

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, JULY 15, 2019
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of June 17, 2019.
2. Architectural Board review and consideration of an application for façade improvements on the west side of the building for O’Creative, 301 Pawling Ave.
3. Architectural Board review and consideration of an application for single family condominium plans, elevations and materials for Overlook Trails.
4. Architectural Board review and consideration of an application for a sunroom addition to the William Peche residence, 301 Hill St.
5. Plan Commission review and consideration of a concept site plan for development of lands on Campus Drive east of Lake Country Lutheran.
6. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
7. Adjourn.

Ryan Bailey, Interim Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JUNE 17, 2019
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, David deCourcy-Bower, Ann Wallschlager, Tim Fenner, Tim Hallquist, James Schneeberger and Jeff Bierman.

Others Present: Interim Administrator Bailey, Building Inspector Hussinger, Ryan Amtmann and Deputy Clerk Bush  y.

Call to Order-

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of May 20, 2019.

Motion (Hallquist/deCourcy-Bower) to approve the Jt. Architectural Board/Plan Commission minutes for May 20, 2019. Carried (7-0).

2. Architectural Board review and consideration of an application for an addition on the Matz residence, 176 E. Park Ave.

Building Inspector Hussinger said the addition will be off the front of the house. He said there is an existing front porch foundation which is slightly raised and they will be building on top of that. He said the setback requirements are within the limits.

Motion (Hallquist/Schneeberger) to approve the addition on the Matz residence, 176 E. Park Ave. Carried (7-0).

3. Architectural Board review and consideration of an application for a sign for Tailor Made, 725 Industrial Court.

Hussinger said the application is for 2 signs that are non-illuminated and both signs meet the size limitation & sign code. Fenner asked if this property isn't in the BID jurisdiction and Hussinger said no.

Motion (deCourcy-Bower/Halquist) to approve the application for signs for Tailor Made, 725 Industrial Court. Carried (7-0).

4. Architectural Board and Plan Commission review and consideration for fa ade maintenance and improvements for Bravo Company, 635 Cardinal Lane.

A representative from Bravo Company was present and said during a weekly walk through of the property they discovered that plaster was not securely fastened to the masonry block. He said that it was discovered that water had gotten inside the plaster and deteriorated it. He said a plaster company will be redoing the plaster. They will have chip faced block in the SW corner. They will also repainting the block.

Motion (Fenner/deCourcy-Bower) to approve the façade maintenance and improvements for Bravo Company, 635 Cardinal Lane. Carried (7-0).

5. Architectural Board and Plan Commission review and consideration for a Conditional Use for the operation of a daycare at Hartland South, 651 E. Imperial Drive.

a. PUBLIC HEARING to hear comments on the request for a Conditional Use-

Pfannerstill opened the Public Hearing at 7:11 pm for comments. There were no comments so he closed the Public Hearing at 7:12 pm.

b. Consideration of plans for the proposed Conditional Use in the I-1 district-

Fenner said the conditions of the CUP are for the benefit of the academy, it is limited to daycare, it has to conform to the CUP and Site Plan operations, and an amendment if there will be any changes.

Motion (Fenner/deCourcy-Bower) to recommend approval to the Village Board with the following added conditions:

1. Contingent on acquiring the required State licensing.
2. Approval of signage.
3. No parking in the back by the door.

Carried (7-0).

c. Consideration of plans for a parking lot expansion for Hartland South, 651 E. Imperial Drive.

Hussinger recapped what happened at the last month: he said they had proposed an addition to the parking and the Plan Commission asked them to revise it and come back. Mr. Hogan said there will be no driving back to the area by the door, they will be adding a few stalls in the red area. Mr. Hogan pointed out that emergency vehicles will be able to get back to that back area. Pfannerstill asked if there would be any other parking than the parking spots marked in red and if there would be no parking allowed by the door, and Mr. Hogan said that was correct. Wallschlager asked if there would be handicap parking and Mr. Hogan said the 1st spot closest to the door would be handicap. Pfannerstill asked if there would be any parking on the concrete pad and Mr. Hogan said no, it is designated as a no

parking area. Fenner asked about signage and Mr. Hogan said they are working on it and will have to come back for the signage. Fenner asked about their timing and Mr. Hogan said they had the 1st review from the technical consultant as far as daycares go and it was positive. He said they need to apply at the State licensing board and are expecting early August for approval, with the opening hopefully occurring late August at the start of the school year.

Motion (Fenner/deCourcy-Bower) to approve the parking lot extension as proposed. Carried (7-0).

6. Architectural Board and Plan Commission review and consideration of a Corridor Compact Review of site, building and business plans for a new accessory building at 2215 Hwy 83 in the City of Delafield.

Brian Becker the owner of the property and the business was present. He gave a brief history of his business. He said he received his CU permit in 1998 and he currently uses a dairy barn from 1928. Mr. Becker said the business has grown, they have a lot of bulk shipping material and they are running out of space. He said only 1 neighbor will be able to see the proposed building but in 1 year it won't be seen due to the trees. Fenner asked where he is at in Delafield approval process. He said their Plan Commission approved it and it has to go to the City Council. Schneeberger asked how the Hwy 83 expansion will affect him: he said he will lose his house and he is thinking it will be 60 ft. away from the proposed accessory building. Village Engineer Amtmann asked if he will be relocating his house. Mr. Becker said he doesn't know, he is in negotiation with the state and it is dependent on that.

Motion (deCourcy-Bower/Schneeberger) to recommend approval of the new accessory building at 2215 Hwy 83 to the Village Board. Carried (7-0).

7. Plan Commission review and consideration of a Certified Survey Map to divide the Zion Evangelical Lutheran Church property located at 415 W. Capitol Drive into two parcels and to consider a petition to rezone the property to the RS-5 Single Family Residential Estate District.

Dave Van Slett was present for the Zion Evangelical Lutheran Church. Hussinger asked Mr. Van Slett if they are closer to resolving which way to run the sanitary sewer. He said no, hopefully in July. He said the person they use said he can get it within 2 ft. and Mr. Van Slett said he didn't know if the Village would accept that. Mr. Van Slett said that the person they use, Marvin said the north is too low for gravity feed, there was brief discussion on gravity feed. Hussinger said the question he has is, would the board consider not approving this if they continue to use the sanitary sewer directed to the east through the residential property. Mr. Van Slett said he knows the village prefers the easement not be there on this new parcel and if the gravity feed is possible Zion's approach is that would make sense. And if the gravity feed is not possible and only a lift station or brand new sewer line is the only option then their position is that is not feasible for them to do that.

Hussinger asked can the village complete this process and get this proposed CSM and proposed rezoning fully approved with the Village's final signature so that we can worry about the sewer later and the answer was they believe so.

Hussinger said if it is possible to go gravity to the south that is the Village's expectations and if they can't, they would continue using the current one and that would be documented with the village. Fenner said a lift station has been mentioned and he asked are we talking about a grinder pump. Hussinger said it would be a grinder and Fenner asked why is that so objectionable. Hussinger said because it is mechanical and if you can go gravity you should. Hussinger said what if you lose power and mechanical things fail.

** Inaudible **

There was discussion on a grinder station and gravity.

Pfannerstill said to eliminate the easement it is feasible to say it will go off the gravity feed otherwise what would have to happen. Fenner said if they aren't going to put in the grinder pump then the easement, the gravity to the east would remain. Pfannerstill said if we want to eliminate that easement as long as it works on gravity everything is fine but there could be the stipulation that they need a grinder pump.

Motion (Fenner/deCourcy-Bower) to approve the Certified Survey Map as presented subject to the owner satisfying the conditions of Amtmann's letter with the exception that if the relocated sewer is not economically feasible it can remain at the present location and with the condition that the Rezone is approved. Carried (7-0).

Motion (Fenner/deCourcy-Bower) to recommend the rezone to the Village Board. Carried (7-0).

Pfannerstill said he would like announcements added to future Architectural Board and Plan Commission agendas before Adjournment. He also said that when developers come to the Village in the past it would always come to the Arch/Plan Commission first, he said in the future it will go before the Village Board first as a concept and then come to the Arch/Plan Commission. deCourcy-Bower said the Comprehensive Plan is now online and there are some changes that will impact the future of the Village so he encouraged everyone to look at it.

8. Adjourn

Motion (Bierman/Fenner) to adjourn. Carried (7-0). Meeting adjourned at 7:44 PM.

Respectfully submitted by
Recording Secretary,

Deidre Bush  y, Deputy Clerk



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>301 PAWLING AVE.</u>				
Lot	Block	Subdivision	Key No. HAV	
Owner <u>ANDREA & MATT KOEPEL</u>		EMAIL <u>MATT@OCREATIVEDESIGN.COM</u>	Phone <u>(262) 563-1800</u>	
Address <u>301 PAWLING AVE</u>		City <u>HARTLAND</u>	State <u>WI</u>	Zip <u>53029</u>
Contractor <u>TBD</u>		Phone	FAX	EMAIL
Address		City	State	Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



ANDREW J FALLON & KYLE M MILLER
230 PAWLING AVE
HARTLAND WI 53029-2013

DANIEL R SMITH JR
248 PAWLING AVE
HARTLAND WI 53029

ELMORE MACHINERY CORP
403 EAST AVE
EAGLE WI 53119-2109

ELMORE MACHINERY CORP
403 EAST AVE
EAGLE WI 53119-2109

HARTLAND MEADOWS RETIREMENT
APARTMENTS LLC
W320N1161 BUTTERNUT RIDGE CT
DELAFIELD WI 53018-2257

HARTLAND SELF STORAGE LLC
74 HALBACH CT
FOND DU LAC WI 54937-8626

HARTLAND SQUARE APARTMENTS LLC
W312S9003 MOCCASIN TRL
MUKWONAGO WI 53149

HARTLAND STATION LLC
249 PAWLING AVE
HARTLAND WI 53029-2052

KOEPPEL HOLDINGS LLC
PO BOX 46
OCONOMOWOC WI 53066-0046

ROBERT F KALKE JR
370 PROSPECT AVE
HARTLAND WI 53029

RONALD JAEGER AND ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029

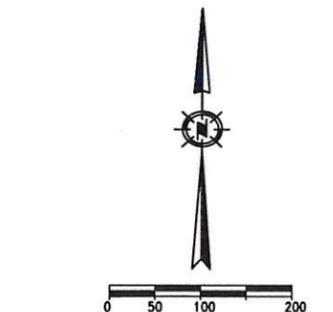
SARAH J SAUER
360 PROSPECT AVE
HARTLAND WI 53029

STEPHANIE OLSON AND BRADLEY A
OLSON
341 ZION ST
HARTLAND WI 53029-1928

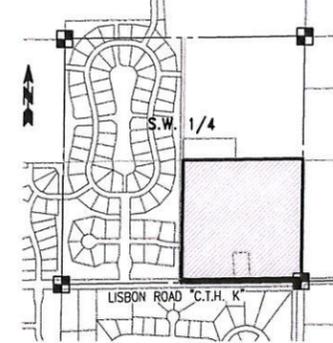
STONEWOOD STORAGE ASSOCIATES
LIMITED PARTNERSHIP
PO BOX 145
HARTLAND WI 53029

THOMAS CANTRELL AND DIONNE
CANTRELL
359 PROSPECT AVE
HARTLAND WI 53029-2022

WISCONSIN ELEC POWER CO
231 W MICHIGAN AVE
MILWAUKEE WI 53203



Scale: 1" = 100' (22'x34")
Scale: 1" = 200' (11'x17")



LOCALITY MAP:
S.W. 1/4, SEC. 25, T. 8 N., R. 18 E.
SCALE: 1"=1000'

DATA SUMMARY TABLE

50 Condominium Units	
Total Area (Including R.O.W.)	= 39.81 acres
Future CTH "KE" Area	= 1.51 acres
Future CTH "K" Area	= 0.27 acres
Total Project Area = 38.03 acres	
Existing INRA Area	= 14.37 acres
South INRA to be removed	= -1.52 acres
Proposed INRA Area	= 12.85 acres
Net Density = (50/38.03) = 1.32 units/ac	
Total Road Length = 3,700 l.f.	

Development Summary

Proposed Zoning: RS-1 PUD
Village of Hartland
"Clustered Conservancy Community"
50 - Single Family Condominiums

Common Area = 23 acres
Outdoor Amenity Areas, Walking Trails,
Landscape Buffers & Open Space

Setbacks:

- Interior Public Road Setbacks (Minimum) = 45' to Centerline (15' to ROW)
- 25' to curb at cul-de-sacs (15' to ROW)
- Min Lisbon Rd Setback = 100'
- Future CTH KE Setback = 100'
- Min Bldg - Bldg Setback = 25'
- Min Rear Yard Setback = 25'
- Min INRA Setback = 10'

ISOLATED NATURAL RESOURCE AREA NOTE:

Isolated Natural Resource Area boundary shown hereon was delineated by Wetland & Waterway Consulting (Dave Meyer) on 7/22/18 and field surveyed by Trio Engineering, LLC in August, 2018.

HORIZONTAL DATUM PLANE:

All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27), in which the South line of the S.W. 1/4 of Section 25, Town 8 North, Range 18 East, bears North 89°09'28" East.

VERTICAL DATUM PLANE:

All elevations are referenced to the National Geodetic Vertical Datum of 1929 via a ground survey by Trio Engineering, LLC. and Waukesha County GIS topographic data.

DEVELOPER:

NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PHONE: (262) 542-9200
FAX: (262) 349-9324

ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
12660 W. NORTH AVENUE, BLDG D
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481

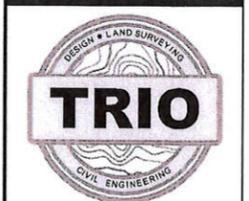
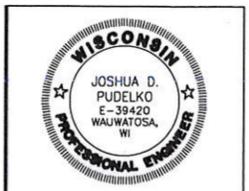
PARKING SUMMARY

GARAGE	= 2/UNIT = 100 SPACES
DRIVEWAY	= 2/UNIT = 100 SPACES + GUEST SPACES = 33 SPACES
TOTAL	= 233 SPACE (4.6 SPACES/UNITS)



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVENUE, BLDG D
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudelko@trioeng.com

PROJECT:
THE GLEN AT OVERLOOK TRAILS
SINGLE FAMILY CONDOMINIUM DEVELOPMENT
VILLAGE OF HARTLAND, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
08/27/19	PRELIMINARY SUBMITTAL
11/19/18	PUBLIC STREETS
11/27/18	PAVED TRAILS
01/17/19	CONDO BUILDING
02/23/19	CIVIL SUBMITTAL

DATE:
MARCH 19, 2019

JOB NUMBER:
17005

DESCRIPTION:
OVERALL PROPOSED SITE PLAN

SHEET

C1.1

H:\PROJECTS\17005-01-CONSTRUCTION PLANS\ADVERTISED TRAIL SITE PLAN.DWG

PRELIMINARY CONDOMINIUM PLAT OF THE GLEN AT OVERLOOK TRAILS

VILLAGE OF HARTLAND
WAUKESHA COUNTY, WISCONSIN
(Residential Condominium)

DATA SUMMARY TABLE	
50 Condominium Units	
Total Area (including R.O.W.)	= 39.81 acres
Future CTH "KE" R.O.W.	= 1.51 acres
Proposed CTH "K" R.O.W.	= 0.27 acres
Total Project Area	= 38.03 acres
Existing INRA Area (Per SEWRPC 2010 GIS Data. Excludes 1.52 acre area south of SEWRPC INRA boundary flagged by Meyer 2018)	= 12.85 acres
Net Density = (50/38.03)	= 1.32 units/ac
Total Road Length	= 3,700 Lf.
Development Summary	
Proposed Zoning:	RS-1 (PUD)
Village of Hartland	"Clustered Conservancy Community"
	50 - Single Family Condominiums
Common Area	= 22.9 acres
Outdoor Amenity Areas, Walking Trails, Landscape Buffers & Open Space	
Setbacks:	
- Internal Public Road Setback	= 15' Front Setback (45' to Centerline)
	25' to back of curb at cul-de-sacs
- Min Lisbon Rd Setback	= 100'
- Future CTH KE Setback	= 100'
- Min Bldg - Bldg Setback	= 25'
- Min Rear Yard Setback	= 25'
- INRA Bldg Setback	= 10'

PARKING SUMMARY	
GARAGE	= 2/UNIT = 100 SPACES
DRIVEWAY	= 2/UNIT = 100 SPACES + GUEST SPACES
SPACES	= 33 SPACES
TOTAL	= 233 SPACE (4.66 SPACES/UNITS)



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone (262) 799-1400
Fax (262) 799-1401



NOTES:
• ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE SOUTH LINE OF THE S.W. 1/4 OF SECTION 25, TOWN 8 NORTH, RANGE 18 EAST, BEARS N89°09'28"E.

• ALL PORTIONS OF THE PROPERTY THAT ARE NOT SPECIFIED AS LIMITED COMMON ELEMENTS OR AS A UNIT SHALL BE CONSIDERED A COMMON ELEMENT.

LEGAL DESCRIPTION:

All that part of the Southeast 1/4 of the Southwest 1/4 of Section 25, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the South 1/4 Corner of said Section 25; said point being the place of beginning of lands hereinafter described;

Thence South 89°09'28" West and along the South line of the said Southwest 1/4 Section and the centerline of "Lisbon Road" (C.T.H. "K"), 1313.71 feet to a point; Thence North 00°25'53" East and along the West line of the said Southeast 1/4 of the said Southwest 1/4 Section, 1320.25 feet to a point; Thence North 89°12'56" East and along the North line of the said Southeast 1/4 of the said Southwest 1/4 Section, 1315.45 feet to a point on the East line of the said Southwest 1/4 Section; Thence South 00°30'30" West and along the said East line of the said Southwest 1/4 Section, 1318.955 feet to the point of beginning of this description.

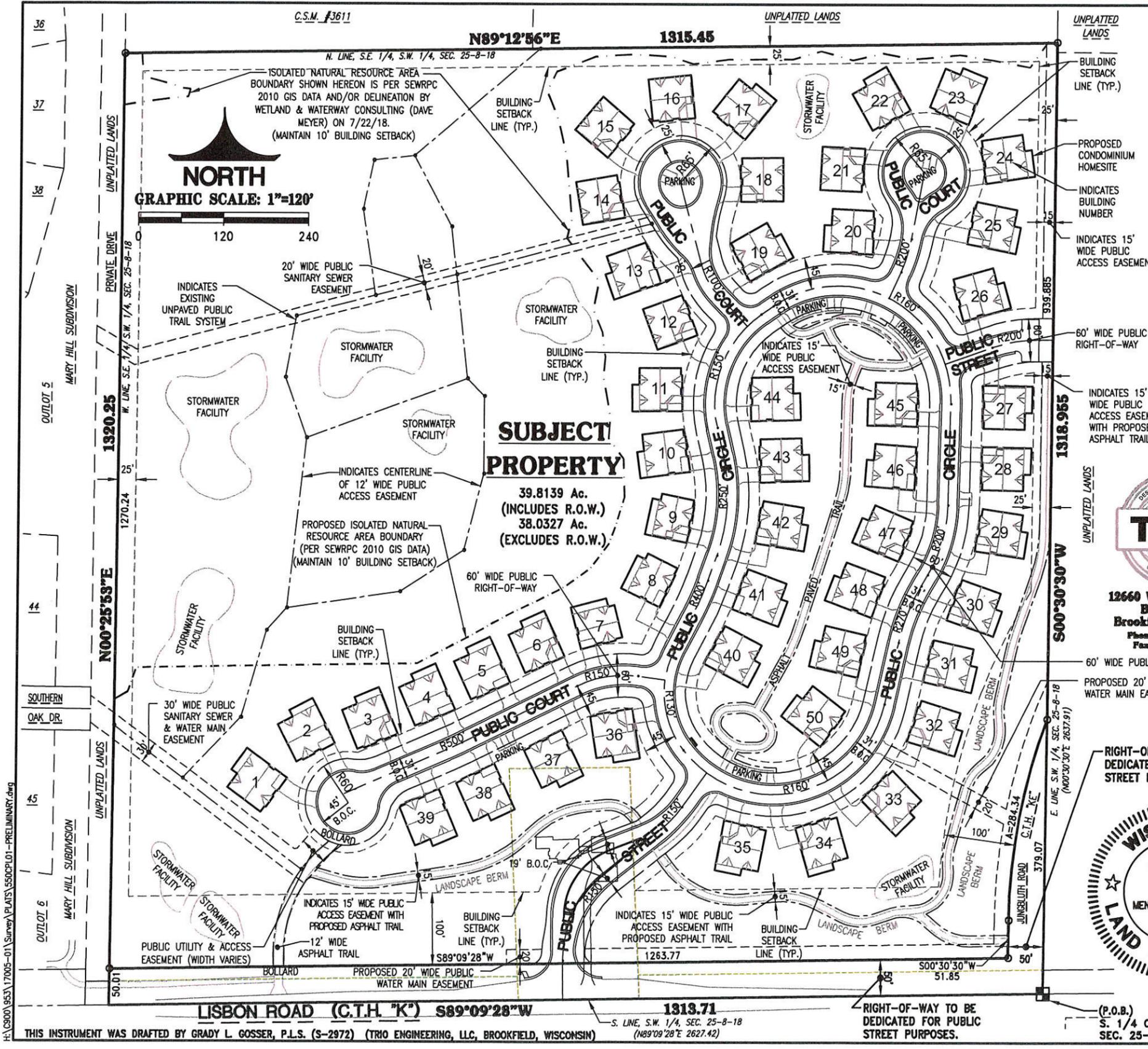
Said Parcel contains 1,734,293 Square Feet (or 39.8139 Acres) of land, more or less.

SURVEYOR'S CERTIFICATE:

I, GRADY L. GOSSER, do hereby certify that I have surveyed the above described property and this survey is an accurate representation of the exterior boundary lines and the location of the buildings and improvements constructed or to be constructed upon the property.

This Condominium Plat is a correct representation of "THE GLEN AT OVERLOOK TRAILS" Condominiums, and the identification and location of each unit and the common elements of the Condominium can be determined from this Plat. The common elements are defined to be all of the condominium property except the individual units described in the Plat and the Declaration.

Dated this 28th day of FEBRUARY, 2019.
Grady L. Gosser
Grady L. Gosser, P.L.S.
Professional Land Surveyor S-2972



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ELEVATION 1 AREAS	
Livable Area	
First Floor Livable	1672 SF
	1672 SF
Non Livable Area	
Front Porch	86 SF
Garage	495 SF
Rear Porch	192 SF
Unfinished Basement	1542 SF
	2315 SF



ELEVATION 1 - CRAFTSMAN

ELEVATION 2 AREAS	
Livable Area	
First Floor Livable	1672 SF
	1672 SF
Non Livable Area	
Front Porch	86 SF
Garage	495 SF
Rear Porch	192 SF
Unfinished Basement	1542 SF
	2315 SF



ELEVATION 2 - FARMHOUSE

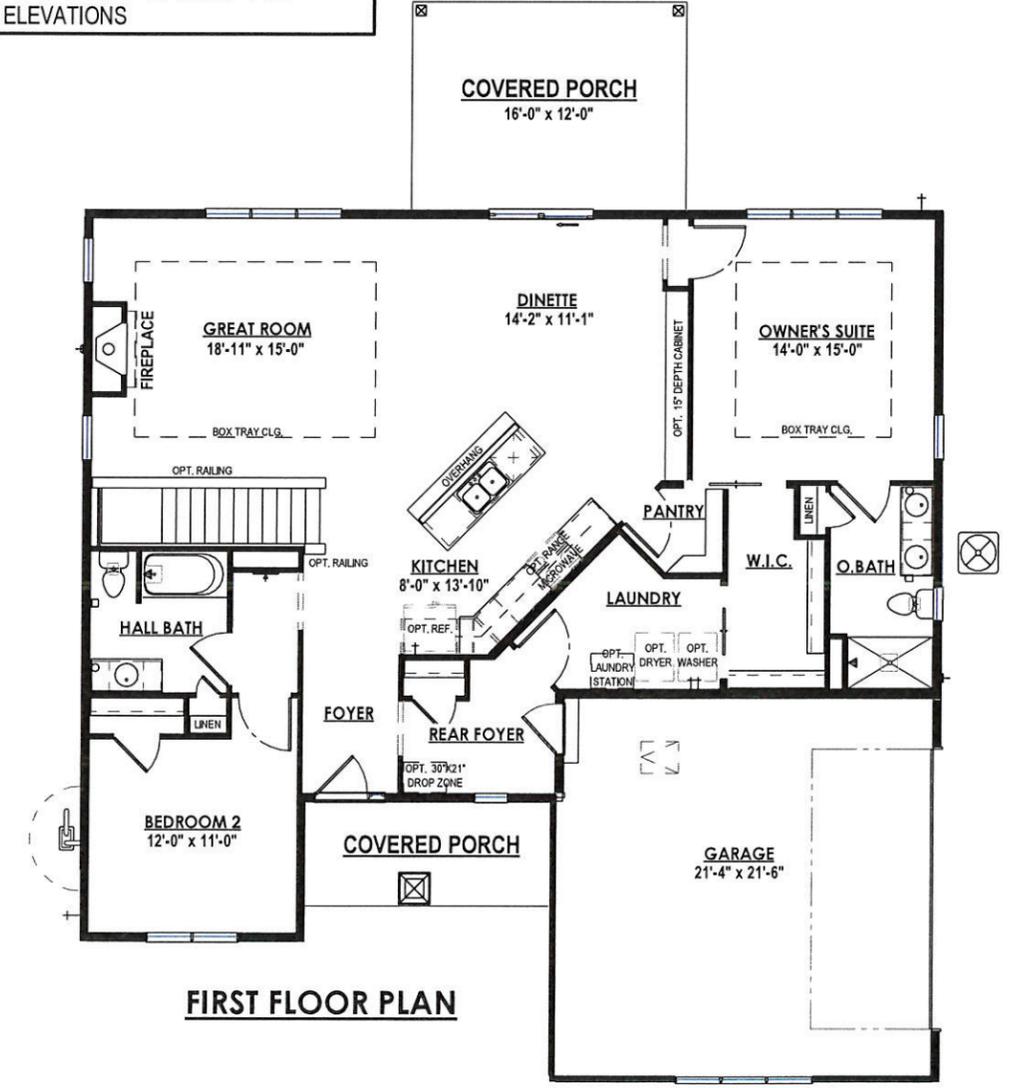
ELEVATION 3 AREAS	
Livable Area	
First Floor Livable	1672 SF
	1672 SF
Non Livable Area	
Front Porch	86 SF
Garage	495 SF
Rear Porch	192 SF
Unfinished Basement	1542 SF
	2315 SF



ELEVATION 3 - FRENCH COUNTRY

MASTER SHEET LIST	
SHEET NO.	SHEET NAME
A-0.00	COVER
A-1.00	FOUNDATION PLAN - ELEVATION - 1
A-1.10	FOUNDATION PLAN - ELEVATION - 2
A-1.20	FOUNDATION PLAN - ELEVATION - 3
A-1.30	FOUNDATION PLAN - OPTIONS - ALL ELEVATIONS
A-2.00	FIRST FLOOR PLAN - ELEVATION - 1
A-2.10	FIRST FLOOR PLAN - ELEVATION - 2
A-2.20	FIRST FLOOR PLAN - ELEVATION - 3
A-2.30	FIRST FLOOR PLAN - OPTIONS - ALL ELEVATIONS
A-3.00	ROOF PLANS - ELEVATION - 1
A-3.10	ROOF PLANS - ELEVATION - 2
A-3.20	ROOF PLANS - ELEVATION - 3
A-3.30	ROOF PLANS - OPTIONS - ALL ELEVATIONS

MASTER SHEET LIST	
SHEET NO.	SHEET NAME
A-4.00	ELEVATIONS - ELEVATION - 1
A-4.10	ELEVATIONS - ELEVATION - 2
A-4.20	ELEVATIONS - ELEVATION - 3
A-4.30	ELEVATIONS - OPTIONS - ALL ELEVATIONS
E-1.00	FOUNDATION ELECTRICAL PLANS - ALL ELEVATIONS
E-2.00	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 1
E-2.10	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 2
E-2.20	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 3
E-2.30	FIRST FLOOR ELECTRICAL PLAN - OPTIONS - ALL ELEVATIONS



FIRST FLOOR PLAN

REVISION LOG			
REVISION #	DATE	DESCRIPTION	BY
1	06.12.2019	MASTER	ASE



HOUSE A
 CLIENT NAME
 PROJECT ADDRESS

SHEET NAME
COVER
 DATE 06.12.2019
 DRAWN BY Author
 JOB NUMBER
 Project Number
 SHEET NUMBER
A-0.00



ELEVATION 1 AREAS

Livable Area	
First Floor Livable	1839 SF
	1839 SF
Non Livable Area	
Front Porch	36 SF
Garage	484 SF
Rear Porch	135 SF
Unfinished Basement	1697 SF
	2353 SF



ELEVATION 1 - CRAFTSMAN

ELEVATION 2 AREAS

Livable Area	
First Floor Livable	1839 SF
	1839 SF
Non Livable Area	
Front Porch	68 SF
Garage	484 SF
Rear Porch	135 SF
Unfinished Basement	1697 SF
	2384 SF



ELEVATION 2 - FARMHOUSE

ELEVATION 3 AREAS

Livable Area	
First Floor Livable	1839 SF
	1839 SF
Non Livable Area	
Front Porch	66 SF
Garage	484 SF
Rear Porch	135 SF
Unfinished Basement	1697 SF
	2383 SF



ELEVATION 3 - FRENCH COUNTRY

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-1.00	FOUNDATION PLAN - ELEVATION - 1
A-1.10	FOUNDATION PLAN - ELEVATION - 2
A-1.20	FOUNDATION PLAN - ELEVATION - 3
A-2.00	FIRST FLOOR PLAN - ELEVATION - 1
A-2.10	FIRST FLOOR PLAN - ELEVATION - 2
A-2.20	FIRST FLOOR PLAN - ELEVATION - 3
A-3.00	ROOF PLANS - ELEVATION - 1
A-3.10	ROOF PLANS - ELEVATION - 2
A-3.20	ROOF PLANS - ELEVATION - 3
A-4.00	ELEVATIONS - ELEVATION - 1

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-4.10	ELEVATIONS - ELEVATION - 2
A-4.20	ELEVATIONS - ELEVATION - 3
E-1.00	FOUNDATION ELECTRICAL PLANS - ALL ELEVATIONS
E-2.00	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 1
E-2.10	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 2
E-2.20	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 3



FIRST FLOOR PLAN

REVISION LOG

REVISION #	DATE	DESCRIPTION	BY
1	06.12.2019	MASTER CREATION	ASE



HOUSE B

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

COVER

DATE	DRAWN BY
06.12.2019	Author
JOB NUMBER	
Project Number	
SHEET NUMBER	
A-0.00	



ELEVATION 1 AREAS	
Livable Area	1884 SF
First Floor Livable	1884 SF
Non Livable Area	
Front Porch	42 SF
Garage	491 SF
Rear Porch	144 SF
Unfinished Basement	1731 SF
	2408 SF



ELEVATION 1 - CRAFTSMAN

ELEVATION 2 AREAS	
Livable Area	1884 SF
First Floor Livable	1884 SF
Non Livable Area	
Front Porch	42 SF
Garage	491 SF
Rear Porch	144 SF
Unfinished Basement	1731 SF
	2408 SF

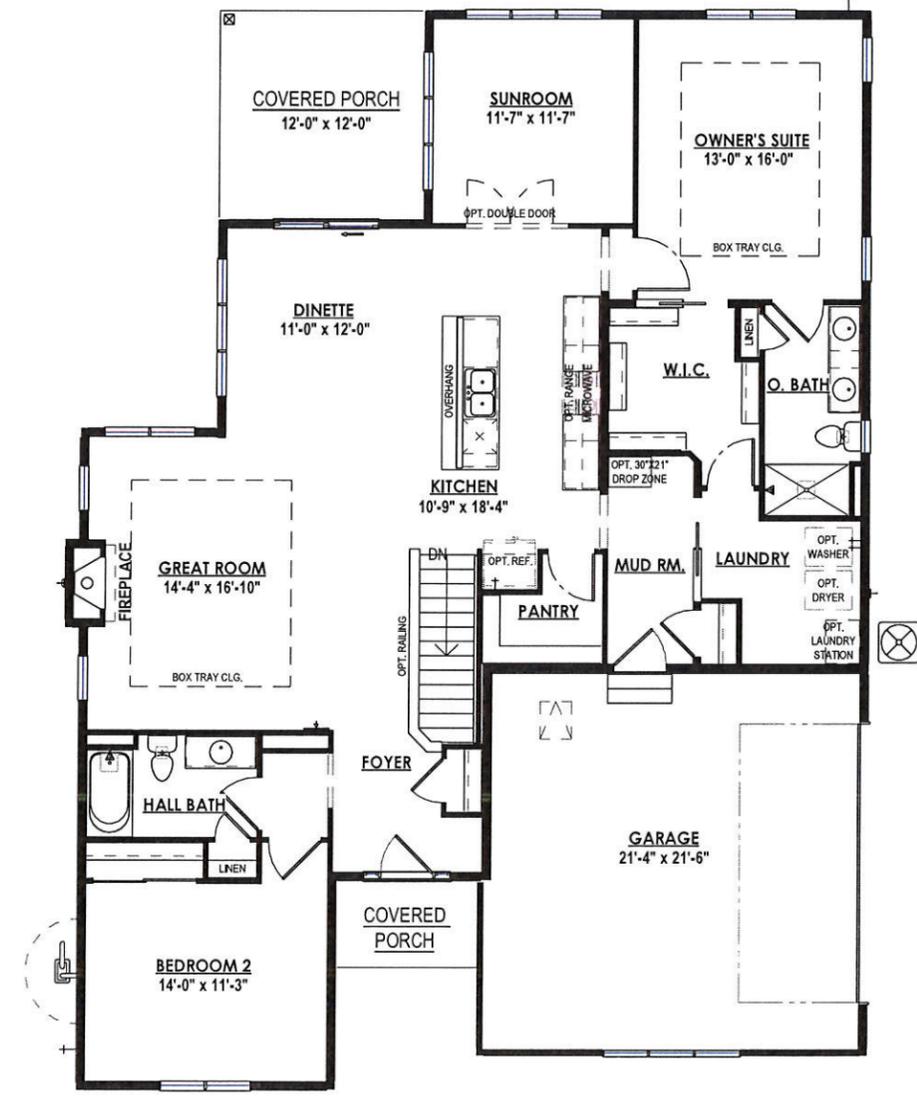


ELEVATION 2 - FARMHOUSE

ELEVATION 3 AREAS	
Livable Area	1884 SF
First Floor Livable	1884 SF
Non Livable Area	
Front Porch	42 SF
Garage	491 SF
Rear Porch	144 SF
Unfinished Basement	1731 SF
	2408 SF



ELEVATION 3 - FRENCH COUNTRY



FIRST FLOOR PLAN

MASTER SHEET LIST	
SHEET NO.	SHEET NAME
A-0.00	COVER
A-1.00	FOUNDATION PLAN - ELEVATION - 1
A-1.10	FOUNDATION PLAN - ELEVATION - 2
A-1.20	FOUNDATION PLAN - ELEVATION - 3
A-2.00	FIRST FLOOR PLAN - ELEVATION - 1
A-2.10	FIRST FLOOR PLAN - ELEVATION - 2
A-2.20	FIRST FLOOR PLAN - ELEVATION - 3
A-3.00	ROOF PLANS - ELEVATION - 1
A-3.10	ROOF PLANS - ELEVATION - 2
A-3.20	ROOF PLANS - ELEVATION - 3
A-4.00	ELEVATIONS - ELEVATION - 1
A-4.10	ELEVATIONS - ELEVATION - 2
A-4.20	ELEVATIONS - ELEVATION - 3
E-1.00	FOUNDATION ELECTRICAL PLANS - ALL ELEVATIONS
E-2.00	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 1
E-2.10	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 2
E-2.20	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 3

REVISION LOG			
REVISION #	DATE	DESCRIPTION	BY
1	06.12.2019	MASTER CREATION	ASE



HOUSE C
 CLIENT NAME
 PROJECT ADDRESS

SHEET NAME
COVER
 DATE 06.12.2019 DRAWN BY Author
 JOB NUMBER
 Project Number
 SHEET NUMBER
A-0.00



ELEVATION 1 AREAS	
Livable Area	
First Floor Livable	2099 SF
Non Livable Area	2099 SF
Front Porch	43 SF
Garage	504 SF
Rear Porch	190 SF
Unfinished Basement	1935 SF
	2671 SF



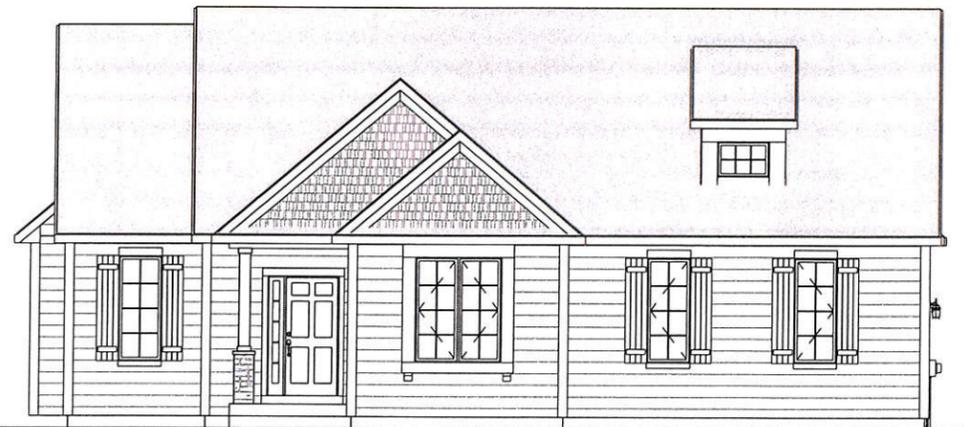
ELEVATION 1 - CRAFTSMAN

ELEVATION 2 AREAS	
Livable Area	
First Floor Livable	2099 SF
Non Livable Area	2099 SF
Front Porch	88 SF
Garage	504 SF
Rear Porch	190 SF
Unfinished Basement	1934 SF
	2715 SF



ELEVATION 2 - FARMHOUSE

ELEVATION 3 AREAS	
Livable Area	
First Floor Livable	2099 SF
Non Livable Area	2099 SF
Front Porch	35 SF
Garage	504 SF
Rear Porch	190 SF
Unfinished Basement	1933 SF
	2662 SF



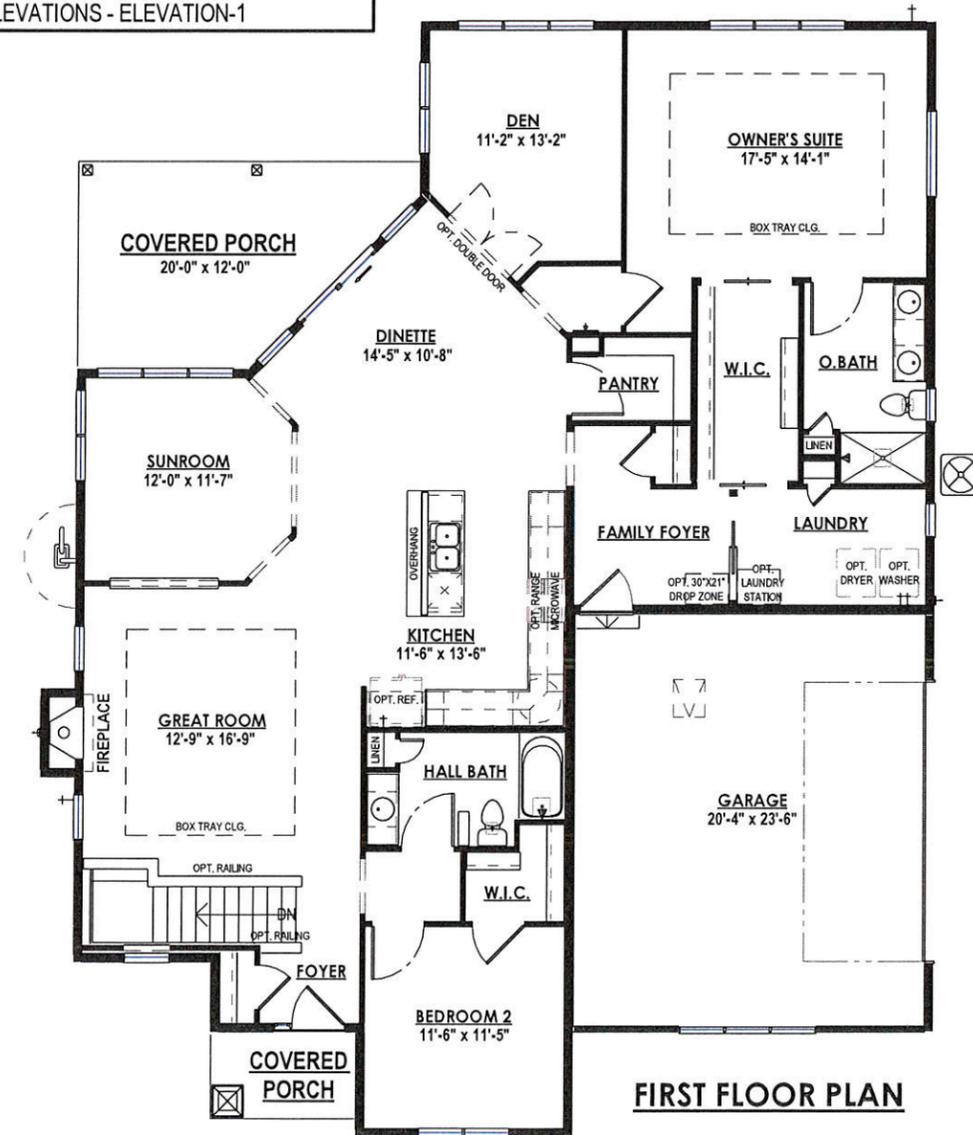
ELEVATION 3 - FRENCH COUNTRY

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-1.00	FOUNDATION PLAN - ELEVATION-1
A-1.10	FOUNDATION PLAN - ELEVATION-2
A-1.20	FOUNDATION PLAN - ELEVATION-3
A-2.00	FIRST FLOOR PLAN - ELEVATION-1
A-2.10	FIRST FLOOR PLAN - ELEVATION-2
A-2.20	FIRST FLOOR PLAN - ELEVATION-3
A-2.30	FIRST FLOOR PLAN - OPTIONS - ALL ELEVATIONS
A-3.00	ROOF PLANS - ELEVATION-1
A-3.10	ROOF PLANS - ELEVATION-2
A-3.20	ROOF PLANS - ELEVATION-3
A-4.00	ELEVATIONS - ELEVATION-1

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-4.10	ELEVATIONS - ELEVATION-2
A-4.20	ELEVATIONS - ELEVATION-3
E-1.00	FOUNDATION ELECTRICAL PLANS - ALL ELEVATIONS
E-2.00	FIRST FLOOR ELECTRICAL PLAN - ELEVATION-1
E-2.10	FIRST FLOOR ELECTRICAL PLAN - ELEVATION-2
E-2.20	FIRST FLOOR ELECTRICAL PLAN - ELEVATION-3
E-2.30	FIRST FLOOR ELECTRICAL PLAN - OPTIONS - ALL ELEVATIONS



FIRST FLOOR PLAN

REVISION LOG			
REVISION #	DATE	DESCRIPTION	BY
1	06.12.2019	MASTER CREATION	ASE



HOUSE D
CLIENT NAME
PROJECT ADDRESS

SHEET NAME
COVER

DATE 06.12.2019	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.00	



ELEVATION 1 AREAS	
Livable Area	
First Floor Livable	2309 SF
Non Livable Area	2309 SF
Front Porch	112 SF
Garage	489 SF
Rear Porch	160 SF
Unfinished Basement	2129 SF
	2890 SF



ELEVATION 1 - CRAFTSMAN

ELEVATION 2 AREAS	
Livable Area	
First Floor Livable	2309 SF
Non Livable Area	2309 SF
Front Porch	97 SF
Garage	489 SF
Rear Porch	160 SF
Unfinished Basement	2129 SF
	2875 SF



ELEVATION 2 - FARMHOUSE

ELEVATION 3 AREAS	
Livable Area	
First Floor Livable	2309 SF
Non Livable Area	2309 SF
Front Porch	112 SF
Garage	489 SF
Rear Porch	160 SF
Unfinished Basement	2129 SF
	2890 SF



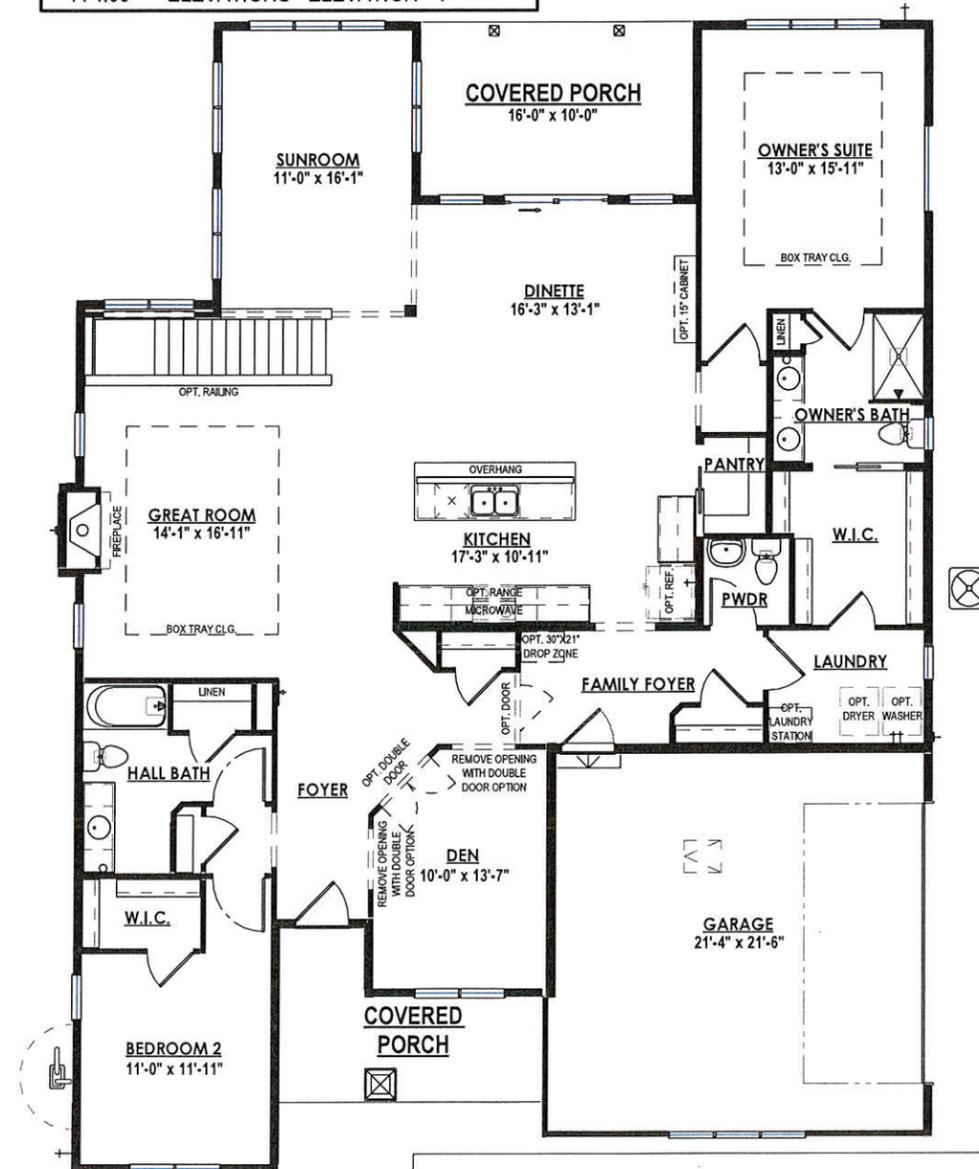
ELEVATION 3 - FRENCH COUNTRY

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-1.00	FOUNDATION PLAN - ELEVATION - 1
A-1.10	FOUNDATION PLAN - ELEVATION - 2
A-1.20	FOUNDATION PLAN - ELEVATION - 3
A-2.00	FIRST FLOOR PLAN - ELEVATION - 1
A-2.10	FIRST FLOOR PLAN - ELEVATION - 2
A-2.20	FIRST FLOOR PLAN - ELEVATION - 3
A-2.30	FIRST FLOOR PLAN - OPTIONS - ALL ELEVATIONS
A-3.00	ROOF PLANS - ELEVATION - 1
A-3.10	ROOF PLANS - ELEVATION - 2
A-3.20	ROOF PLANS - ELEVATION - 3
A-4.00	ELEVATIONS - ELEVATION - 1

MASTER SHEET LIST

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E-1.00	FOUNDATION ELECTRICAL PLANS - ALL ELEVATIONS
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E-2.20	FIRST FLOOR ELECTRICAL PLAN - ELEVATION - 3
E-2.30	FIRST FLOOR ELECTRICAL PLAN - OPTIONS - ALL ELEVATIONS



FIRST FLOOR PLAN

REVISION LOG			
REVISION #	DATE	DESCRIPTION	BY
1	06.12.2019	MASTER CREATION	ASE

HALEN HOMES



HOUSE E

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

COVER

DATE 06.12.2019	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.00	



Halen Homes Single Family Color Palettes

Color Group 1

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement - Aged Pewter

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Cobblestone

Trim/Cornerboards/Frieze: JamesHardie Fibercement – Cobblestone

Metal Trim: Mastic Performance Metals – Linen

Masonry: Paragon – Clove Brook Limestone

Front Door: SW7630 Raisin

Garage Door: Haas Recessed Short Panel – Sahara – 3 Pane Windows

Color Group 2

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Timber Bark

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Monterey Taupe

Trim/Cornerboards/Frieze: James Hardie - Cobblestone

Metal Trim: Mastic Performance Metals – Linen

Masonry: Paragon – Catalpa Summit Ledge

Front Door: SW7630 Raisin

Garage Door: Haas Recessed Short Panel – Sahara – 3 Pane Windows

Color Group 3

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Iron Gray

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Arctic White

Trim/Cornerboards/Frieze: James Hardie - Arctic White

Metal Trim: Mastic Performance Metals – White

Masonry: Landmark – Glen Ridge Granite

Front Door: SW7595 Sommelier

Garage Door: Haas Recessed Short Panel – White – 3 Pane Windows

Color Group 4

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Cobblestone

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Arctic White

Trim/Cornerboards/Frieze: James Hardie - Arctic White

Metal Trim: Mastic Performance Metals - White

Masonry: Horizon Stone – Harbor Bluff Handcrafted

Front Door: SW7076 Cyberspace

Garage Door: Haas Recessed Short Panel – White – 3 Pane Windows

Color Group 5

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Pearl Gray

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Aged Pewter

Trim/Cornerboards/Frieze: James Hardie - Arctic White

Metal Trim: Mastic Performance Metals - White

Masonry: Paragon – Smokey Mountain Stack Ledge

Front Door: SW7069 Iron Ore

Garage Door: Haas Recessed Short Panel – White – 3 Pane Windows

Color Group 6

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Boothbay Blue

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Light Mist

Trim/Cornerboards/Frieze: James Hardie - Arctic White

Metal Trim: Mastic Performance Metals - White

Masonry: Paragon – Bluegrass Summit Ledge

Front Door: SW7005 Pure White

Garage Door: Haas Recessed Short Panel – White – 3 Pane Windows

Color Group 7

Shingles: Owens Corning – Duration – Driftwood

Siding: JamesHardie Fibercement – Monterey Taupe

Accent Shakes/Vertical Siding: JamesHardie Fibercement – Cobblestone

Trim/Cornerboards/Frieze: James Hardie - Arctic White

Metal Trim: Mastic Performance Metals - White

Masonry: Paragon – Glen Gery Landmark – Glen Ridge San Moritz

Front Door: SW6994 - Greenblack

Garage Door: Haas Recessed Short Panel – White – 3 Pane Windows

Group 1



CLOVE BROOK
LIMESTONE

LINEN



at CO

GROUP 2



LINEN



CATALPA
SUMMIT
LEDGE



group 3

GLEN-GERY
LANDMARK
STONE

Haas
DOOR
A Netzger Company
Steel Color Selector

WHITE



stone.

group 4



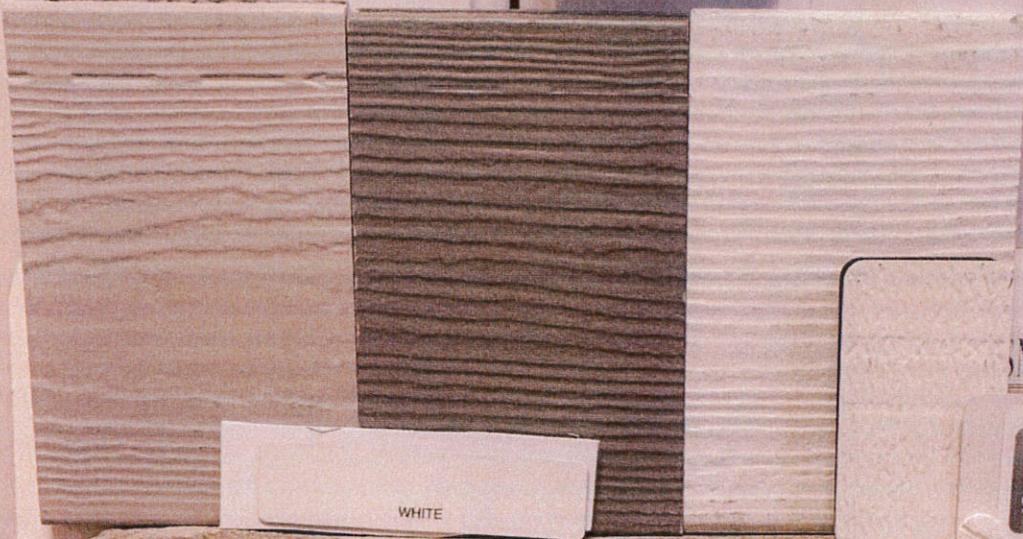
WHITE

HARBOR
Steel Color Selector
A Notzinger Company
Haas DOOR



Due

Group
5



WHITE

SMOKEY MOUNTAIN
Steel Color Selector
A Norziger Company
Haas Door



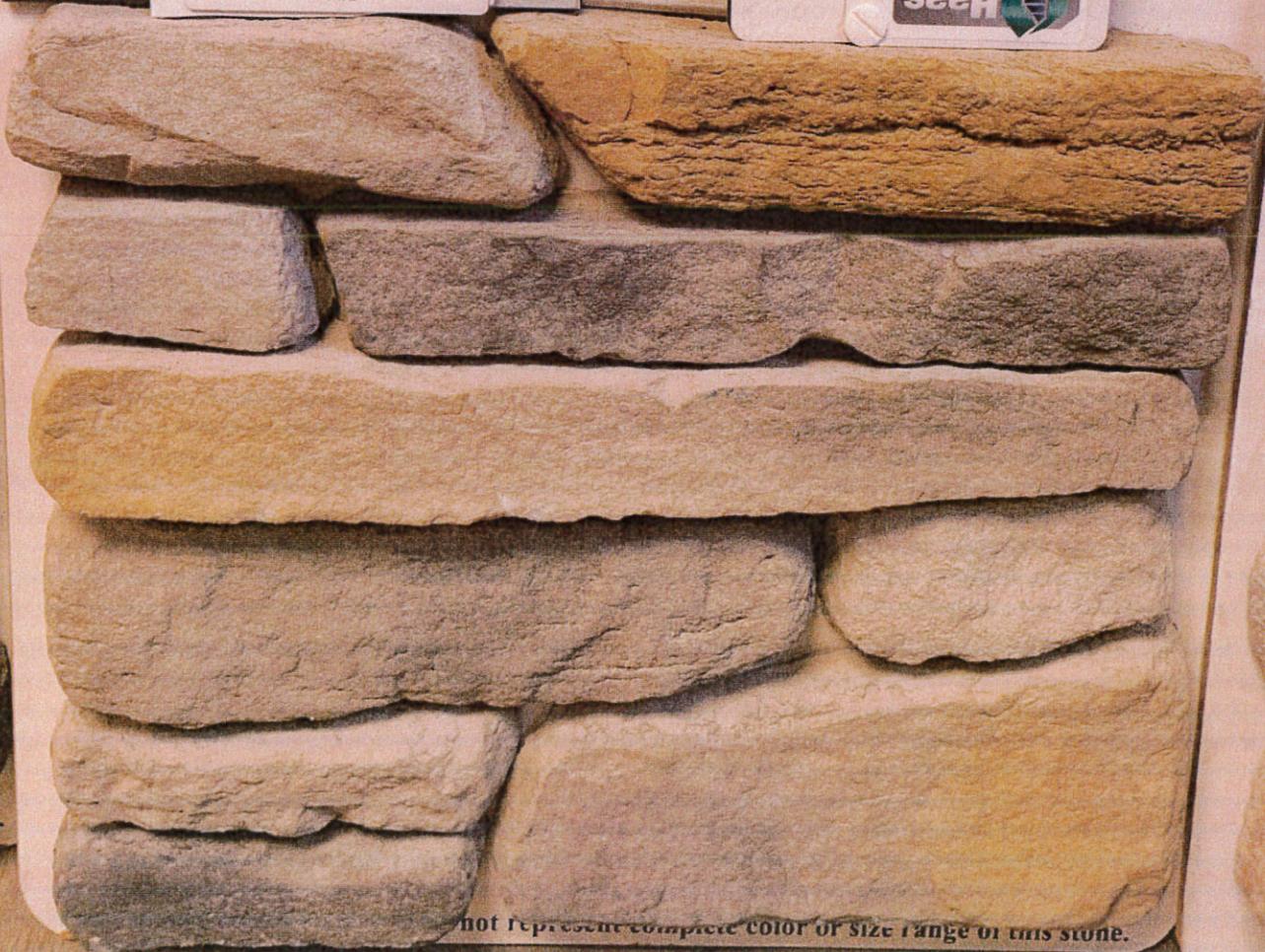
Sample can not represent

Group 6



WHITE

BLUEGRASS
Steel Color Selector
A Norziger Company
Haas Door



not represent complete color or size range of this stone.

group 7



ANTHONY J SIKORSKI
JILL B SIKORSKI
1702 E BRISTLECONE DR
HARTLAND WI 53029

BADER REVOCABLE TRUST
1156 MARY HILL CIR
HARTLAND WI 53029

BRIAN DIERICKS
ERIN DIERICKS
1140 MARY HILL CIR
HARTLAND WI 53029-8009

BRISTLECONE PINES COMMUNITY
ASSOCIATION INC
C/O DON TUSHAUS
1209 SWEETBRIAR LN
HARTLAND WI 53029-8635

CHARLES A JUNGBLUTH
CAROL M JUNGBLUTH
W282N5811 WINKELMAN RD
HARTLAND WI 53029-9105

CHONG P YI
BOBBIE D NEUMANN-YI
1003 N CYPRESS CT
HARTLAND WI 53029

CHRISTOPHER M KILIAN
KARA E KILIAN
1187 MARY HILL CIR
HARTLAND WI 53029-8009

CHRISTOPHER MCNEAL
DANIELLE MCNEAL
1600 E BRISTLECONE DR
HARTLAND WI 53029-8677

CONSTANTINE XYKIS
KATHERINE XYKIS
605 SOUTHERN OAK
HARTLAND WI 53029

CORINNE C MERTEN
1005 N CYPRESS CT
HARTLAND WI 53029-8685

CURTIS CORNELLA-CARLSON
TRACEY CORNELLA-CARLSON TRUST
1012 N BLUESPRUCE CIR
HARTLAND WI 53029

DARRELL C LANDRY
SHERRI J MANN
1008 N BLUESPRUCE CIR
HARTLAND WI 53029

DAVID MANN
SUSAN MANN
W284N5500 JUNGBLUTH RD
HARTLAND WI 53029

DAVID S ELARIO
LAURA I REYES
1162 MARY HILL CIR
HARTLAND WI 53029

DENNIS B ENGEL
ELLEN R ENGEL
1196 MARY HILL CIR
HARTLAND WI 53029-8009

DENNIS F ZAGRODNIK II
MICHELLE M ZAGRODNIK
1006 N BLUESPRUCE CIR
HARTLAND WI 53029

ERIC J & TRACY R EGENHOEFER LIVING
TRUST
DATED APRIL 28, 2006
1152 MARY HILL CIR
HARTLAND WI 53029

GEORGE J JUNGBLUTH 1999 REVOCABLE
TRUST
C/O PETER JUNGBLUTH
N55W28945 COUNTY ROAD K
HARTLAND WI 53029

GERARD LIVING TRUST
606 SOUTHERN OAK DR
HARTLAND WI 53029

GORDON GEIGER
KRISTINE KILE
N55W28903 COUNTY ROAD K
HARTLAND WI 53029-8615

HENRY LEFEVER
CAROL LEFEVER
1700 E BRISTLECONE DR
HARTLAND WI 53029

J CHANNING TASSONE
1181 MARY HILL CIR
HARTLAND WI 53029-8009

J MICHAEL MOONEY
MARILYN A MOONEY
1007 N BLUESPRUCE CIR
HARTLAND WI 53029-8681

JOHN M GEBHARD
TRUDY B GEBHARD
N56W28754 COUNTY ROAD K
HARTLAND WI 53029-9108

JOHN MUTSCHELKNAUS
JOAN MUTSCHELKNAUS
1003 N BLUESPRUCE CIR
HARTLAND WI 53029

JOSEPH A WALICKI
CLARE M WALICKI
624 SOUTHERN OAK DR
HARTLAND WI 53029

JOSEPH JUDD
CARMEN JUDD
1004 N CYPRESS CT
HARTLAND WI 53029

KORY K WEGNER
1005 N BLUESPRUCE CIR
HARTLAND WI 53029

KRAUSE TRUST
C/O DAVID & KAREN KRAUSE
N56W28748 COUNTY ROAD K
HARTLAND WI 53029-9108

KRISTIN B ATANASOFF
1168 MARY HILL CIR
HARTLAND WI 53029-8009

LONGMEADOW DEVELOPMENT LLC
W240N1221 PEWAUKEE RD
WAUKESHA WI 53188

LOT OWNERS OF MARY HILL
C/O MARY HILL HOMEOWNERS
ASSOCIATION
6255 UNIVERSITY AVE STE 101
MIDDLETON WI 53562

MARK BORCA
SARAH BORCA
1004 N BLUESPRUCE CIR
HARTLAND WI 53029-8681

MARTIN T FRANKE
ANN V FRANKE
1148 MARY HILL CIR
HARTLAND WI 53029

MICHAEL E THORSTENSON
1607 5TH AVE N
DENISON IA 51442-1539

MICHAEL PYTLINSKI
SHARON M KIEFFER
1167 MARY HILL CIR
HARTLAND WI 53029-8009

MICHAEL T KEEFNER
CHRISTINE M KEEFNER
1149 MARY HILL CIR
HARTLAND WI 53029-8009

MICHAEL T LOGELIN
CONSUELO R LOGELIN
603 SOUTHERN OAK
HARTLAND WI 53029

NICHOLAS J ROBERTS
HEIDI KEESLING
1161 MARY HILL CIR
HARTLAND WI 53029

PJEVACH JOINT REVOCABLE TRUST
1002 N CYPRESS CT
HARTLAND WI 53029-8685

SCOTT B SCHNEIDER
TANYA SCHNEIDER
1180 MARY HILL CIR
HARTLAND WI 53029

SCOTT KRAHN
DAWN KRAHN
1143 MARY HILL CIR
HARTLAND WI 53029

SCOTT WADE
607 SOUTHERN OAK DR
HARTLAND WI 53029-8008

SIDNEY DIXON
VALERIE DIXON
1604 E BRISTLECONE DR
HARTLAND WI 53029-8677

STEVEN J NEWTON
LAURIE NEWTON
614 SOUTHERN OAK DR
HARTLAND WI 53029

THE ROGER R GRUHLE AND BARBARA J
GRUHLE
REVOCABLE TRUST OF 2008
1174 MARY HILL CIR
HARTLAND WI 53029-8009

THOMAS TAFT
DELPHINE TAFT
1602 E BRISTLECONE DR
HARTLAND WI 53029

WALTER ROGERS
1175 MARY HILL CIR
HARTLAND WI 53029-8009

WILLIAM A RADEMAN
RUTH M RADEMAN
N55W28413 CTY K
HARTLAND WI 53029

WILLIAM RADAJ
DENISE RADAJ
1704 E BRISTLECONE DR
HARTLAND WI 53029-8676



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 301 Hill ST			
Lot	Block	Subdivision	Key No. HAV
Owner William Peche		Phone 262-367-3130	
Address 301 Hill ST		City Hartland	State WI Zip 53029
Contractor Great day	Phone 262 798 5000	FAX	E-Mail Address RICK.FITZ@greatdayimprovements.com
Address N30W 22383 Green "G"		City Waukesha	State WI Zip 53186

The Architectural Board meets on the THIRD MONDAY of the Month at 7:00 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

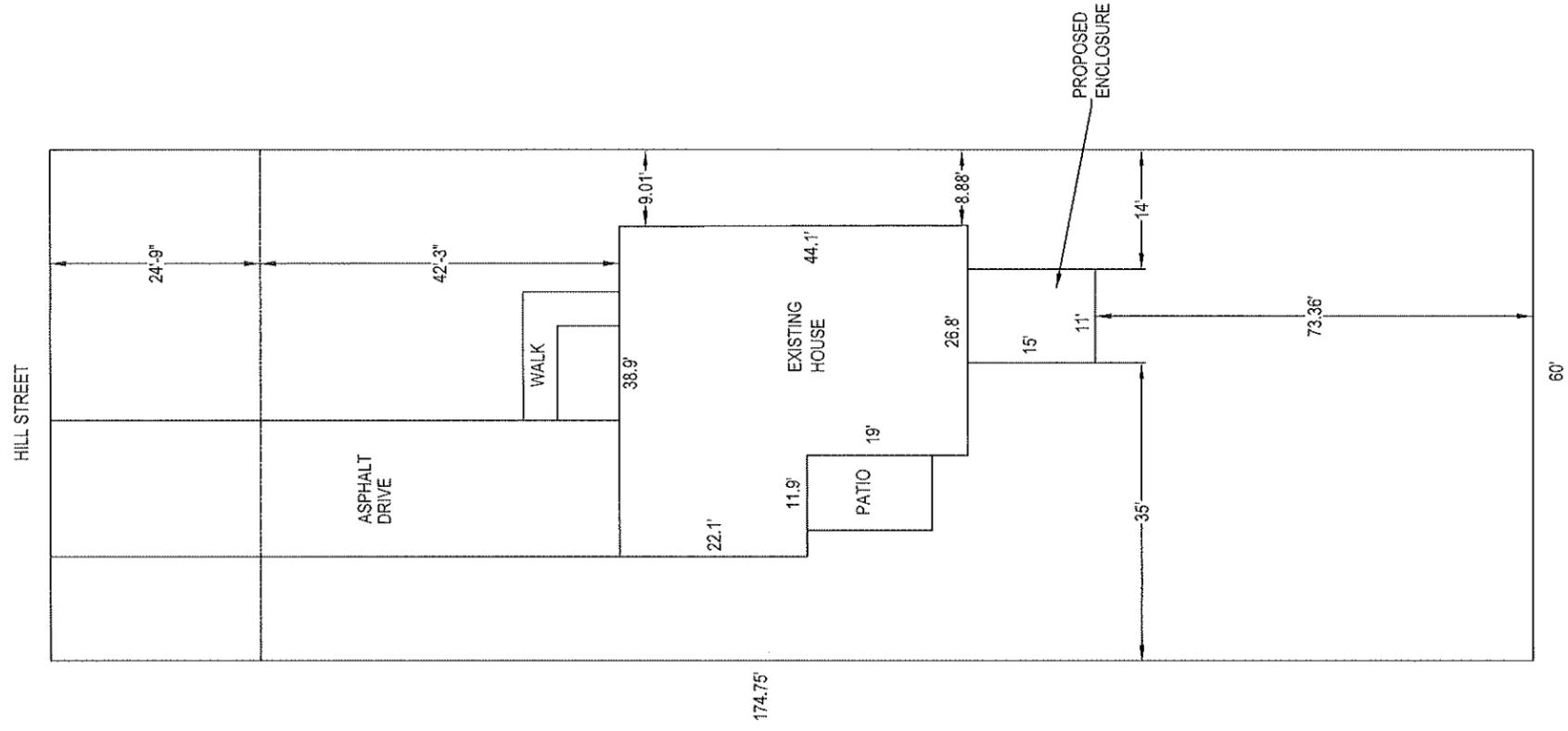
NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 6/24/19 Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
4. Applications shall include professional-level drawings of all elevations showing the existing and proposed conditions.
5. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
6. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Street right-of-way
 - n. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
7. Additional information may be requested by the Architectural Board or Staff.
8. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
9. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.



SITE PLAN
SCALE: 1" = 20'-0"

WILLIAM PECHE
301 HILL STREET
HARTLAND, WI. 53029



GREAT DAY IMPROVEMENTS, MILWAUKEE
PECHE RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "B" WALL
3	ELEVATION "A" & "C" WALL
4	DECK PLAN
5	ELECTRICAL PLAN
6	ROOF PLAN
7	STANDARD DECK DETAILS
8	STANDARD DECK DETAILS
9	SYSTEM DETAILS
10	SYSTEM DETAILS

MINIMUM DESIGN LOADS:
(PER. WISCONSIN SPS 321 (2016)/ IRC 2012/ ASCE 7-05)

SNOW LOADS:
1. SNOW LOAD 30 PSF

WIND PRESSURE: 20 PSF

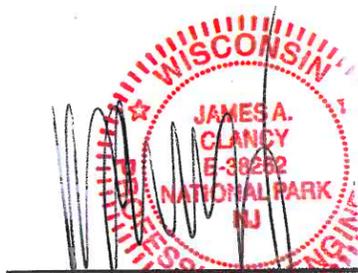
LIVE LOADS:
1. ROOF: 30 PSF
2. FLOOR: 40 PSF

NOTE: THIS ENCLOSURE IS NOT TO BE CONDITIONED
OR USED AS A PERMANENT LIVING AREA.

- NOTES:
1. COMFORTVIEW (CA8) ROOM; WHITE IN COLOR
 2. CONSTRUCT ENCLOSURE ON NEW DECK
 3. NO HEAT BY GDI, ELECTRICAL BY GDI
 4. ALL CONCRETE TO BE 3000 PSI MINIMUM
 5. ALL LUMBER TO BE SPF #2 OR BETTER, PRESSURE TREATED WHERE REQUIRED
 6. WHERE REQUIRED, METALS IN CONTACT WITH PRESSURE TREATED LUMBER MUST BE ADEQUATELY PROTECTED.
 7. ROOM CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2012 IRC SECTION N1101.6, NOTE 2)

LOCATION
GDI - MILWAUKEE
N30W22383 GREEN ROAD, UNIT G
WAUKESHA, WI 53186
262-798-0500

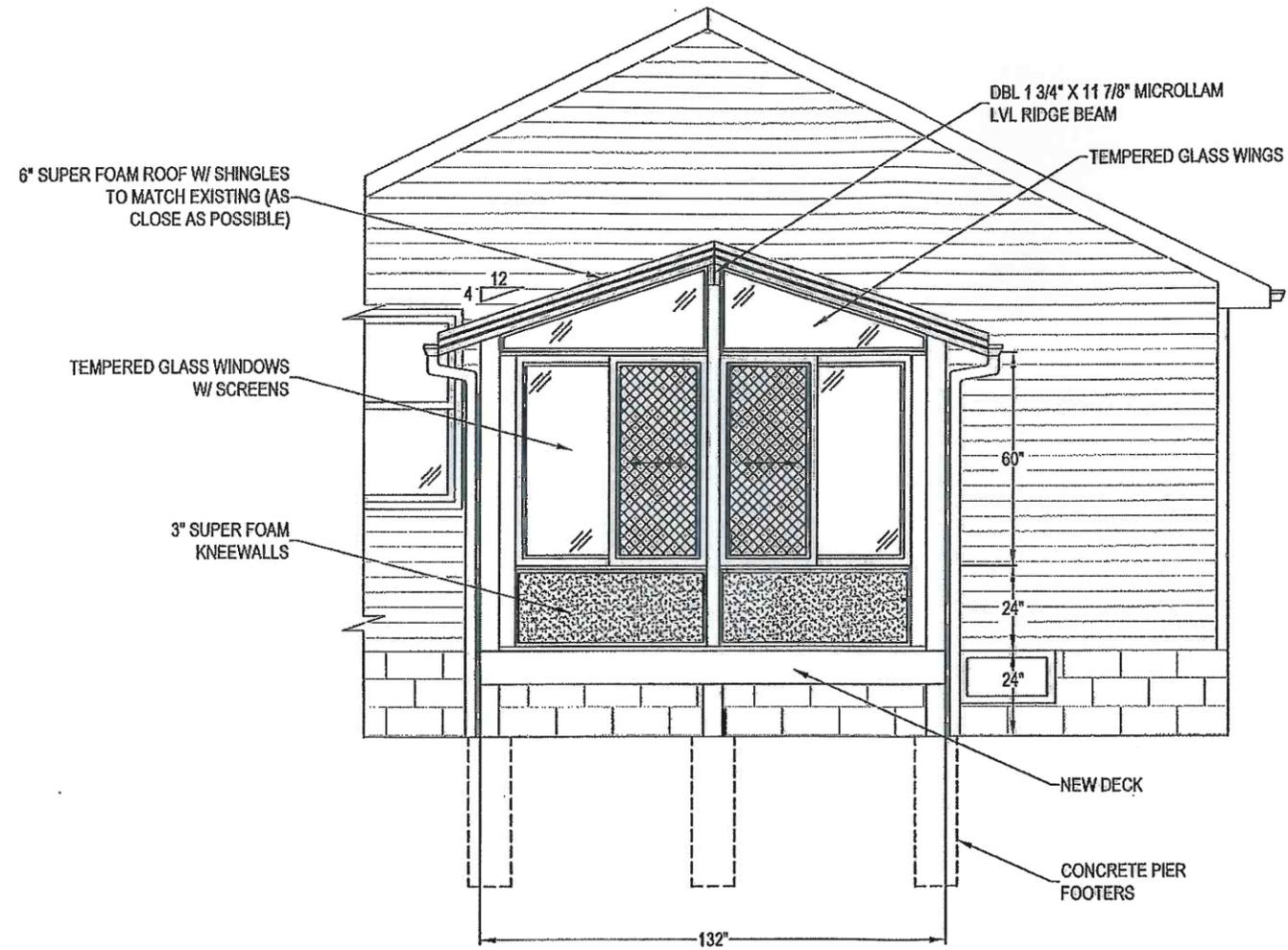
WILLIAM PECHE
301 HILL STREET
HARTLAND, WI. 53029
JOB #38766



JAMES A. CLANCY, P.E., L.S.
WI. PROFESSIONAL ENGINEER (WI. LIC. #38262)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306

DATE	5/6/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	1 OF 10

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



ELEVATION - "B" WALL



JAMES A. CLANCY, P.E., L.S.
 WI. PROFESSIONAL ENGINEER (WI. LIC. #38262)
 601 ASBURY AVENUE
 NATIONAL PARK, N.J. 08063
 PH. # 856-853-7306

LOCATION
 GDI - MILWAUKEE
 N30W22383 GREEN ROAD, UNIT G
 WAUKESHA, WI 53186
 262-798-0500

WILLIAM PECHE
 301 HILL STREET
 HARTLAND, WI. 53029
 JOB #38766

DATE	5/6/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	2 OF 10

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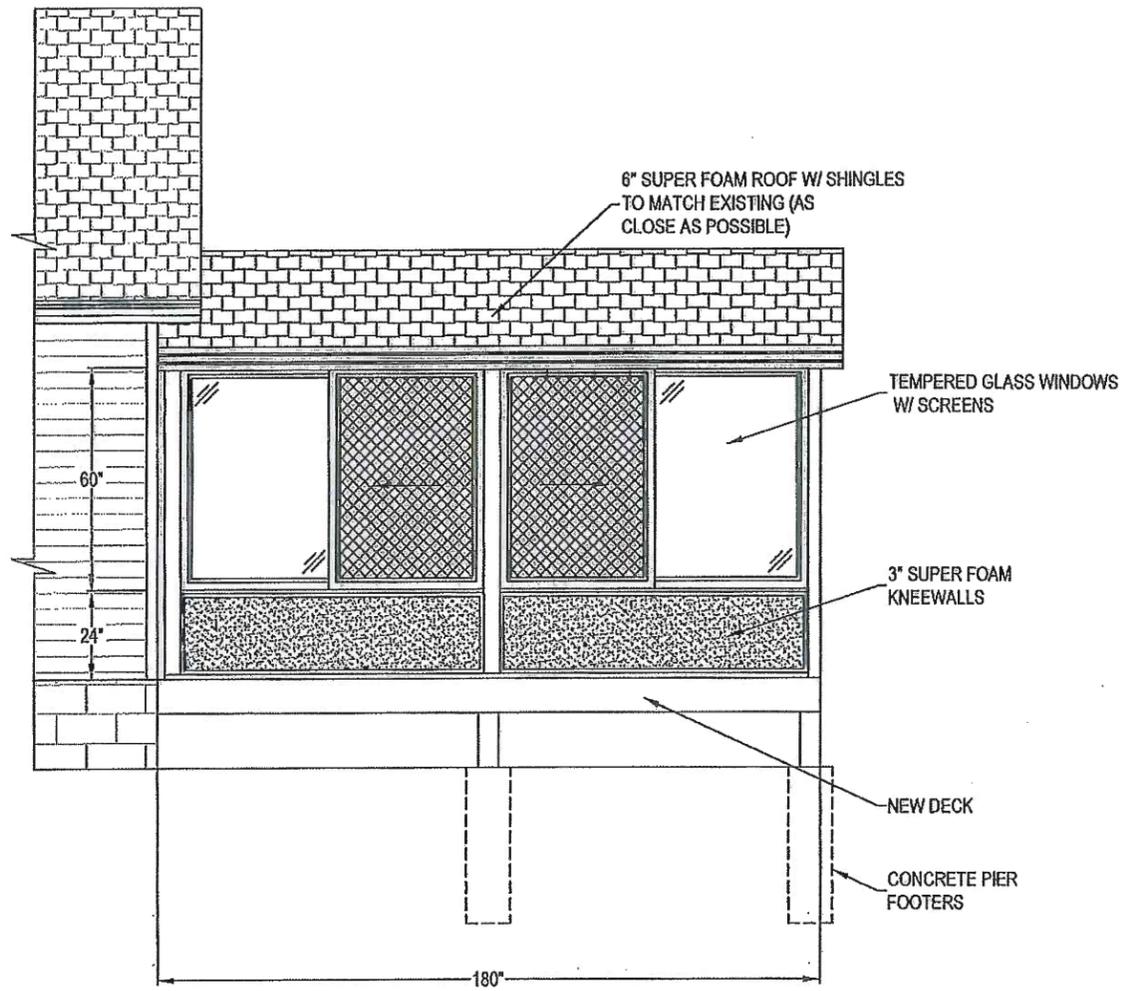


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 WAUKESHA, WI 53186
 262-798-0500

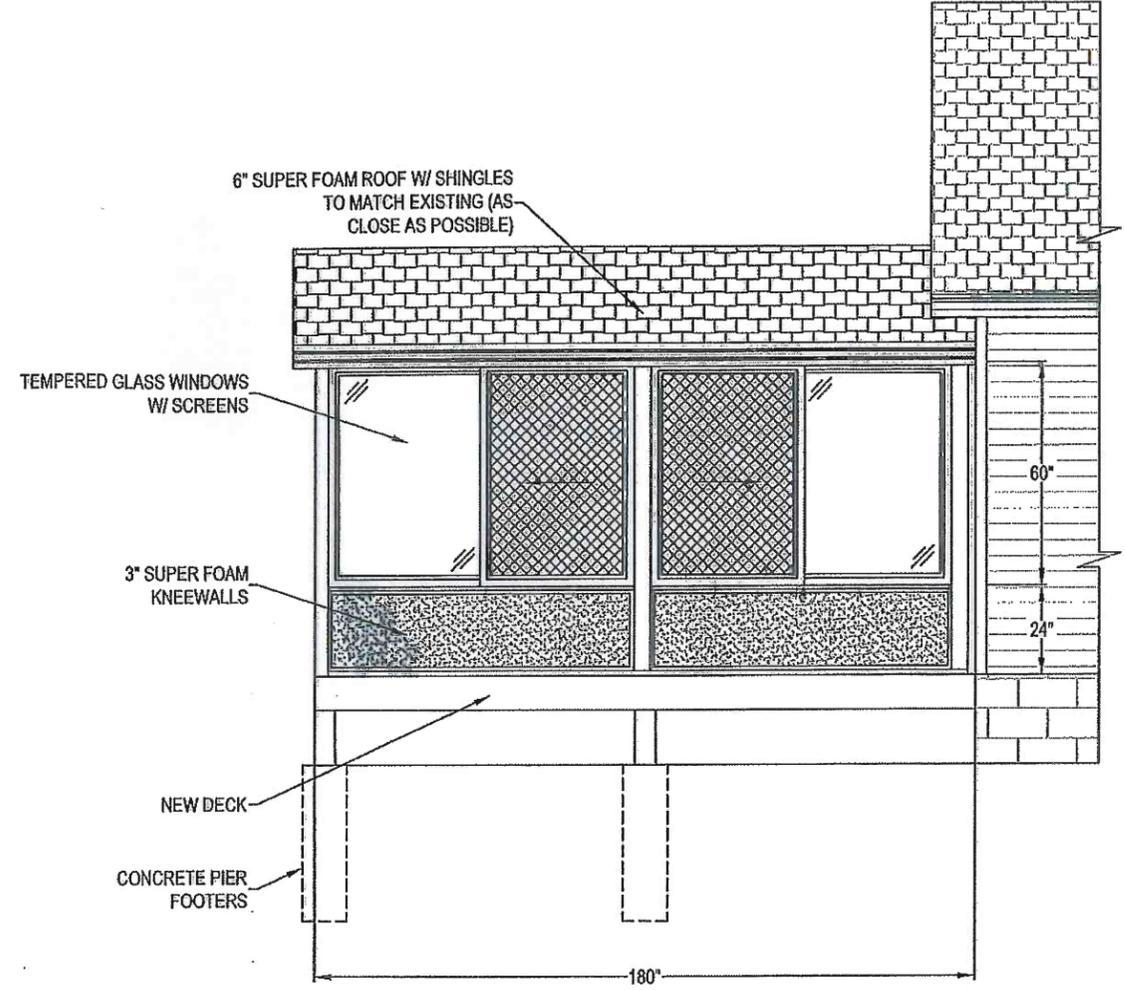
WILLIAM PECHE
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DATE	5/6/19
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SCALE	1/4" = 1'0"
SHEET	3 OF 10

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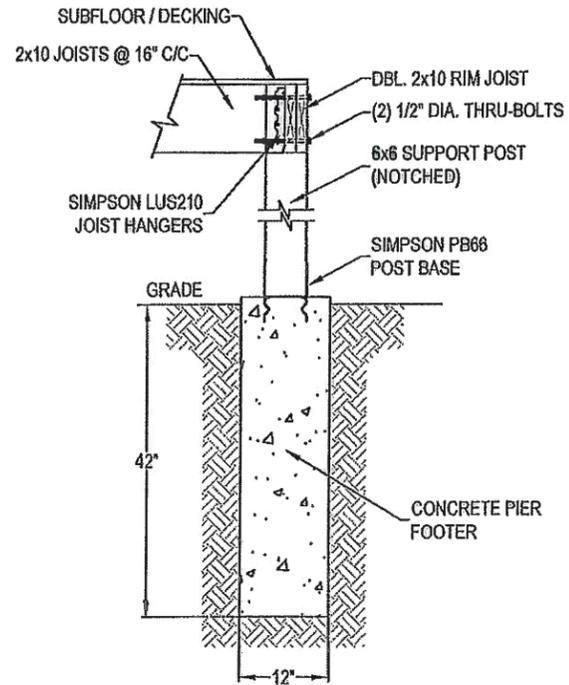
ELEVATION - "A" WALL



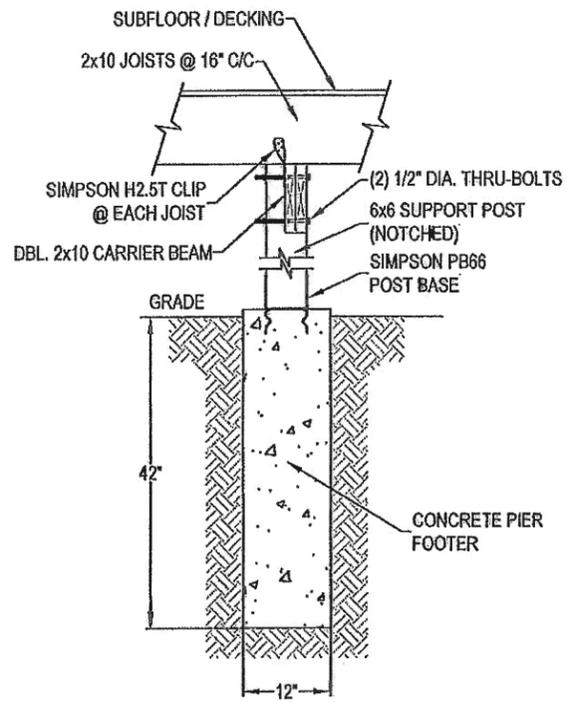
ELEVATION - "C" WALL



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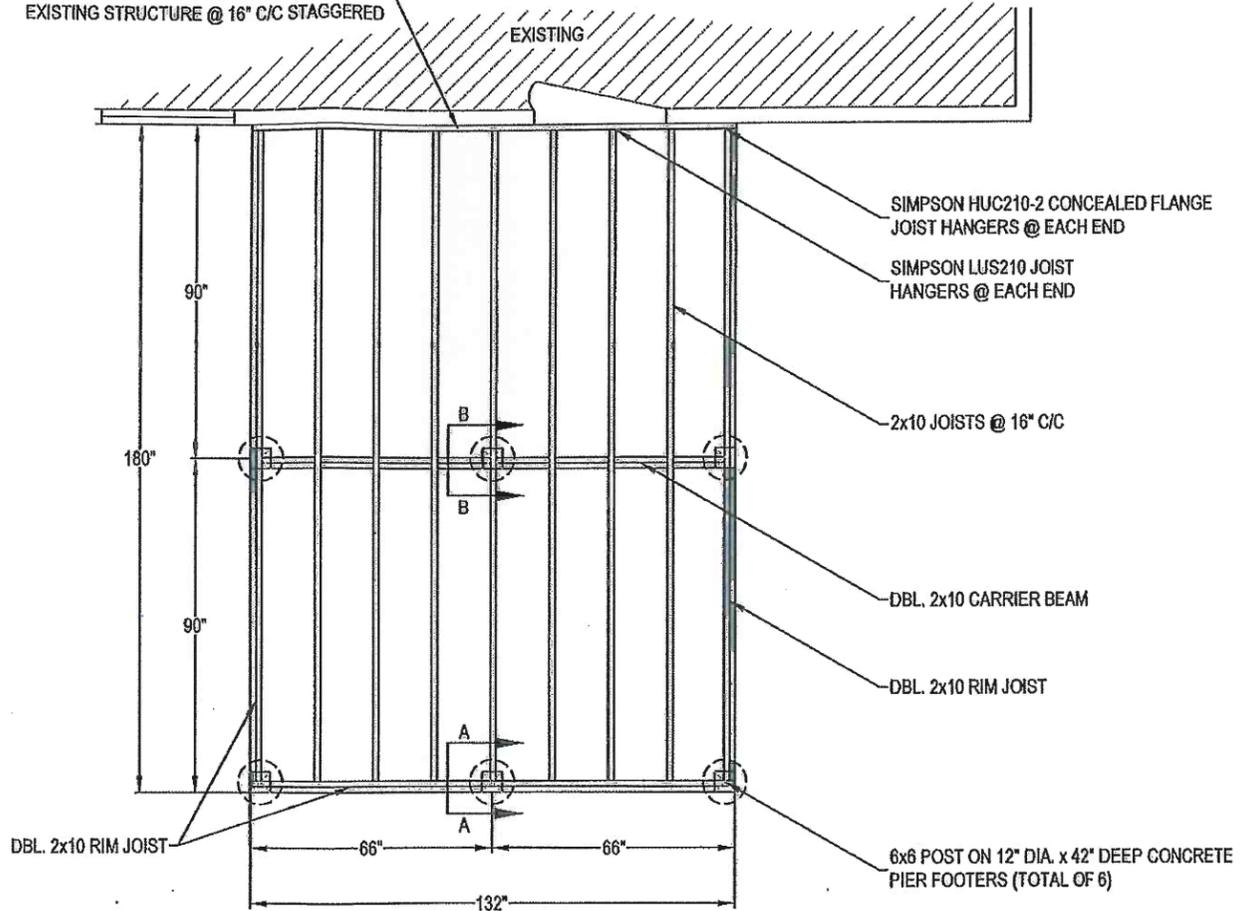


SECTION A-A
SCALE: 1/2" = 1'-0"



SECTION B-B
SCALE: 1/2" = 1'-0"

2x10 LEDGER BOARD W/ 1/2" DIA. LAG SCREWS
W/ 1-1/2" MIN. THREAD ENGAGEMENT INTO
EXISTING STRUCTURE @ 16" C/C STAGGERED



DECK PLAN
SCALE: 1/4" = 1'-0"



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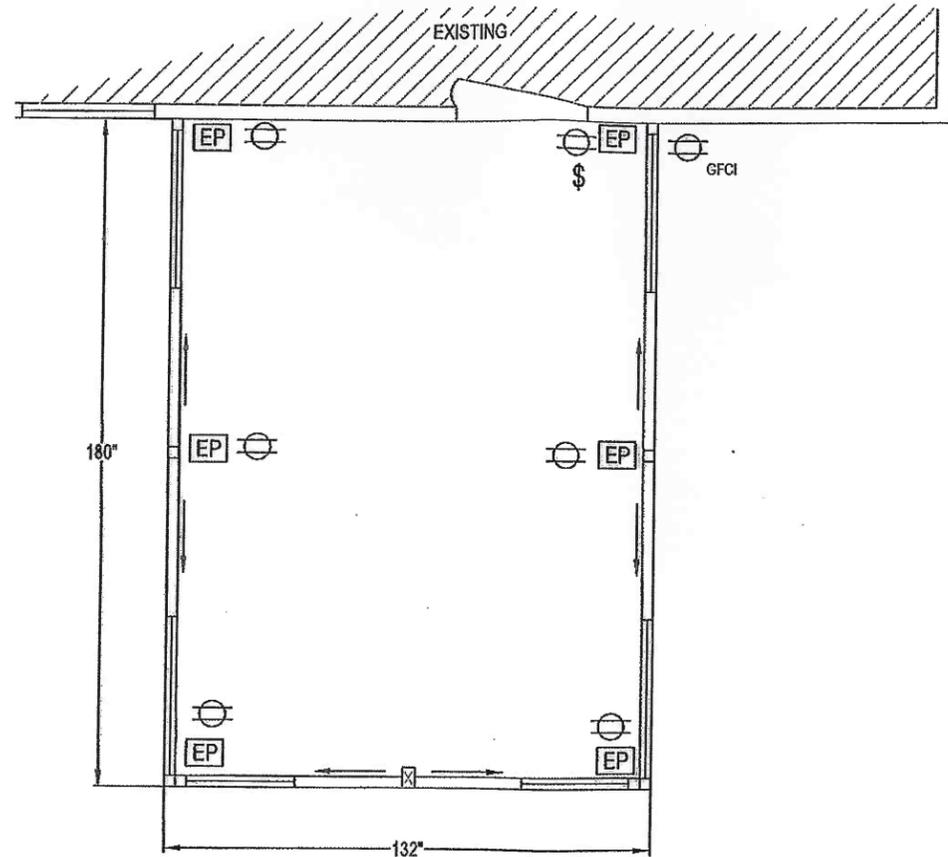


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HARTLAND, WI. 53029
JOB #38766

DATE 5/6/19
DRAWN VNG
SCALE AS NOTED
SHEET 4 OF 10

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ELECTRICAL PLAN

GDI ELECTRICAL SYMBOL LEGEND

EP	ELECTRICAL RACEWAY POST
⊕	DUPLEX RECEPTACLE
⊕ GFCI	GFCI DUPLEX RECEPTACLE
\$	SWITCH

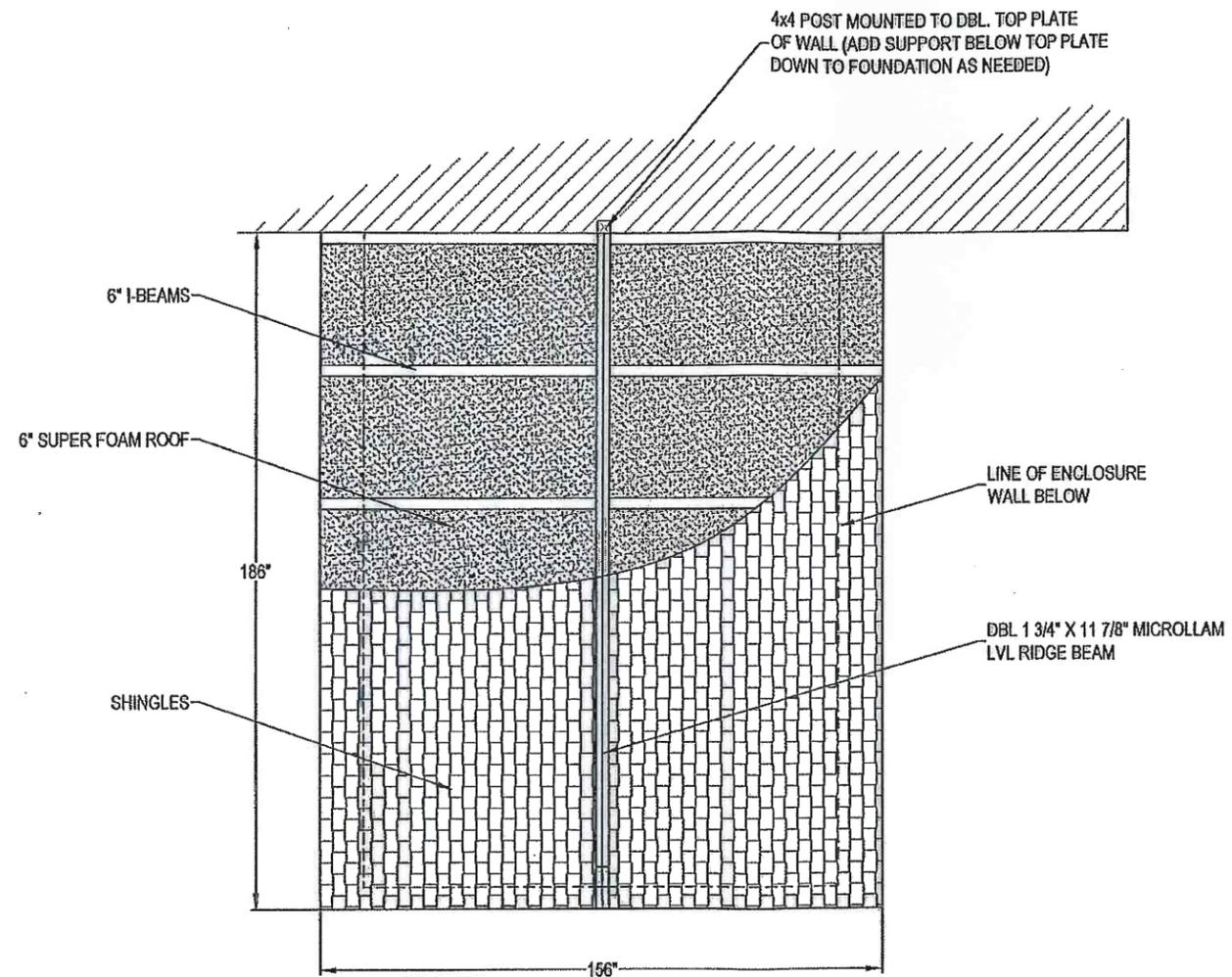

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DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	5 OF 10

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ROOF PLAN


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SCALE	1/4" = 1'-0"
SHEET	6 OF 10

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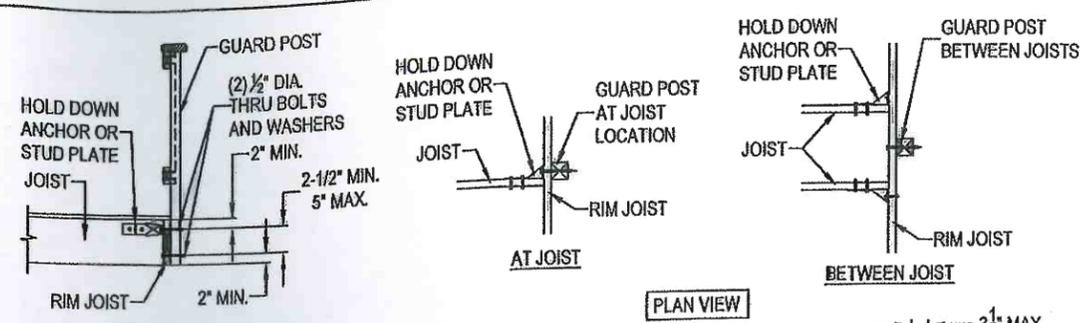


LOCATION
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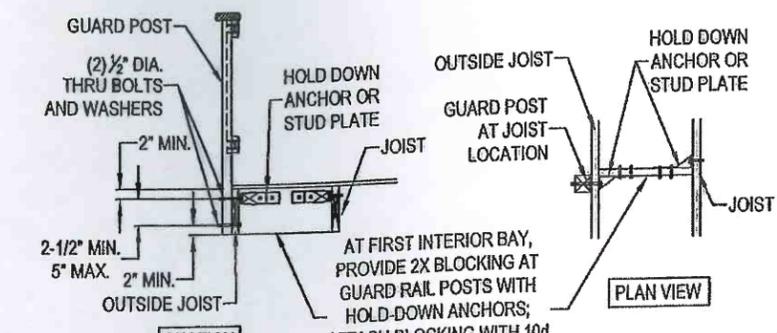
WILLIAM PECHE
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 HARTLAND, WI 53029
 JOB #38766

DATE	5/6/19
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	7 OF 10

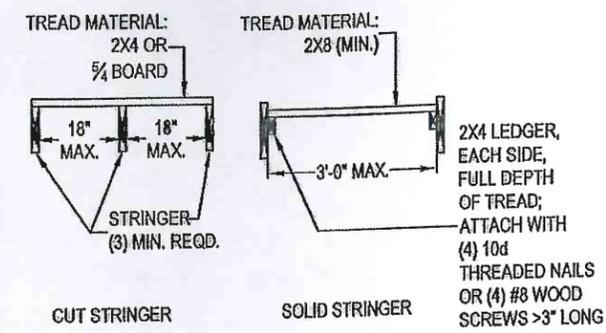
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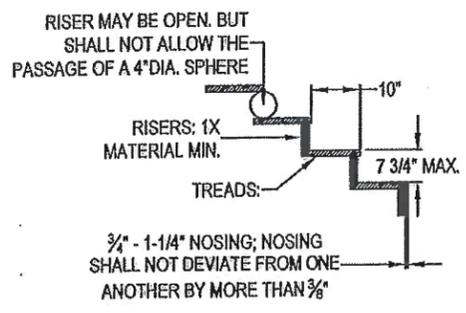
GUARD POST TO RIM JOIST DETAIL



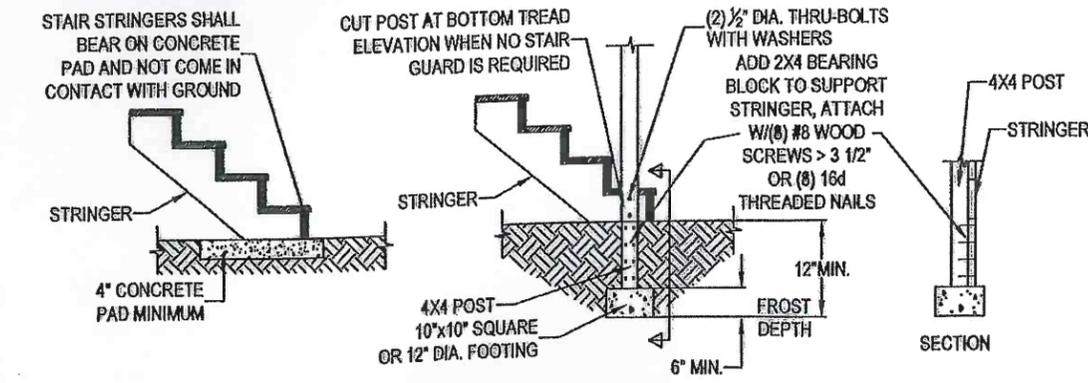
GUARD POST TO OUTSIDE JOIST DETAIL



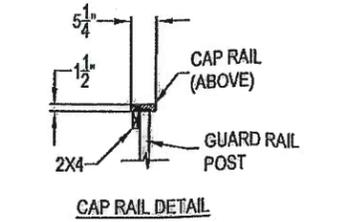
TREAD CONNECTION REQUIREMENTS



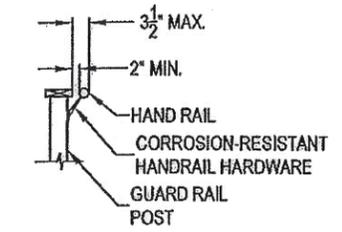
TREAD AND RISER DETAIL



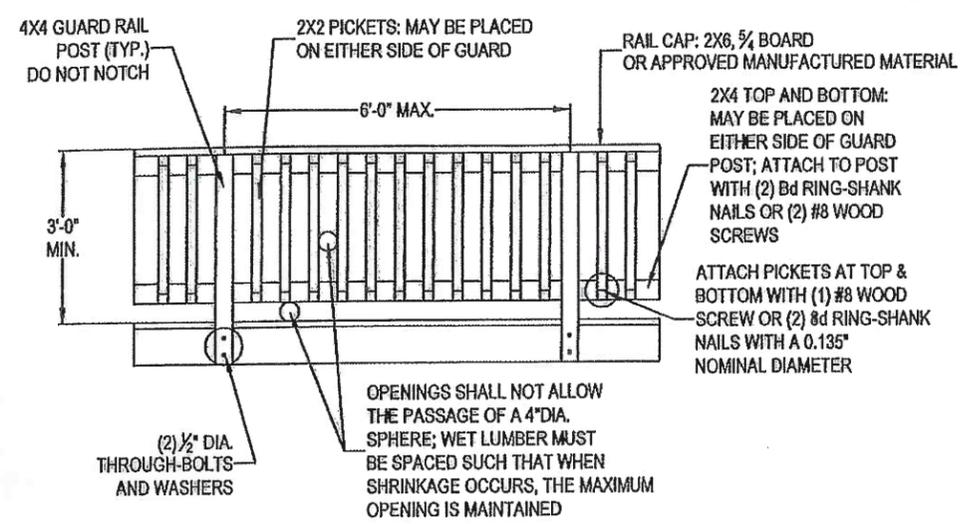
STAIR STRINGER BEARING AT GRADE DETAIL



CAP RAIL DETAIL

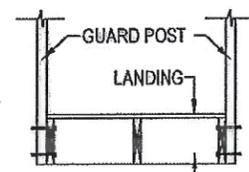


HAND RAIL DETAIL



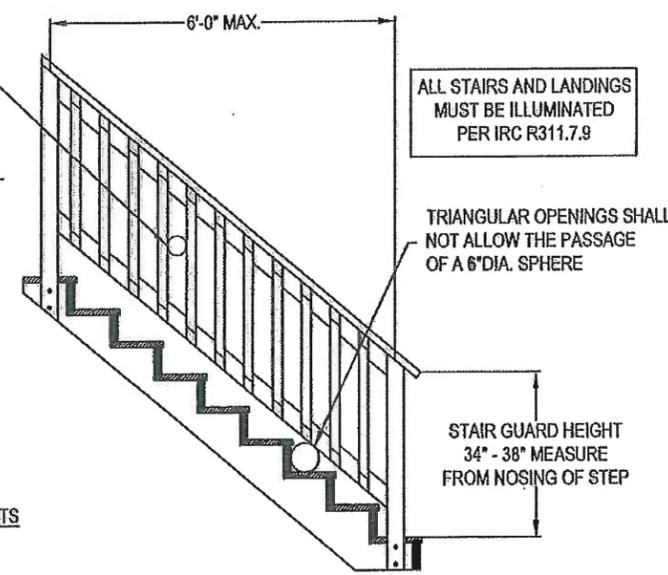
TYPICAL GUARD DETAIL

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW THE PASSAGE OF A 4-3/8\"/>



PROVIDE BLOCKING BETWEEN STAIR STRINGERS AT GUARD POST LOCATIONS; TOE NAIL WITH 10d NAILS TOP & BOTTOM, EACH SIDE

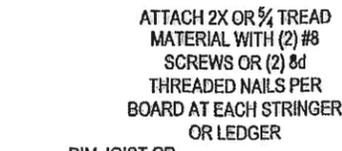
STAIR GUARD REQUIREMENTS



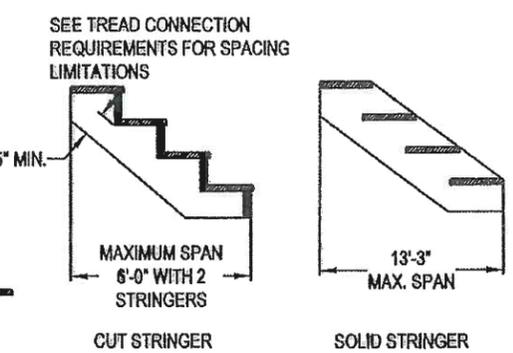
ALL STAIRS AND LANDINGS MUST BE ILLUMINATED PER IRC R311.7.9

TRIANGULAR OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 6\"/>

STAIR GUARD HEIGHT 34\"/>



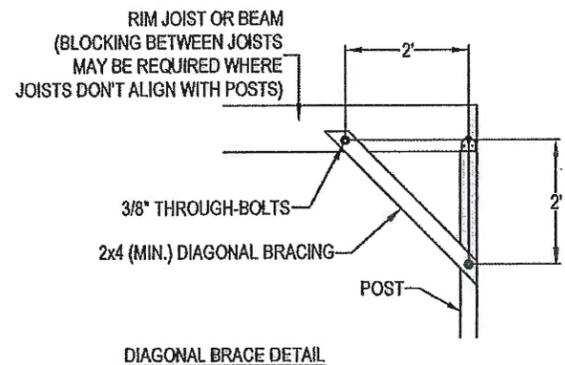
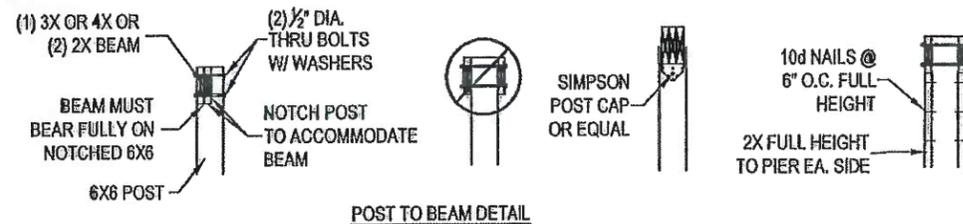
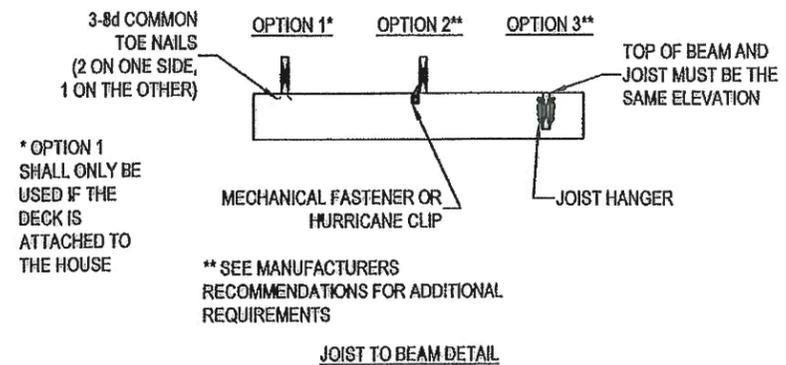
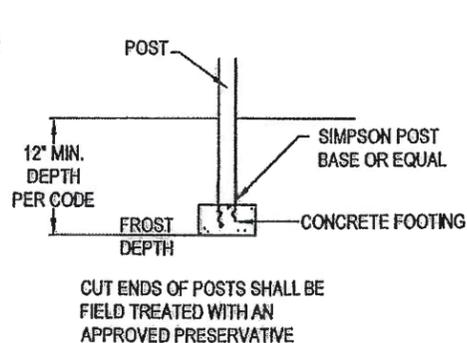
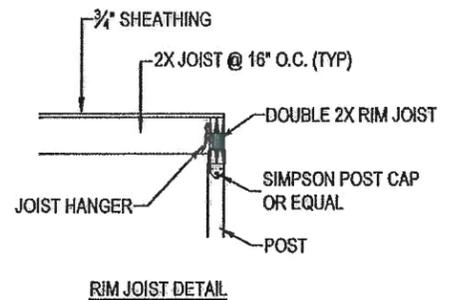
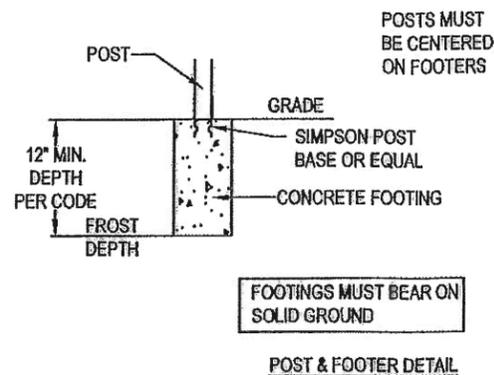
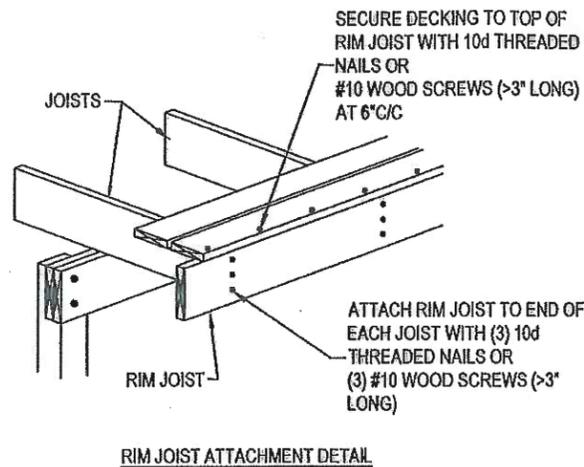
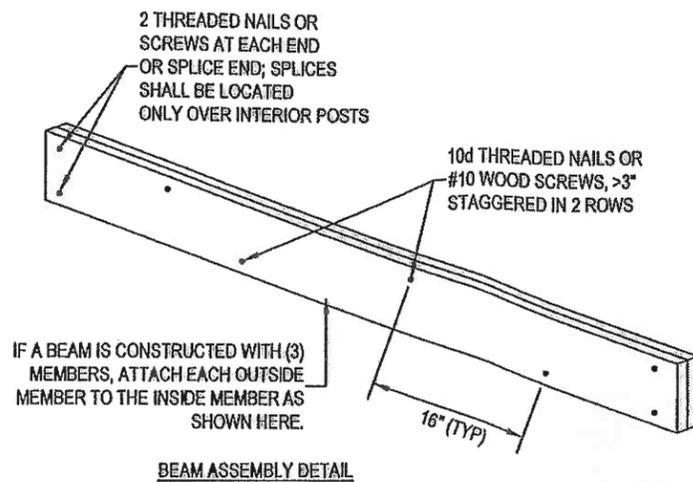
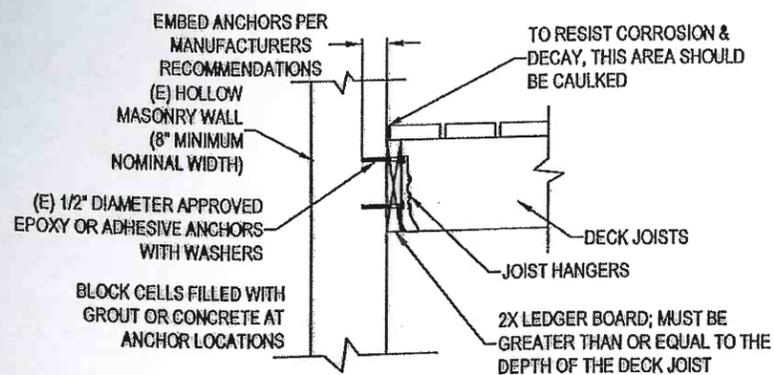
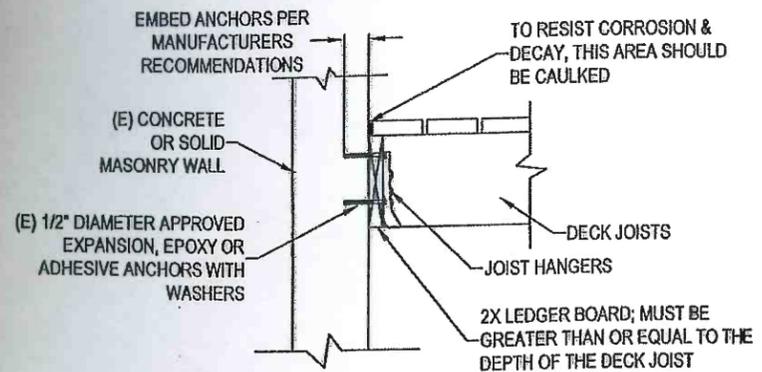
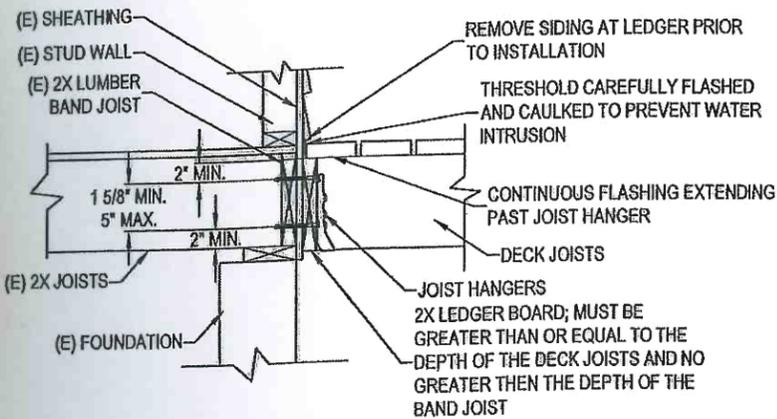
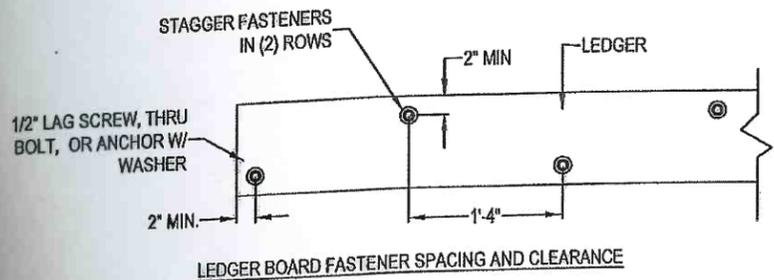
STAIR STRINGER ATTACHMENT DETAIL



STAIR STRINGER REQUIREMENTS ALL STRINGERS SHALL BE A MINIMUM OF 2X10



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 601 ASBURY AVENUE
 NATIONAL PARK, N.J. 08063
 PH. # 856-853-7306

DATE 5/6/19

DRAWN VNG

SCALE 1/4" = 1'-0"

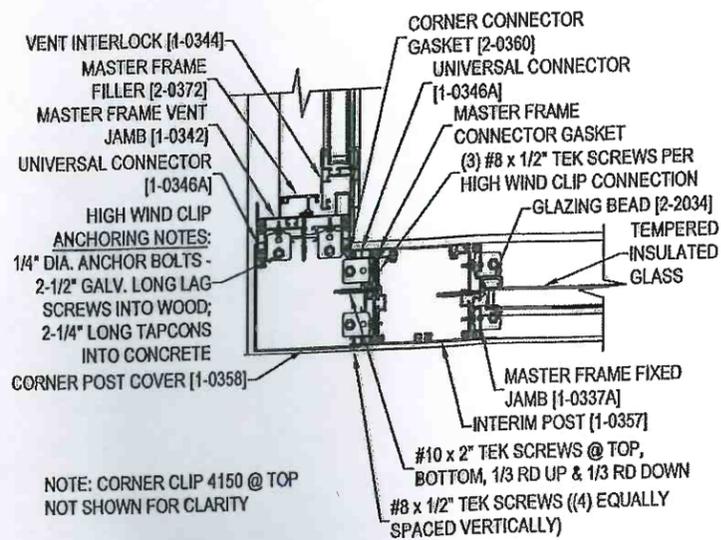
SHEET 8 OF 10



LOCATION
 GDI - MILWAUKEE
 N30W22383 GREEN ROAD, UNIT G
 WAUKESHA, WI 53186
 262-798-0500

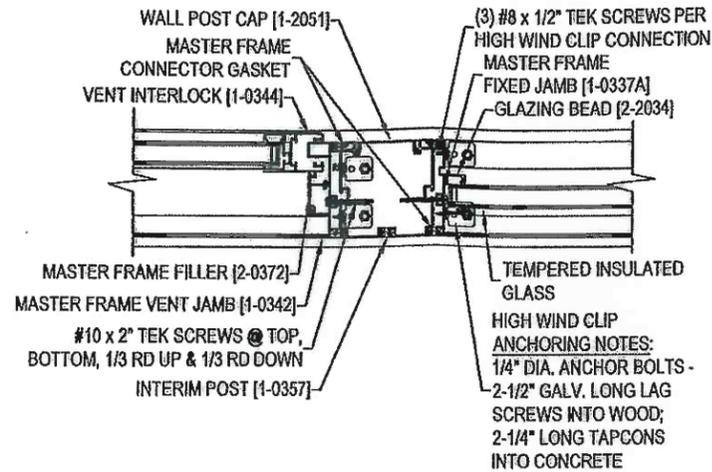
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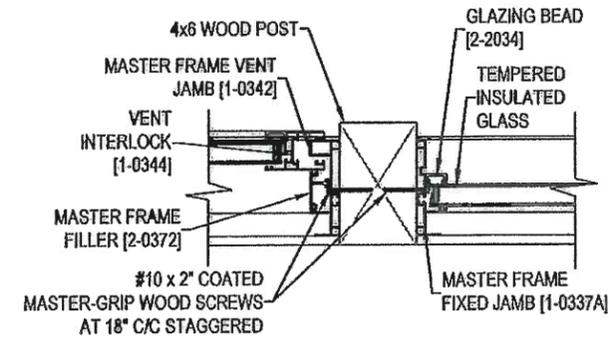


PLAN VIEW OF MASTER FRAME JAMBS & INTERIM POST CONNECTION @ CORNER POST

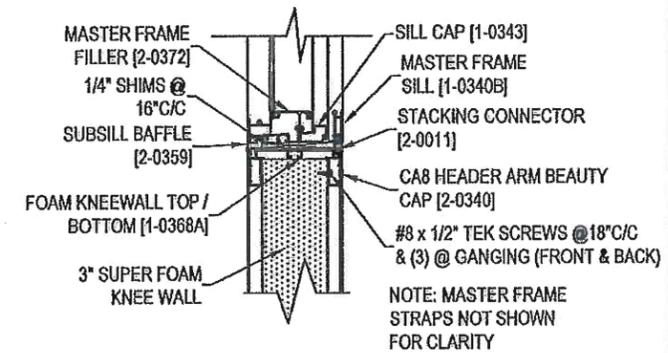
NOTE: CORNER CLIP 4150 @ TOP NOT SHOWN FOR CLARITY



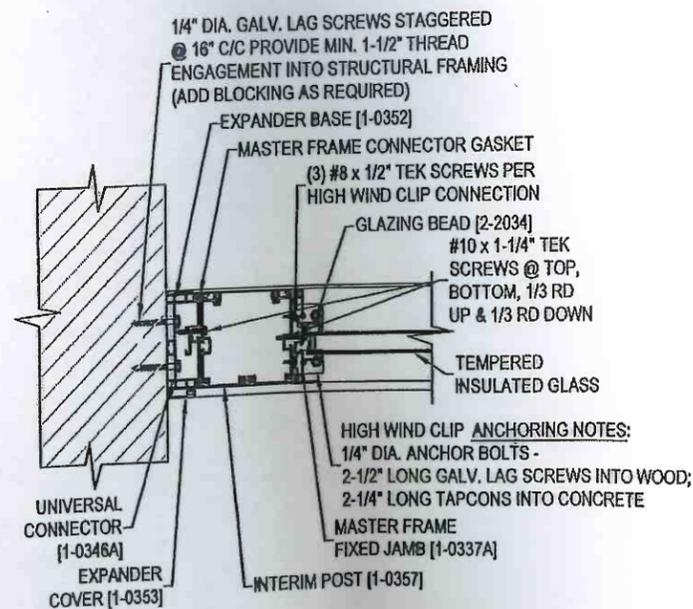
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ INTERIM POST



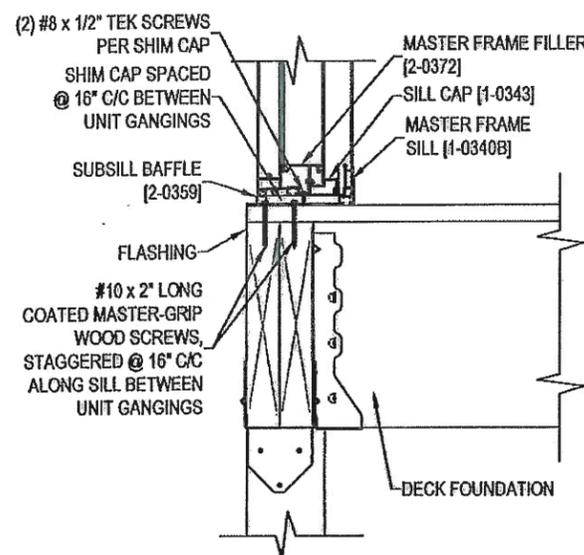
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ 4x6 WOOD POST



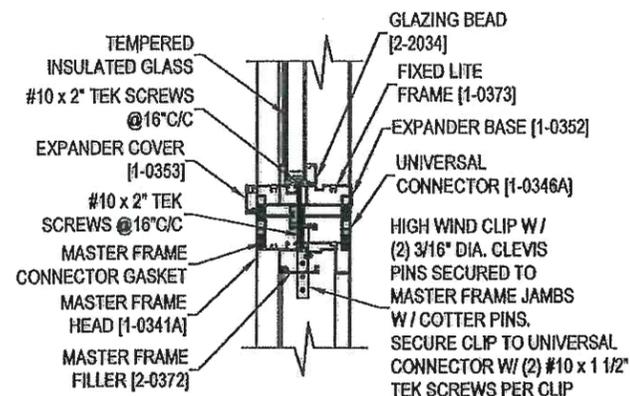
SECTION THROUGH MASTER FRAME SILL CONNECTION @ FOAM KNEEWALL



PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ EXISTING WALL



SECTION THROUGH MASTER FRAME SILL CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME HEAD CONNECTION @ GLASS WING



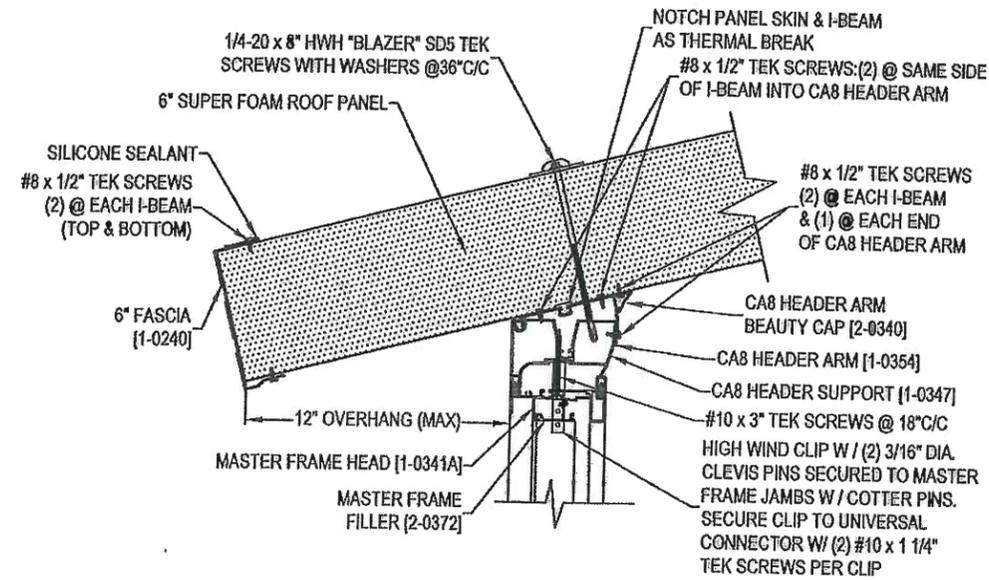
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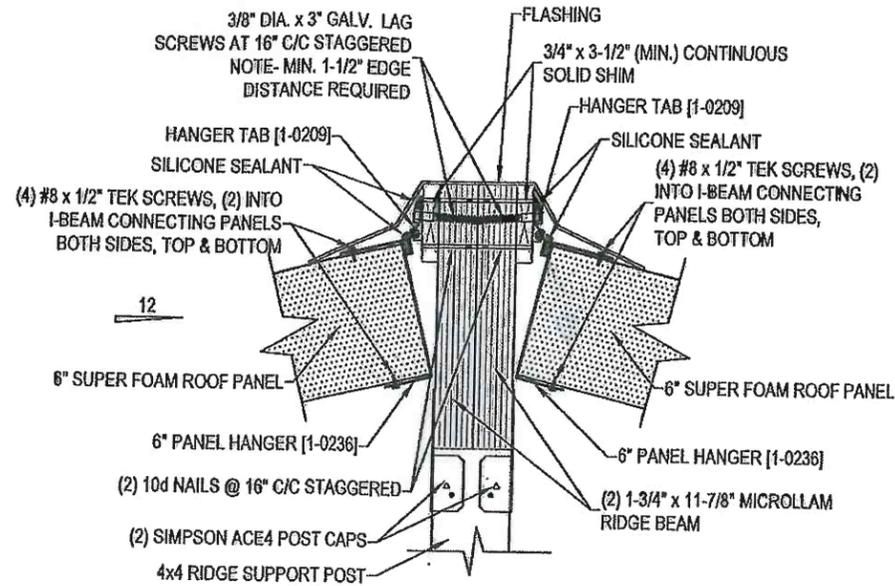
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DATE	5/6/19
DRAWN	VNG
SCALE	1 1/2" = 1'-0"
SHEET	9 OF 10

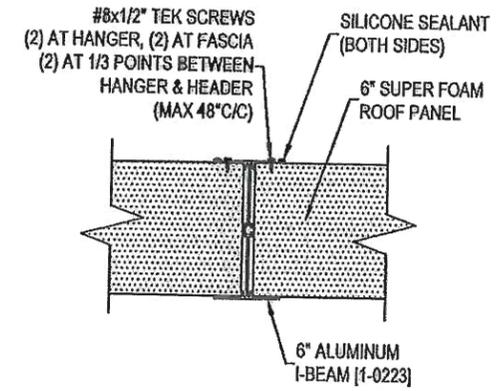
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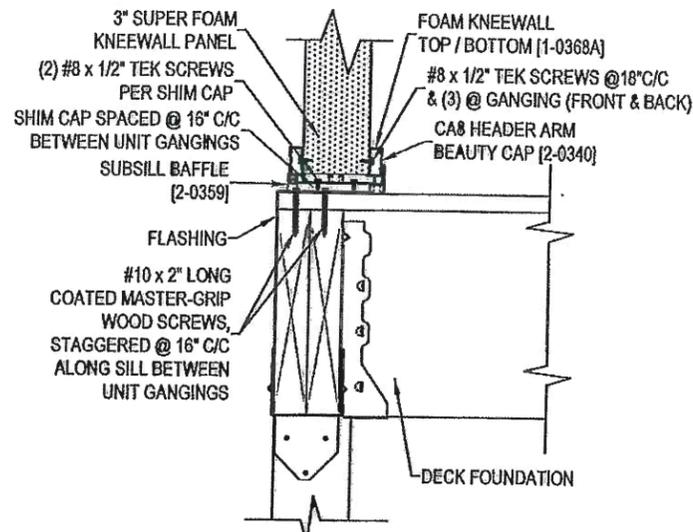
SECTION THROUGH MASTER FRAME & HEADER CONNECTION @ 6" SUPER FOAM ROOF



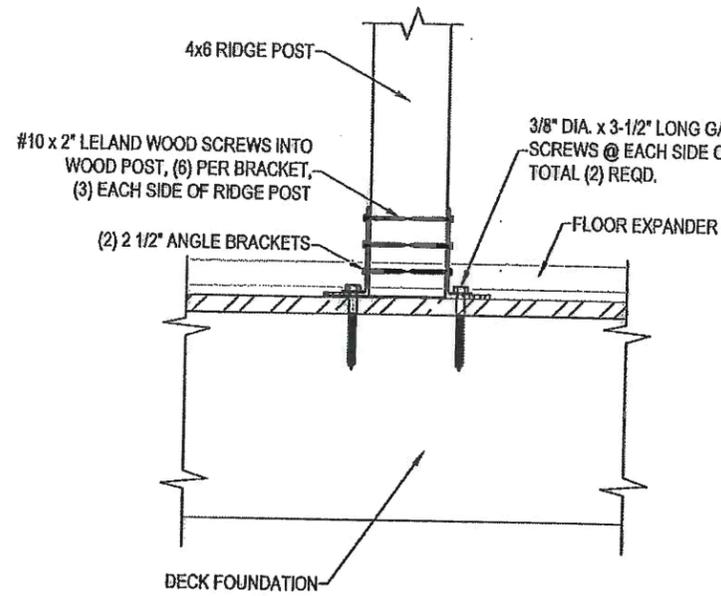
SECTION THROUGH 6" SUPER FOAM ROOF & PANEL HANGER ASSEMBLY CONNECTION @ RIDGE BEAM



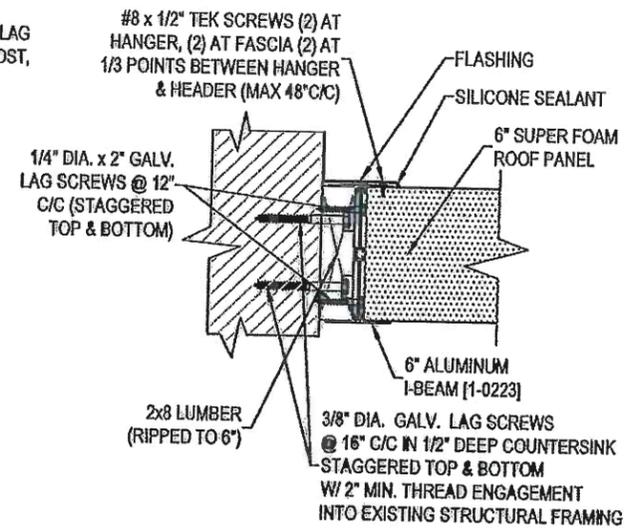
SECTION THROUGH 6" ROOF CONNECTION @ I-BEAM



SECTION THROUGH FOAM KNEEWALL CONNECTION @ DECK FOUNDATION



FRONT VIEW THROUGH 4x6 RIDGE POST CONNECTION @ DECK FOUNDATION



6" ROOF PANEL & I-BEAM CONNECTION @ EXISTING WALL



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492 PARTNERS LLC
492 RIVERSIDE DR
PRINCETON NJ 08540-5421

BARBARA J PAGAC
307 HILL ST
HARTLAND WI 53029

G DASON SCHULTZ & JESSICA SCHULTZ
1009 MILWAUKEE ST
DELAFIELD WI 53018-1626

JAMES R ROMANOWICH & SHIRLEY A
ROMANOWICH
193 HILL ST
HARTLAND WI 53029-2018

JEFFREY VERNON & DIANE L VERNON
311 HILL ST
HARTLAND WI 53029-2003

JEROME J MOLENDAS & SUZANNE J
MOLENDAS REV TRUST
207 HILL ST
HARTLAND WI 53029-2001

JOHN ROHR & DORALYNNE METZ
REVOCABLE LIVING TRUST
16755 SHORE LINE DR
BROOKFIELD WI 53005-2138

JONATHAN KLIPPSTEIN & RICHARD J
KLIPPSTEIN
N42W32684 REGATTA CT
NASHOTAH WI 53058-9526

KAREN BOOTH
242 HILL ST
HARTLAND WI 53029

KATHLEEN A MCDONALD
201 HILL ST
HARTLAND WI 53029-2001

KATHLEEN NOHL
203 HILL ST
HARTLAND WI 53029

MICHAEL UIBEL & LORI UIBEL
195 HILL ST
HARTLAND WI 53029

ROBERT J GOETZ
4160 N 126TH ST
BROOKFIELD WI 53005

SHERWOOD MANOR IX LLC
20980 BRADFORD LN
BROOKFIELD WI 53045-1709

WILLIAM H FORESTER & SHULING NI
241 HILL ST
HARTLAND WI 53029-2001

ST CHARLES CONGREGATION
313 CIRCLE DR
HARTLAND WI 53029-1824

STEPHEN M CIGICH & CLAUDETTE B
CIGICH REVOCABLE
205 HILL ST
HARTLAND WI 53029-2001

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

WILLIAM T PECHE
301 HILL ST
HARTLAND WI 53029

WILLIAM T PECHE
301 HILL ST
HARTLAND WI 53029



**APPLICATION FOR
PLAN COMMISSION**

\$300 REVIEW FEE DUE AT TIME OF APPLICATION

Project Description <i>Conceptual Discussion of Proposed Development of Vacant Land East of Lake Country Lutheran</i>			
Proposed Use <i>Mixed Uses - Commercial - Office - Multi Family - Single Family</i>		No. of Employees <i>—</i>	
Project Location <i>Campus Drive East of Lake Country Lutheran</i>			
Project Name <i>Lake Country Lutheran East Lands Development</i>			
Owner <i>Neumann Developments Inc.</i>		Phone <i>262-542-9200</i>	
Address <i>N271024025 Paul Ct, Suite 100</i>		City <i>Pewaukee</i>	State <i>WI</i> Zip <i>53072</i>
Engineer/Architect <i>TRIO</i>		Phone <i>262-790-1481</i>	FAX
Address <i>4100 N Calhoun Rd, Suite 300</i>		City <i>Brookfield</i>	State <i>WI</i> Zip <i>53005</i>
Contact Person <i>Bryan Lindgren</i>	Phone <i>262-542-9200</i>	FAX <i>—</i>	E-mail <i>blindgren@neumanncompanies.com</i>

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.

Applications that include site plans must depict the following existing and proposed information:

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Date Applied: <i>6-21-19</i>	Date of Meeting: <i>7-15-19</i>	Return Comments by:
------------------------------	---------------------------------	---------------------



Narrative in Support of Conceptual Re-Zoning and Smart Growth Map Amendment

Lake Country Lutheran East Lands

Neumann Developments Inc. and Catalyst Construction are proposing a mixed use development on the undeveloped land located East of Lake Country Lutheran and Campus Drive in the western part of the Village of Hartland. The materials presented herewith are in support of a conceptual rezoning and Smart Growth map amendment for the project. The project consists of an approximately 53 acre site located on north of Hwy 16 and east of Campus Drive. The general characteristics of the proposed development are as follows:

- Total Area = 53.31 Acres
- Wetland Area = .53 Acres
- Net Area = 52.78 Acres
- INRA Area = 16.44 Acres
- Proposed Land Uses
 - Single Family Condominium = 26.4 acres
 - Multi-Family Residential = 21.03 acres
 - Office - Outreach = 2.46 acres
 - Commercial/Retail = 2.83 acres
- Proposed Zoning
 - Multiple TBD with Planned Unit Development Overlay
- Unit Mix
 - Single Family Condominium
 - 47 homes
 - Net area = 26.4 ac – 12.69 ac (INRA) = 13.71 ac
 - Density = 1.78 homes/acre (gross) & 3.42 homes/acre (net)
 - Multi-Family Residential
 - 150 (9 buildings)
 - Net area = 21.03 ac – 3.75 ac (INRA) = 17.28 ac
 - Density = 7.13 homes/acre (gross) & 8.68 homes/acre (net)
 - Office-Outreach
 - 2 buildings
 - Proposed uses – administrative/office, counseling services
 - Commercial/Retail
 - One building pad
 - Proposed use – gas station/convenience store



Application of the planned development zoning designation is appropriate in this development to coordinate the area site planning, providing attractive open spaces, diversified housing, and economical and efficient design. An amendment to the Smart Growth Plan would be needed, and the proposed changes are consistent with surrounding areas. Developing away from the center of the Village should balance the impact on the current residents with the future needs of the Village. A modification to the land use map will allow for the most natural transition from the single family residential uses to the east to multifamily and business use along the existing Campus Drive and Hwy 16.

An amendment to the land use plan and use of a planned development would accomplish the following:

- A. Maximize the preservation area. By clustering units between INRA pockets negative impacts to the environment are minimized. Additionally, by utilizing the condominium concept within the wooded areas this will minimize the impact to the trees as unit and limited common element boundaries can be more carefully controlled than lot lines.
- B. Efficiently design the site providing a variety of uses that blend the single family residential neighborhood to the north and east with higher density and business uses along Campus Drive and Hwy 16. A transition in uses balances the need and desire of the Village for multifamily and business with the desires of current neighbors for continued residential type uses. Additionally, a large amount of business/institutional acreage is not economically viable for development and does not provide the maximum value per acre for tax revenue to the Village. Reducing the business acreage to a size more suitable for neighborhood type businesses makes the business acreage more appealing to potential users. Furthermore, areas along Campus Drive and Hwy 16 that are central and toward the eastern portion of the parcel are not as accessible from Campus Dr. making them even less desirable for business users and better suited for multifamily residential uses, which is also consistent with uses immediately south of Hwy 16.
- C. Economically design the site providing a diversity of housing options. The mixed use development as proposed appeals to the widest range of future residents. Multifamily units can provide much needed workforce housing benefiting local businesses and keeping people in the community that may otherwise have to look elsewhere. Single family condominiums offer home sizes and price points that give current residents the option to downsize and stay in Hartland or new home buyers looking to own their first home at a price point below what it costs to for a new single family home. Both condominiums and multifamily units offer the low maintenance lifestyle buyers are currently looking for.



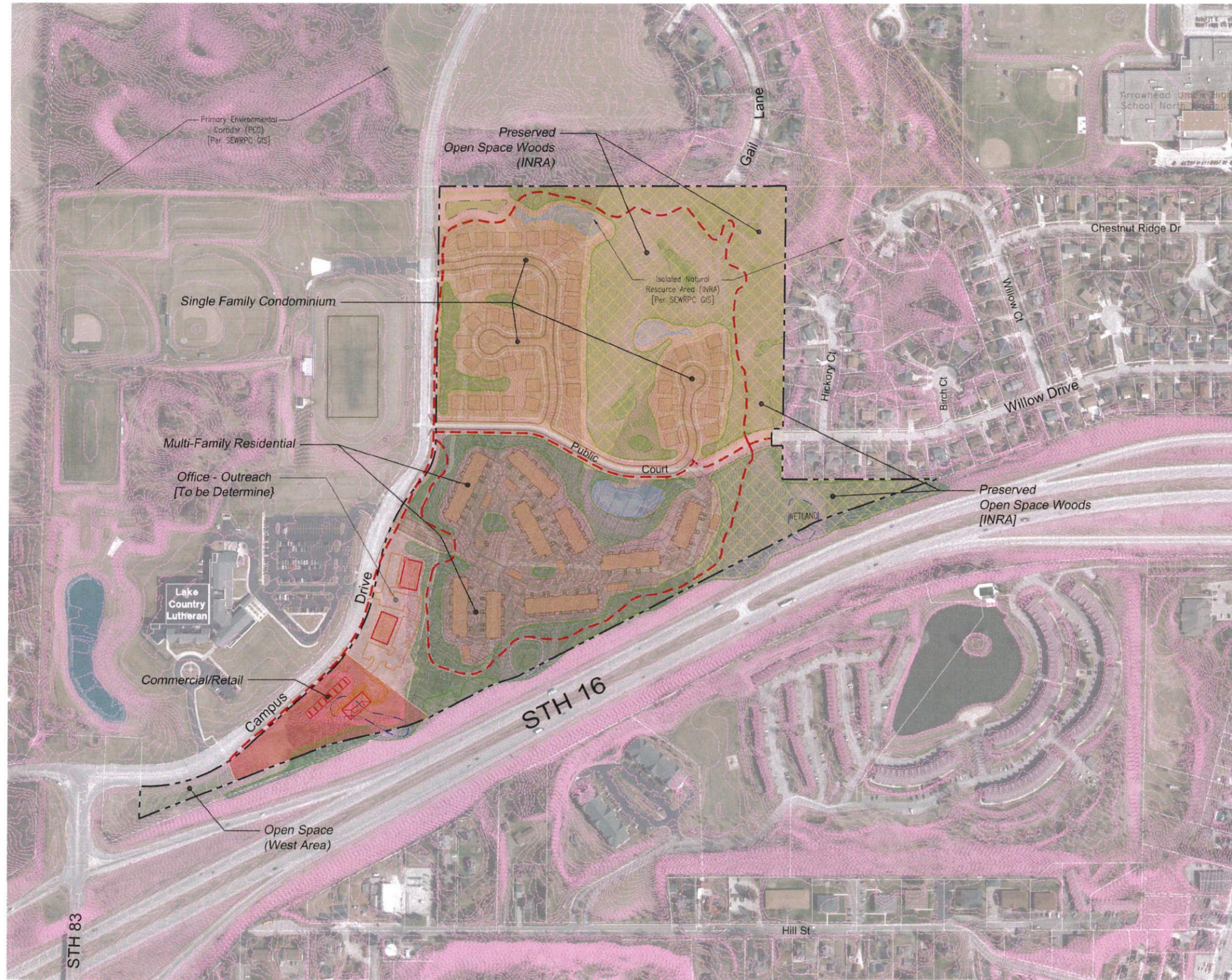
In summary, we feel the proposed planned development zoning and land use map amendment are consistent with the current uses in the area as well as uses that are desired in proper long range planning in the Village. The concept provided identifies and preserves lands that contain natural resource features and woodlands as well as provides diversified housing using economical and efficient design. The cluster type development minimizes intrusions within those areas, provides for adequate drainage for surface and storm water and is accessible by public utilities.

We look forward to any feedback the commission can provide on our proposed concept and are excited about developing in the Village of Hartland.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan Lindgren", is written over the printed name.

Bryan Lindgren



Master Plan Site Data

Tax Key No	HAV 0423981
Total Area	53.31 acres
Wetland Area	- 0.53 acres
NET AREA	52.78 acres
(INRA Area)	(16.44 acres)

Proposed Land Uses

	Single Family Condominium [47 units]	26.4 acres [INRA = 12.69 acres]
	Multi-Family Residential [150 units]	21.03 acres [INRA = 3.75 acres]
	Office - Outreach [Within Commercial/Retail and/or Multi-Family uses]	2.46 acres
	Commercial/Retail	2.83 acres
	Open Space (West Area)	0.59 acres

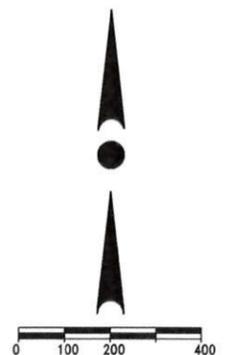
- Isolated Natural Resource Area (16.44 acres)
[Per SEWRPC GIS]
- Existing Woods & Open Space
- Trail System (indicates intent for looped trail)

MASTER PLAN - Lake Country Lutheran East Lands

Village of Hartland Wisconsin



4100 N Calhoun Road, Suite 300
 Brookfield, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: info@trioeng.com



Scale: 1" = 200' (22"x34")

Scale: 1" = 400' (11"x17")

June 20, 2019



Residential Site Data

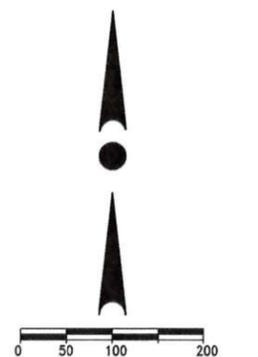
Tax Key No	HAV 0423981
RESIDENTIAL AREA	26.4 acres
INRA Area	12.69 acres
Proposed Clustered Residential Development:	
Single Family Condominium=	47 units
Density	1.78 units/acre
Setbacks:	
Interior Front = 45' to centerline; 25' to curb on cul-de-sac	
Single Family Side = 15' building to building (7.5' per building)	
Rear = 30'	
Campus Drive = 50'	

RESIDENTIAL PLAN - Lake Country Lutheran East Lands

Village of Hartland Wisconsin



4100 N Calhoun Road, Suite 300
 Brookfield, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: info@trioeng.com



Scale: 1" = 100' (22"X34")
 Scale: 1" = 200' (11"X17")

June 20, 2019



Site Data

Tax Key No HAV 0423981

MULTI-FAMILY AREA 21.03 acres

INRA Area 3.75 acres

Proposed Market Rate Rental Residences with direct entry garages

Total Units = 150 units (9 buildings)
Density = 7.13 units/acre

Setbacks:

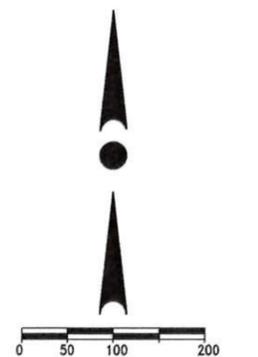
Perimeter Streets = 50' min
Building to Building = 50' min
Building to Garage = 25' min

MARKET RATE RENTAL RESIDENCES - Lake Country Lutheran East Lands

Village of Hartland Wisconsin



4100 N Calhoun Road, Suite 300
Brookfield, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com



Scale: 1" = 100' (22"x34")
Scale: 1" = 200' (11"x17")

June 20, 2019

ARROWHEAD UNION HIGH SCHOOL
DISTRICT
700 NORTH AVE
HARTLAND WI 53029

LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

RONALD W NUNN JR & DIANE L NUNN
530 WINDSTONE DR UNIT 102
HARTLAND WI 53029

BRIAN W MONTAG 2017 TRUST
PO BOX 180336
DELAFIELD WI 53018-0336

JOHN L KOSAK AND MARY A KOSAK
530 WINDSTONE DR UNIT 108
HARTLAND WI 53029

JOHN M GOSA AND WANDA E GOSA
530 WINDSTONE DR UNIT 111
HARTLAND WI 53029-1657

CAITY CUMMINGS
4705 N 134TH ST
BROOKFIELD WI 53005-7501

DONALD PAUL MCDOWELL
530 WINDSTONE DR UNIT 205
HARTLAND WI 53209-1658

DANIEL D PFEFFER & KELLY E BABCOCK
530 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1658

ROBERT J DOOME & LISA L GIEG-
DOOME
N39W23608 GRAY FOX CT
PEWAUKEE WI 53072-2776

BONNIE IZYDOR
530 WINDSTONE DR UNIT 103
HARTLAND WI 53029-1657

MICHAEL J & RAYNELLE A CHYCINSKI
JOINT REV TRUST
1000 SW 5TH AVE
BOYNTON BEACH FL 33426-4734

BARBARA E SAMUELSON
530 WINDSTONE DR UNIT 109
HARTLAND WI 53029

AMY JO BENSON
530 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1657

MICHAEL J PASSINO & DEBRA M
PASSINO
530 WINDSTONE DR UNIT 203
HARTLAND WI 53029-1658

DARRELL R NULAND & JUDITH L
NULAND
530 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1658

DAVID A ZUEGE AND KAREN M ZUEGE
N74W28831 COLDSTREAM DR
HARTLAND WI 53029-8486

BRIANA V DENEVAN
530 WINDSTONE DR UNIT 212
HARTLAND WI 53029

TERESA T GNEWUCH
530 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1657

DAVID C PANAWASH
530 WINDSTONE DR UNIT 104
HARTLAND WI 53029

JANET L STAHNKE
530 WINDSTONE DR #107
HARTLAND WI 53029

MARGIT TROMPLER
530 WINDSTONE DR UNIT 110
HARTLAND WI 53029

JOHN P LYNE
530 WINDSTONE DR UNIT 201
HARTLAND WI 53029

RONALD BYCZEK CUSTODIAN FOR
OLIVIA BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

JOSHUA D BUEGE
530 WINDSTONE DR #207
HARTLAND WI 53029

STEVEN G HANSON & DANIELLE R
HANSON
745 SPRING WATERS DR
OCONOMOWOC WI 53066-4178

SANDRA C MATUSHINEC
530 WINDSTONE DR UNIT 301
HARTLAND WI 53029

MICHAEL BELLAND & RAELE BELLAND
512W31280 RUCCI DR
WALES WI 53183-9722

JUSTIN CULL
530 WINDSTONE DR UNIT 303
HARTLAND WI 53029-1659

PAMELA L GROSS
24159 HARBORVIEW RD
PUNTE GORDA FL 33980

LARRY C COMPTON JR
530 WINDSTONE DR #305
HARTLAND WI 53029

ANDREW KOPCZYK & ANNA KOPCZYK
14130 SHEFFIELD DR APT 301
HOMER GLEN IL 60491-7891

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

MARVIN KATH AND JOAN KATH
530 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1659

MARY ELLEN THOSS
530 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1659

ANTON MOLLGAARD & CHRISTINE
MOLLGAARD
705 CENTERVILLE RD
ANDERSON SC 29625-2529

RICHARD J GOEPEL AND RITA L GOEPEL
530 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1659

BONNIE SUEDBECK
530 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1659

SARA ELIZABETH CARTER
520 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1653

MARK A KRAUS JR
520 WINDSTONE DR UNIT 102
HARTLAND WI 53029

ANDREW SISK
520 WINDSTONE DR UNIT 103
HARTLAND WI 53029-1653

JANET K ADLER
520 WINDSTONE DR UNIT 104
HARTLAND WI 53029-1653

MELISSA M LOSINIECKI
520 WINDSTONE DR UNIT 105
HARTLAND WI 53029-1653

MARY S MUTH
520 WINDSTONE DR UNIT 106
HARTLAND WI 53029-1653

J
ASON MALDONADO AND MELISSA
MALDONADO
520 WINDSTONE DR UNIT 107
HARTLAND WI 53029

KRISTIN ROGACZEWSKI
520 WINDSTONE DR UNIT 108
HARTLAND WI 53029-1653

PAUL A RADDATZ
520 WINDSTONE DR UNIT 109
HARTLAND WI 53029

LEWIS R WOLF
520 WINDSTONE DR UNIT 110
HARTLAND WI 53029

MAHVASH SHAKER
600 THAMES PKWY APT 2C
PARKRIDGE IL 60068-3679

JUSTIN J LEWANDOWSKI
520 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1653

MARK WOODWARD AND NIYARA
WOODWARD
520 WINDSTONE DR UNIT 201
HARTLAND WI 53029-1654

SANDRA J SHAW
520 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1654

RONALD BYCZEK CUSTODIAN FOR
OLIVIA BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

BRANDON ORDWAY
520 WINDSTONE DR UNIT 204
HARTLAND WI 53029

KATHLEEN A ORLIKOWSKI
520 WINDSTONE DR UNIT 205
HARTLAND WI 53029

VIOLA FLEMING
520 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1654

JEANNE A HOPPE
520 WINDSTONE DR UNIT 207
HARTLAND WI 53029

JUDITH SCHNEIDER
520 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1654

ROY D TANNER AND ANNE T TANNER
520 WINDSTONE DR UNIT 209
HARTLAND WI 53029-1654

WALTER KIRCHHOFF AND NATALIE M
KIRCHHOFF
520 WINDSTONE DR UNIT 210
HARTLAND WI 53029-1654

WONG LIVING TRUST
520 WINDSTONE DR UNIT 211
HARTLAND WI 53029

KAREN K KOTTKE
520 WINDSTONE DR UNIT 212
HARTLAND WI 53029

JACK VACCARO
520 WINDSTONE DR UNIT 301
HARTLAND WI 53029-1655

HAYLIE HAMPTON
520 WINDSTONE DR UNIT 302
HARTLAND WI 53029-1655

JAYNE WEYER TRUST
13716 W WHITE WOOD DR
SUN CITY WEST AZ 85375-5845

CELINE F MULLEN
520 WINDSTONE DR UNIT 304
HARTLAND WI 53029-1655

WESLEY T BURNAM AND LAURA L
BURNAM
520 WINDSTONE DR UNIT 305
HARTLAND WI 53029-1655

LOLA M VANHIERDEN
520 WINDSTONE DR UNIT 306
HARTLAND WI 53029

GREGORY BURICH
520 WINDSTONE DR UNIT 307
HARTLAND WI 53029-1655

YEVGENY LANDAU
520 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1655

JOANN PAPA IRREVOCABLE TRUST
520 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1655

PAUL BRANDES
520 WINDSTONE DR UNIT 310
HARTLAND WI 53029

JOAN P GLEASER
520 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1655

CHRISTINE GLASS
520 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1655

HILL STREET PARTNERS LLC
W393N5888 MARY LN
OCONOMOWOC WI 53066-2112

WILLIAM R NOURSE
430 HILL ST
HARTLAND WI 53029

PHILIP M & CLARENE J DALEY TRUST
510 HILL ST
HARTLAND WI 53029

SHAUNA M YOUNG
8510 34TH AVE APT 224
JACKSON HEIGHTS NY 11372-3218

JEAN A LARSEN
642 HILL ST
HARTLAND WI 53029

GEOFFREY A YOUNG
664 HILL ST
HARTLAND WI 53029

WISCONSIN ELECTRIC POWER CO
231 W MICHIGAN
MILWAUKEE WI 53203

STATE OF WISCONSIN AND
DEPARTMENT OF TRANSPORTATION
PO BOX 798
WAUKESHA WI 53187-0798

JEREMY L HEDRICK AND ALLISON M
HEDRICK
188 CHESTNUT RIDGE DR
HARTLAND WI 53029

B
ERNARD J HETRICK AND CYNTHIA L
HETRICK
194 CHESTNUT RIDGE DR
HARTLAND WI 53029

GLENN W LINDEMANN AND KATHLEEN
A LINDEMANN
200 CHESTNUT RIDGE DR
HARTLAND WI 53029

BRIAN OCONNOR AND BARBARA
OCONNOR
206 CHESTNUT RIDGE DR
HARTLAND WI 53029

JARED A VAN DYKE AND MELISSA J VAN
DYKE
211 WILLOW CT
HARTLAND WI 53029-1311

RAYMOND SEMRAD AND TRACY L
BARBER
213 WILLOW CT
HARTLAND WI 53029

ROBERT M GINN AND SHARON E GINN
199 CHESTNUT RIDGE DR
HARTLAND WI 53029

DOUGLAS N LANGFORD AND CYNTHIA L
LANGFORD
205 CHESTNUT RIDGE DR
HARTLAND WI 53029

DANIEL FLOR AND SUSAN FLOR
36543 NORMANDEALE DR
OCONOMOWOC WI 53066-9458

LUKASZ J NUMRYCH AND KATHRYN J
NUMRYCH
217 CHESTNUT RIDGE DR
HARTLAND WI 53029-1303

STEVEN R KRAUSE AND SARAH S
KRAUSE
219 WILLOW CT
HARTLAND WI 53029

THOMAS HESS AND DEANNA HESS
221 WILLOW CT
HARTLAND WI 53029

MARTIN M KOMONDOROS
223 WILLOW CT
HARTLAND WI 53029

TODD JORGENSEN AND PAMELA
JORGENSEN
225 WILLOW CT
HARTLAND WI 53029

RONALD E FLANAGAN
226 WILLOW DR
HARTLAND WI 53029

AMANDA COBB
220 WILLOW DR
HARTLAND WI 53029-1315

CHRISTOPHER MEIER AND K MEIER
214 LINDEN CT
HARTLAND WI 53029

MANFRED & JEANNE C TREU 2014
LIVING TRUST
208 LINDEN CT
HARTLAND WI 53029-1308

KEVIN BIELECKI AND JENNIFER BIELECKI
202 LINDEN CT
HARTLAND WI 53029

VICTOR ANDERSON AND ISABELLE
ANDERSON
207 WILLOW DR
HARTLAND WI 53029

KATIE L EGGERS
213 WILLOW DR
HARTLAND WI 53029-1324

PUSHING THE LIMIT ENTERPRISES LLC
PO BOX 621
PEWAUKEE WI 53072

NELSON-ZIRZOW REVOCABLE TRUST
225 WILLOW DR
HARTLAND WI 53029-1324

ALLEN KOGLIN AND PATRICIA KOGLIN
231 WILLOW DR
HARTLAND WI 53029

MILWAUKEE INVESTMENTS VIII LLC
2626 DELMAR PL
FORT LAUDERDALE FL 33301-1576

DAVID ROESSLER AND JEAN ROESSLER
243 WILLOW DR
HARTLAND WI 53029

MICHAEL A ZUNIGA AND MELISSA A
ZUNIGA
249 WILLOW DR
HARTLAND WI 53029-1324

DANIEL QUIGLEY AND PATRICIA
QUIGLEY
255 WILLOW DR
HARTLAND WI 53029

DAVID BAHR AND JANET BAHR
261 WILLOW DR
HARTLAND WI 53029

JAMES STRECHER AND LISA STRECHER
267 WILLOW DR
HARTLAND WI 53029

ALLEN M AND ROBIN R WEISS
REVOCABLE TRUST
273 WILLOW DR
HARTLAND WI 53029-1324

RICKY A WINTER AND SANDRA D
RICHTER
279 WILLOW DR
HARTLAND WI 53029

GREGORY F FAAS AND REBEKAH J FAAS
285 WILLOW DR
HARTLAND WI 53029-1324

MELANIE M KRAAK
291 WILLOW DR
HARTLAND WI 53029

DAVID E COX AND CHRISTINE M COX
297 WILLOW DR
HARTLAND WI 53029

BRUCE SINOTTE AND KATHLEEN
SINOTTE
302 WILLOW DR
HARTLAND WI 53029-1316

MARGARET BURRUS TRUST DATED
AUGUST 9 2006
300 HICKORY CT
HARTLAND WI 53029

RIC J PANELLA AND DANA A NEARY
PANELLA
298 HICKORY CT
HARTLAND WI 53029

DENNIS A & DARLENE F SISKI
REVOCABLE LIVING TRUST
296 HICKORY CT
HARTLAND WI 53029

SCOTT HOSEID AND MARY HOSEID
294 HICKORY CT
HARTLAND WI 53029-1306

DANIEL FOGLE AND KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

JOHN MALONEY AND CHERYL
MALONEY
290 HICKORY CT
HARTLAND WI 53029

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

THOMAS PETRI AND DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

JACOB M CATAROZZOLI AND DANIELLE
L CATAROZZOLI
284 HICKORY CT
HARTLAND WI 53029-1306

NICOLE R KULAS
282 HICKORY ST
HARTLAND WI 53029

JEFFREY C SAATKAMP
280 HICKORY CT
HARTLAND WI 53029-1306

ROBERT D LITTLE
278 HICKORY CT
HARTLAND WI 53029

ROBERT FREIBOTH AND KATHLEEN
FREIBOTH
276 HICKORY CT
HARTLAND WI 53029

WILLIAM E KOEHN JR
274 HICKORY CT
HARTLAND WI 53029-1306

GABRIELA VAZQUES AND JESUS GARCIA
272 HICKORY CT
HARTLAND WI 53029-1306

RONALD CHOLIP AND LISA MARIE
CHOLIP
270 WILLOW DR
HARTLAND WI 53029

GRAFTON MANOR 5 LLC
PO BOX 512
HARTLAND WI 53029-0512

LISA M WEATHERBEE
266 WILLOW DR
HARTLAND WI 53029-1325

JACOB W BOLYARD AND KATELYN A
KOTAJARVI
264 BIRCH CT
HARTLAND WI 53029-1320

NATHAN S STRAYER AND CYNTHIA K
STRAYER
262 BIRCH CT
HARTLAND WI 53029

FREDERICK A & LINDA A KUHN 2007
LIVING TRUST
260 BIRCH CT
HARTLAND WI 53029

GEORGE URBAN AND MARGARET
URBAN
258 BIRCH CT
HARTLAND WI 53029

JENNIFER R KLEMME
256 BIRCH CT
HARTLAND WI 53029

LINDA D LEMEROND
254 BIRCH CT
HARTLAND WI 53029

QI 13 LLC
1600 PARAMOUNT DR
WAUKESHA WI 53186-3965

DUKE PLOENSE AND DEENA PLOENSE
250 WILLOW DR
HARTLAND WI 53029-1321

KELLY M BLACKBURN AND MARK R
BLACKBURN
248 WILLOW DR
HARTLAND WI 53029

KURT PRANGE AND CONSTANCE
PRANGE
244 WILLOW CT
HARTLAND WI 53029

SCOTT BRLECIC AND DENISE BRLECIC
242 WILLOW CT
HARTLAND WI 53029

WILLIAM D SMITH AND STEPHANIE J
SMITH
240 WILLOW CT
HARTLAND WI 53029

ROBERT BABEL AND LINDA BABEL
238 WILLOW CT
HARTLAND WI 53029

WILLIAM A RENNEKAMP IV AND SARA
R RENNEKAMP
236 WILLOW CT
HARTLAND WI 53029-1312

DIANE M GUSTAVSON
234 WILLOW CT
HARTLAND WI 53029-1312

ROBERT J GYLES
232 WILLOW CT
HARTLAND WI 53029

JOHN BAKER AND PATRICIA BAKER
230 WILLOW CT
HARTLAND WI 53029

EMIL & RUTH MEINDL FAMILY TRUST
228 WILLOW CT
HARTLAND WI 53029-1312

KRISTIN M SLOANE
226 WILLOW CT
HARTLAND WI 53029

TERRY L AUDLEY
224 WILLOW CT
HARTLAND WI 53029

GARY WITTER AND MARY WITTER
222 WILLOW CT
HARTLAND WI 53029

KURT D ASHBRENNER
220 WILLOW CT
HARTLAND WI 53029

SHAWN A MORTENSEN
218 WILLOW CT
HARTLAND WI 53029-1312

KAREN E LAWLOR
216 WILLOW CT
HARTLAND WI 53029

JOHN GRUBA AND BETSY GRUBA
214 WILLOW CT
HARTLAND WI 53029

LOT OWNERS OF CHESTNUT RIDGE
AND CHESTNUT RIDGE HOMEOWNERS
ASSOCIATION
Not Available
Not Available WI 00000

SEAN P MURPHY AND NATALIE M
SCANLON
375 HILL ST
HARTLAND WI 53029-2003

492 PARTNERS LLC
492 RIVERSIDE DR
PRINCETON NJ 08540-5421

SHERWOOD MANOR IX LLC
20980 BRADFORD LN
BROOKFIELD WI 53045-1709

WILLIAM T WESTON AND MIRANDA M
WESTON
355 HILL ST
HARTLAND WI 53029-2003

JOHN ROHR & DORALYNNE METZ
REVOCABLE LIVING TRUST
16755 SHORE LINE DR
BROOKFIELD WI 53005-2138

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

JEROME JACKSON AND SHERI JACKSON
431 HILL ST
HARTLAND WI 53029

JOHN FOLTZ AND LYNNE FOLTZ
421 HILL ST
HARTLAND WI 53029

G DASON SCHULTZ AND JESSICA
SCHULTZ
1009 MILWAUKEE ST
DELAFIELD WI 53018-1626

JONATHAN KLIPPSTEIN AND RICHARD J
KLIPPSTEIN
N42W32684 REGATTA CT
NASHOTAH WI 53058-9526

JEFFREY VERNON AND DIANE L
VERNON
311 HILL ST
HARTLAND WI 53029-2003

BARBARA J PAGAC
307 HILL ST
HARTLAND WI 53029

WILLIAM T PECHE
301 HILL ST
HARTLAND WI 53029

JSO PROPERTIES LLC
614 W CAPITOL DR
HARTLAND WI 53029

JENNIFER L MOHR-WHITMAN
448 W CAPITOL DR
HARTLAND WI 53029-1921

CAROLINE B JOYCE
526 W CAPITOL DR
HARTLAND WI 53029

LESLIE A MOATS
N8331 CARDINAL PASS
IXONIA WI 53036-9451

JARED KELLER
608 W CAPITOL DR
HARTLAND WI 53029-1925

BRIAN M GRAY AND TINA WESTBERG
618 W CAPITOL DR
HARTLAND WI 53029-1925

WILLIAM J MCWILLIAMS JR AND
KRYSTAL KRIENITZ
630 W CAPITOL DRIVE
HARTLAND WI 53029

ALEX LEYKIN
W188S7820 W RACINE AVE
MUSKEGO WI 53150

STEWART R COUILLARD AND SUSAN M
COUILLARD
636 W CAPITOL DR
HARTLAND WI 53029-1925

MEYER MATERIAL COMPANY
1300 S IL ROUTE 31
SOUTH ELGIN IL 60177-9724

MEYER MATERIAL COMPANY
1300 S IL ROUTE 31
SOUTH ELGIN IL 60177-9724