UNIT #C  
HARTLAND WI 53029

MARK C PHELPS AND JESSICA C PHELPS  
N39W29397 BURNING TREE CT  
PEWAUKEE WI 53072

MARY B VEZZETTI  
N33W33210 MAPLEWOOD RD  
NASHOTAH WI 53058

MELISSA PLOTZ  
656 DUNDEE LN UNIT# G  
HARTLAND WI 53029

MICHAEL E SCHICK  
811 S IMPERIAL DR  
HARTLAND WI 53029-2731

MICHAEL J ALDRIDGE  
735 S IMPERIAL DR  
HARTLAND WI 53029-2700

MICHELLE V TURCHIK AND CARLTON L  
MILLER  
170 DEBBIE DR  
WAUKESHA WI 53189-7611

NANCY H BETENZ  
803 S IMPERIAL DR  
HARTLAND WI 53029

NATALIE F MUSTAPICH  
627 HARTRIDGE DR - UNIT D  
HARTLAND WI 53029

PAMELA M WERNER  
609 DUNDEE LN  
HARTLAND WI 53029

PAULA R KEENE  
809 S IMPERIAL DR  
HARTLAND WI 53029

RANDALL C AND PAMELA J BRZEZINSKI  
LIVING TRUST  
N37W29422 OLD SCHOOL HOUSE RD  
PEWAUKEE WI 53072-3167

RANDY HUBERT AND LEIGH HUBERT  
670 ABERDEEN CIR  
HARTLAND WI 53029

RAYMOND WERSEL  
3515 MOUNTAIN DR  
BROOKFIELD WI 53045-1443

RER INVESTMENTS LLC  
PO BOX 75  
SUSSEX WI 53089-0075

RESOLUTION 723 LLC  
131 E WISCONSIN AVE  
PEWAUKEE WI 53072

ROBERT HEINECK AND JAYME HEINECK  
820-824 S IMPERIAL DR  
HARTLAND WI 53029

RONALD DIX AND KAREN DIX  
757 E IMPERIAL DR  
HARTLAND WI 53029

ROSEMARIE KOEHLER  
607 DUNDEE LN  
HARTLAND WI 53029

ROSS MILLER AND BETH E MILLER  
623 DUNDEE LN  
HARTLAND WI 53029

SHK PROPERTIES LLC  
S79W16389 WOODS RD  
MUSKEGO WI 53150-8615

STEPHEN HARTMANN  
1901 TALLGRASS CIR  
WAUKESHA WI 53188-2654

STEVEN JOHANNES AND MARY  
JOHANNES  
560 SAXONY CT  
HARTLAND WI 53029

THOMAS A GUEVARA  
625 HARTRIDGE DR  
HARTLAND WI 53029-2626

THOMAS TRYON AND DONNA TRYON  
W284N5038 ROOSEVELTS QUAY  
PEWAUKEE WI 53072-1771

THOMAS W THIEDE AND MARY E  
THIEDE  
1180 INDIANWOOD DR  
BROOKFIELD WI 53005

TIMOTHY AND RENEE DASSOW TRUST  
N37W29386 OLD SCHOOL HOUSE RD  
PEWAUKEE WI 53072-3169

TIMOTHY T BONK AND JILL K BONK  
N62W28550 RYBECK RD  
HARTLAND WI 53029-9204

TRACY L NOLLGE  
741 PENBROOK WAY  
HARTLAND WI 53029

WARREN GIBBS  
623 HARTRIDGE DR  
HARTLAND WI 53029

WENDY BROWN  
W315N7677 STATE ROAD 83 UNIT 6  
HARTLAND WI 53029-9784

WILLIAM NOWICKI AND MICHELLE  
NOWICKI  
825 S IMPERIAL DR  
HARTLAND WI 53029-2708



VILLAGE OF HARTLAND  
PETITION FOR:



REZONING

ZONING CODE AMENDMENT

(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

**FEE: \$400.00 + \$200 Professional Fee Deposit**

Date Filed: <u>April 30, 2019</u>	Fee Paid:
Date of Meeting:	Receipt No.

- Name: DAVE VAN SLETT  
 Address of Owner/Agent: 415 W. Capitol Drive (owner location)  
W305 N6280 Beaver View Rd. Hartland WI 53029 (agent address)  
 Phone Number of Owner/Agent: 262-336-4140  
 FAX No. \_\_\_\_\_ E-mail: slettdt@gmail.com
- State zoning change desired. (Example: From RS-1 (Single Family) to B-1 (Neighborhood Business))  
From Institutional to R55 Single Family
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use. Single Family to  
Single Family
- State present language change code section and proposed language (use additional paper if necessary).  
No language change needed, just change in code from  
Institutional to R55



**APPLICATION FOR  
PLAN COMMISSION**

**\$300 REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description <b>Minor land separation</b>			
Proposed Use <b>Church and single family home</b>			No. of Employees
Project Location <b>415 W. Capital Dr.</b>			
Project Name			
Owner <b>Zion Ev. Lutheran Church</b>		Phone <b>262-367-3617</b>	
Address <b>415 W. Capital Dr.</b>		City <b>Hartland</b>	State <b>Wi.</b> Zip <b>53029</b>
Engineer/Architect		Phone	FAX
Address		City	State Zip
Contact Person <b>Dave Van Slett</b>	Phone <b>262-336-4140</b>	FAX	E-mail <b>slettdt@gmail.com</b>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

**The deadline for filing is a minimum of fifteen (15) working days before the meeting.**

**All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.**

**Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.**

**Applications that include site plans must depict the following existing and proposed information:**

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

**All applications for consideration by the Plan Commission are subject to the policies described in this document.**

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

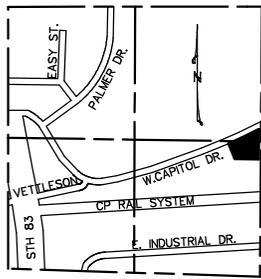
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3,  
TOWNSHIP 7 NORTH RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN

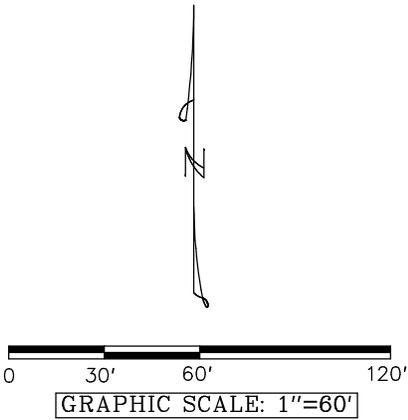
**LEGEND**

- - INDICATES 1-INCH DIA. IRON PIPE FOUND
- - INDICATES 1-INCH DIA. IRON PIPE SET 1.13 LBS/LIN.FT 18" LENGTH
- ▲ - INDICATES PARKER-KALON NAIL FOUND

**LOCATION MAP**

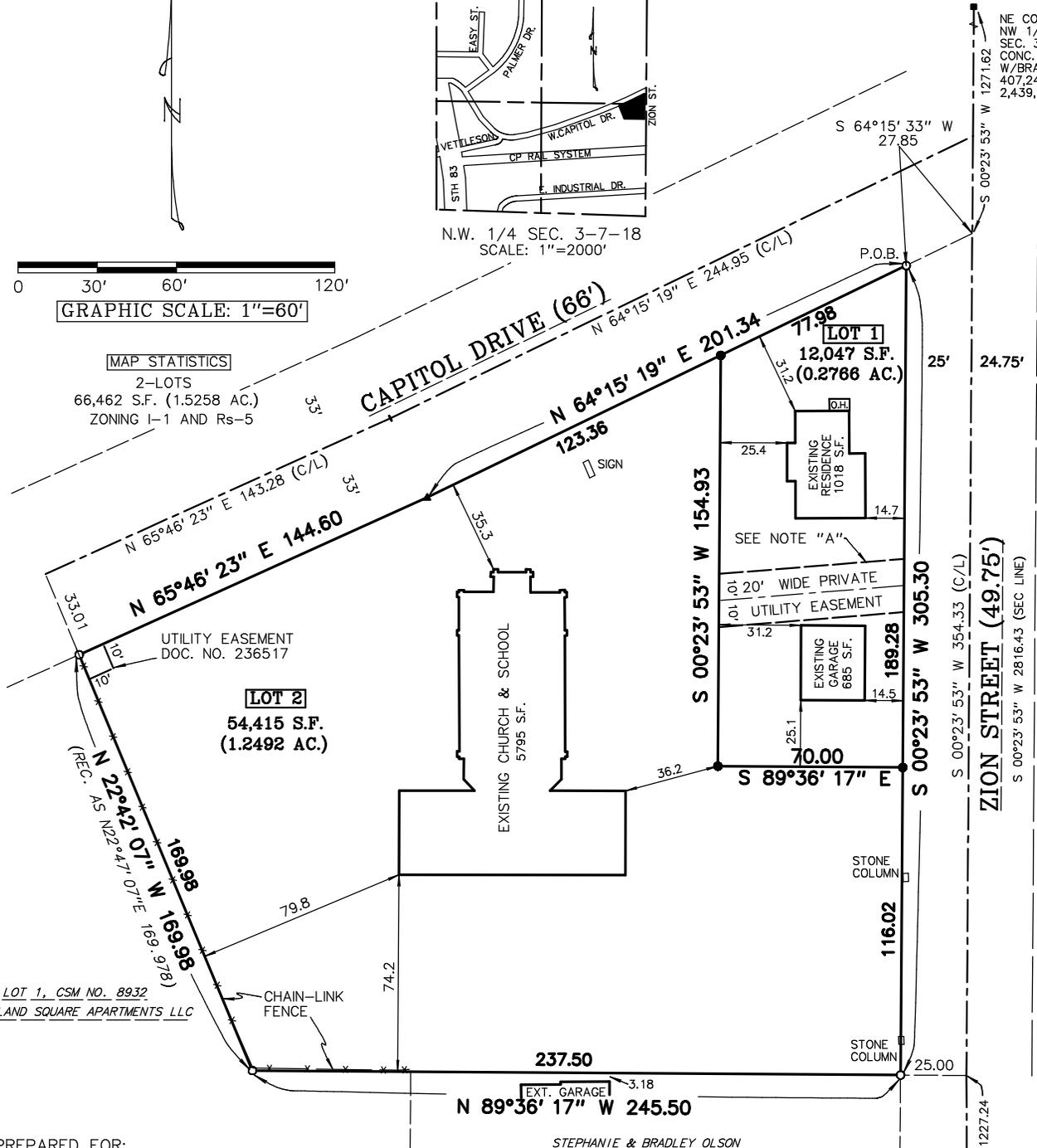


N.W. 1/4 SEC. 3-7-18  
SCALE: 1"=2000'



**MAP STATISTICS**

2-LOTS  
66,462 S.F. (1.5258 AC.)  
ZONING I-1 AND Rs-5



NE CORNER  
NW 1/4  
SEC. 3-7-18  
CONC. MON.  
W/BRASS CAP  
407,245.73  
2,439,921.45

SE CORNER  
NW 1/4  
SEC. 3-7-18  
CONC. MON.  
W/BRASS CAP  
404,429.65  
2,439,901.89

LOT 1, CSM NO. 8932  
HARTLAND SQUARE APARTMENTS LLC

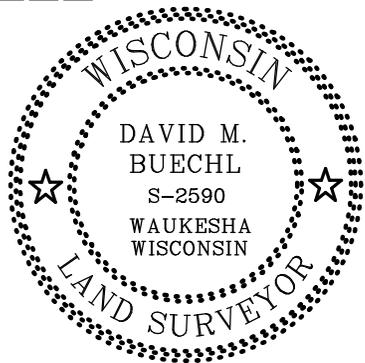
PREPARED FOR:  
ZION EVANGELICAL CHURCH  
C/O DENNIS RASMUSSEN  
415 W. CAPITOL DR.  
HARTLAND, WI 53029

PREPARED BY:  
MICHAEL W. BUECHL, INC.  
233 OAKTON AVENUE  
PEWAUKEE, WI 53072  
262-691-4444  
mbuechl@ameritech.net

**ZONING**

LOT 1 RS-5 (PROPOSED)  
STREET: 30 FEET  
REAR: 25 FEET  
SIDE: SUM 25 FEET (NOT LESS THAN 10 FEET)  
LOT 2 I-1 (EXISTING)  
STREET: 30 FEET  
REAR: 25 FEET  
SIDE: SUM 25 FEET (NOT LESS THAN 10 FEET)

STEPHANIE & BRADLEY OLSON  
UNPLATTED LANDS



**NOTE "A"**

A 20 FOOT WIDE PRIVATE UTILITY EASEMENT ACROSS LOT 1 FOR THE BENEFIT OF LOT 2 (BY SEPARATE INSTRUMENT)

BEARINGS REFERENCED TO THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 3-7-18 HAVING AN ASSUMED BEARING OF SOUTH 00°23' 53" WEST PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM NAD 1927 (SOUTH ZONE)

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

**A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN**

**SURVEYORS CERTIFICATION**

(State of Wisconsin

: ss

Waukesha County)

I, David M. Buechl, a professional land surveyor, do hereby certify: That I have surveyed, divided and mapped a part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 3, Township 7 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Northeast corner of said Northwest corner of Section 3; thence South 00°23'53" West, along the East line of said Northwest 1/4, 1271.82 feet; thence South 64°15'23" West, 27.85 feet to the West line of Zion Street and the place of beginning of the lands to be described; thence South 00°23'53" West, along said West line, 305.30 feet; thence North 89°36'17" West 245.50 feet to a point on the Easterly line of Certified Survey Map No. 8932; thence North 22°42'07" West, along said Easterly line, 169.98 feet to the Southerly line of Capitol Drive; thence North 65°46'23" East, along said Southerly line, 144.60 feet to an angle point; thence North 64°15'19" East, along said Southerly line, 201.34 feet to the place of beginning.

Containing 66,462 square feet (1.5258 acres) more or less.

That I have made this survey, land division and map by the direction of the owners of said land. That such map is a correct representation of all exterior boundaries of the land surveyed and the division thereof made. That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Certified Survey Map Ordinance of the Village of Hartland in surveying, dividing and mapping the same.

\_\_\_\_\_

*Date*

\_\_\_\_\_

*David M. Buechl, Professional Land Surveyor (S-2590)*

**OWNER'S CERTIFICATE**

We, as duly elected officers of the Zion Evangelical Lutheran Church, hereby certify that we have caused the land described in this document to be surveyed, divided, and mapped as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes pertaining to Certified Survey Maps (Section 236.34) and shall be submitted to the Village of Hartland for approval or objection.

\_\_\_\_\_

*David Van Slett, President*

\_\_\_\_\_

*Dennis Rasmussen, Vice President*

\_\_\_\_\_

*Tim Toepel, Treasurer*

\_\_\_\_\_

*Mark Hahm, Recording Secretary*

WITNESS the hand and seal of said owner this \_\_\_\_ day of \_\_\_\_\_, 2019.

(State of Wisconsin

: ss

Waukesha County)

PERSONALLY came before me this \_\_\_\_ day of \_\_\_\_\_, 2019, to me known to be the persons who executed the Owner's Certificate and acknowledged the same.

\_\_\_\_\_

*Notary Public:*

\_\_\_\_\_

*My commission expires:*

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

**A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 7 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN**

**PLAN COMMISSION APPROVAL:**

Approved by the Plan Commission of the Village of Hartland this \_\_\_\_\_ day of \_\_\_\_\_, 2019

\_\_\_\_\_  
*Jeffrey Pfannerstill, Chairman*

\_\_\_\_\_  
*Darlene Igl, Village Clerk*

**VILLAGE BOARD APPROVAL:**

Approved by the Village Board, Village of Hartland, this \_\_\_\_\_ day of \_\_\_\_\_, 2019

\_\_\_\_\_  
*Jeffrey Pfannerstill, President*

\_\_\_\_\_  
*Darlene Igl, Village Clerk*



492 PARTNERS LLC  
492 RIVERSIDE DR  
PRINCETON NJ 08540-5421

ANDREW J SALOMONE  
337 PROSPECT AVE  
HARTLAND WI 53029-2022

CAROLINE B JOYCE  
526 W CAPITOL DR  
HARTLAND WI 53029

DANIEL G ANDERSON AND SALLY J  
ANDERSON  
315 W CAPITOL DR  
HARTLAND WI 53029

DANIEL R SMITH JR  
248 PAWLING AVE  
HARTLAND WI 53029

DAVE HYLAND AND DAWN HYLAND  
440 W CAPITOL DR  
HARTLAND WI 53029

DAVID CATANIA AND JEAN CATANIA  
328 PROSPECT AVE  
HARTLAND WI 53029-2023

DAVID JAMBRETZ AND SUSAN  
JAMBRETZ  
338 PROSPECT AVE  
HARTLAND WI 53029

DAVID PEERS AND ERICA D PEERS  
345 PROSPECT AVE  
HARTLAND WI 53029-2022

DONALD G LUND 2013 LIVING TRUST  
432 W CAPITOL DR  
HARTLAND WI 53029

DOWNING BROTHERS BUILDERS INC  
W267S3742 VELMA CT  
WAUKESHA WI 53188-6609

EDWIN & ANNETTE MILLER TRUST  
354 PROSPECT AVE  
HARTLAND WI 53029

ELIZABETH ANN CONLEY  
320 ZION ST  
HARTLAND WI 53029-1929

ELMORE MACHINERY CORP  
403 EAST AVE  
EAGLE WI 53119-2109

GEORGE G GARNEAU JR  
330 ZION ST  
HARTLAND WI 53029

HARMANN RENTALS LLC  
W320N9189 HIGHWAY 83  
HARTLAND WI 53029-9737

HARTLAND MEADOWS RETIREMENT  
APARTMENTS LLC  
W320N1161 BUTTERNUT RIDGE CT  
DELAFIELD WI 53018

HARTLAND PROPERTIES LLC  
N5915 N WILLOW GLEN RD  
SULLIVAN WI 53178-9727

HARTLAND SELF STORAGE LLC  
392 ROYAL ST GEORGE ST  
VERNON HILLS IL 60061-4527

HARTLAND SQUARE APARTMENTS LLC  
W312S9003 MOCCASIN TRL  
MUKWONAGO WI 53149

HARTLAND STATION LLC  
249 PAWLING AVE  
HARTLAND WI 53029-2052

JARED KELLER  
608 W CAPITOL DR  
HARTLAND WI 53029-1925

JENNIFER L MOHR-WHITMAN  
448 W CAPITOL DR  
HARTLAND WI 53029-1921

JSO PROPERTIES LLC  
614 W CAPITOL DR  
HARTLAND WI 53029

KOEPEL HOLDINGS LLC  
PO BOX 46  
OCONOMOWOC WI 53066-0046

LEAF INVESTMENTS LLC  
512 INDUSTRIAL DR  
HARTLAND WI 53029-2310

LESLIE A MOATS  
N8331 CARDINAL PASS  
IXONIA WI 53036-9451

MAC HOLDINGS LLC  
PO BOX 602  
HARTLAND WI 53029

MEYER MATERIAL COMPANY  
1300 S IL ROUTE 31  
SOUTH ELGIN IL 60177-9724

MICHELE H ANDRAE  
256 W CAPITOL DR  
HARTLAND WI 53029

NORTHPOINT COMMUNITY CHURCH  
400 W CAPITOL DR  
HARTLAND WI 53029-1921

PAMELA FILO  
344 PROSPECT AVE  
HARTLAND WI 53029

PREMIER HARTLAND LLC  
3120 GATEWAY RD  
BROOKFIELD WI 53045-5112

ROBERT F KALKE JR  
370 PROSPECT AVE  
HARTLAND WI 53029

ROBERT J & SUSAN L KOSANKE 2007  
LIVING TRUST  
237 W PARK AVE  
HARTLAND WI 53029

SARAH J SAUER  
360 PROSPECT AVE  
HARTLAND WI 53029

SHAWN M HOPPE  
320 PROSPECT AVE  
HARTLAND WI 53029-2023

STEPHANIE OLSON AND BRADLEY A  
OLSON  
341 ZION ST  
HARTLAND WI 53029-1928

STONEWOOD STORAGE ASSOCIATES  
LIMITED PARTNERSHIP  
PO BOX 145  
HARTLAND WI 53029

SUPERIOR OF WISCONSIN INC  
559 PROGRESS DR PO BOX 168  
HARTLAND WI 53029-0168

THOMAS CANTRELL AND DIONNE  
CANTRELL  
359 PROSPECT AVE  
HARTLAND WI 53029-2022

THOMAS H BEAUMONT  
310 ZION ST  
HARTLAND WI 53029

THOMAS H DALY  
247 W PARK AVE  
HARTLAND WI 53029-2020

TIMOTHY E MUELLER  
330 PROSPECT AVE  
HARTLAND WI 53029-2023

WISCONSIN ELEC POWER CO  
231 W MICHIGAN AVE  
MILWAUKEE WI 53203

ZION EVANGELICAL CHURCH  
415 W CAPITOL DR  
HARTLAND WI 53029

**From:** [Amtmann, Ryan](#)  
**To:** [slettdt@gmail.com](mailto:slettdt@gmail.com)  
**Cc:** [Scott Hussinger](#); [Dave Felkner](#); [Darlene Igl](#); [Mike Gerszewski](#)  
**Subject:** 415 W. Capitol Drive - Rezoning/CSM Item  
**Date:** Monday, May 13, 2019 10:18:44 AM  
**Attachments:** [image395402.png](#)  
[image157922.png](#)  
[image375754.png](#)  
[image808000.png](#)  
[image945057.png](#)  
[image415299.png](#)  
[image971983.png](#)  
[image394890.png](#)  
[image891602.png](#)

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Hello Dave –

Village staff reviewed your request for a CSM to split off the residence from the church/school property.

We have the following comments:

1. On the Property Survey/Proposed Land Division Exhibit
  - a. The existing water services from the residence to the church shall be abandoned, cap end. Requires inspection by Village.
  - b. The church shall be serviced with water, with a connection/extension from the existing water service line that services the school. A meter shall be installed including 2 valves and a meter horn.
  - c. Village staff recommend that the sewer lateral that currently serves the church, be relocated along the new water service line. This will allow for the existing sewer lateral that runs through the new residential property to be abandoned. Doing this provides for flexibility for the future home owner to be able to expand the house or garage and not be impeded by a sewer lateral in an easement through the middle of the property.
  - d. The sewer lateral would need to be capped at the west end and near the right-of-way. The sewer lateral and abandonment requires inspection by Village.
  
2. CSM
  - a. The distance from the NE corner of the NW  $\frac{1}{4}$  of 3-7-18 is listed as 1271.62' on Page 1, and is listed as 1271.82' in the Surveyor's Certificate. This should be corrected.

If you have any questions please feel free to call me.

Ryan

**Ryan T. Amtmann, P.E. (WI, IL)**

*Vice President*



 262-953-3002  
 414-840-3296



✉ [ramtmann@ruekert-mielke.com](mailto:ramtmann@ruekert-mielke.com)  
🌐 [ruekertmielke.com](http://ruekertmielke.com)

Explore our new **Video Gallery**  
to watch the latest expert webinars.



R/M was named a Top Workplace! Learn more about [our culture](#).

Combining 7 lots into 2 lot

VILLAGE OF HARTLAND  
PETITION FOR LAND DIVISION:

**EXTRATERRITORIAL PLAT REVIEW - \$100**

**CSM (Certified Survey Map) + \$300 Professional Fee Deposit**  
or

**PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit**

Up to Five Parcels - \$150.00

Six to Fourteen Parcels - \$300.00

Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary  
Plat Requiring Review \$50.00 (Minimum)  
Reapplication for Previously Reviewed Plat \$10.00

**FINAL PLAT REVIEW**

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat  
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

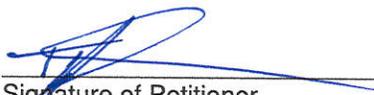
1. Name: Tyler Kaber

Address of Owner/Agent: 1717 Cambridge Ave Sheboygan WI 53081

Phone Number of Owner/Agent: 920-287-9670

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.  
Separate residential lots with 6 home, to create  
2 lot with 2 Home

  
Signature of Petitioner

1717 Cambridge Ave Sheboygan WI 53081  
Address

920-287-9670  
Phone



**FRANCISCAN ROAD**

WIDTH VARIES

NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 14-7-18  
STATE PLANE COORDINATES  
NORTHING: 396,419.28  
EASTING: 2,445,212.28

NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 14-7-18  
STATE PLANE COORDINATES  
NORTHING: 396,449.06  
EASTING: 2,442,560.26

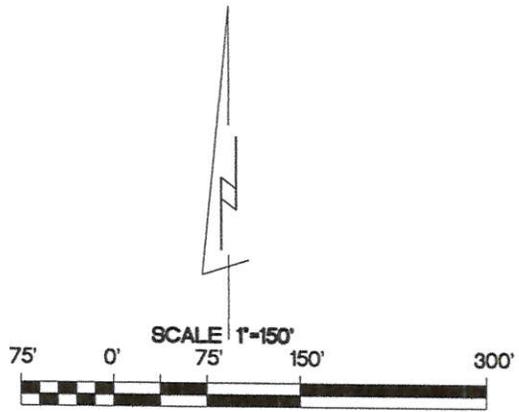
NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 14-7-18

DEDICATED FOR PUBLIC ROAD PURPOSES 2046 SQ. FT.

**CERTIFIED SURVEY MAP**  
NO. \_\_\_\_\_

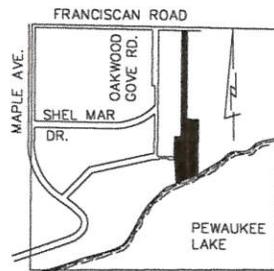
Being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 and the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 all in Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.

WAUKESHA COUNTY SHORELAND AND FLOODLAND PROTECTION ORDINANCE LIMITS



BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 14-7-18 AND IS ASSUMED TO BEAR N89°21'24"W. (NAD27).

- FOUND 6" CONC. MON. W/BRASS CAP
- FOUND 1 1/4" O.D. IRON PIPE
- SET 1 1/4" O.D. IRON PIPE WEIGHING 1.13 LBS./LIN. FT.
- ✱ SET R.R. SPIKE IN ASPHALT



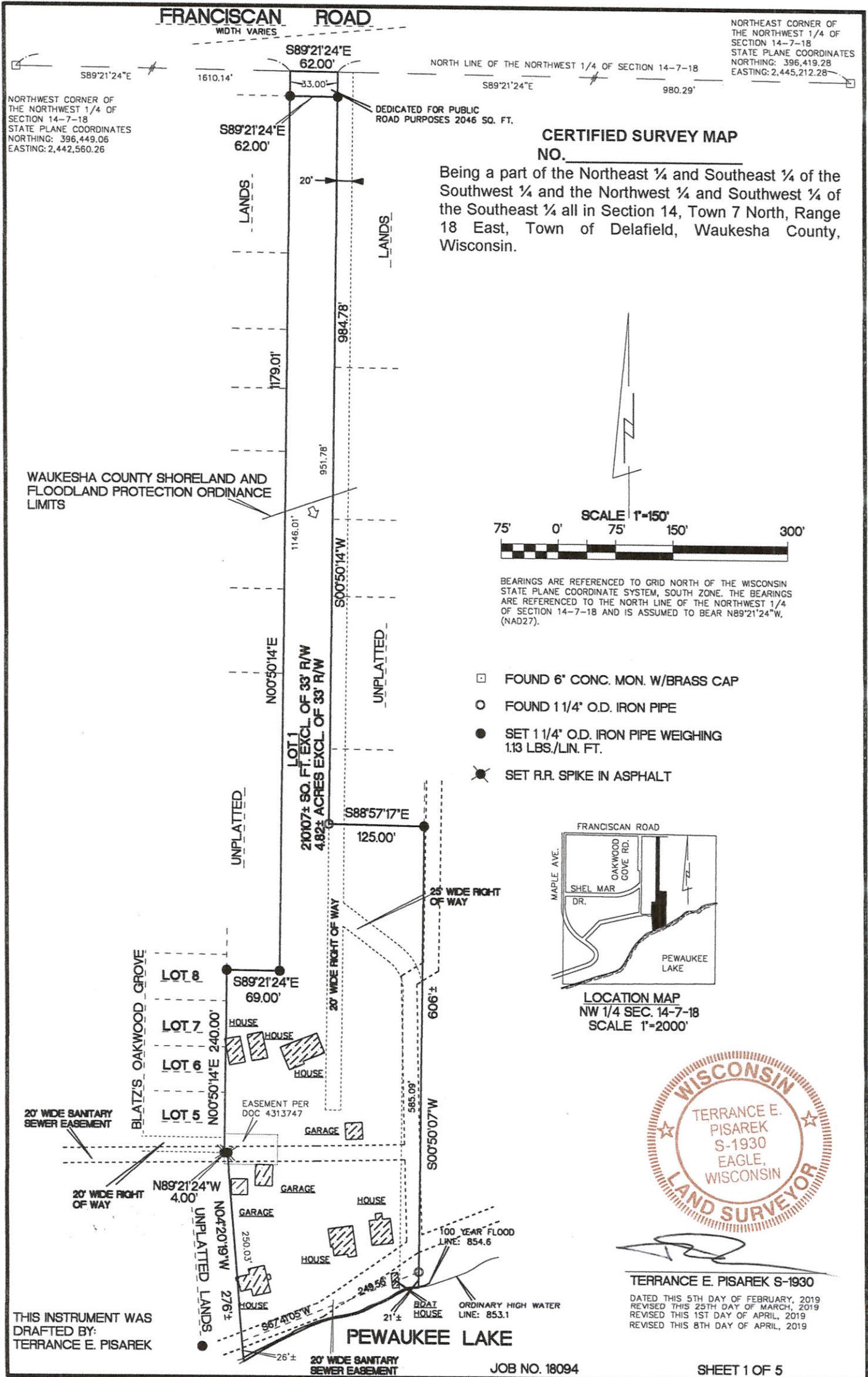
**LOCATION MAP**  
NW 1/4 SEC. 14-7-18  
SCALE 1"=2000'



TERRANCE E. PISAREK S-1930  
DATED THIS 5TH DAY OF FEBRUARY, 2019  
REVISED THIS 25TH DAY OF MARCH, 2019  
REVISED THIS 1ST DAY OF APRIL, 2019  
REVISED THIS 8TH DAY OF APRIL, 2019

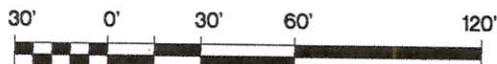
THIS INSTRUMENT WAS DRAFTED BY:  
TERRANCE E. PISAREK

**PEWAUKEE LAKE**



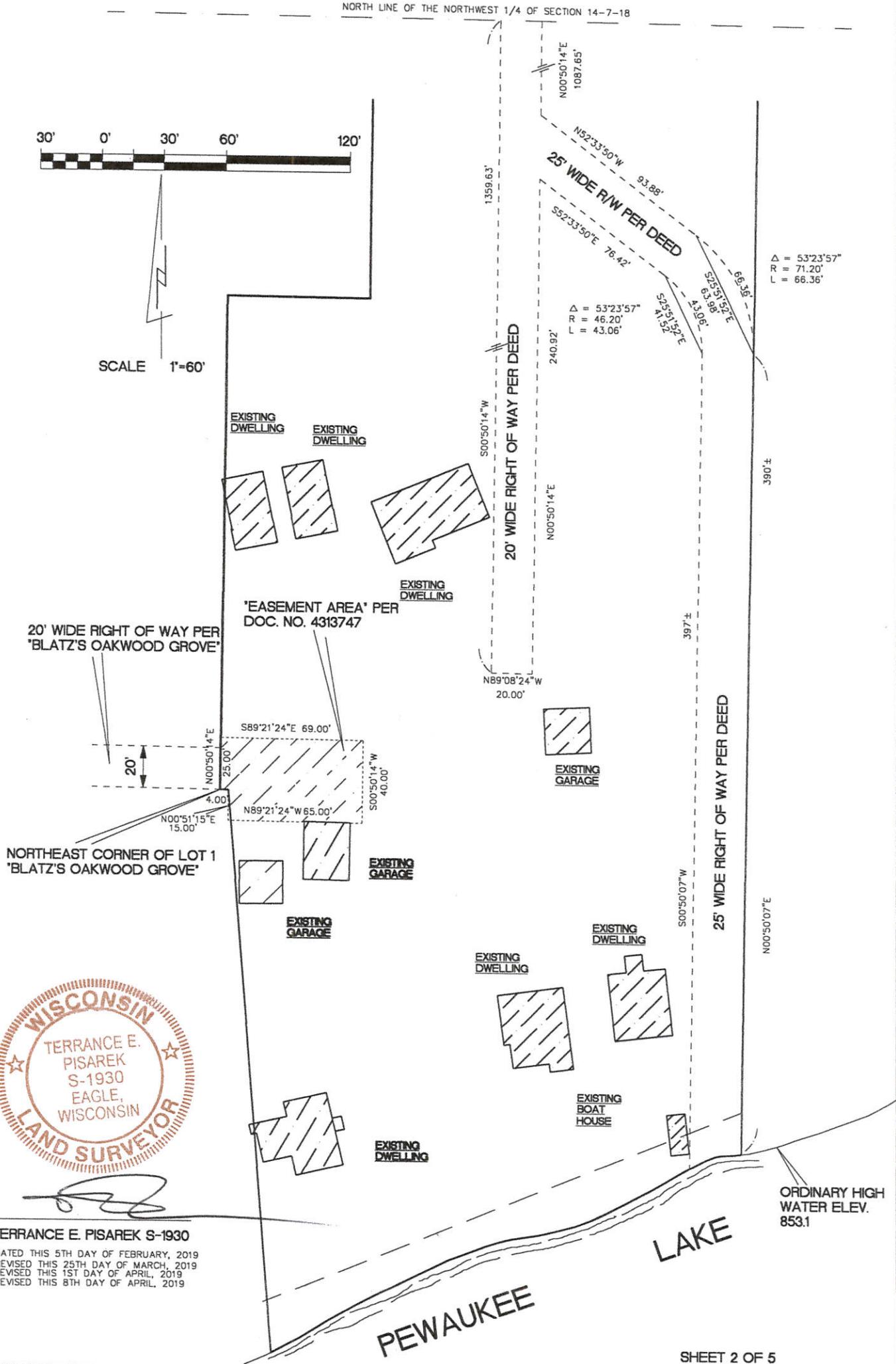
**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Being a part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.



SCALE 1"=60'

NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 14-7-18



Δ = 53°23'57"  
R = 71.20'  
L = 66.36'

Δ = 53°23'57"  
R = 46.20'  
L = 43.06'



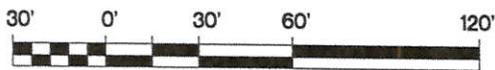
TERRANCE E. PISAREK S-1930  
DATED THIS 5TH DAY OF FEBRUARY, 2019  
REVISED THIS 25TH DAY OF MARCH, 2019  
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REVISED THIS 8TH DAY OF APRIL, 2019

ORDINARY HIGH WATER ELEV. 853.1

PEWAUKEE LAKE

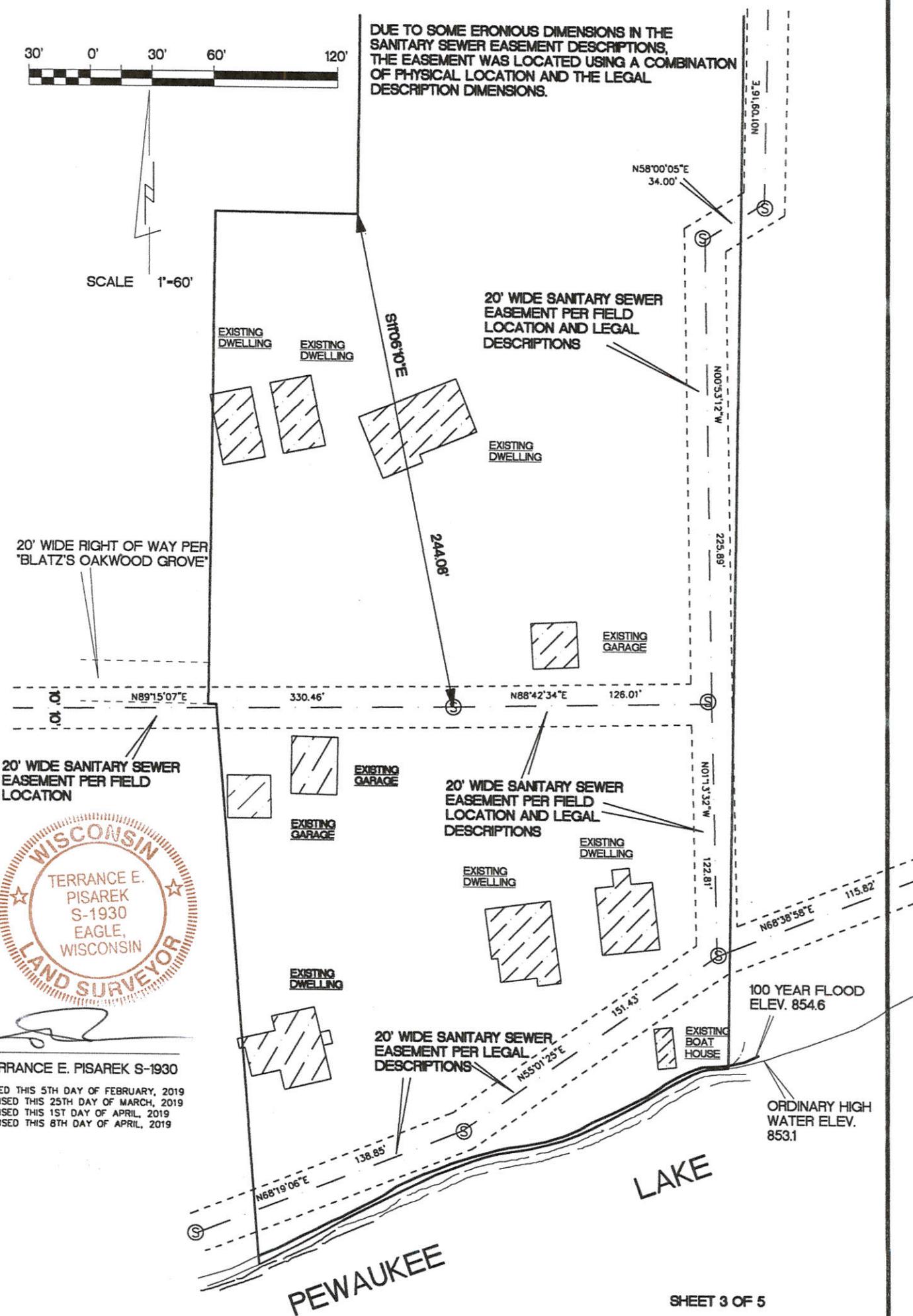
CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.



SCALE 1"=60'

DUE TO SOME ERONIOUS DIMENSIONS IN THE SANITARY SEWER EASEMENT DESCRIPTIONS, THE EASEMENT WAS LOCATED USING A COMBINATION OF PHYSICAL LOCATION AND THE LEGAL DESCRIPTION DIMENSIONS.



TERRANCE E. PISAREK S-1930  
DATED THIS 5TH DAY OF FEBRUARY, 2019  
REVISED THIS 25TH DAY OF MARCH, 2019  
REVISED THIS 1ST DAY OF APRIL, 2019  
REVISED THIS 8TH DAY OF APRIL, 2019

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Being a part of the Northeast ¼ and Southeast ¼ of the Northwest ¼ of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.

**SURVEYORS CERTIFICATE**

I, Terrance E. Pisarek, Professional Land Surveyor, do hereby certify: That I have surveyed, divided and mapped a parcel of land being a part of the Northeast ¼ and Southeast ¼ of the Northwest ¼ of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin, described as follows: Commencing at the Northwest corner of the Northwest ¼ of said Section 14; thence South 89°21'24" East along the North line of the Northwest ¼ of said Section 14, 1610.14 feet to the Point of Beginning; thence continuing South 89°21'24" East along said North line, 62.00 feet; thence South 00°50'14" West, 984.78 feet; thence South 88°57'17" East, 125.00 feet; thence South 00°50'07" West, 585.09 feet to a meander line of Pewaukee Lake; thence South 67°41'05" West along said meander line, 203.40 feet; thence North 00°50'14" East, 231.09 feet; thence North 89°21'24" West, parallel with the North line of the Northwest ¼ of said Section 14, 69.00 feet; thence North 00°50'14" East, along the East line of Blatz's Oakwood Grove, 240.00 feet; thence South 89°21'24" East, parallel with the North line of the Northwest ¼ of said Section 14, 69.00 feet; thence North 00°50'14" East, 1179.01 feet to the Point of Beginning, also those lands lying between the Shore of Pewaukee Lake and the said meander line, being bordered on the East and West by the Easterly and Westerly lines of this Plat as shown on this Certified Survey Map, dedicating the Northerly 33 feet for public road purposes as shown on this Certified Survey Map, containing 4.09%%p acres of land exclusive of the dedicated right of way.

That I have made such survey, land division and map by the direction of the David J. French Revocable Trust of 1991, Owner of the land

That such map is a true and correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the ordinances of the Town of Delafield in surveying, dividing and mapping the same.

Dated this 5<sup>th</sup> Day of February, 2019  
Revised this 25<sup>th</sup> Day of March, 2019  
Revised this 1<sup>st</sup> Day of April, 2019  
Revised this 8<sup>th</sup> Day of April, 2019



**OWNERS CERTIFICATE**

I, David J. French as Trustee for the David J. French Revocable Trust of 1991, as owner, do hereby certify that I have caused the land described to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin State Statutes and the Town of Delafield Land Division Ordinance.

I also certify that this plat is required to be approved by the following: Town of Delafield, and Village of Hartland.

Date: \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
David J French, Trustee

State of Wisconsin)  
County of Waukesha)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ the above named person, to me be known to be the person who signed the foregoing Instrument and acknowledged that he executed the same.

My commission expires \_\_\_\_\_

\_\_\_\_\_  
Notary Public

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Being a part of the Northeast ¼ and Southeast ¼ of the Northwest ¼ of Section 14, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.

**TOWN BOARD APPROVAL**

Approved by the Town of Delafield Town Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Lawrence G. Krause, Chairman

\_\_\_\_\_  
Mary Elsner, Town Clerk/Treasurer

**PLAN COMMISSION APPROVAL**

Approved by the Town of Delafield Plan Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Kevin Fitzgerald, Chairman

\_\_\_\_\_  
Mary Elsner, Town Clerk/Treasurer

**VILLAGE OF HARTLAND EXTRA TERRITORIAL APPROVAL**

This Certified Survey Map was approved by the Village of Hartland on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Jeffrey Pfannerstill, President

\_\_\_\_\_  
Darlene Igl, Clerk

**WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE APPROVAL**

The above, which has been filed for approval as required by Section 236 of the Wisconsin Statutes, is hereby approved on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Dale Shaver, Director



Dated this 5<sup>th</sup> Day of February, 2019  
Revised this 25<sup>th</sup> Day of March, 2019  
Revised this 1<sup>st</sup> Day of April, 2019  
Revised this 8<sup>th</sup> Day of April, 2019

2920-2980 LLC  
W240N2385 PEWAUKEE RD  
WAUKESHA WI 53188-1010

A HAUBNER AND S GAJEWSKI  
N28W29721 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

ALBERT ROCHA AND SHEILA ROCHA  
N29W29816 SHEL-MAR DR  
PEWAUKEE WI 53072

ALL LOTS LLC  
W240N2385 PEWAUKEE RD  
WAUKESHA WI 53188

AMBER R TALAGA  
W297N2934 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

ANDERSON & TEUTEBERG  
W297N2968 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

ANDREW M AND CARRIE L JASKANIEC  
REVOCABLE TRUST  
N67W13680 DAYLILY DR  
MENOMONEE FALLS WI 53051-5294

ANTHONY R KODZIK AND SHARON A  
KODZIK  
W296N3004 FRANCISCAN RD  
PEWAUKEE WI 53072-3219

BONNIE GALUSHA  
W297N2922 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

BRIAN R BURNS AND TOYA M BURNS  
N31W29737 WOODRIDGE CIR  
PEWAUKEE WI 53072-3214

DANIEL J HOGAN AND GABRIELA  
HOGAN  
W288N2278 OAKTON MANOR DR APT  
4  
PEWAUKEE WI 53072-5064

DAVID J FELKER AND KAY E FELKER  
W296N2966 FRANCISCAN RD  
PEWAUKEE WI 53072-3215

DAVID J FRENCH AND JUDY FRENCH  
W303N2568 MAPLE AVE  
PEWAUKEE WI 53072-4243

DEAN DAHLMAN AND CATHERINE  
DAHLMAN  
N31W29681 FRANCISCAN RD  
PEWAUKEE WI 53072

DONNA L ROBERTS  
N28W29781 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4223

GERALD T CARLSON AND TINA M  
CARLSON  
W297N2988 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

GREG GENIESSE AND KATHERINE  
GENIESSE  
W301N9400 COUNTY RD E  
HARTLAND WI 53029-9515

GUAN XIONG LIU AND YEEN G LIU  
N28W29811 SHOREWOOD RD  
PEWAUKEE WI 53072

J&M GRANVILLE LLC  
8747 N 107TH ST  
MILWAUKEE WI 53224

JAMES ROHS AND BEVERLY ROHS  
N88W18489 DUKE ST  
MENOMONEE FALLS WI 53051

JEFF HORWATH FAMILY BUILDERS INC  
1806 HWY 83  
HARTLAND WI 53029-8840

JEFFREY WEDEWARD AND M  
WEDEWARD  
N28W29777 SHOREWOOD RD  
PEWAUKEE WI 53072

JERRY HOUK AND VALERIE HOUK  
N28W29845 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

JOHN ENGEL AND SHELBY ENGEL  
W297N2997 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

JOHN J & LISA M MILLEN 2013 LIVING  
TRUST  
W296N2973 FRANCISCAN RD  
PEWAUKEE WI 53072-3216

JOHN MILLEN AND LISA MILLEN  
W296N2973 FRANCISCAN RD  
PEWAUKEE WI 53072

JOHN WALRATH AND JANE WALRATH  
W296N2978 FRANCISCAN RD  
PEWAUKEE WI 53072

JOSEPH GALUSHA AND BONNIE  
GALUSHA  
W297N2922 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

JUDITH A TOOR  
W297N3020 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4222

KENNETH R JORDAN  
N28W29870 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

KEVIN KLECZKA  
W272N2684 LAKEVIEW BLVD  
PEWAUKEE WI 53072-4410

LEE JOCHMAN AND CHELSEY JOCHMAN  
W297N3221 WOODRIDGE CIR  
PEWAUKEE WI 53072

LINDA A ROGERS  
W297N3063 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4221

MARC W AKKALA AND CHRISTINE T  
AKKALA  
N28W29803 SHOREWOOD RD  
PEWAUKEE WI 53072-4214

MARK HUGHES AND ANGELA HUGHES  
W297N3066 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

MARK R STARGARD  
W297N2942 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

MARY L RUFF  
N28W29798 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4224

MK-SS LLC  
11600 W LINCOLN AVE  
WEST ALLIS WI 53227-1018

NICHOLAS HUNZINGER AND MIRANDA  
HUNZINGER  
N28W29813 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4225

NICHOLAS SCOTT FERA  
W297N3016 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4222

P&G 29700-29704 LLC  
W240N2385 PEWAUKEE RD  
WAUKESHA WI 53188

PATRICK K DEMPSEY AND RANIA L  
DEMPSEY  
W296N2979 FRANCISCAN RD  
PEWAUKEE WI 53072-3216

PAUL G BOEMER JR 2006 REVOCABLE  
TRUST  
9824 CAPISTAN CT  
FORT MEYERS FL 33919

PAUL V WARNER AND SUSAN J  
WARNER  
N28W29769 SHOREWOOD RD  
PEWAUKEE WI 53072-4212

PETER DUVNJAK AND LEDIA DUVNJAK  
300 N 166TH ST  
BROOKFIELD WI 53005-3922

PETER FEICHTMEIER AND NANCY  
FEICHTMEIER  
W296N2977 FRANCISCAN RD  
PEWAUKEE WI 53072

PETER KOVACICH AND STELLA  
KOVACICH  
N29W29785 SHEL-MAR DR  
PEWAUKEE WI 53072

R J FOODS INC  
N17W30250 CROOKED CREEK RD  
PEWAUKEE WI 53072-4872

RAYMOND C KOESTER  
N30W29727 FRANCISCAN RD  
PEWAUKEE WI 53072

RICHARD F CLARK  
N47W27547 LYNNDALE RD  
PEWAUKEE WI 53072-1751

ROBERT SCHMITT AND C SCHMITT  
N28W29782 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

RODNEY C GYGAX  
W297N3034 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4222

S AND S SCHAFFER LIVING TRUST  
18W755 AVENUE CHATEAUX N  
OAK BROOK IL 60523-1666

SCOTT BERKOWITZ  
1554 BIG OAK CT  
LAKE FOREST IL 60045-3776

SCOTT HUBBARD AND KAY HUBBARD  
209 KESTREL WAY  
HARTLAND WI 53029

STELLAR VI LLC  
N28W29721 OAKWOOD GROVE RD  
PEWAUKEE WI 53072

STEVEN WESTLIE AND LINDA WESTLIE  
W296N3026 FRANCISCAN RD  
PEWAUKEE WI 53072

WENDELL DUBORD AND MICHELLE  
DUBORD  
W297N2997 OAKWOOD GROVE RD  
PEWAUKEE WI 53072-4220

WILLIAM D JOYNER  
N28W29707 OAKWOOD GROVE RD  
PEWAUKEE WI 53072