

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA  
MONDAY, DECEMBER 16, 2019  
6:30 PM  
BOARD ROOM  
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of November 18, 2019.
2. Architectural Board and Plan Commission review and consideration of plans for construction of a new church facility for St. Charles Church, 313 Circle Drive.
3. Plan Commission review and consideration of a Plan of Operation for GymGuyz, 418 Merton Ave.
4. Consideration of a motion to approve Resolution 11-18-2019 "A Village Plan Commission Resoluion adopting the Village of Hartland Comprehensive Plan".
5. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
6. Adjourn.

Ryan Bailey, Interim Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: [www.villageofhartland.com](http://www.villageofhartland.com) (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES**  
**MONDAY, NOVEMBER 18, 2019**  
**6:30 PM**  
**BOARD ROOM**  
**MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, James Schneeberger, Tim Hallquist, Tim Fenner, David deCourcy-Bower and Ann Wallschlager.

Absent: Jeff Bierman

Others Present: Interim Administrator Bailey, Building Inspector Hussinger, Ryan Amtmann and Deputy Clerk Bushey.

Call to Order-

**1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of October 21, 2019.**

Motion (Hallquist/deCourcy-Bower) to approve the Jt. Architectural Board/Plan Commission minutes for October 21, 2019, with the correction of Wallschlager being present. Carried (6-0).

**2. Architectural Board review and consideration of an application for construction of a new residence at 1280 E. Capitol Drive.**

Building Inspector Hussinger said the address is incorrect, it should be 1286 E. Capitol Drive. He went on to say that this lot is one of the 3 lots that were split. Hussinger said it meets all the zoning requirements. The petitioner was not present but Pfannerstill said they did a good job on supplying all the details. Pfannerstill asked Hussinger if the setback and impervious surface requirements were ok and he said yes. Hussinger also said the County approved for each lot to have their own driveway.

Motion (Hallquist/Schneeberger) to approve the application for construction of a new residence at 1286 E. Capitol Drive. Carried (6-0).

**3. Architectural Board and review and consideration of conceptual plans for construction of a new church facility for St. Charles Church, 313 Circle Drive.**

Representatives for St. Charles were present and explained the concept plan. St. Charles is proposing to build a new church facility, they will also be adding 70 new parking spaces, more green space and increasing the size of the storm water pond. The new islands throughout the parking lot will be curbed. They will also be taking the drive around the back of the property to alleviate the traffic and it will be an exit only. The existing entrance will be both an entrance and exit. The storm

water basin is potentially expandable. St. Charles will work with the Village on drainage off of Renson Road and the storm water basin. The current church will eventually become a family center at a later time as this is a phase project. The new facility will also have a 90' bell tower and 105' cupola. There was discussion on the parking space sizes.

Motion (Fenner/Schneeberger) to approve the conceptual plan including the storm water, parking space increase, and height. Carried (6-0).

**4. Consideration of a motion to approve Resolution 11-18-2019 "A Village Plan Commission Resolution adopting the Village of Hartland Comprehensive Plan".**

It was decided to table this until next month

Motion (Fenner/Schneeberger) to table the Resolution 11-18-2019 "A Village Plan Commission Resolution adopting the Village of Hartland Comprehensive Plan" until next month. Carried (6-0).

**5. Plan Commission review and consideration of an Extraterritorial Certified Survey Map in the Town of Delafield.**

Hussinger said it is not likely to end up in the Village of Hartland. There was brief discussion on the Certified Survey Map.

Motion (deCourcy-Bower/Schneeberger) to approve the Extraterritorial Certified Survey Map. Carried (6-0).

**6. Announcements-**

None at this time.

**7. Adjourn-**

Motion (deCourcy-Bower/Schneeberger) to adjourn. Carried (6-0).

Meeting adjourned at 6:56 pm.

Respectfully submitted by  
Recording Secretary,

Deidre Bush y, Deputy Clerk



**APPLICATION FOR  
PLAN COMMISSION**

**■ \$300 REVIEW FEE DUE AT TIME OF APPLICATION**

Project Description 33,700 SF Church Addition			
Proposed Use Religious		No. of Employees 83	
Project Location 313 Circle Drive - Hartland WI			
Project Name St. Charles Church Addition			
Owner St. Charles Catholic Parish		Phone (262) 367-0800	
Address 313 Circle Drive		City Hartland	State WI Zip 53029
Engineer/Architect Zimmerman Architectural Studios		Phone (414) 476-9500	FAX
Address 2122 W. Mt. Vernon Ave.		City Milwaukee	State WI Zip 53233
Contact Person Douglas Barnes	Phone (414) 918-1461	FAX (414) 476-8582	E-mail doug.barnes@zastudfos.com

The Plan Commission meets on the third Monday of the Month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

**The deadline for filing is a minimum of fifteen (15) working days before the meeting.**

**All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.**

**Four (4) sets of bound application materials and one (1) electronic copy of all materials must be submitted.**

**Applications that include site plans must depict the following existing and proposed information:**

- Complete dimensions (lot, building, setbacks, parking, drives, etc.)
- Scale and north arrow
- All structures (include building elevations and height)
- Drainage and grades (include design calculations for drainage)
- Storm Water Management Plan
- Utilities and easements (sewer, water, storm etc.)
- Calculation of lot coverage
- Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
- Grading and erosion control
- Landscaping, including a Tree Protection Plan
- Exterior lighting details
- Exterior HVAC equipment location
- Dumpster location (screening required)
- Street right-of-way
- Miscellaneous, 100 year floodplain, wetland boundary, environmental corridor

Additional information may be requested by the Plan Commission or Staff.

**All applications for consideration by the Plan Commission are subject to the policies described in this document.**

Date Applied:	Date of Meeting:	Return Comments by:
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# St. Charles Catholic School & Parish

## St. Charles Church Addition

313 Circle Drive  
Hartland, WI 53029

### Planning Commission Submittal

12.06.19

ARCHITECT/LANDSCAPE ARCHITECT:

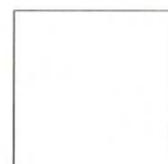
**zimmerman**  
ARCHITECTURAL STUDIOS, INC.  
2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 |  
zastudios.com  
TELEPHONE (414) 476.9500  
FACSIMILE (414) 476.8582

CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL ENGINEER:

**HARWOOD**  
ENGINEERING  
CONSULTANTS  
255 North 21 Street  
Milwaukee Wisconsin 53233  
PH: (414) 475.5554 Fax: (414) 473.9299 harwood@hecl.com

**SHEET INDEX:**

- T0.0 TITLE SHEET
- CIVIL**
- C1.10 SITE PLAN - OVERALL
- C1.11 SITE PLAN - DETAILED WEST
- C1.12 SITE PLAN - DETAILED EAST
- C1.20 GRADING PLAN - WEST
- C1.21 GRADING PLAN - EAST
- C1.30 EROSION CONTROL PLAN
- C1.40 DEMO PLAN - WEST
- C1.41 DEMO PLAN - EAST
- C1.50 EXISTING SURVEY
- CS.00 CONSTRUCTION DETAILS
- LANDSCAPE**
- L1.0 OVERALL LANDSCAPE PLAN
- L2.0 ENLARGED LANDSCAPE PLAN
- L2.1 ENLARGED PLANTING PLAN
- LS.0 LANDSCAPE ENLARGEMENT, DETAILS, SCHEDULES & NOTES
- ARCHITECTURAL**
- A2.0 BASEMENT FLOOR PLAN - OVERALL
- A2.1 FLOOR PLAN - OVERALL
- A2.2 CHOR LOFT FLOOR PLAN
- A4.0 EXTERIOR ELEVATIONS - NORTH
- A4.1 EXTERIOR ELEVATIONS - EAST
- A4.2 EXTERIOR ELEVATIONS - SOUTH
- A4.3 EXTERIOR ELEVATIONS - WEST
- A5.0 BUILDING SECTIONS
- A5.1 BUILDING SECTIONS
- A5.2 BUILDING SECTIONS



CIVIL "C" SERIES



LANDSCAPE "L" SERIES



ARCHITECTURAL "A" SERIES



STRUCTURAL "S" SERIES



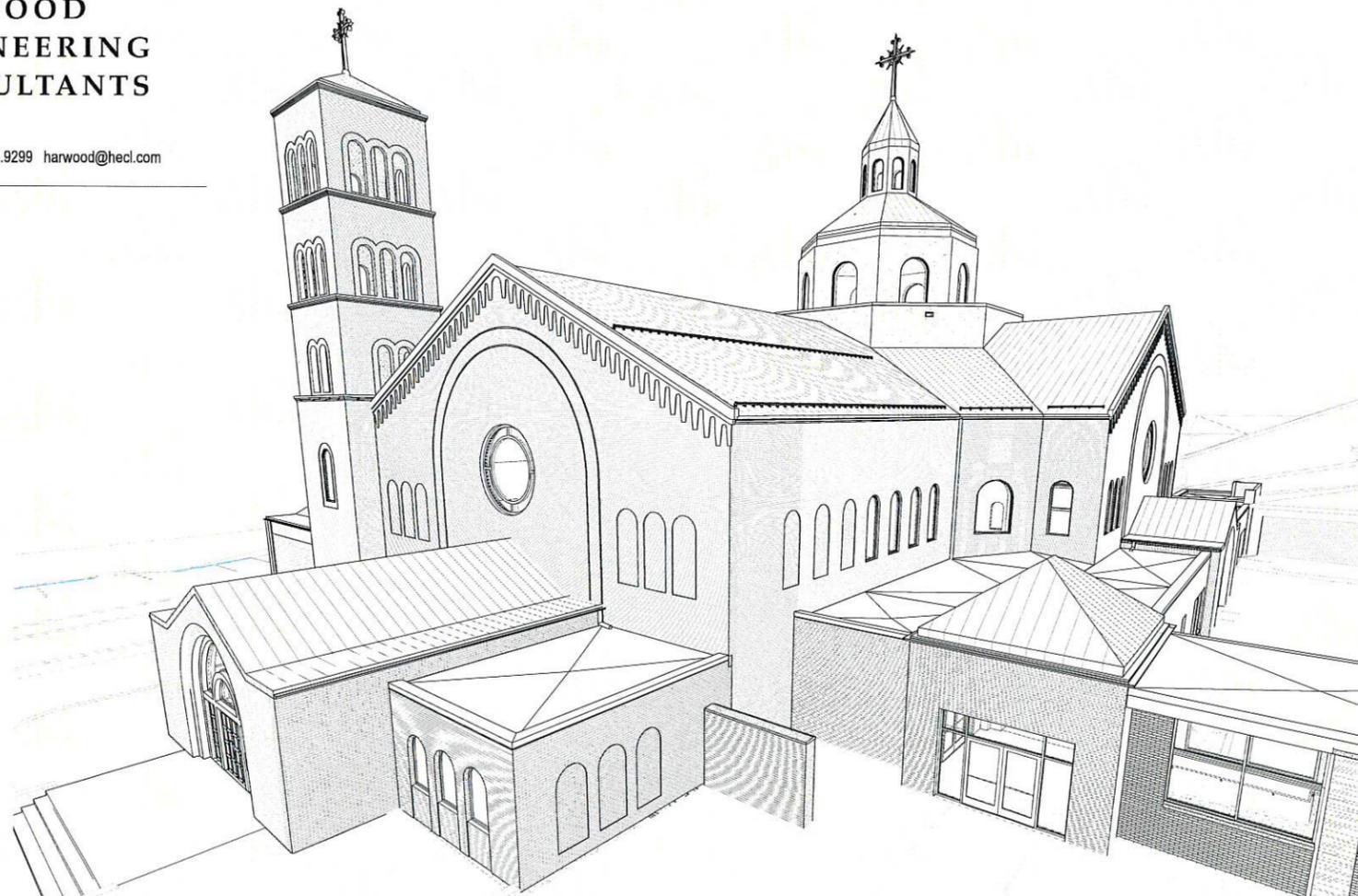
PLUMBING "P" SERIES



MECHANICAL "M" SERIES



ELECTRICAL "E" SERIES



Project:  
St. Charles Church Addition

Revisions:

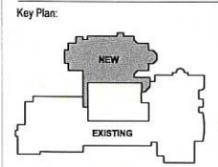
No.	Date	Description

Project No:  
160088.01

Sheet No:

**T0.0**

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.  
2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zastudios.com  
TELEPHONE (414) 476.9500  
FACSIMILE (414) 476.8582



**LEGEND:**

UTILITY	GRADING	SITE
<b>EXISTING:</b> 	<b>EXISTING:</b> 	<b>EXISTING:</b> 
<b>PROPOSED:</b> 	<b>PROPOSED:</b> 	<b>PROPOSED:</b> 

**GENERAL NOTES AND SPECIFICATIONS:**

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CARTEL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING UTILITY TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382.387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDMR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D 3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND (EXTERIOR NON-ME) ALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.071(2)(R) OF THE STATE STATUTES.

- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS, CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**CIVIL SHEET INDEX:**

C1.10	SITE PLAN - OVERALL
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C1.21	GRADING PLAN - EAST
C1.30	EROSION CONTROL PLAN
C1.40	DEMO PLAN - WEST
C1.41	DEMO PLAN - EAST
C1.50	EXISTING SURVEY
C6.00	CONSTRUCTION DETAILS

Sheet:  
**SITE PLAN - OVERALL**

Phase:  
Planning Commission  
Submittal

Scale: 1" = 100'

Revisions:

No.	Date	Description

Date:  
12/6/2019

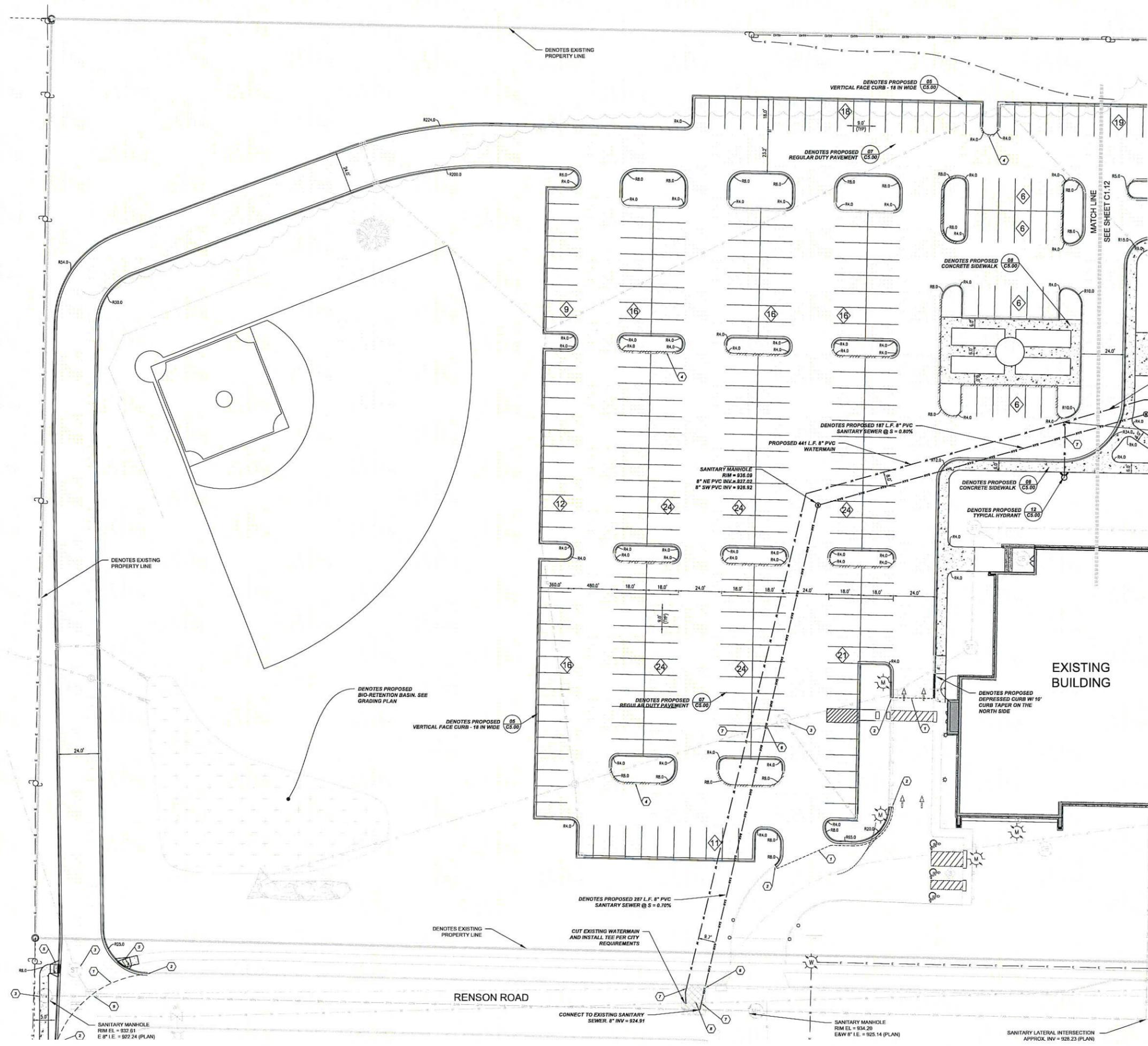
Project No:  
16-0088.01

Sheet No:

**C1.10**



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



- NOTES**
1. SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING
  2. MATCH INTO EXISTING CURB AND GUTTER
  3. ADJUST EXISTING STRUCTURE TO MATCH PROPOSED GRADE
  4. DENOTES PROPOSED REVERSE STYLE CURB
  5. DENOTES PROPOSED ADA RAMP TYPE 4.5 L.F. DEPRESSED CURB WITH 2 TAPERS ON EACH SIDE AND TRUNCATED DOMES (SEE DETAIL)
  6. CAUTION UTILITIES. VERIFY EXACT LOCATION PRIOR TO STARTING CONSTRUCTION.
  7. CAUTION UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN.
  8. REMOVE AND REPLACE EXISTING PAVEMENT AND CURB AS REQUIRED TO INSTALL PROPOSED WATER AND SANITARY. MATCH EXISTING PAVEMENT SECTIONS.
  9. REMOVE AND REPLACE EXISTING CURB STYLE CATCH BASIN GRATE WITH NEW FLAT VILLAGE STYLE STANDARD GRATE

**SITE CALCULATION TABLE**

TOTAL SITE AREA	12.490 AC
TOTAL DISTURBED AREA	9.487 AC
EXISTING IMPERVIOUS AREA	4.858 AC
PROPOSED IMPERVIOUS AREA	5.449 AC
PROPOSED REGULAR PARKING SPACES	371
PROPOSED HANDICAP PARKING	382

**HATCH LEGEND**

	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED REVERSE CURB

**DIGGER'S NOTICE**  
 CALL BEFORE YOU DIG  
 1-800-4-A-DIG  
 1-800-4-2347

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



Sheet:  
**SITE PLAN - DETAILED WEST**

Phase:  
 Planning Commission Submittal

Scale: 1" = 20'

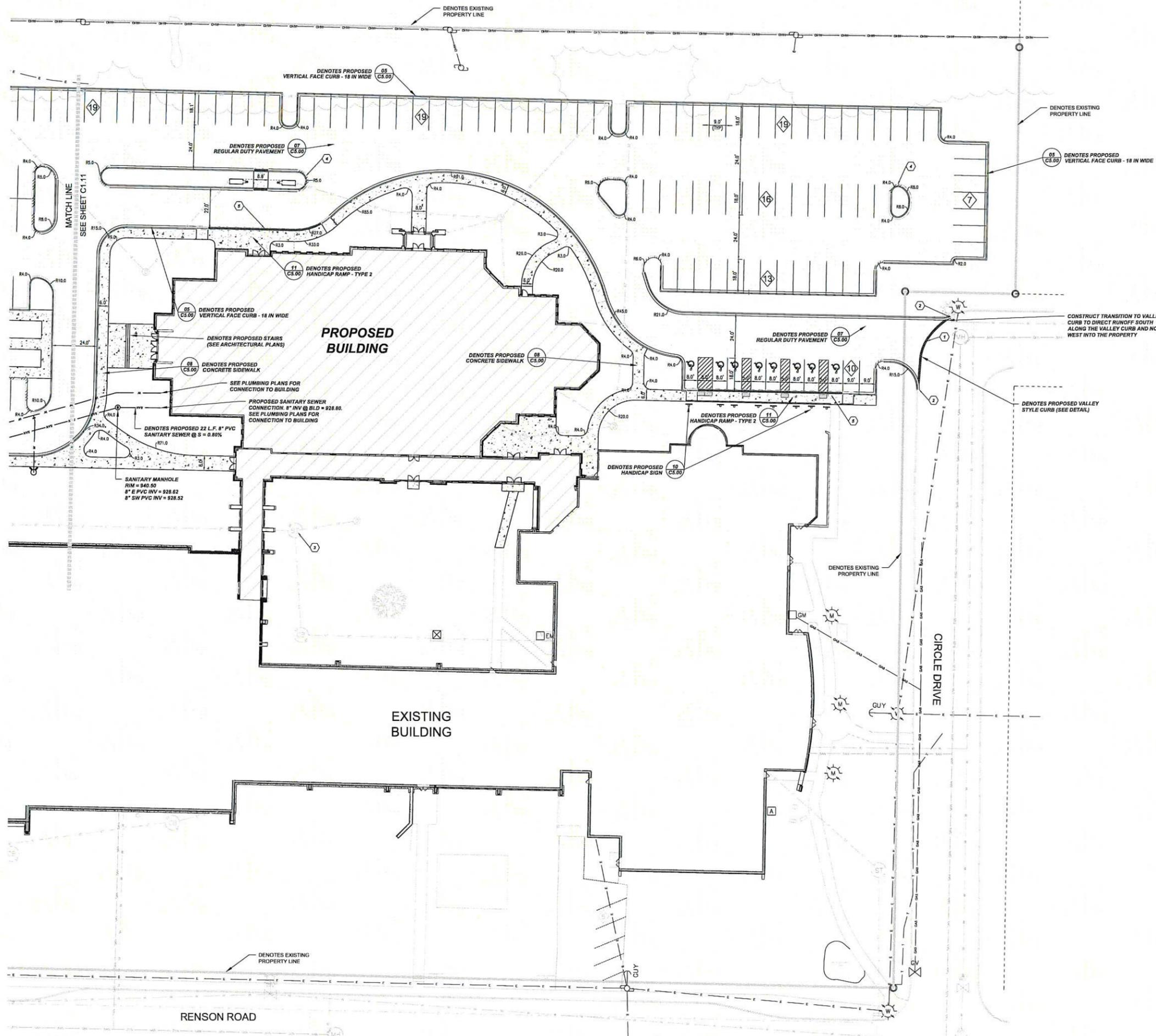
Revisions:

No.	Date	Description

Date:  
 12/6/2019

Project No:  
 16-0085.01

Sheet No:  
**C1.11**



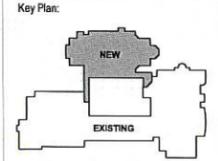
- NOTES**
1. SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING
  2. MATCH INTO EXISTING CURB AND GUTTER
  3. ADJUST EXISTING STRUCTURE TO MATCH PROPOSED GRADE
  4. DENOTES PROPOSED REVERSE STYLE CURB
  5. DENOTES PROPOSED DEPRESSED CURB W/ 6" CURB TAPER ON BOTH SIDES (SEE DETAIL)
  6. CAUTION! UTILITIES. VERIFY EXACT LOCATION PRIOR TO STARTING CONSTRUCTION
  7. CAUTION! UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN

**HATCH LEGEND**

	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED REVERSE CURB



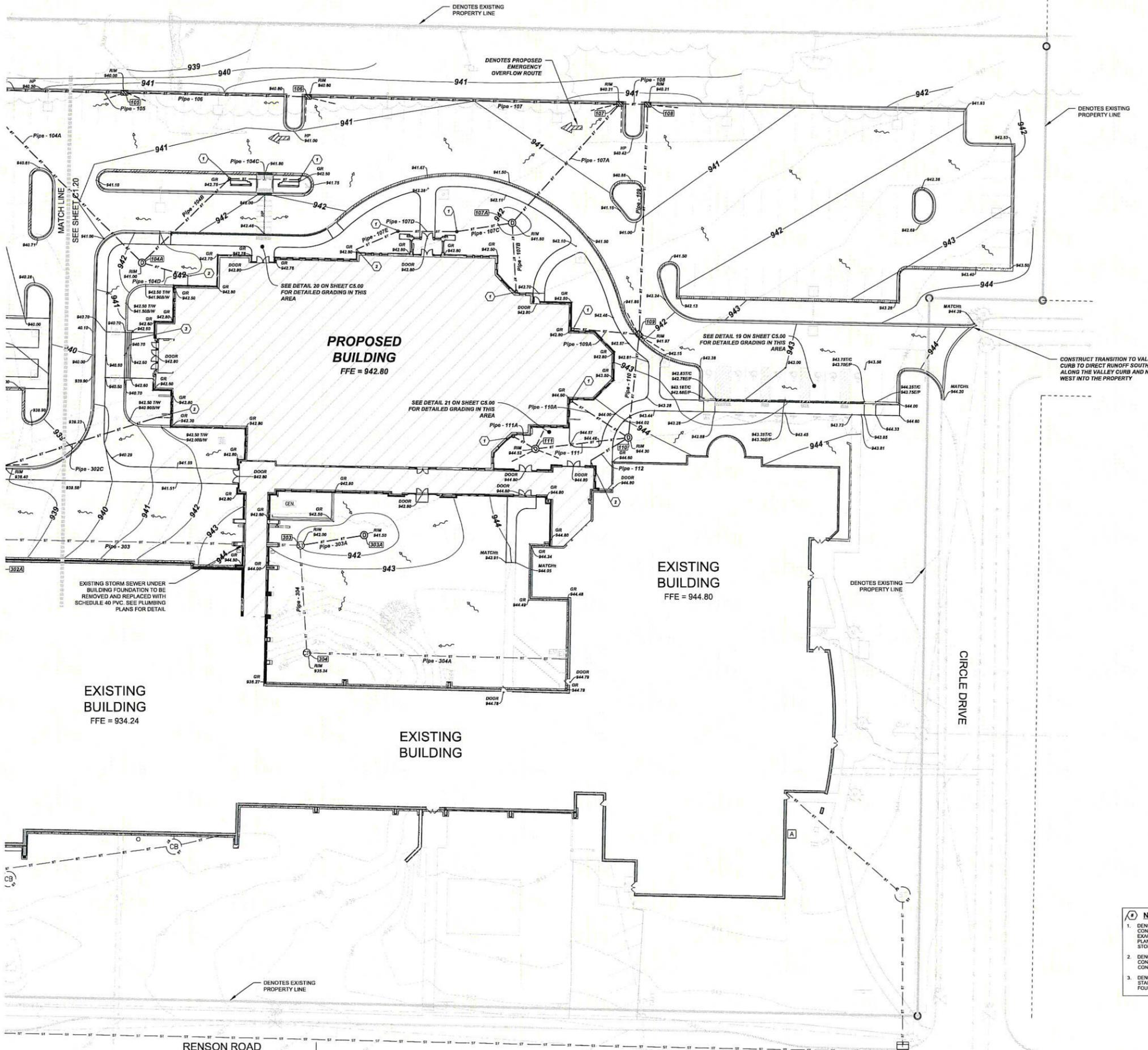
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



Revisions:

No.	Date	Description





#	Structure Details	Structure Details
100	CATCH BASIN (7 DIA) W/ WEEP PIPES RIM = 932.82 Pipe - 101 = 927.37 Pipe - 201 = 927.37 Pipe - 102 = 927.37 Pipe - 100 = 927.37	CATCH BASIN (7 DIA) RIM = 942.53 Pipe - 111 = 938.13 Pipe - 110 = 938.13 Pipe - 112 = 938.13 Pipe - 113 = 938.13
101A	CATCH BASIN - CURB W/ WEEP PIPES RIM = 932.32 Pipe - 101A = 928.36	CATCH BASIN (7 DIA) W/ WEEP PIPES RIM = 944.82 Pipe - 111A = 939.82 Pipe - 111 = 938.52
101	EXISTING CATCH BASIN RIM = 932.78 Pipe - 300 = 927.80 Pipe - 101A = 927.71 Pipe - 101 = 927.71	CATCH BASIN - CURB W/ WEEP PIPES RIM = 932.00 Pipe - 201 = 927.77
102	CATCH BASIN - CURB W/ WEEP PIPES RIM = 934.26 Pipe - 103 = 928.75 Pipe - 102 = 928.75	EXISTING CATCH BASIN - CURB RIM = 933.80 Pipe - 201 = 928.50 Pipe - 300A = 928.97 Pipe - 300 = 927.85 Pipe - 300C = 928.49
103A	CATCH BASIN - CURB W/ WEEP PIPES RIM = 933.00 Pipe - 103A = 931.16 Pipe - 103 = 931.16	EXISTING CATCH BASIN (7 DIA) RIM = 933.53 Pipe - 302 = 928.33 Pipe - 301 = 928.43 Pipe - 301A = 928.78
103B	CATCH BASIN - CURB W/ WEEP PIPES RIM = 933.00 Pipe - 103B = 931.38	CATCH BASIN (7 DIA) RIM = 933.53 Pipe - 302A = 930.41
103C	CATCH BASIN - CURB (7 DIA) W/ WEEP PIPES RIM = 933.57 Pipe - 103 = 929.92 Pipe - 103A = 929.92	EXISTING CATCH BASIN (7 DIA) RIM = 933.44 Pipe - 303 = 929.38 Pipe - 302A = 929.95 Pipe - 302 = 929.21 Pipe - 302B = 932.49
104	CATCH BASIN - CURB W/ WEEP PIPES RIM = 942.00 Pipe - 104 = 932.32 Pipe - 104A = 936.00 Pipe - 104 = 932.77	CATCH BASIN - CURB W/ WEEP PIPES RIM = 938.45 Pipe - 302B = 935.05 Pipe - 302C = 932.91
104A	CATCH BASIN (7 DIA) W/ WEEP PIPES RIM = 941.00 Pipe - 104A = 937.92 Pipe - 104B = 937.30	CATCH BASIN (7 DIA) RIM = 941.50 Pipe - 303A = 937.34
105	CATCH BASIN - CURB W/ WEEP PIPES RIM = 940.00 Pipe - 105 = 933.60 Pipe - 105 = 933.60	CATCH BASIN (7 DIA) RIM = 942.00 Pipe - 304 = 928.48 Pipe - 303A = 927.03 Pipe - 303 = 922.51
106	CATCH BASIN - CURB W/ WEEP PIPES RIM = 940.00 Pipe - 107 = 934.57 Pipe - 106 = 934.57	EXISTING CATCH BASIN (7 DIA) RIM = 942.00 Pipe - 304A = 923.89 Pipe - 304 = 922.84 Pipe - 304B = 933.77
107	CATCH BASIN - CURB W/ WEEP PIPES RIM = 940.21 Pipe - 107A = 937.08 Pipe - 107C = 937.08 Pipe - 107B = 937.08	CATCH BASIN - CURB W/ WEEP PIPES RIM = 931.50 Pipe - 401 = 927.28 Pipe - 402 = 927.28
107A	CATCH BASIN (7 DIA) W/ WEEP PIPES RIM = 940.21 Pipe - 107A = 937.08 Pipe - 107C = 937.08 Pipe - 107B = 937.08	CATCH BASIN - CURB W/ WEEP PIPES RIM = 931.50 Pipe - 401 = 927.50
108	CATCH BASIN - CURB W/ WEEP PIPES RIM = 940.21 Pipe - 108 = 936.37 Pipe - 108 = 936.37	OUTLET CONTROL STRUCTURE (SEE DETAIL) RIM = 931.72 Pipe - 500 = 925.80 Pipe - 501 = 925.50
109	CATCH BASIN - CURB W/ WEEP PIPES RIM = 941.97 Pipe - 110 = 937.58 Pipe - 109 = 937.58 Pipe - 109A = 938.25	

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 100	24	HDPE	128	0.41%	
Pipe - 101	24	PVC	122	0.28%	EXISTING PIPE
Pipe - 101A	21	PVC	85	1.00%	
Pipe - 102	21	PVC	138	1.00%	
Pipe - 103	21	PVC	117	1.00%	
Pipe - 103A	12	PVC	125	1.00%	
Pipe - 103B	12	PVC	23	1.00%	
Pipe - 104	18	PVC	285	1.00%	
Pipe - 104A	8	PVC	129	1.00%	
Pipe - 104B	8	PVC	64	1.00%	DOWNSPOUT CONNECTION
Pipe - 104C	8	PVC	37	1.00%	DOWNSPOUT CONNECTION
Pipe - 104D	8	PVC	25	1.00%	
Pipe - 105	18	PVC	83	1.00%	
Pipe - 106	18	PVC	87	1.00%	
Pipe - 107	18	PVC	165	1.00%	
Pipe - 107A	10	PVC	85	1.00%	
Pipe - 107B	8	PVC	38	1.00%	DOWNSPOUT CONNECTION
Pipe - 107C	8	PVC	30	1.00%	DOWNSPOUT CONNECTION
Pipe - 107D	8	PVC	31	1.00%	DOWNSPOUT CONNECTION
Pipe - 107E	8	PVC	24	1.00%	
Pipe - 108	15	PVC	15	1.00%	
Pipe - 109	12	PVC	121	1.00%	
Pipe - 109A	8	PVC	35	1.00%	DOWNSPOUT CONNECTION
Pipe - 110	8	PVC	56	1.00%	
Pipe - 110A	8	PVC	36	1.00%	DOWNSPOUT CONNECTION
Pipe - 111	8	PVC	50	1.00%	
Pipe - 111A	8	PVC	13	1.00%	DOWNSPOUT CONNECTION
Pipe - 112	8	PVC	23	1.00%	
Pipe - 201	18	PVC	40	1.00%	
Pipe - 300	15	PVC	63	0.00%	EXISTING PIPE
Pipe - 300A	12	PVC	61	1.58%	EXISTING PIPE
Pipe - 300B	10	PVC	35	1.00%	EXISTING PIPE
Pipe - 300C	8	PVC	38	1.00%	EXISTING PIPE
Pipe - 301	12	PVC	50	0.26%	EXISTING PIPE
Pipe - 301A	8	HDPE	17	1.00%	EXISTING PIPE
Pipe - 302	12	PVC	87	1.32%	EXISTING PIPE
Pipe - 302A	8	PVC	37	2.69%	EXISTING PIPE
Pipe - 302B	12	PVC	51	1.00%	
Pipe - 302C	8	PVC	86	1.00%	
Pipe - 303	10	PVC	193	0.67%	EXISTING PIPE
Pipe - 303A	8	PVC	34	1.00%	
Pipe - 304	10	PVC	57	0.64%	EXISTING PIPE
Pipe - 304A	8	PVC	137	1.00%	EXISTING PIPE
Pipe - 304B	8	PVC	20	1.00%	EXISTING PIPE
Pipe - 400	12	HDPE	32	1.00%	W/FES
Pipe - 401	8	PVC	22	1.00%	
Pipe - 500	12	HDPE	33	0.30%	W/FES
Pipe - 501	15	58	0.97%	EXISTING PIPE	

- NOTES**
- DENOTES PROPOSED DOWNSPOUT CONNECTION (SEE DETAIL). COORDINATE EXACT LOCATION WITH ARCHITECTURAL PLANS PRIOR TO INSTALLATION OF STORM SEWER.
  - DENOTES PROPOSED STORM SEWER CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
  - DENOTES PROPOSED CAST IN PLACE STAIRS. SEE ARCHITECTURAL PLANS.

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**Harwood Engineering Consultants**  
255 North 27th Street Milwaukee WI 53233  
414.481.1000

Project:  
**St. Charles Church Addition**



Phase:  
**GRADING PLAN - EAST**

Phase:  
**Planning Commission Submittal**

Scale:  
SCALE: 1" = 20'

Revisions:

No.	Date	Description

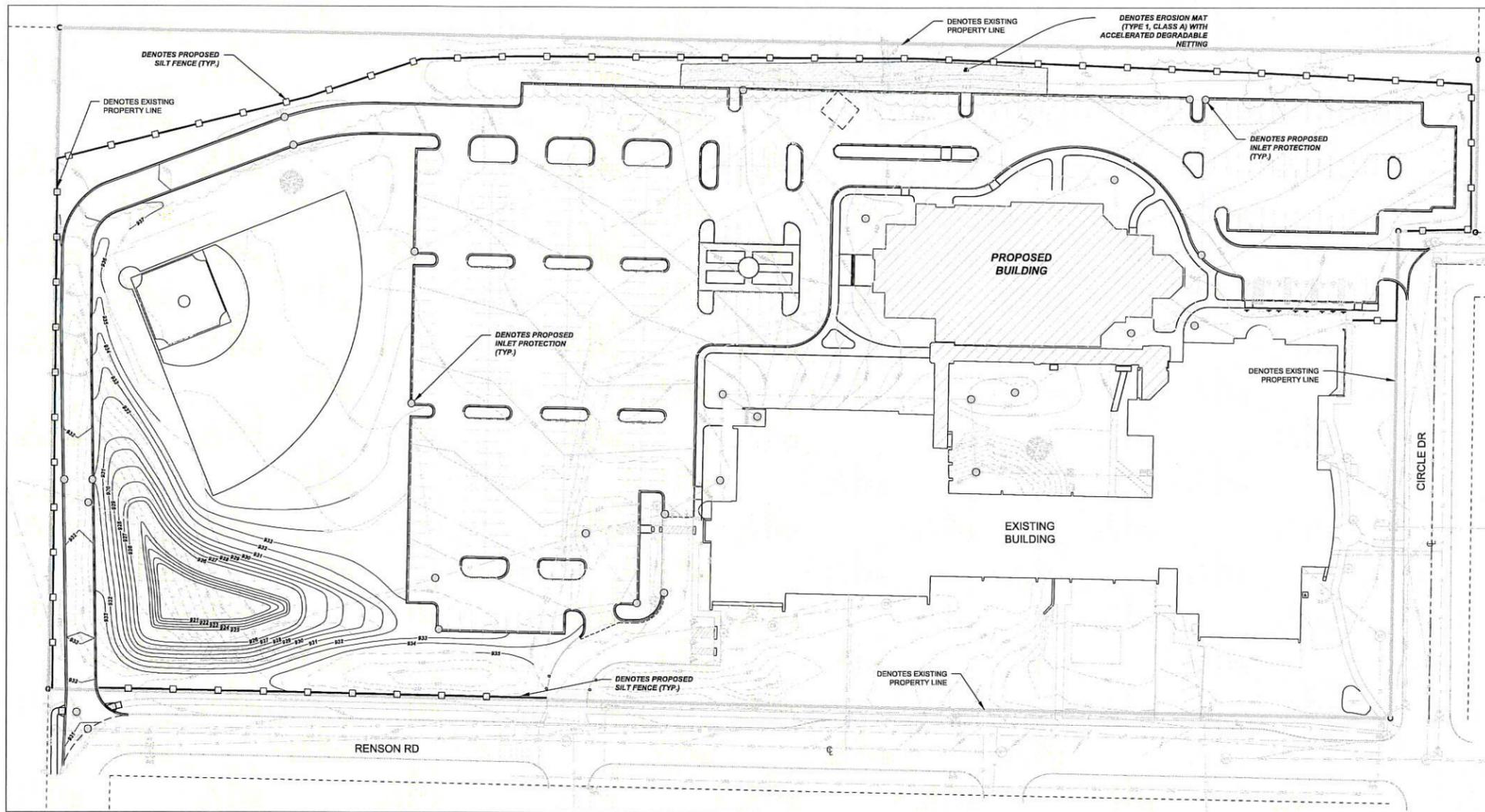
Date:  
12/8/2019

Project No:  
16-0088.01

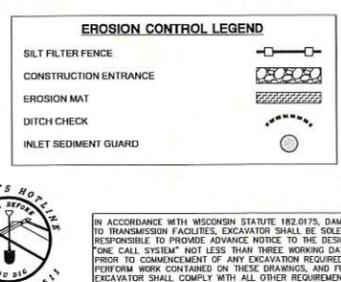
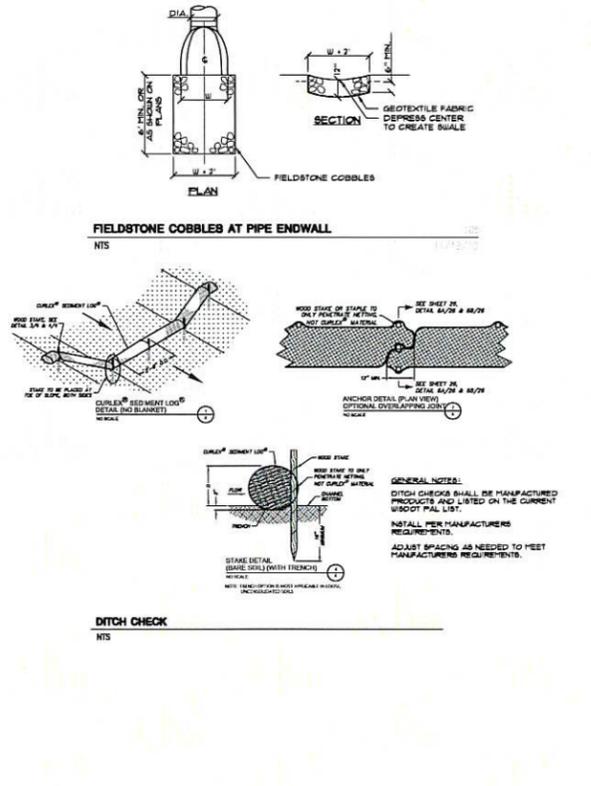
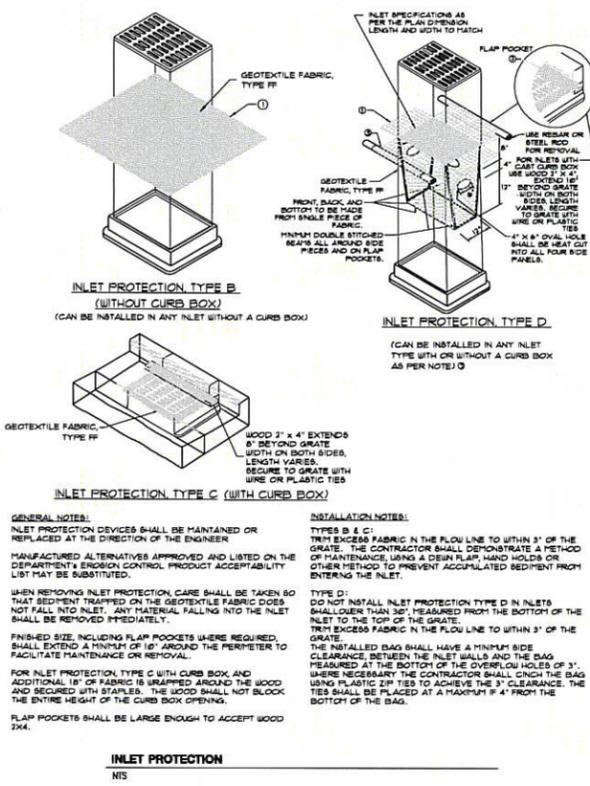
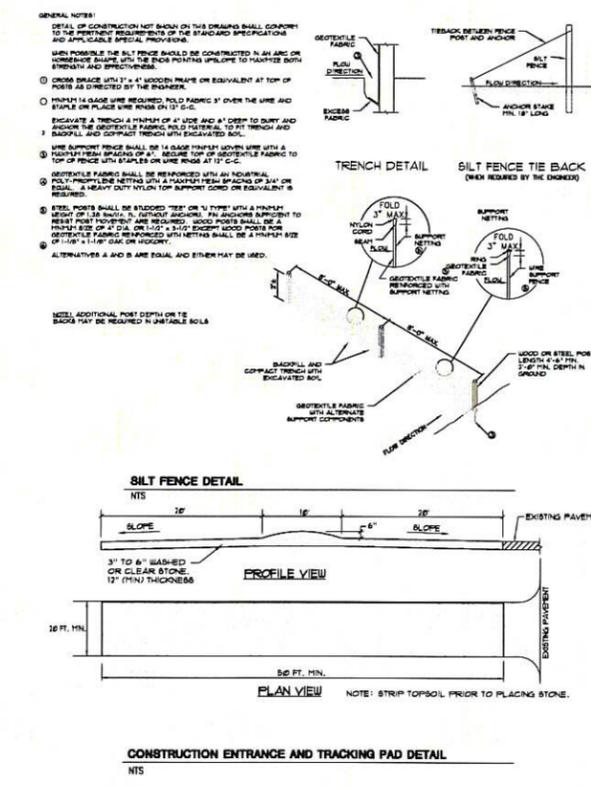
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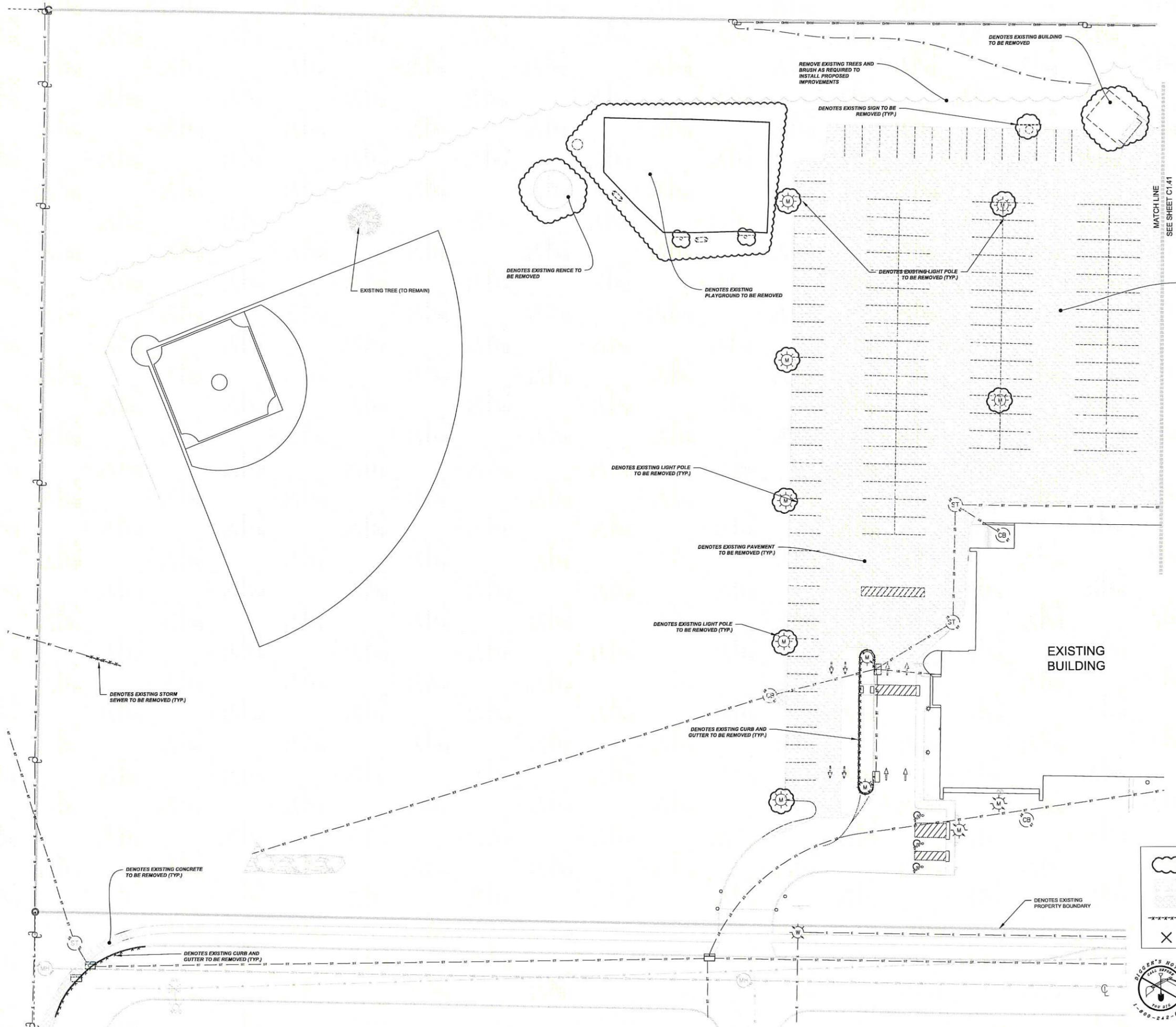
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



- ### EROSION CONTROL NOTES AND PHASING
- IF WORK PERMIT COVERAGE IS REQUIRED POST WORK CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDMR.
  - KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
  - SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE ENGINEER AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
  - CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
  - INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
  - WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
  - REFER TO THE WDMR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://www.wisconsin.gov/topic/stormwater/standards/consr\\_standards.html](http://www.wisconsin.gov/topic/stormwater/standards/consr_standards.html).
  - INSTALL PERIMETER EROSION CONTROLS, (IF REQUIRED) CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CELEBRATING AND GRUBBING. USE WDMR TECHNICAL STANDARD TRACKING PAD FOR RUCK CONSTRUCTION ENTRANCES (IF REQUIRED).
  - INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDMR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1066.
  - STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDMR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
  - PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DRW WASTEWATER DISCHARGE PERMIT AND A DRW HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 75 GPM OR MORE.
  - PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDMR TECHNICAL STANDARD DEWATERING #1061.
  - COMPLETE AND STABILIZE SEDIMENT BASINS/STRIPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 1 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 519). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDMR TECHNICAL STANDARD SEDIMENT BASIN #1034 AND SEDIMENT TRAP # 1033.
  - BIOTRETENTION BASINS WILL SERVE AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALL OUTLET CONTROL STRUCTURE, STORM PILING, AND GRADE BASIN AS SHOWN ON THE PLAN BUT DO NOT INSTALL ENGINEERED SOIL AND STONE STORAGE LAYER UNTIL SITE IS FINISH GRADED AND STABILIZED. CONTACT THE ENGINEER PRIOR TO INSTALLING STONE STORAGE LAYER AND ENGINEERED SOIL. UPON APPROVAL FROM THE ENGINEER, REMOVE ACCUMULATED SEDIMENT AND EXCAVATE BASIN TO BOTTOM ELEVATION SHOWN ON THE DETAIL. INSTALL UNDERDRAIN, STONE STORAGE LAYER, AND ENGINEERED SOIL IMMEDIATELY TO PROTECT THE BIOTRETENTION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDMR TECHNICAL STANDARD BIOTRETENTION FOR INFILTRATION # 1034.
  - INSTALL AND MAINTAIN SILT FENCES PER WDMR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
  - REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDMR TECHNICAL STANDARD DITCH CHECKS #1052.
  - INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDMR TECHNICAL STANDARD INTERM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
  - IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
  - IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER.
    - BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL GRASS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE.
    - OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
  - STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
  - SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDMR/MUNICIPALITY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
  - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDMR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1066.
  - PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
  - FOR NON CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1 OR GREATER (OR AS SHOWN ON THE PLAN), PROVIDE CLASS I TYPE TYPE (WITH FACERATED DEGRADABLE NETTING) EROSION CONTROL MATTING. SELECT EROSION MATTING FROM WDMR'S PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDMR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1053.
  - FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS (OR AS SHOWN ON THE PLAN), PROVIDE NORTH AMERICAN GREEN #6150 (OR APPROVED EQUAL) EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDMR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
  - MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
  - INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, MATS, ERS, SWALES, ETC.) AS DIRECTED BY WDMR/MUNICIPALITY.
  - NOTICE OF TERMINATION: WHEN THE SITE HAS BEEN FULLY STABILIZED AND ALL STORMWATER DISCHARGES FROM THE SITE AUTHORIZED UNDER THE NO PERMIT HAVE BEEN ELIMINATED, A NOTICE OF TERMINATION SHALL BE FILED WITH THE DNR. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION APPLICATION IN ACCORDANCE WITH THE PERMIT REQUIREMENTS TO THE SITE OWNER FOR EXECUTION PRIOR TO FINAL PAYMENT.



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

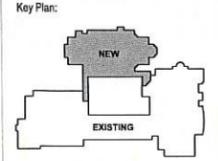


**DEMOLITION LEGEND**

- DENOTES ITEM TO BE REMOVED OR DEMOLISHED
- DENOTES PAVEMENT REMOVAL AREA
- DENOTES CONCRETE SIDEWALK REMOVAL AREA
- DENOTES ITEM TO BE ABANDONED OR REMOVED
- DENOTES TREE TO BE REMOVED OR RELOCATED (AS NOTED)

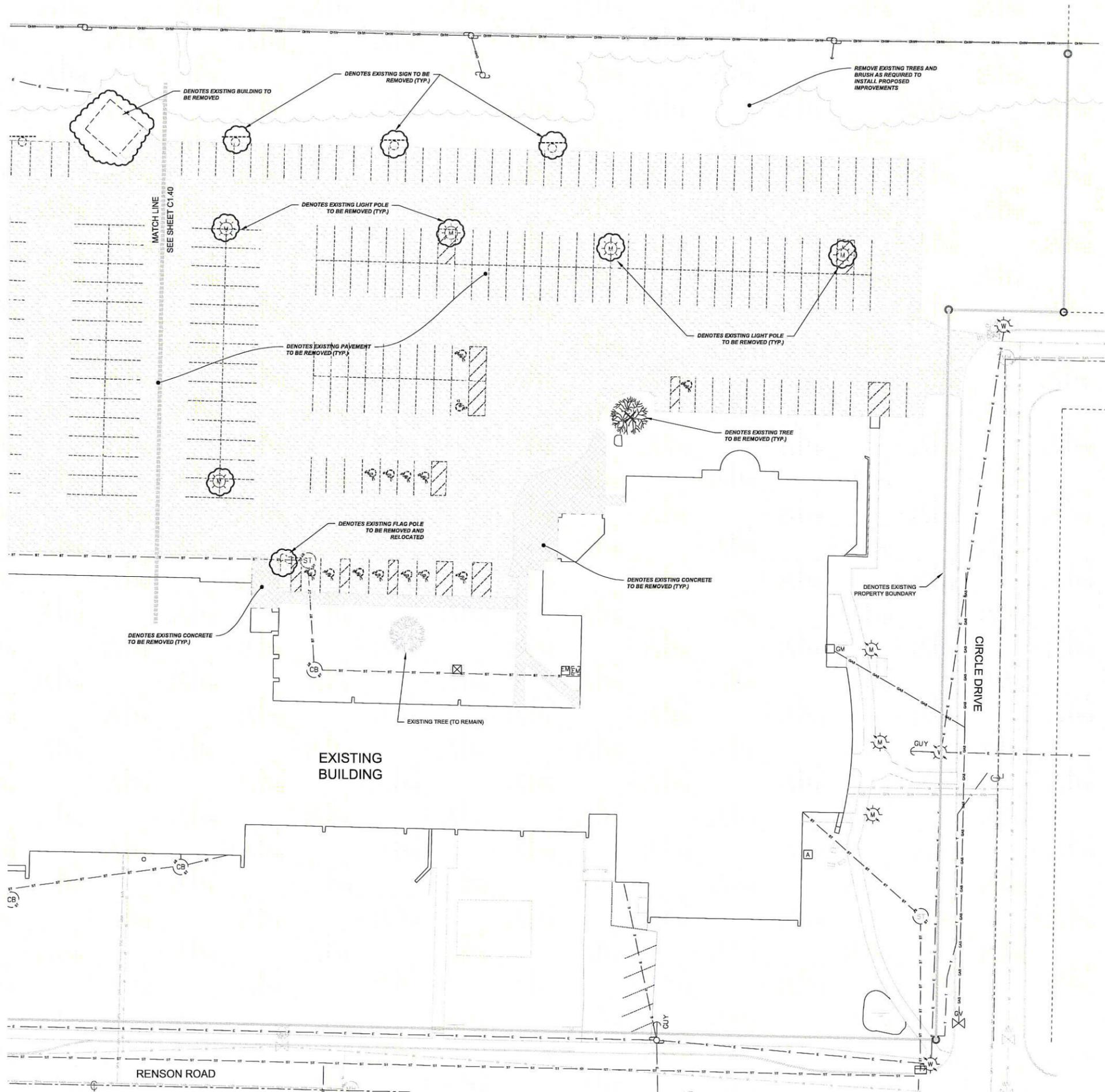


IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED TONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



Revisions:

No.	Date	Description

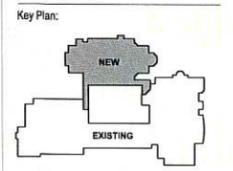


**DEMOLITION LEGEND**

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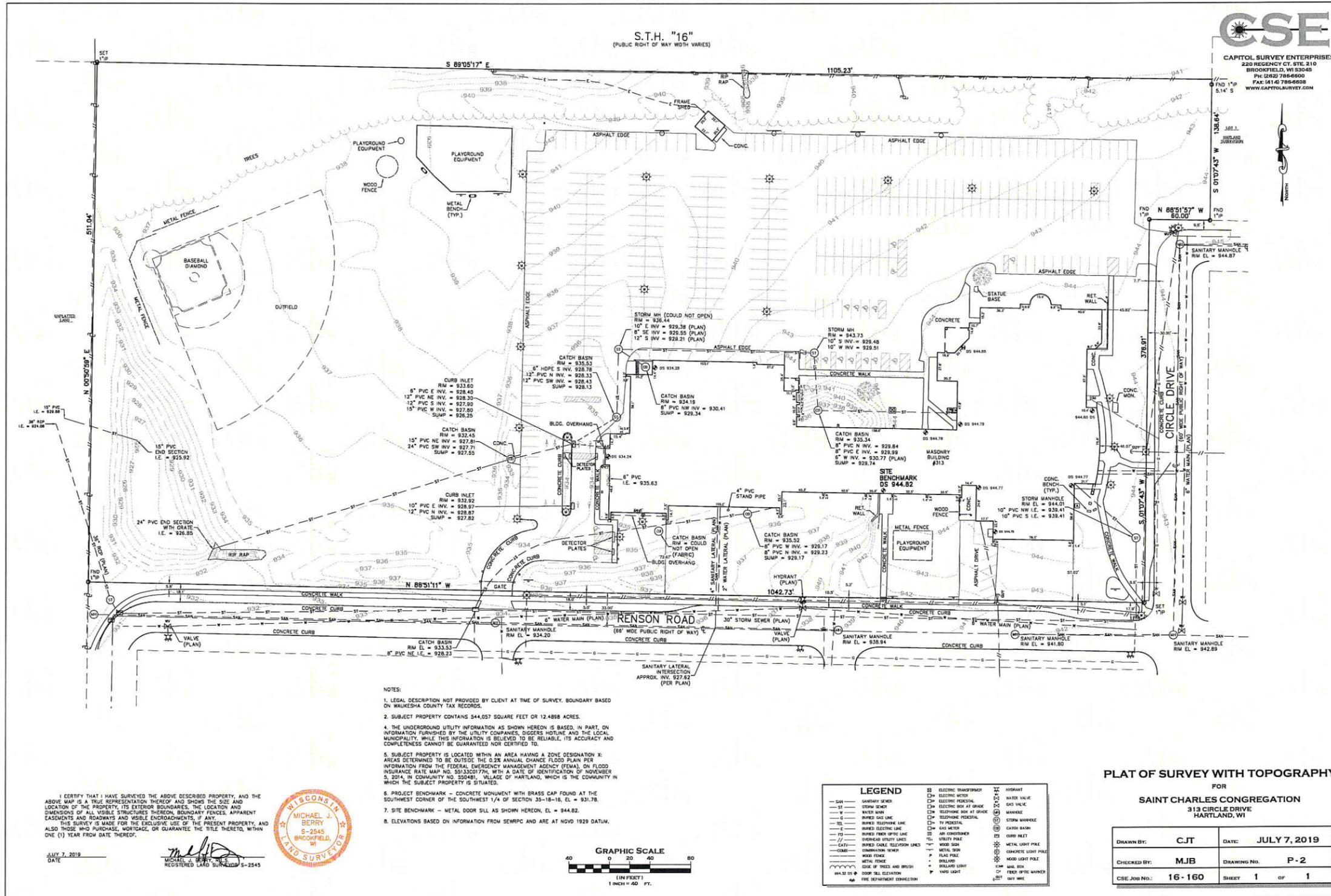


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Revisions:

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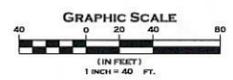


**CSE**  
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 BROOKFIELD, WI 53045  
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 FAX: (414) 785-6608  
 WWW.CAPITOLSURVEY.COM

- NOTES:
- LEGAL DESCRIPTION NOT PROVIDED BY CLIENT AT TIME OF SURVEY. BOUNDARY BASED ON WAUKESHA COUNTY TAX RECORDS.
  - SUBJECT PROPERTY CONTAINS 544,057 SQUARE FEET OR 12.488 ACRES.
  - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 59133C0177H, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014, IN COMMUNITY NO. 550481, VILLAGE OF HARTLAND, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
  - PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35-18-16, EL. = 931.78.
  - SITE BENCHMARK - METAL DOOR SILL AS SHOWN HEREON, EL. = 944.82.
  - ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND ARE AT NGVD 1929 DATUM.

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.  
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREOF, WITHIN ONE (1) YEAR FROM DATE THEREOF.

*Michael J. Berry*  
 MICHAEL J. BERRY, RLS  
 REGISTERED LAND SURVEYOR S-2545



**LEGEND**

— SAN	SANITARY SEWER	⊗	ELECTRIC TRANSFORMER	⊗	HYDRANT
— ST	STORM SEWER	⊗	ELECTRIC METER	⊗	WATER VALVE
— W	WATER MAIN	⊗	ELECTRIC PEDESTAL	⊗	GAS VALVE
— G	GAS MAIN	⊗	ELECTRIC BOX AT GRADE	⊗	MANHOLE
— TEL	BURIED TELEPHONE LINE	⊗	TELEPHONE BOX AT GRADE	⊗	STORM MANHOLE
— TV	BURIED TELEVISION LINE	⊗	TELEPHONE PEDESTAL	⊗	CATCH BASIN
— U	BURIED UTILITY LINE	⊗	TV PEDESTAL	⊗	CURB INLET
— C	BURIED CABLE TELEVISION LINE	⊗	UTILITY POLE	⊗	METAL LIGHT POLE
— CON	CONCRETE	⊗	WOOD SIGN	⊗	CONCRETE LIGHT POLE
— M	METAL SIGN	⊗	IRIG CORNER	⊗	WOOD LIGHT POLE
— WOOD	WOOD FENCE	⊗	FLAT POLE	⊗	WOOD LIGHT POLE
— METAL	METAL FENCE	⊗	BELLARY	⊗	WOOD LIGHT POLE
— BRUSH	EDGE OF TREES AND BRUSH	⊗	WALKWAY LIGHT	⊗	WOOD LIGHT POLE
— 944.82	DOOR SILL ELEVATION	⊗	WALKWAY LIGHT	⊗	WOOD LIGHT POLE
—	DOOR SILL ELEVATION	⊗	WALKWAY LIGHT	⊗	WOOD LIGHT POLE

**PLAT OF SURVEY WITH TOPOGRAPHY**  
 FOR  
**SAINT CHARLES CONGREGATION**  
 313 CIRCLE DRIVE  
 HARTLAND, WI

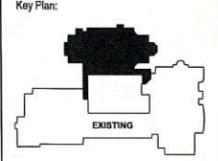
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CHECKED BY:	MJB	DRAWING NO.:	P-2
CSE JOB NO.:	16-160	SHEET:	1 OF 1

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Consultant:  
**Harwood Engineering Consultants**  
 255 North 21st Street | Milwaukee, WI 53233  
 PH: (414) 224-1000

Project:  
**St. Charles Church Addition**

Location:  
 526 Rierson Road,  
 Hartland, WI 53029



Sheet:  
**EXISTING SURVEY**

Phase:  
**Planning Commission Submittal**

Scale: 1" = 40'

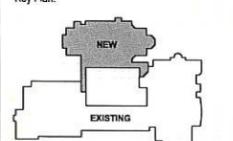
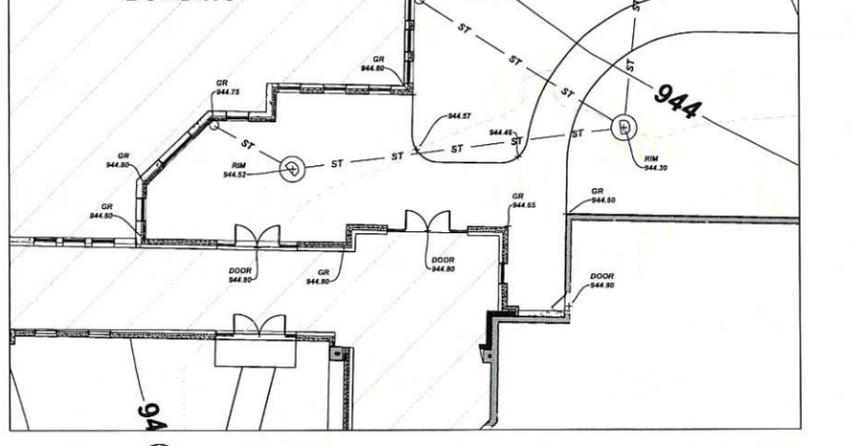
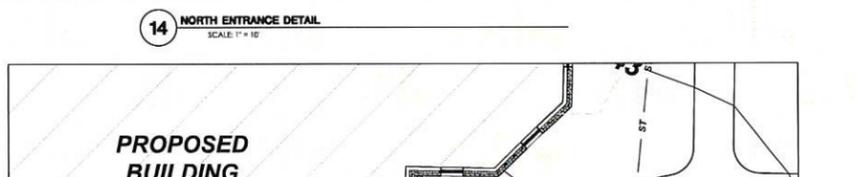
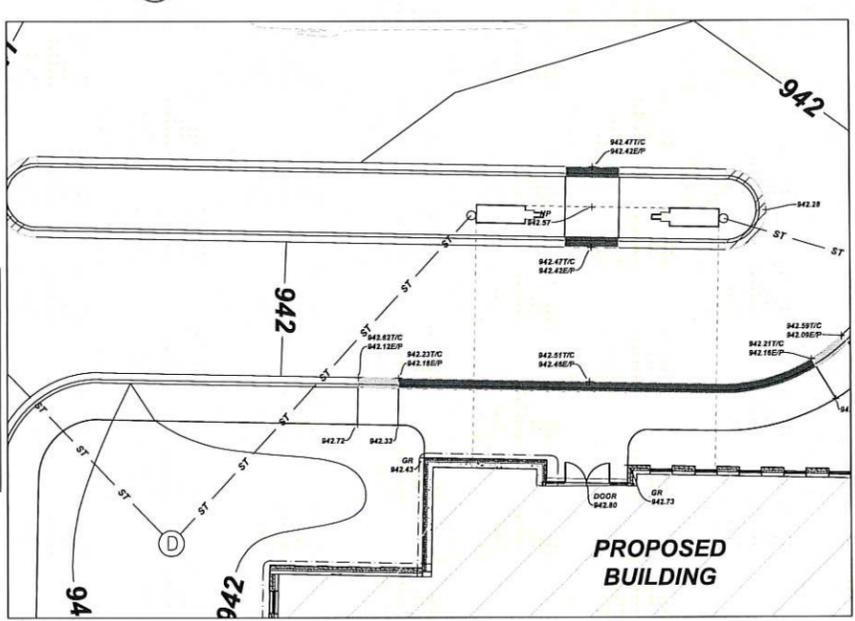
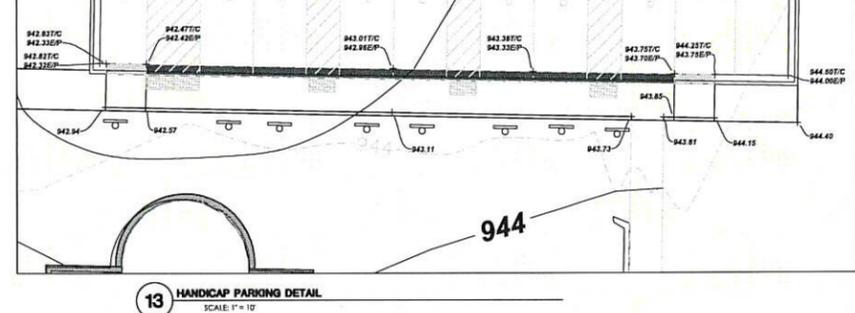
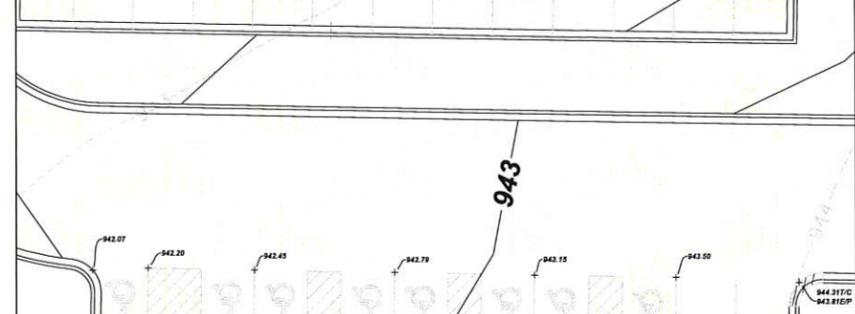
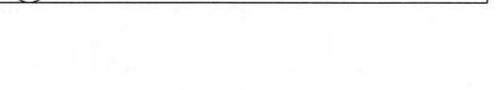
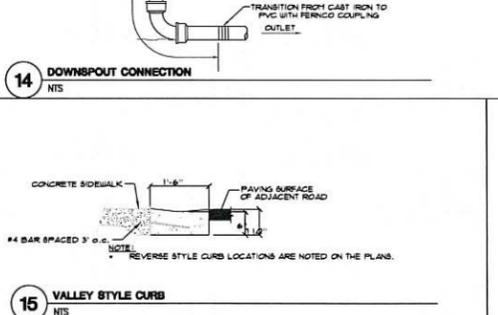
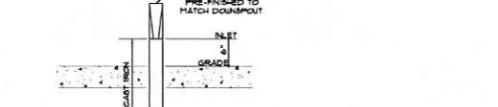
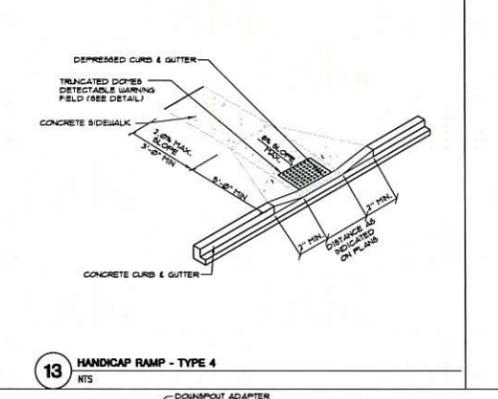
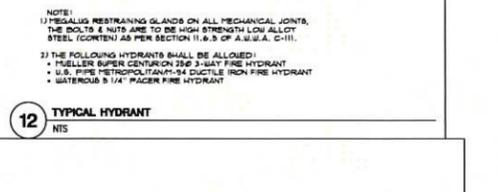
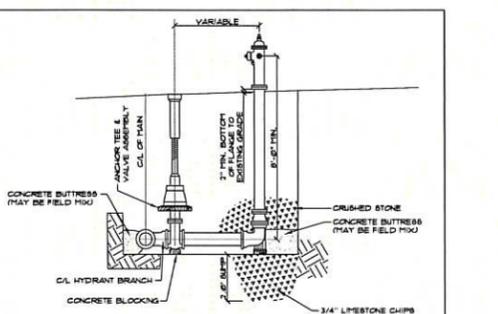
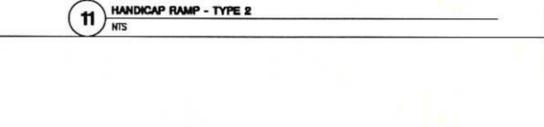
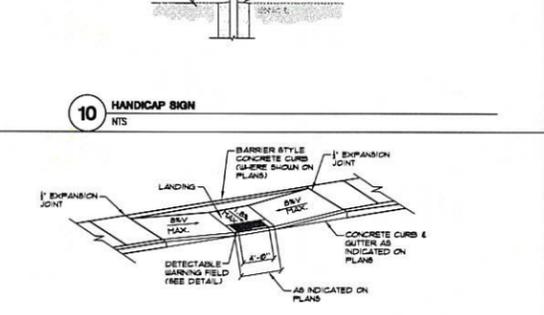
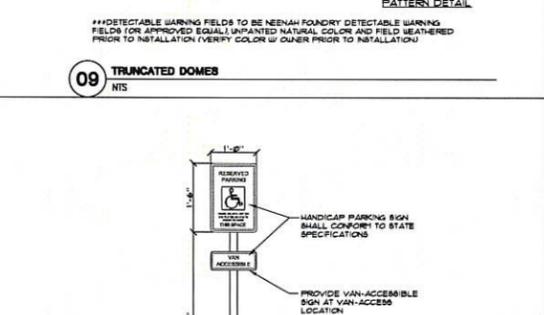
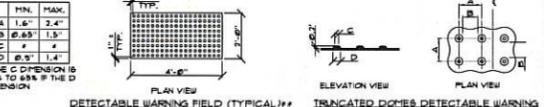
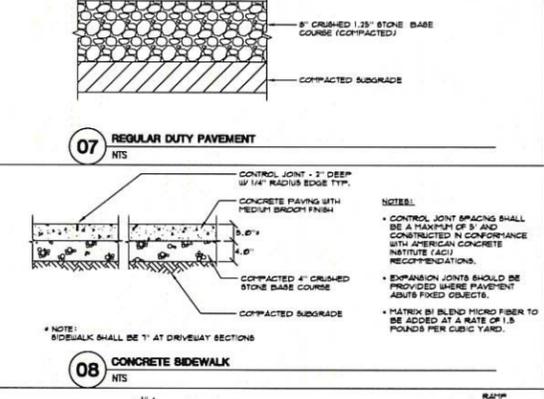
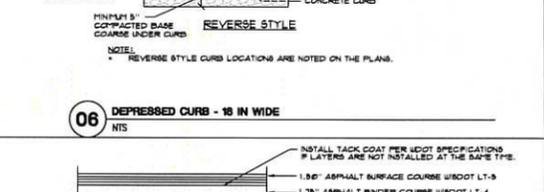
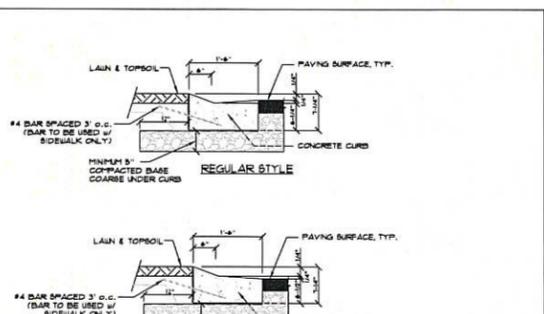
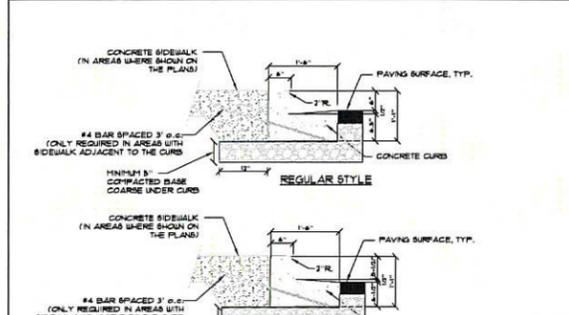
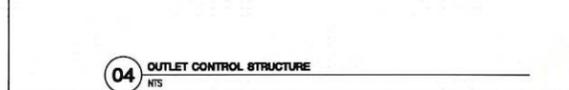
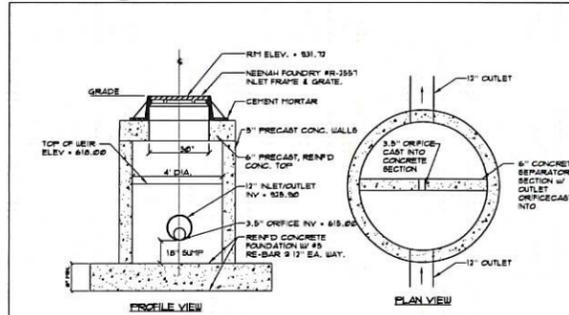
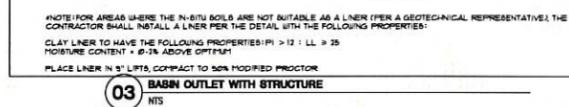
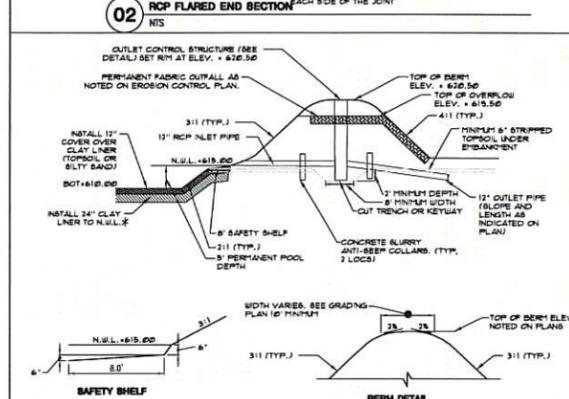
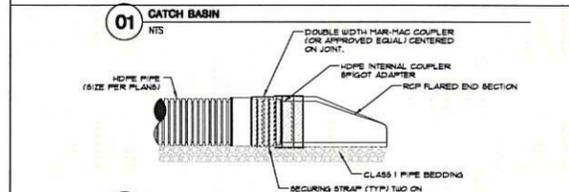
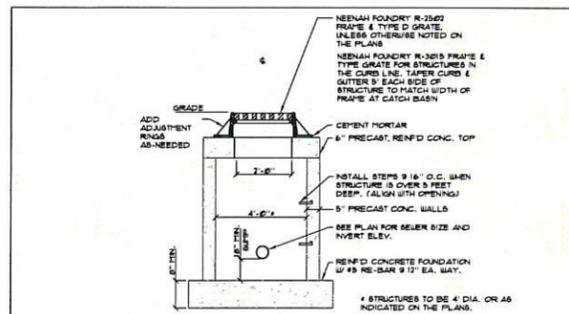
Revisions:

No.	Date	Description

Date:  
 12/6/2019

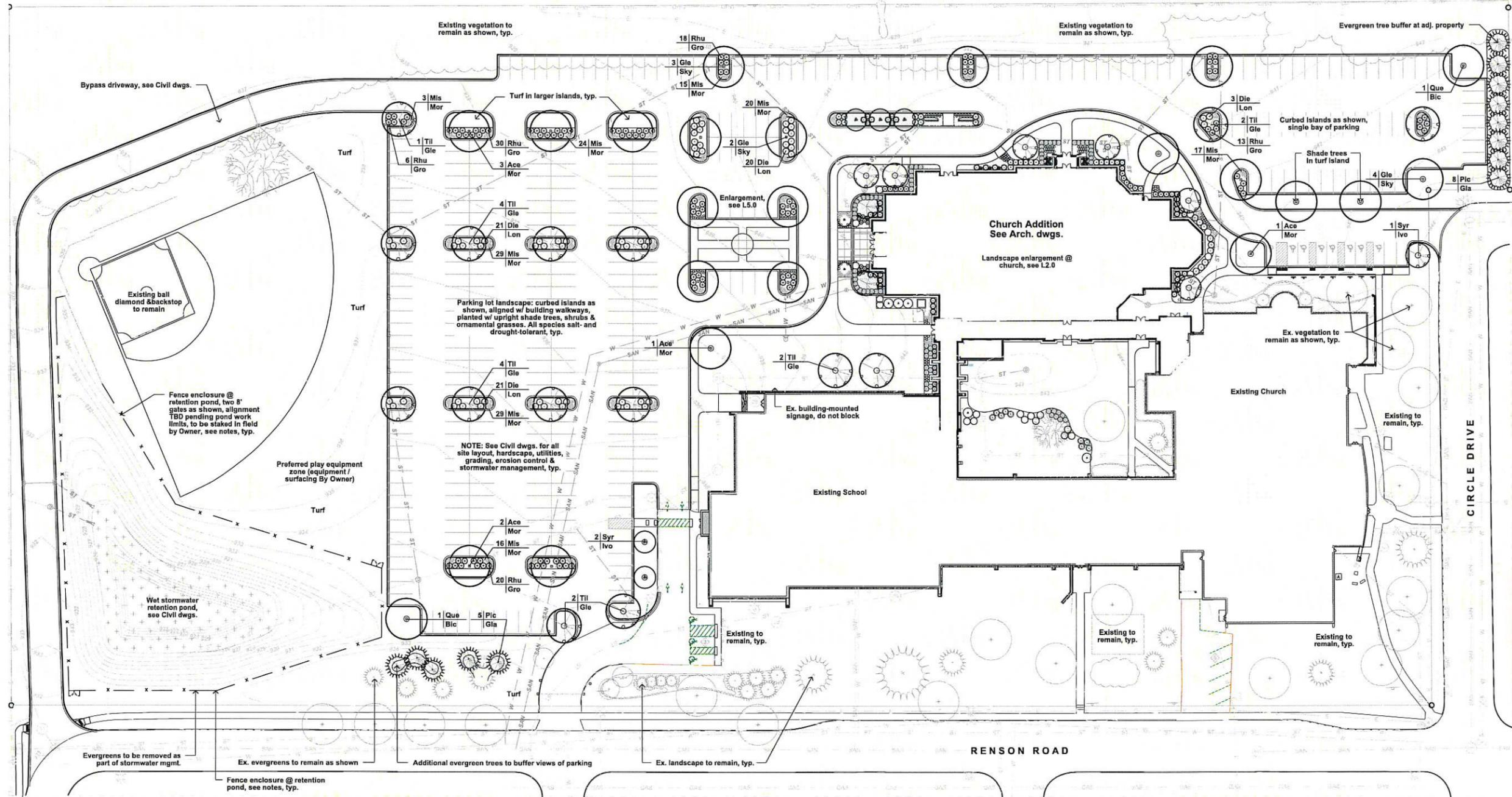
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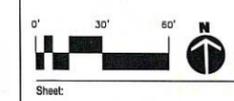
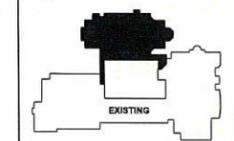
Revisions:

No.	Date	Description



Consultant:  
  
Project:  
St. Charles Church Addition

Location:  
313 Circle Drive  
Harland, WI 53029



Sheet:  
Overall Landscape & Planting Plan

Phase:  
Planning Commission  
Submittal

Scale:  
1" = 30'-0" @ 42x30"

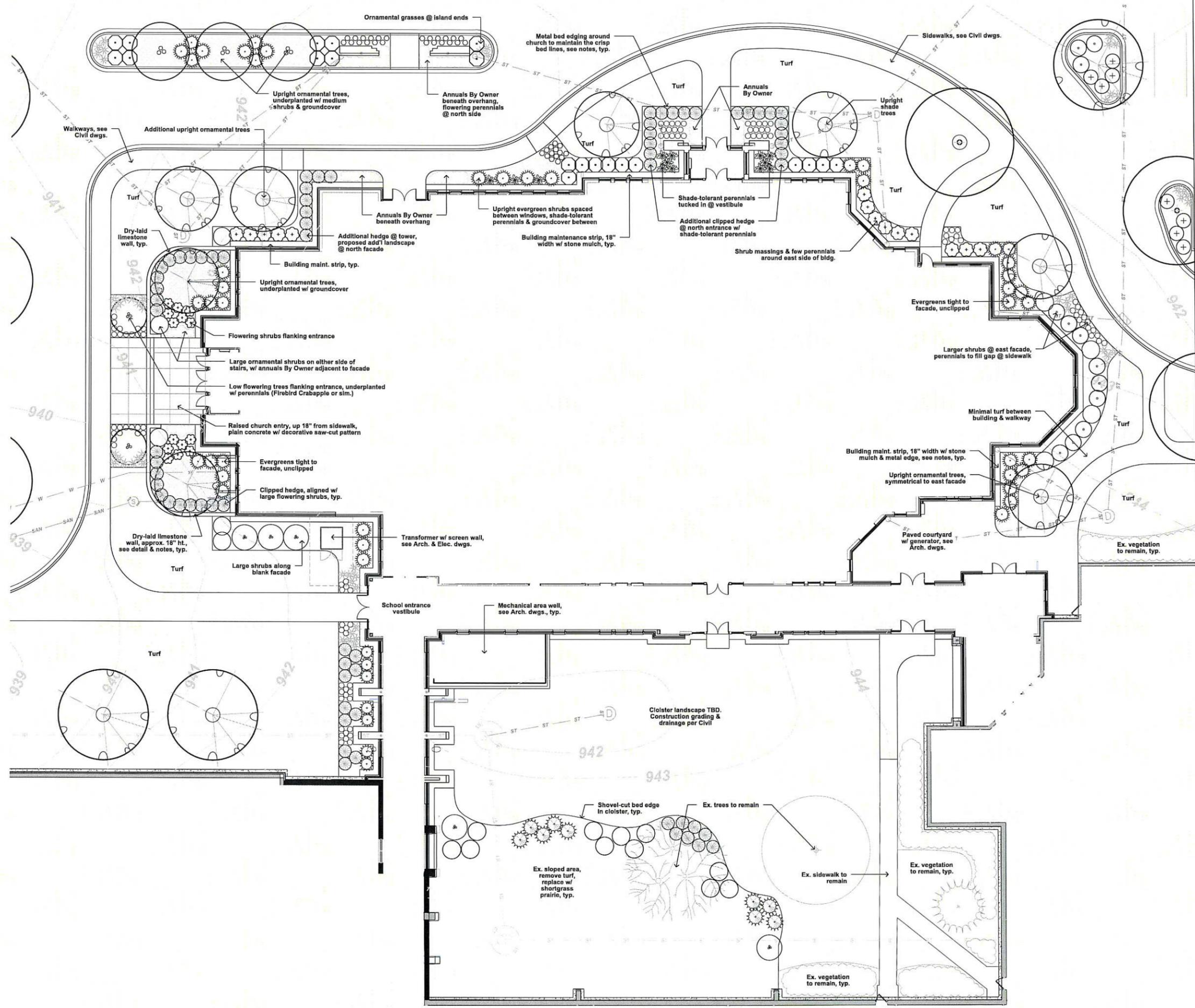
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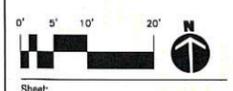
Date:  
12/6/2019

Project No:  
160088.01

Sheet No:



Consultant:  
 Project:  
**St. Charles Church Addition**



Sheet:  
**Enlarged Landscape Plan**

Phase:  
**Planning Commission Submittal**

Scale:  
 1" = 10'-0" @ 42x30"

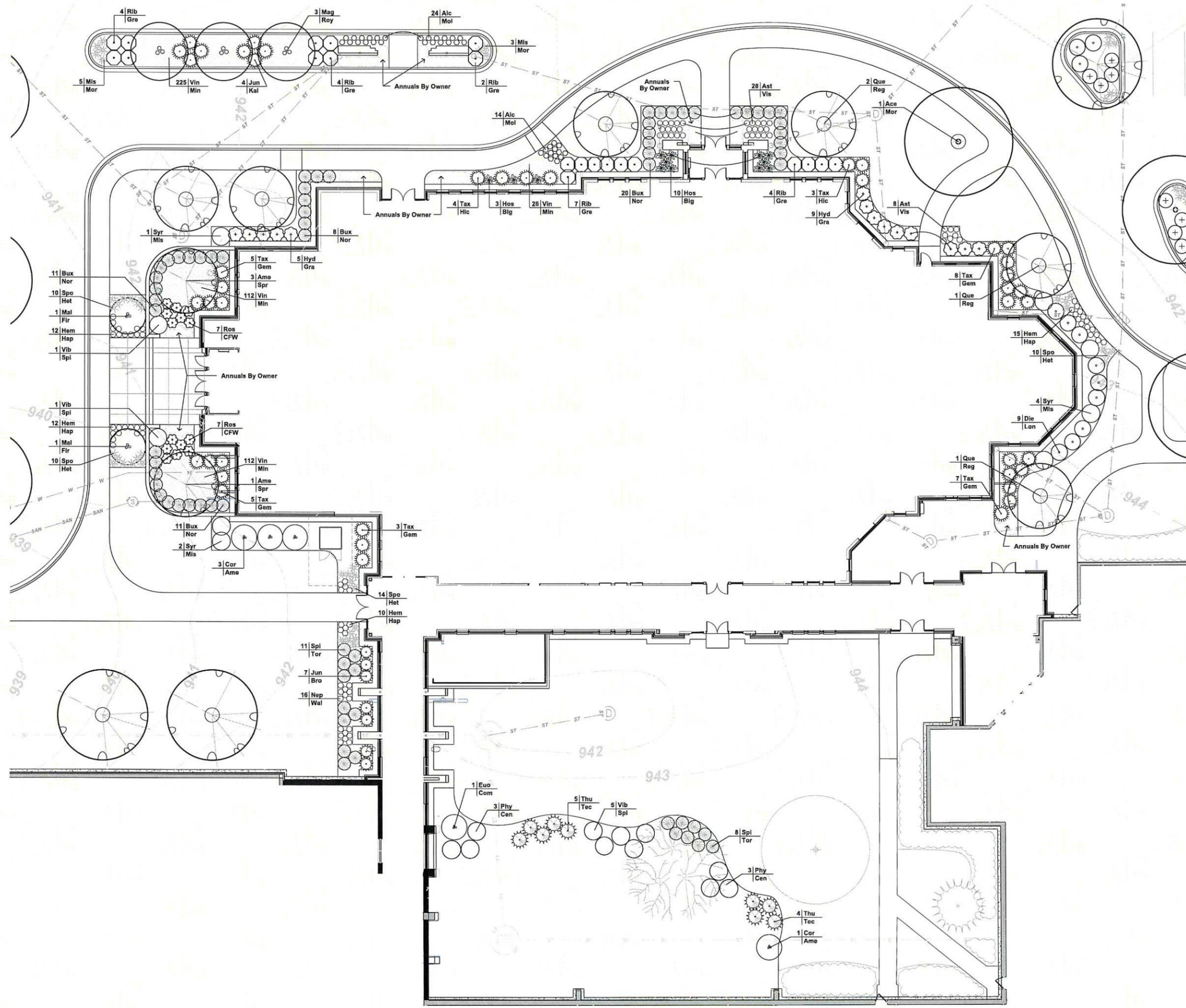
Revisions:

No.	Date	Description

Date:  
 12/6/2019

Project No:  
 160088.01

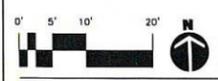
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Consultant:

Project:  
St. Charles Church Addition

Location:  
313 Circle Drive  
Harland, WI 53029



Sheet:  
Enlarged Planting Plan

Phase:  
Planning Commission  
Submittal

Scale:  
1" = 10'-0" @ 42x30"

Revisions:

No.	Date	Description

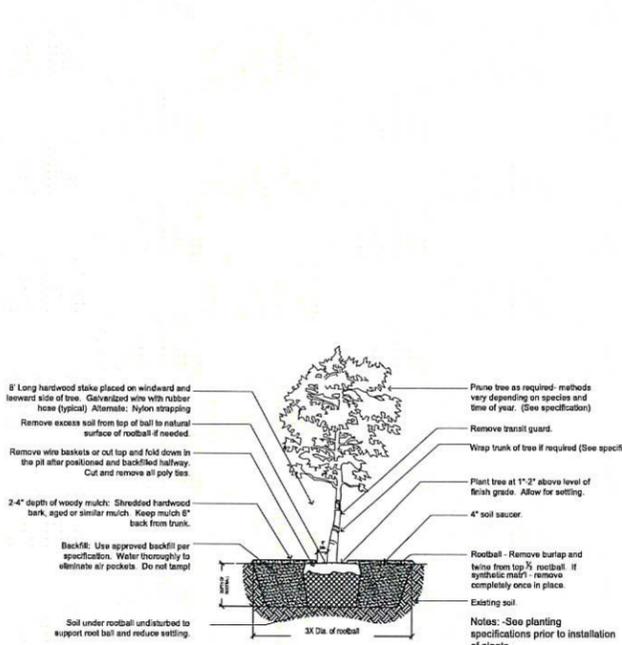
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12/6/2019

Project No:  
160088.01

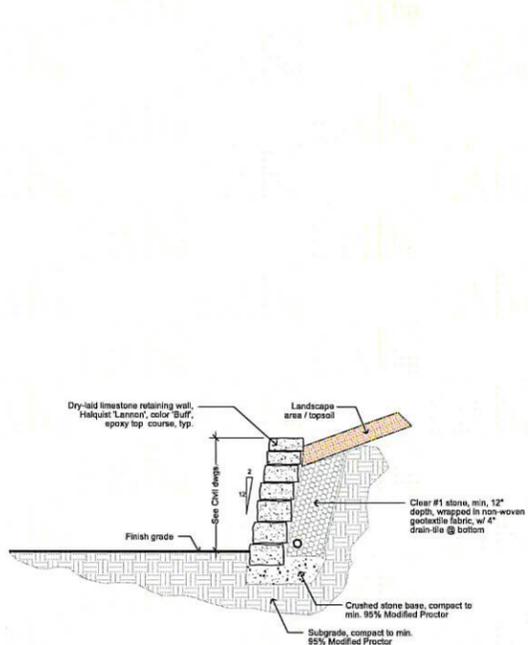
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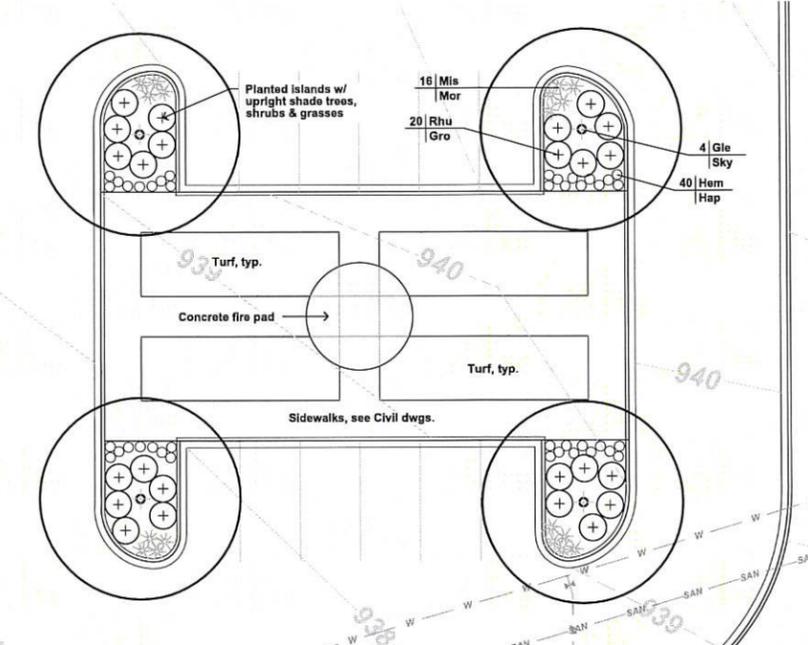
**4 Shrub Planting Detail**  
Not To Scale



**3 Tree Planting Detail**  
Not To Scale



**2 Dry Laid Limestone Wall**  
Scale: 3/4"=1'-0"



**1 Bonfire Area Enlargement**  
Scale: 1"=10'-0"

**General Notes**

- All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of Village of Hartland Municipal Code.
- See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all hardscape, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, details, schedules, notes. See Architectural dwgs. for all construction & signage. See Electrical drawings for all power, circulting, lighting & access control.
- Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction, including (but not limited to) ornamental fencing & all access control equipment.
- Contractor to provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- Contractor to verify hardscape layout prior to construction. Contact Landscape Architect if discrepancies are found.
- Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
- Existing trees to remain on site shall be protected. Erect snow fencing @ 15' R or tree driplines, whichever is farther. All construction traffic, storage, compaction, parking or other disturbance within protection zones shall be prevented for the duration of construction, except for work specifically indicated in the site plans.
- All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

**Landscape Notes**

- Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys. Forward a material list to the Landscape Architect prior to construction identifying species, sizes & plant sources to be used on the project.
- All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- An Owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site, if desired.
- All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect. Untagged materials will be assumed to be deficient.
- All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All turf, low-mow & shortgrass prairie areas shall have min. 6" Subgrade shall be tilled and/or scarified prior to placement of topsoil. Contractor shall be responsible for obtaining soil tests for all topsoil. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter. Suitable existing soil may be used & mixed if previously approved.
- Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix to be provided by Liesener Soils, Cedarburg WI, or approved equal.
- All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- Mulch shall be as follows:
  - Shredded hardwood bark mulch shall be installed in all planting beds unless otherwise indicated. Bark pieces shall be no larger than 1x4". Only un-dyed bark mulch shall be used, no colored product or recycled wood shall be utilized.
  - Stone mulch shall be installed in the 18" wide maint. strip around the building perimeter, and as indicated elsewhere. Stone mulch shall be 2-3" of Mississippi washed stone, min. 1" dia., installed over non-woven geotextile fabric.
- Bed edging shall be as follows:
  - Metal edging shall be installed at the building maint. strip or adjacent to any stone mulch. Edging shall be 3/16" x 4" alum. mill-finish, Permaloc "CleanLine" or "ProSlide", or approved equal.
  - 6" deep shovel-cut edging shall be installed at all other locations, typ.
- Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Work shall include all watering, weeding, pruning, fertilizing & pest management. Prior to beginning installation, the contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities.

**Seeding Notes & Mixes**

- This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are woody, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be performed at the site responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
- Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, silt-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- No seeding shall occur if the wind exceeds 12 MPH.
- Coordinate erosion control and/or mulching with Civil dwgs:
  - In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the erosion control contractor.
  - In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area.
  - Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect prior to application.
- See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- Contractor is responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter, if necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.
- Seed mix substitutions will be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.

**BLUEGRASS MIX:**  
"Deluxe 50 Mix" shall be supplied by Reinders, Appleton WI, 920-788-0200. Apply @ 6 lbs per 1000 GSF.

**LOW-MOW MIX:**  
"No-Mow Lawn Mix" shall be supplied by Prairie Nursery, Westfield WI, 800-476-9453. Apply @ 200 lbs per AC, including Annual Ryb cover crop.

- Contractor shall be responsible for providing base bid comprehensive seed area establishment, maintenance and warranty care for all seeded areas:
  - Bluegrass areas shall be for one year after installation. Work shall include all watering, weeding, fertilizing & mowing. Assume 24 mowings per year. Assume one full overseeding in spring of the second year.
  - All other seed areas (low-mow & wet-tolerant) shall be for three years after installation. Work shall include all watering, weeding (both spot herbicide and/or hand-pulling, depending on necessity), fertilizing, spring / fall clean-up & mowing. Expect 4-5 mowings in the first year, 3-4 mowings in the second year and 2-3 mowings in the third year. All mowings shall be timed to cut germinating weeds but not desirable forbs / grasses. Overseed each spring any bare areas larger than 1 sq. ft.
  - Prior to beginning installation, the contractor shall submit a 36-month calendar for review/approval including all anticipated maintenance activities.

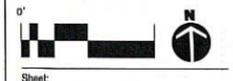
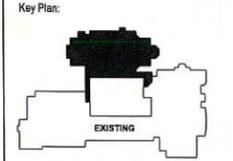
**Hardscape / Amenity Notes**

- Play equipment: Owner shall evaluate existing equipment for code compliance & feasibility of relocating to preferred play zone southeast of ex. baseball field. Prior to beginning construction, contractor shall confirm with Owner whether to stockpile or demolish play equipment.
- Baseball backstop: Ex. backstop shall be protected during construction.
- Chain Link Fencing: Install new fencing around retention basin as shown:
  - Height: Shall be 5' typ.
  - Posts: Shall be min. 2.5" dia. line posts & min. 3" dia. corner / gate posts. Line posts shall be spaced @ max. 8' o.c. & driven to min. 5' depth. Corner / gate posts shall be concrete set w/ 12" dia x 48" depth footings. Materials shall be Wheatland WT-30 or equiv., black vinyl finish, typ.
  - Fabric: Shall be 9-gauge steel mesh @ 2" openings, XXX black vinyl, KK selvage top & bottom.
  - Horizontal rails: Top rail shall be min. 1-3/8" dia. Wheatland WT-30 or equivalent domestic steel tube, black vinyl finish. Bottom shall be tension wire.
  - Gate: Shall be 8' clear double gate, leaves shall be fully welded & gusseted frames w/ fabric to match. Gate shall include standard locking hasps & one drop rod w/ concrete-set sleeve.

**Plant Schedule**

NOTE: Contractor shall be responsible for final plant quantities, typ.

Symbol	Qty Prop.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
<b>Shade Trees</b>							
Ace Mar		Acer rubra 'Morton'	Slate Street Maple	3" Cal.	B/B	As Shown	
Que Bic		Quercus bicolor	Swamp White Oak	4" Cal.	B/B	As Shown	
Que Reg		Quercus robur x bicolor 'Long'	Royal Prince English Oak	4" Cal.	B/B	As Shown	
Gle Sky		Gleditsia tri. 'Skyline'	Skyline Honeylocust	3" Cal.	B/B	As Shown	
Ti Gle		Tilia x Ravens 'Glenleven'	Glenleven Linden	3" Cal.	B/B	As Shown	
<b>Ornamental Trees</b>							
Amo Spr		Amelanchier laevis 'JFS Arb'	Spring Flurry Sanicberry	2.5" Cal.	B/B	As Shown	Single Stem
Magn Roy		Magnolia stellata 'Royal Star'	Royal Star Magnolia	6" Ht.	B/B	As Shown	Heavy Three Stem
Mal Fir		Malus sargentii 'Firebird'	Firebird Crabapple	5.6" Ht.	B/B	As Shown	Single Stem
Syr Ivo		Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	10' Ht.	B/B	As Shown	Heavy Three Stem
<b>Evergreen Trees</b>							
Pic Gla		Picea glauca var. densata	Black Hills Spruce	7.6' Ht.	B/B	As Shown	
<b>Large Shrubs</b>							
Cor Ame		Corylus americana	American Filbert	48" Ht.	B/B	As Shown	
Euo Com		Eucymnus alata 'Compactus'	Compact Burning Bush	48" Ht.	B/B	As Shown	
Tax Hc		Taxus x media 'Hickaz'	Hick's Upright Yew	48" Ht.	B/B	As Shown	
<b>Deciduous Shrubs</b>							
Die Lon		Diervilla lonicera 'Jewel'	Jewel Dwarfish Honeyuckle	18-24" Ht.	2 Gal.	54" o.c.	
Rhu Gro		Rhus aromatica 'Gro Low'	Gro-Low Fragrant Sumac	15-18" Ht.	2 Gal.	48" o.c.	
Rib Gre		Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	18-24" Ht.	2 Gal.	42-48" o.c.	
Ros CFW		Rosa 'Cathleen Wonder'	Cathleen Wonder Shrub Rose	15-18" Ht.	2 Gal.	36" o.c.	
Spi Tor		Spiraea tosa 'Tor'	Tor Birchleaf Spirea	15-18" Ht.	2 Gal.	35-42" o.c.	
Syr Ma		Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	30-36" Ht.	7 Gal.	60" o.c.	
Vib Spl		Viburnum carlesii 'Spiced Bouquet'	Spiced Bouquet Comp. Kapsica Vib.	30-36" Ht.	7 Gal.	60" o.c.	
<b>Evergreen Shrubs</b>							
Bus Nor		Buxus 'Northern Charm'	Northern Charm Boxwood	15-18" Ht.	B/B	36" o.c.	Adj. spacing per plan
Jun Bro		Juniperus sabina 'Broadmoor'	Broadmoor Juniper	24" spgd.	7 Gal.	48" o.c.	
Tax Gem		Taxus x media 'Gem'	Gem Dwarf Yew	24" spgd.	7 Gal.	54-60" o.c.	
<b>Perennials &amp; Grasses</b>							
Ach Mel		Achillea millefolium	Lady's Mantle	1 Gal.	Cont.	24" o.c.	
Ast Vis		Astilbe 'Visions in Pink'	Visions In Pink Astilbe	4.5"	Cont.	18" o.c.	
Hem Hap		Hemerocallis 'Happy Returns'	Happy Returns Daylily	4.5"	Cont.	18-24" o.c.	
Hosta Big		Hosta 'Big Daddy'	Big Daddy Hosta	1 Gal.	Cont.	30" o.c.	
Ma Mor		Miscanthus 'Morning Light'	Morning Light Maidenhair Grass	1 Gal.	Cont.	30-36" o.c.	
Nep Wal		Nepeta 'Walker's Low'	Walker's Low Catmint	4.5"	Cont.	18" o.c.	
Spo Hill		Sporobolus holtenensis	Prairie Dropseed	1 Gal.	Cont.	18-24" o.c.	Qty's per plant keys
Vin Min		Vinca minor	Periwinkle	2.5"	Cont.	12" o.c.	



**Landscape Enlargement, Details, Schedules & Notes**

Phase:  
Planning Commission  
Submittal

Scale:  
As Shown @ 42x30"

Revisions:

No.	Date	Description

Date:  
12/6/2019

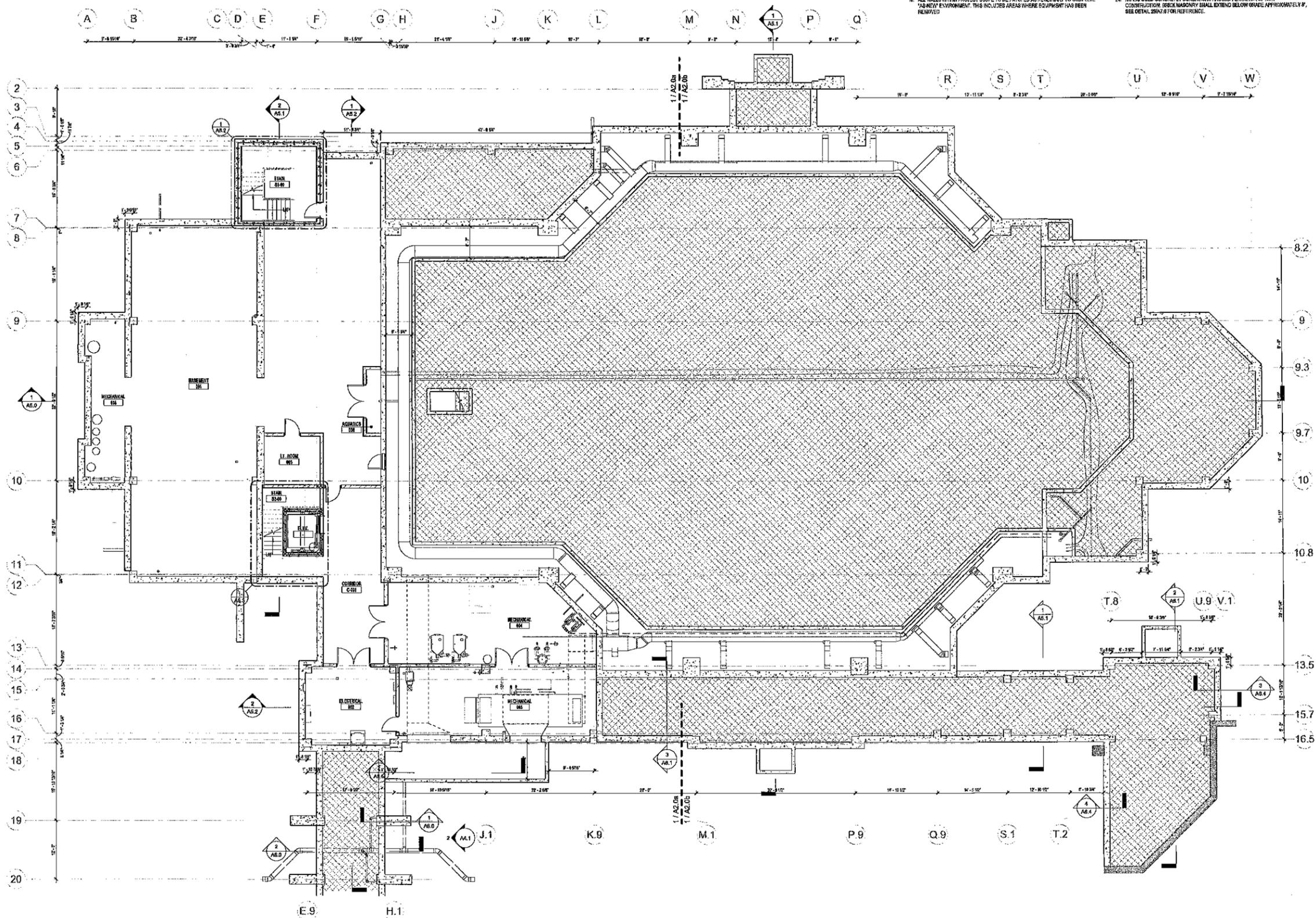
Project No:  
160088.01

Sheet No:

**GENERAL CONSTRUCTION NOTES:**

- EXISTING WALLS TO REMAIN
- NEW WALL CONSTRUCTION
- UNEXCAVATED AREAS

1. PORTION OF BUILDING SHOWN IN A DARKER (GRAY) TONE ARE EXISTING BARE BUILDINGS WHICH ARE TO REMAIN.
2. SEE SHEET T1.1 FOR ABREVIATIONS AND SYMBOL LEGEND.
3. COORDINATE TO BE PRECISE WITH OWNER TO DETERMINE INTERIM LIFE SAFETY ROUTES IF APPLICABLE. CONFIRM ANY CONFLICTS WITH ARCHITECTURE PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES ON THE SITE NOT AFFECTED BY THE WORK. ANY DISRUPTION IN SERVICES SHALL BE COORDINATED WITH OWNER AND ADJACENT PROPERTY OWNERS IN ADVANCE.
6. CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER ANY AND ALL SITE MATERIALS DAMAGED DUE TO THE CONSTRUCTION PROCESS WHICH WERE NOT SCHEDULED TO BE REMOVED OR REPAIRED.
7. ALIGNMENT OF NEW CONSTRUCTION TO EXISTING WALLS & COLUMN SHALL BE ONE IN A HUNDRED AS TO VISUALLY ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS TO PROVIDE SMOOTH AND CONTINUOUS SURFACE. MAINTAIN APPROPRIATE FIRE-RATED CONSTRUCTION AT DISTURBED AREAS.
8. WALLS ARE TO BE PARALLEL & PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT.
9. ANY WALL SHOWN ON THE PLAN WITHOUT A WALL TAG IS ASSUMED TO BE TYPE "M" IF GRAPHICALLY INDICATED AS MASONRY. IF MASONRY INFILL WALL IS NOT TAGGED, IT SHALL BE ASSUMED TO MATCH THE WIDTH OF THE EXISTING WALL. SEE SHEET T1.1 FOR SYMBOL LEGEND. WALL TYPES INDICATED BY (C).
10. ALL WALLS WITHIN PROJECT SCOPE TO BE PATCHED AS NECESSARY TO COMPLETE "AS-BUILT" ENVIRONMENT. THIS INCLUDES AREAS WHERE EQUIPMENT HAS BEEN REMOVED.
11. WHERE MASONRY IS REMOVED AND BACKPATCHED, OR WHERE OPENINGS ARE FILLED, PROVIDE MASONRY AND GROUT TO MATCH. TOOTH IN ALL INFILL SO AS TO CREATE A SEAMLESS END PRODUCT.
12. HANG SIDE OF ROUGH OPENINGS FOR DOORS ARE TYPICALLY 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
13. PROVIDE BLOCKING AT ALL WALL HANGING EQUIPMENT AND FURNITURE AS REQUIRED.
14. ALL FLOORS ARE TO BE LEVEL AND CLEAR FROM INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ADA GUIDE LINES.
15. ALL FLOOR ELEVATIONS ARE BASED OFF OF FIRST FLOOR ELEVATION OF 100'-0". ARCHITECTURAL ELEVATION TOP OF CORRESPONDS TO ONE ELEVATION OF 102.89'-0". ALL FINE WALLS ARE TO BE LABELED ABOVE FINISH CEILING. LABELS ARE TO BE ON BOTH SIDES OF WALL. PER 2018 IRC WITH A MINIMUM SPACING OF 12".
16. ALL EXPOSED CORNERS ON COUNTERTOPS ARE TO HAVE A 1/2" RADIUS MINIMUM, UNLESS OTHERWISE NOTED.
17. REFER TO ROOM FINISH SCHEDULE MATERIAL LEGEND FOR ALL FINISHES.
18. VERIFY LOCATION OF CHIMNEY FLOWING THROUGH CONTRACTOR INSTALLED ACCESSORIES PRIOR TO INSTALLATION.
19. ALL ELECTRICAL PANELS LOCATED IN SPACES OTHER THAN DESIGNATED ELECTRICAL CLOSETS OR NON-FINISH SPACES SHALL BE FULLY REFERRED.
20. COORDINATE FINAL SIZES AND LOCATIONS OF ALL CONCRETE PADS WITH THE HVAC CONTRACTOR. CONCRETE PADS SHALL BE BY DIV 3, UNO.
21. CERTAIN FINISHING, ELECTRICAL AND MECHANICAL ELEMENTS, SUCH AS ROOF CONDUCTORS, STAIRWELLS, CABINET UNIT HEATERS AND ELECTRICAL PANELS MAY OR MAY NOT BE SHOWN ON THE ARCHITECTURAL PLANS. THESE ARE SHOWN FOR COORDINATION ONLY. ALL CONTRACTORS MUST REVIEW ALL SHEETS FOR ALL REQUIRED WORK.
22. ALL INTERIOR COLUMN ENCLOSURE FRAMING USING 1 1/2" FRAMING SHALL BE 20 GAUGE MINIMUM.
23. NO EXPOSED CONCRETE FOUNDATIONS AROUND PERIMETER OF NEW CONSTRUCTION. BRICK MASONRY SHALL EXTEND BELOW GRADE APPROXIMATELY 8". SEE DETAIL 2504.2 FOR REFERENCE.



Consultant:  
 Project:  
**St. Charles Church Addition**

Location:  
 313 Circle Drive  
 Hartland, WI 53029



Sheet:  
**BASEMENT FLOOR PLAN - OVERALL**

Phase:  
**Planning Commission Submittal**

Scale:  
 1/8" = 1'-0"

Revisions:

No.	Date	Description

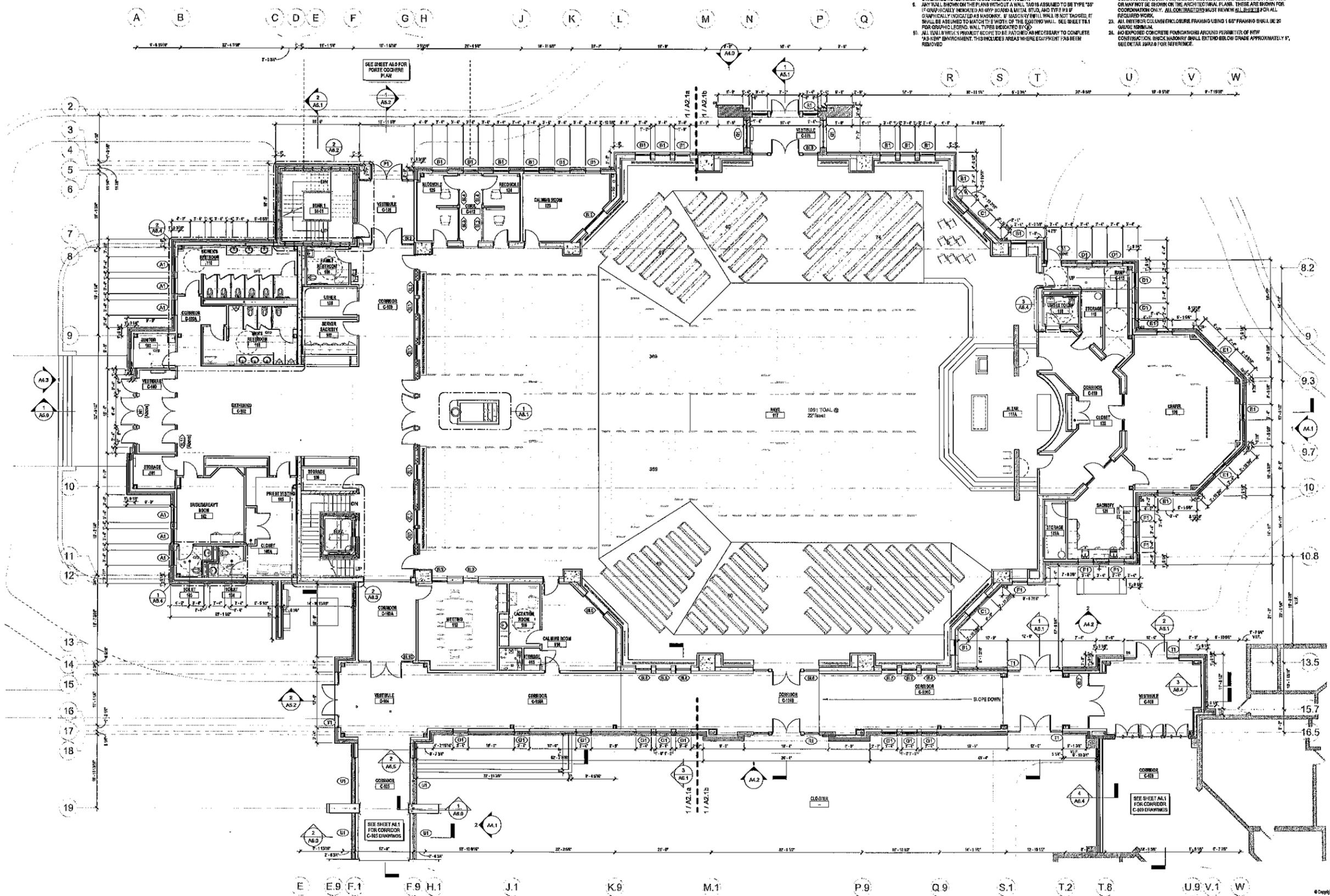
Date:  
 12.08.19  
 Project No:  
 16038A.01  
 Sheet No:

**A2.0**

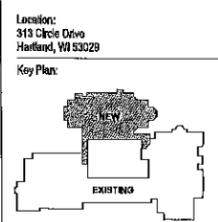
**GENERAL CONSTRUCTION NOTES:**

- EXISTING WALLS TO REMAIN
- NEW WALL CONSTRUCTION
- UNDEGRAVED AREAS

1. PORTION OF BUILDING SHOWN IN A DARKER (GRAY) TONE ARE EXISTING BASE BUILDINGS WHICH ARE TO REMAIN.
2. SEE SHEET T-1 FOR ABBREVIATIONS AND SYMBOL LEGEND.
3. COORDINATE THIS PROJECT WITH OTHERS TO DETERMINE INTERMITTENT SAFETY ROUTES IF APPLICABLE. CONFIRM ANY CONFLICTS WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES ON THE SITE NOT AFFECTED BY THE WORK. ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM THE WORK MUST BE COORDINATED WITH OTHER AND ADJACENT PROPERTY OWNERS IN ADVANCE.
6. CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER, ANY AND ALL SITE MATERIALS DAMAGED DUE TO THE CONSTRUCTION PROCESS WHICH WERE NOT SCHEDULED TO BE DEMOLISHED OR REMOVED.
7. ALIGNMENT OF NEW CONSTRUCTION TO EXISTING WALLS & COLUMNS SHALL BE ONE (1) INCH MAXIMUM TO VISIBLY DEMARK THE POINT OF CONTACT OR JUNT OF NEW AND EXISTING MATERIALS TO PROVIDE SMOOTH AND CONTINUOUS SURFACE. MAINTAIN APPROPRIATE FINISHES AND CONSTRUCTION AT DETAILLED AREAS.
8. WALLS ARE TO BE FINISHED & PROVED SQUARE TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT.
9. ANY WALL SHOWN ON THE PLANS WITHOUT A WALL TAG IS ASSUMED TO BE TYPE "3" IF GRAPHICALLY INDICATED AS MASONRY. IF MASONRY WALL IS NOT TAGGED, IT SHALL BE ASSUMED TO MATCH THE WIDTH OF THE EXISTING WALL. SEE SHEET T-1 FOR GRAPHIC LEGEND, WALL TYPES INDICATED BY "X".
10. ALL WALLS WITH A PROJECT SCOPE TO BE PATCHED OR NECESSARY TO COMPLETE "AS-BUILT" ENVIRONMENT. THIS INCLUDES AREAS WHERE EQUIPMENT HAS BEEN REMOVED.
11. WHERE MASONRY IS REMOVED AND BACKPATCHED, OR WHERE OPENINGS ARE FILLED, PROVIDE MASONRY AND GROUT TO MATCH. TOOTH IN ALL INFILL SO AS TO CREATE A SEAMLESS JOINT PRODUCT.
12. HINGE SIDE OF ROUGH OPENINGS FOR DOORS ARE TYPICALLY 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
13. PROVIDE BLOCKING AT ALL WALL HANGING EQUIPMENT AND FURNITURE AS REQUIRED.
14. ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR IMPACTS AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ANSIS STANDARDS.
15. ALL FLOOR ELEVATIONS ARE BASED OFF OF FIRST FLOOR ELEVATION OF 90.0' ARCHITECTURE ELEVATION 60" IF CORRESPONDING GROUND ELEVATION OF 90.0' MAX.
16. ALL FIRE WALLS ARE TO BE LABELED AS FIVE FINISH CEILING. LABELS ARE TO BE ON BOTH SIDES OF WALL, PER 2015 IBC WITH A MAXIMUM SPACING OF 12'.
17. ALL EXPOSED CORNERS OR COULTERS ARE TO HAVE A 90° FINISH MINIMUM, UNLESS OTHERWISE NOTED.
18. REFER TO ROOM FINISH SCHEDULE MATERIAL LEGEND FOR ALL FINISHES.
19. VERIFY LOCATION OF GYMER FURNISHED / CONTRACTOR INSTALLED ACCESSORIES PRIOR TO INSTALLATION.
20. ALL ELECTRICAL PANELS LOCATED IN SPACES OTHER THAN DESIGNATED ELECTRICAL CLOSET OR RACK PUBLIC SPACES SHALL BE FULLY RECESSED.
21. COORDINATE FINAL SERIAL AND LOCATION OF ALL CONCRETE PADS WITH THE HVAC CONTRACTOR. CONCRETE PADS SHALL BE BY DRY & UNO.
22. CERTAIN PLUMBING, ELECTRICAL AND MECHANICAL ELEMENTS, SUCH AS ROOF CONNECTORS, STAIRWELL CABINET UNIT HEATERS AND ELECTRICAL PANELS MAY OR MAY NOT BE SHOWN ON THE ARCHITECTURAL PLANS. THESE ARE SHOWN FOR COORDINATION ONLY. ALL CONTRACTORS MUST REVIEW ALL SUBSETS FOR ALL REQUIRED WORK.
23. ALL INTERIOR COLUMN ENCLOSURE FRAMING USING 1 60" FRAMING SHALL BE 20 GAUGE MINIMUM.
24. NO EXPOSED CONCRETE FOUNDATIONS AROUND PERIMETER OF NEW CONSTRUCTION. BRICK MASONRY SHALL EXTEND BELOW GRADE APPROXIMATELY 6". SEE DETAIL A-10.1 FOR REFERENCE.



Consultant:  
  
Project:  
**St. Charles Church Addition**



Sheet:  
**FIRST FLOOR PLAN - OVERALL**

Phase:  
**Planning Commission Submittal**

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date	Description

Date:  
12.06.19

Project No:  
180008.01

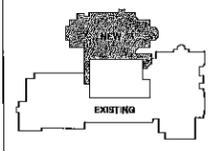
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Consultant:

Project:  
**St. Charles Church Addition**

Location:  
315 Ohio Drive  
Hartland, WI 53029

Key Plan:



Sheet:

**CHOIR LOFT FLOOR  
PLAN - OVERALL**

Phase:  
**Planning Commission  
Submittal**

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date	Description

Date:  
12.06.19

Project No:  
1900066.01

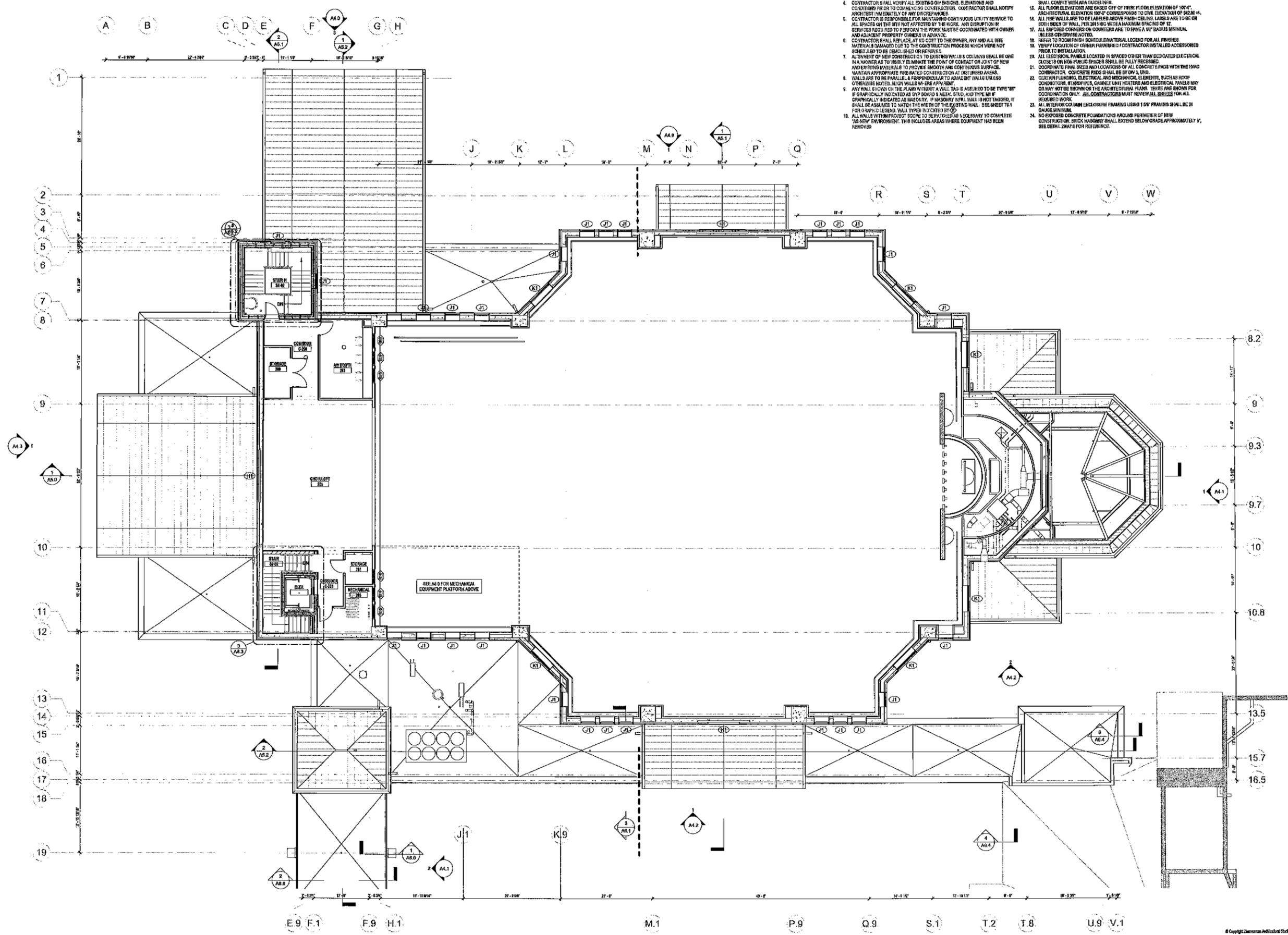
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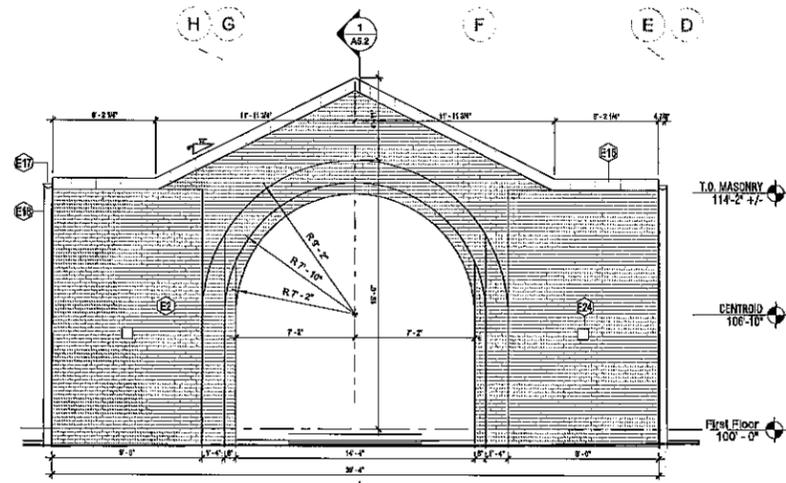
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**GENERAL CONSTRUCTION NOTES:**

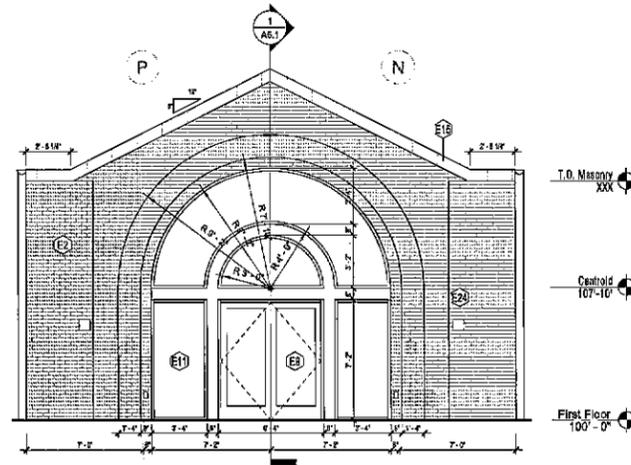
- EXISTING WALLS TO REMAIN
- NEW WALL CONSTRUCTION
- UNEXCAVATED AREAS

1. PORTION OF BUILDING SHOWN IN DASHED (DWA) TO BE EXISTING BASE BUILDINGS WHICH ARE TO REMAIN.
2. SEE SHEET T-1 FOR OBSERVATIONS AND SYMBOL LEGEND.
3. COORDINATE THIS PROJECT WITH OWNER TO DETERMINE INTERIM LIFE SAFETY ROUTES IF APPLICABLE. COORDINATE ANY CONFLICTS WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES ON THE SITE NOT AFFECTED BY THE WORK. ANY DISRUPTION IN SERVICES MUST BE COORDINATED WITH OWNER AND ADJUSTMENT PROCEEDS IN ADVANCE.
6. CONTRACTOR SHALL REPLACE AT ITS COST TO THE OWNER, ANY AND ALL SITE MATERIALS DAMAGED DUE TO THE CONSTRUCTION PROCESS WHICH WERE NOT SCHEDULED TO BE DEMOLISHED OR REMOVED.
7. ALIGNMENT OF NEW CONSTRUCTION TO EXISTING WALLS & COLUMNS SHALL BE ONE IN A HUNDRED AS TO ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS TO PROVIDE SMOOTH AND CONTINUOUS SURFACE. MAINTAIN APPROPRIATE FIRE-RATED CONSTRUCTION AT DISTURBED AREAS.
8. WALLS ARE TO BE PARALLEL & PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIEN WALLS WHERE APPLICABLE.
9. ANY WALL SHOWN ON THE PLAN WITHOUT A WALL TAG IS ASSUMED TO BE TYPE "BF" IF GRAPHICALLY INDICATED AS DRY BRICK & TYPE "M" IF GRAPHICALLY INDICATED AS MASONRY. IF MASONRY IN-FILL WALL IS NOT TAGGED, IT SHALL BE ASSUMED TO MATCH THE WIDTH OF THE EXISTING WALL. SEE SHEET T-1 FOR COMPLETE LEGEND. WALL TYPES TAGGED BY (C).
10. ALL WALLS WITHIN PROJECT SCOPE TO BE PATTERED AS A SOLIDARY TO COMPLETE THE NEW ENVIRONMENT. THIS INCLUDES AREAS WHERE EQUIPMENT HAS BEEN REMOVED.
11. WHERE MASONRY IS REMOVED AND BACKPATCHED, OR WHERE OPENINGS ARE FILLED, PROVIDE MASONRY AND GROUT TO MATCH. TOOTH IN ALL IN-FILL SO AS TO CREATE A SEAMLESS END PRODUCT.
12. MINGE SIDE OF ROUGH OPENINGS FOR DOORS ARE TYPICALLY 4" FROM ADJACENT PERPENDICULAR WALL. UNLESS NOTED OTHERWISE.
13. PROVIDE BOOKING AT ALL WALLS. HANG EQUIPMENT AND FURNITURE AS REQUIRED.
14. ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ADA GUIDELINES.
15. ALL FLOOR ELEVATIONS ARE BASED OFF OF FIRST FLOOR ELEVATION OF 100'-0". ARCHITECTURAL ELEVATION 10'-0" CORRESPONDS TO GIVE ELEVATION OF 90'-0".
16. ALL FIRE WALLS ARE TO BE LABELED ABOVE FINISH CEILING. LABELS ARE TO BE ON BOTH SIDES OF WALL. PERIODS 180 WITH A MAXIMUM SPACING OF 12".
17. ALL EXPOSED CORNERS ON COVERTERS ARE TO HAVE A 1/2" RADIUS MINIMUM. UNLESS OTHERWISE NOTED.
18. REFER TO ROOM FINISH SCHEDULE MATERIAL LEGEND FOR ALL FINISHES.
19. VERIFY LOCATION OF OWNER FURNISHED / CONTRACTOR INSTALLED ACCESSORIES PRIOR TO INSTALLATION.
20. ALL ELECTRICAL PANELS LOCATED IN SPACES OTHER THAN DEDICATED ELECTRICAL CLOSET OR NON-PUBLIC SPACES SHALL BE FULLY RECESSED.
21. COORDINATE FINAL SIZES AND LOCATIONS OF ALL CONCRETE PADS WITH THE HVAC CONTRACTOR. CONCRETE PADS SHALL BE BY DWG. & UNO.
22. COORDINATE ALL MECHANICAL AND ELECTRICAL ELEMENTS, SUCH AS ROOF CONDUCTORS, STAIRPIPES, CABINET UNIT HEATERS AND ELECTRICAL PANELS MAY OR MAY NOT BE SHOWN ON THE ARCHITECTURAL PLANS. THESE ARE SHOWN FOR COORDINATION ONLY. ALL CONTRACTORS MUST REVIEW ALL SHEETS FOR ALL REQUIRED WORK.
23. ALL MECHANICAL COLUMN ENCLOSURE FRAMING USING 1 1/2" FRAMING SHALL BE 2" GAUGE MINIMUM.
24. NO EXPOSED CONCRETE FOUNDATIONS AROUND PERIMETER OF NEW CONSTRUCTION OR BRICK MASONRY SHALL EXTEND BELOW GRADE APPROXIMATELY 8". SEE DETAIL DWG. FOR REFERENCES.



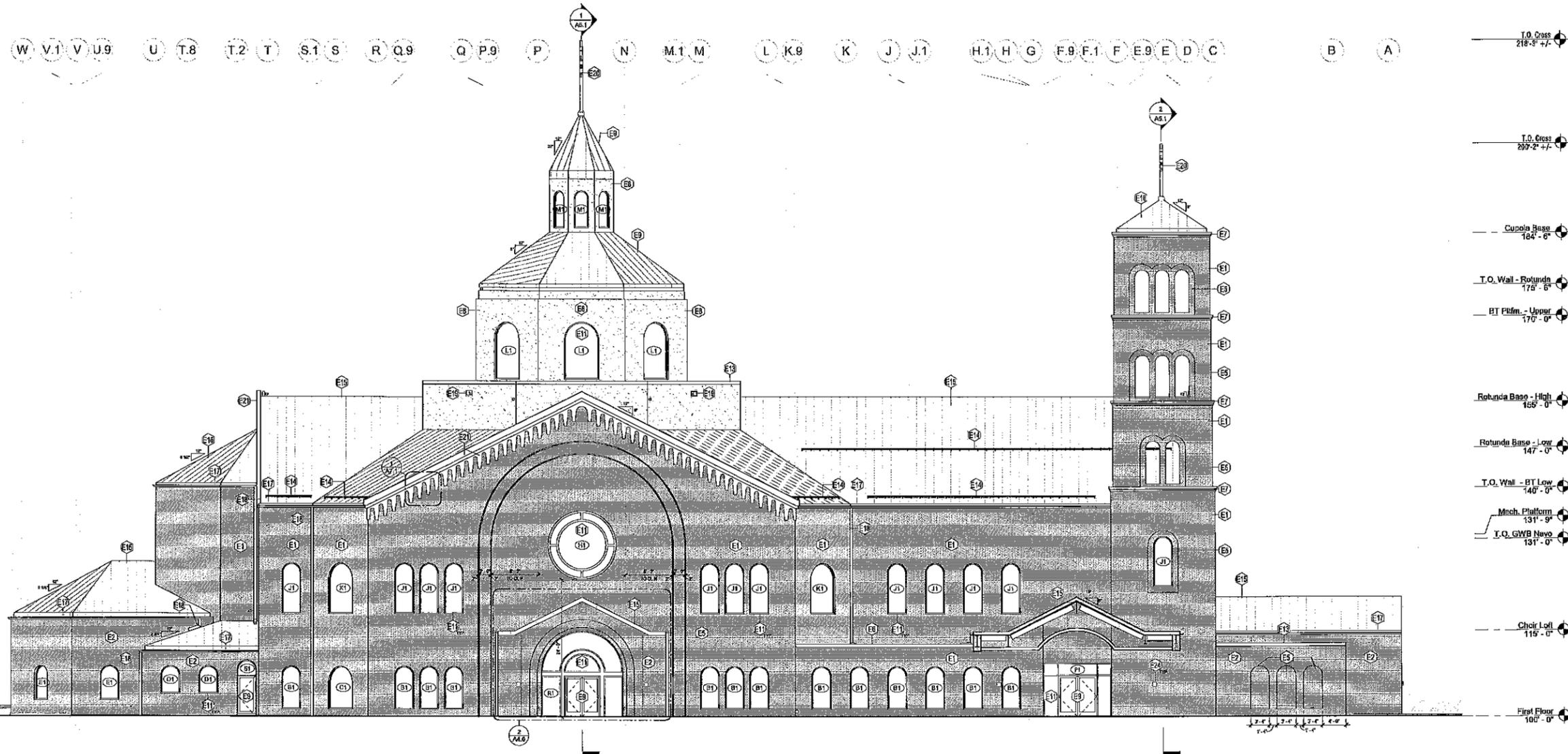


3 NORTH PORTE COCHERE ELEVATION  
10' - 11"



2 ENLARGED NORTH ENTRY ELEVATION  
10' - 11"

ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
E1	PRECAST CONCRETE WALL PANEL w/ THIN SET MODULAR BRICK MASONRY (COLOR: TANNY EDGE - TO MATCH EXISTING CHURCH)
E2	MODULAR BRICK MASONRY w/ STEEL STUD CAVITY WALL (COLOR: TANNY EDGE - TO MATCH EXISTING CHURCH)
E3	MODULAR BRICK MASONRY w/ STEEL STUD CAVITY WALL (COLOR: MORTAREY - TO MATCH EXISTING CHURCH)
E4	ASIAN STONE BATTERED WALL ASSEMBLY - TO MATCH EXISTING
E5	PROCESS W/ MASONRY - 1"
E6	CAST STONE SILL
E7	CAST STONE CORNICE
E8	EPDS GLAZING
E9	ANODIZED ALUMINUM STOREFRONT DOOR (COLOR: MEDIUM BRONZE)
E10	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: MEDIUM BRONZE)
E11	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: CLEAR ANODIZED)
E12	PREPR. ALUMINUM COPING
E13	PREFINISHED ALUMINUM SNOW GUARD
E14	METAL STANDING SEAM ROOFING SYSTEM (COLOR: TERACOTTA)
E15	METAL STANDING SEAM ROOFING SYSTEM (COLOR: GOLD)
E16	1/2" RIGID GUTTER
E17	1" RIGID DOWNSPOUT
E18	OVERFLOW SCUPPER FLASH PER SMACNA STANDARDS
E19	CHURCH CROSS - BY OWNER
E20	FLYCOR DENTIL SPORRANCE
E21	MECHANICAL EQUIP. - SEE MECH DRAWINGS
E22	ELECTRICAL EQUIP. - SEE ELEC DRAWINGS
E23	LIGHTING FIXTURE - SEE ELEC DRAWINGS
E24	DECORATIVE BRONZE EXTERIOR DOOR
E25	CHINA BRICK CAVITY WALL (COLOR: TANNY EDGE - TO MATCH EXISTING CHURCH)
E26	PREPR. ALUM COPING - PREP. COLOR TO MATCH EXIST.



1 North Exterior Elevation  
10' - 11"

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

Consultant:  
  
Project:  
St. Charles Church Addition

Location:  
313 Cicero Drive  
Hartland, WI 53029

Key Plan:

Sheet:  
EXTERIOR ELEVATIONS  
- NORTH

Phase:  
Planning Commission  
Submittal

Scale:  
As Indicated

Revisions:

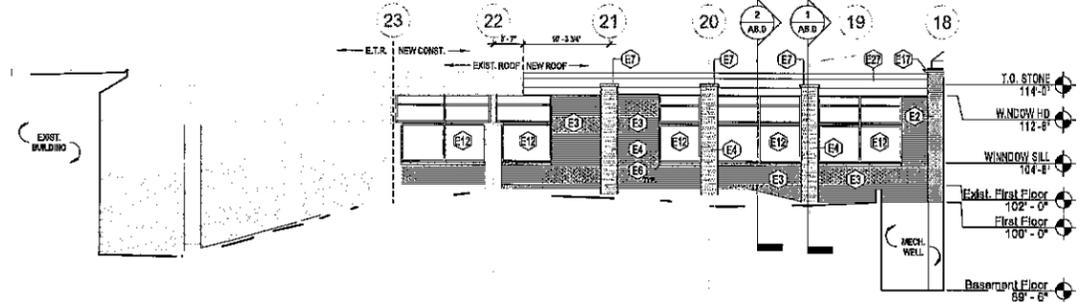
No.	Date	Description

Date:  
12.08.16

Project No:  
160888.01

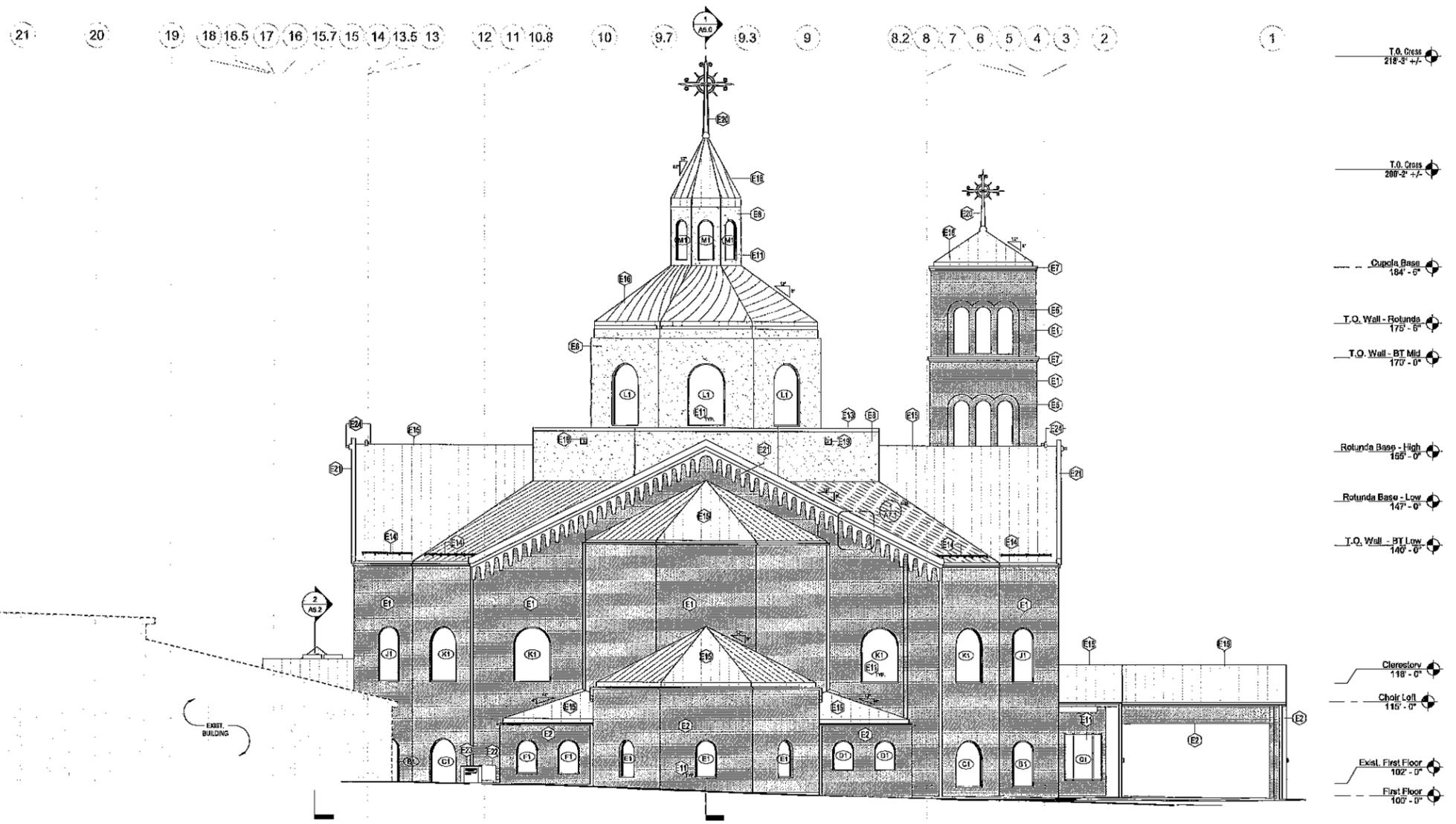
Sheet No:

A4.0



2 EAST CORRIDOR C-105 ELEVATION  
1/8" = 1'-0"

ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
E1	PRECAST CONCRETE WALL PANEL w/ THIN SET MODULAR BRICK MASONRY (COLOR: TAWNY BEIGE - TO MATCH EXISTING CHURCH)
E2	MODULAR BRICK MASONRY (STEELE STUD CAVITY WALL - COLOR: TAWNY BEIGE - TO MATCH EXISTING CHURCH)
E3	MODULAR BRICK MASONRY (STEELE STUD CAVITY WALL - COLOR: MONTEREY - TO MATCH EXISTING SCHOOL)
E4	ASSEMBLY TYPE EXTERIOR WALL ASSEMBLY - TO MATCH EXISTING
E5	RECESS IN MASONRY - 1"
E6	CAST STONE SILL
E7	CAST STONE CORNICE
E8	EXIST. CLADDING
E9	ANODIZED ALUMINUM STOREFRONT DOOR (COLOR: MEDIUM BRONZE)
E10	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: MEDIUM BRONZE)
E11	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: CLEAR ANODIZED)
E12	PREFIN. ALUMINUM CORNING
E13	PREFIN. ALUMINUM SNOW GUARD
E14	METAL STANDING BEAM ROOFING SYSTEM (COLOR: TERRACOTTA)
E15	METAL STANDING BEAM ROOFING SYSTEM (COLOR: GOLD)
E16	EXIST. FLASHING IF GUTTER
E17	8" ROUND DOWNSPOUT
E18	OVERFLOW SCUPPER FLASH PER SMACNA STANDARDS
E19	CHURCH CROSS - BY OWNER
E20	1" PIPER DENTIL CORNICHE
E21	MECHANICAL EQUIP. - SEE MECH. DRAWINGS
E22	ELECTRICAL EQUIP. - SEE ELEC. DRAWINGS
E23	LIGHTING FIXTURE - SEE ELEC. DRAWINGS
E24	DECORATIVE BRONZE EXTERIOR DOOR
E25	CAST AND BRICK CAVITY WALL (COLOR: TAWNY BEIGE - TO MATCH EXISTING CHURCH)
E27	PREFIN. ALUM. CORNING - PROFILE/COLOR TO MATCH EXIST.



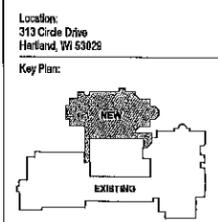
1 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"

**Zimmerman**  
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Consultant:

Project:  
St. Charles Church Addition



Sheet:  
EXTERIOR ELEVATIONS  
- EAST

Phase:  
Planning Commission  
Submittal

Scale:  
1/8" = 1'-0"

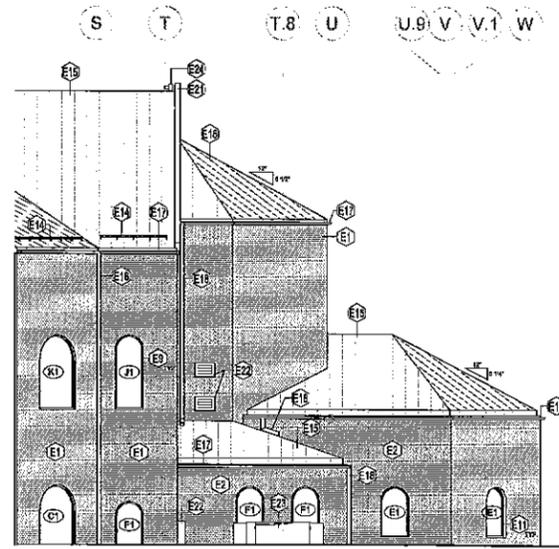
Revisions:

No.	Date	Description

Date:  
12.05.19

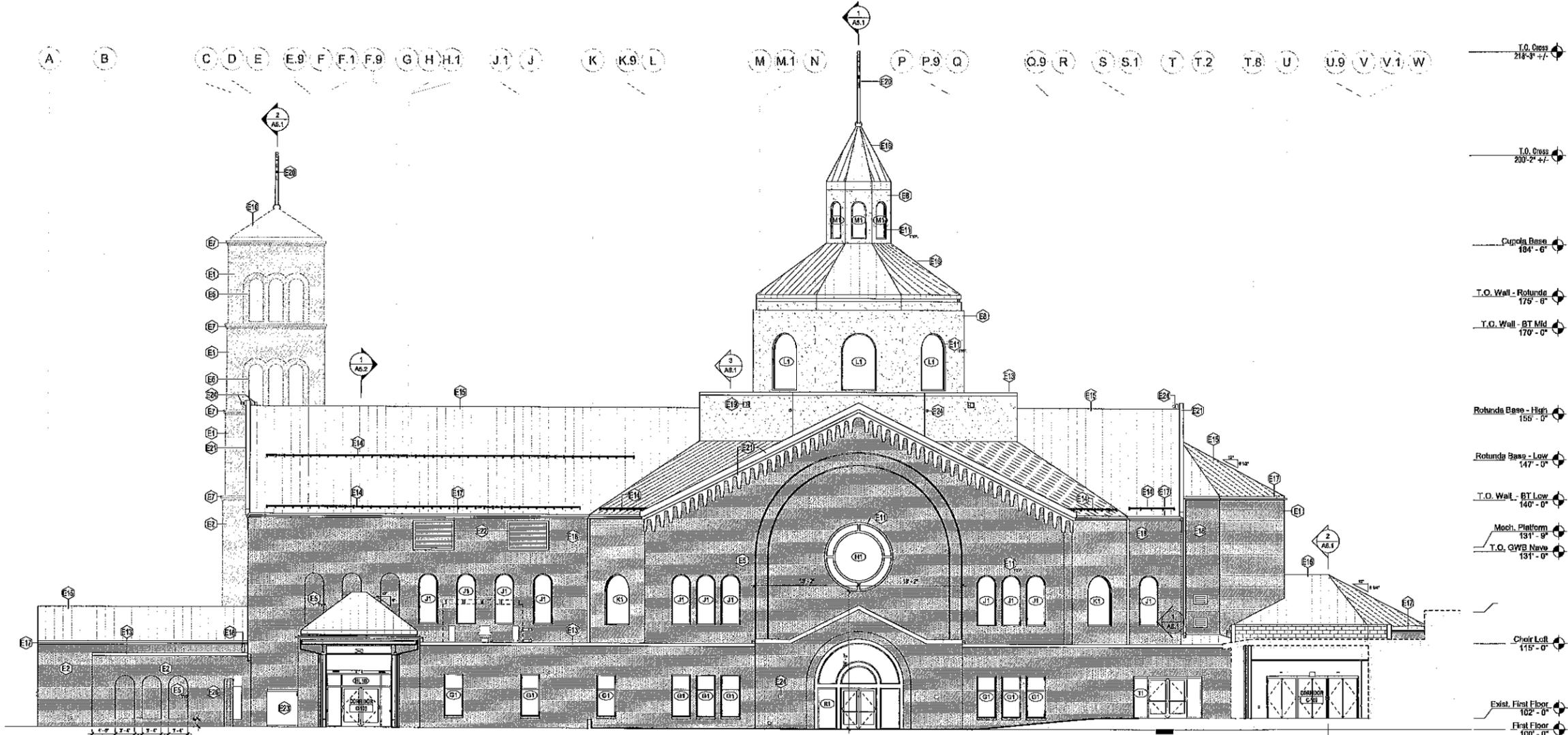
Project No:  
150066.01

Sheet No:



2 SOUTH ELEVATION @ ALCOVE  
1/8" = 1'-0"

ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
E1	PRECAST CONCRETE WALL PANEL w/ THIN SET MODULAR BRICK MASONRY (COLOR: TANNY BRIDGE - TO MATCH EXISTING CHURCH)
E2	MODULAR BRICK MASONRY w/ STEEL STUD CAVITY WALL (COLOR: TANNY BRIDGE - TO MATCH EXISTING CHURCH)
E3	MODULAR BRICK MASONRY w/ STEEL STUD CAVITY WALL (COLOR: MONTENEY - TO MATCH EXISTING SCHOOL)
E4	ASPH/FLY STONE BATTERED WALL ASSEMBLY - TO MATCH EXISTING
E5	RECESS IN MASONRY - 1"
E6	CAST STONE, SIL.
E7	CAST STONE, CORNICE
E8	EYES GLAZING
E9	ANODIZED ALUMINUM STOREFRONT DOOR (COLOR: MEDIUM BRONZE)
E10	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: MEDIUM BRONZE)
E11	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: CLEAR ANODIZED)
E12	PREFINISHED ALUMINUM SNOW GUARD
E13	METAL STANDING BEAM ROOFING SYSTEM (COLOR: TERACOTTA)
E14	METAL STANDING BEAM ROOFING SYSTEM (COLOR: GOLD)
E15	LED ROUND SP GUYWIRE
E16	8" ROUND DOWNSPOUT
E17	OVERFLOW SCUPPER (FLASH PER SMACNA STANDARDS)
E18	CHURCH CROSS - BY OWNER
E19	RYON LIGHTS SIGNAGE
E20	MECHANICAL EQUIP. - SEE MECH DRAWINGS
E21	ELECTRICAL EQUIP. - SEE ELEC. DRAWINGS
E22	LIGHTING FIXTURE - SEE ELEC. DRAWINGS
E23	DECORATIVE BRONZE EXTERIOR DOOR
E24	CAST BRICK CHIMNEY WALL (COLOR: TANNY BRIDGE - TO MATCH EXISTING CHURCH)
E25	PREFIN. ALUM. CORNG. - PROFILE COLOR TO MATCH EXIST.



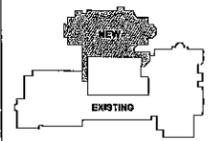
1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com  
TELEPHONE 414 476-8500  
FACSIMILE 414 476-8562

Consultant:  
  
Project:  
**St. Charles Church Addition**

Location:  
315 Circle Drive  
Hartland, WI 53029



Sheet:  
**EXTERIOR ELEVATIONS  
- SOUTH**

Phase:  
**Planning Commission  
Submittal**

Scale:  
1/8" = 1'-0"

Revisions:

No.	Rev.	Describe

Date:  
12.06.19

Project No:  
180088.01

Sheet No:

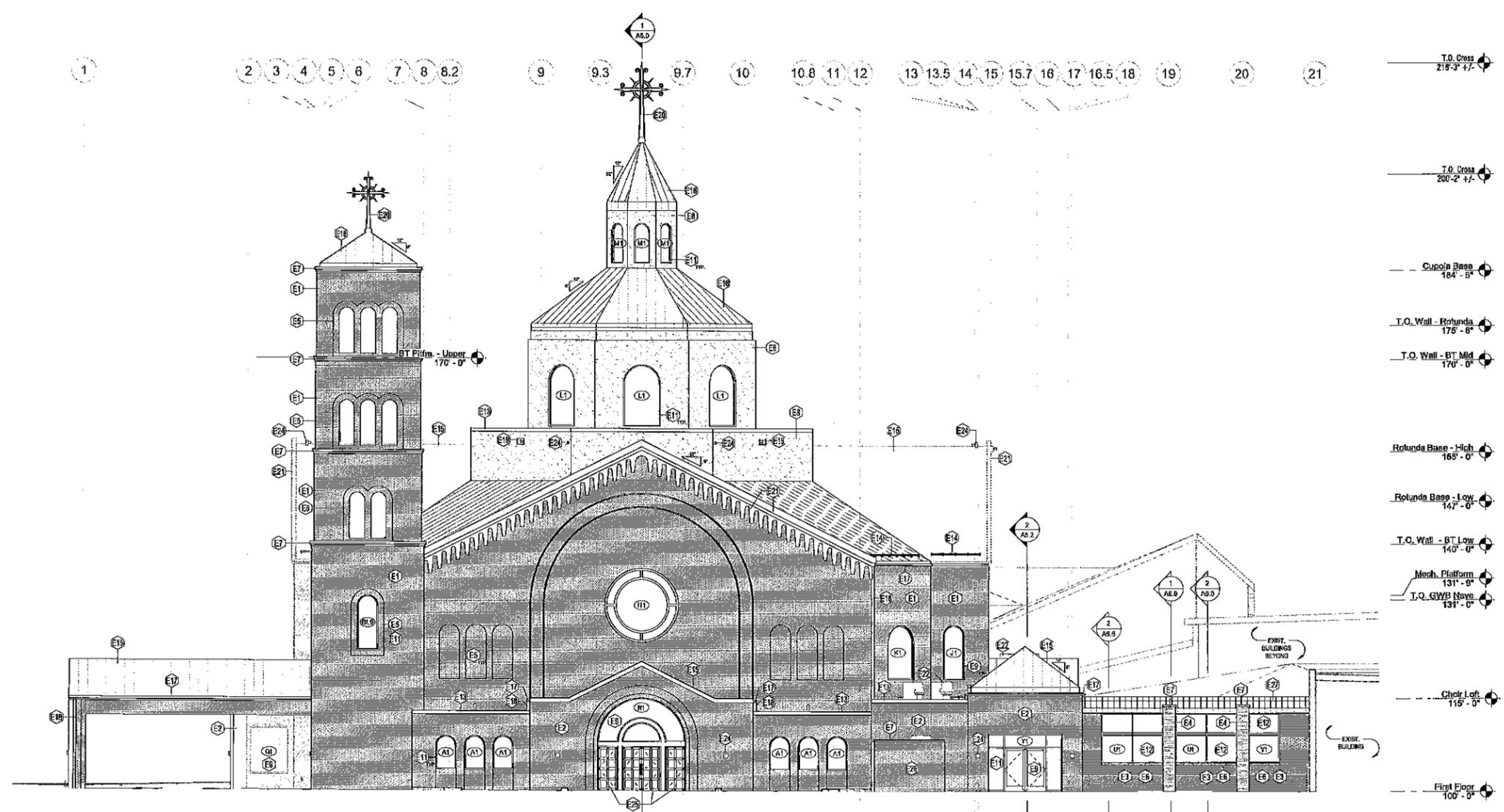
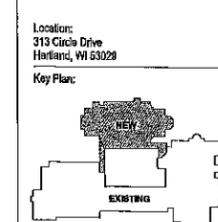
**A4.2**

ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
E1	PRECAST CONCRETE WALL PANEL W/ THIN SET MODULAR BRICK MASONRY (COLOR: TANNY BEIGE - TO MATCH EXISTING CHURCH)
E2	MODULAR BRICK MASONRY / STEEL STUD CAVITY WALL (COLOR: TANNY BEIGE - TO MATCH EXISTING CHURCH)
E3	MODULAR BRICK MASONRY / STEEL STUD CAVITY WALL (COLOR: MOUNTAIN - TO MATCH EXISTING SCHOOL)
E4	MODULAR BRICK MASONRY / STEEL STUD CAVITY WALL ASSEMBLY - TO MATCH EXISTING
E5	RECESS IN MASONRY - 1"
E6	CAST STONE SILL
E7	CAST STONE CORNICE
E8	EPS GLAZING
E9	ANODIZED ALUMINUM STOREFRONT DOOR (COLOR: MEDIUM BRONZE)
E10	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: MEDIUM BRONZE)
E11	ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (COLOR: CLEAR ANODIZED)
E12	PRE-FIN ALUMINUM COPING
E13	PRE-FINISHED ALUMINUM SNOW GUARD
E14	METAL STANDING BEAM ROOFING SYSTEM (COLOR: TERRACOTTA)
E15	METAL STANDING BEAM ROOFING SYSTEM (COLOR: GOLD)
E16	1/2" ROUND 1" GAUTHER
E17	3" ROUND DOWNPOUT
E18	OVERFLOW SCUPPER (FLASH PER SIMONA STANDARDS)
E19	CHURCH CROSS - BY OWNER
E20	PIPKAL DENTIL CORNICE
E21	MECHANICAL EQUIP. - SEE MECH. DRAWINGS
E22	ELECTRICAL EQUIP. - SEE ELEC. DRAWINGS
E23	LIGHTING FIXTURE - SEE ELEC. DRAWINGS
E24	DECORATIVE BRONZE EXTERIOR DOOR
E25	CHU AND BRICK CAVITY WALL (COLOR: TANNY BEIGE - TO MATCH EXISTING CHURCH)
E26	PRE-FIN. ALUM COPING - PROFILE/COLOR TO MATCH EXIST.

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FACSIMILE (414) 476-8882

Consultant:  
  
Project:  
**St. Charles Church Addition**



Sheet:  
**EXTERIOR ELEVATIONS  
- WEST**

Phase:  
Planning Commission  
Submittal

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date	Description

Date:  
12.03.19

Project No:  
190088.01

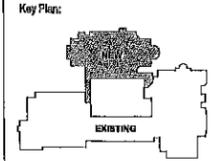
Sheet No:

**A4.3**

Consultant:

Project:  
**St. Charles Church Addition**

Location:  
 313 Circle Drive  
 Hartland, WI 53029



Sheet:  
**BUILDING SECTIONS**

Phase:  
**Planning Commission  
 Submittal**

Scale:  
**1/8" = 1'-0"**

Revisions:

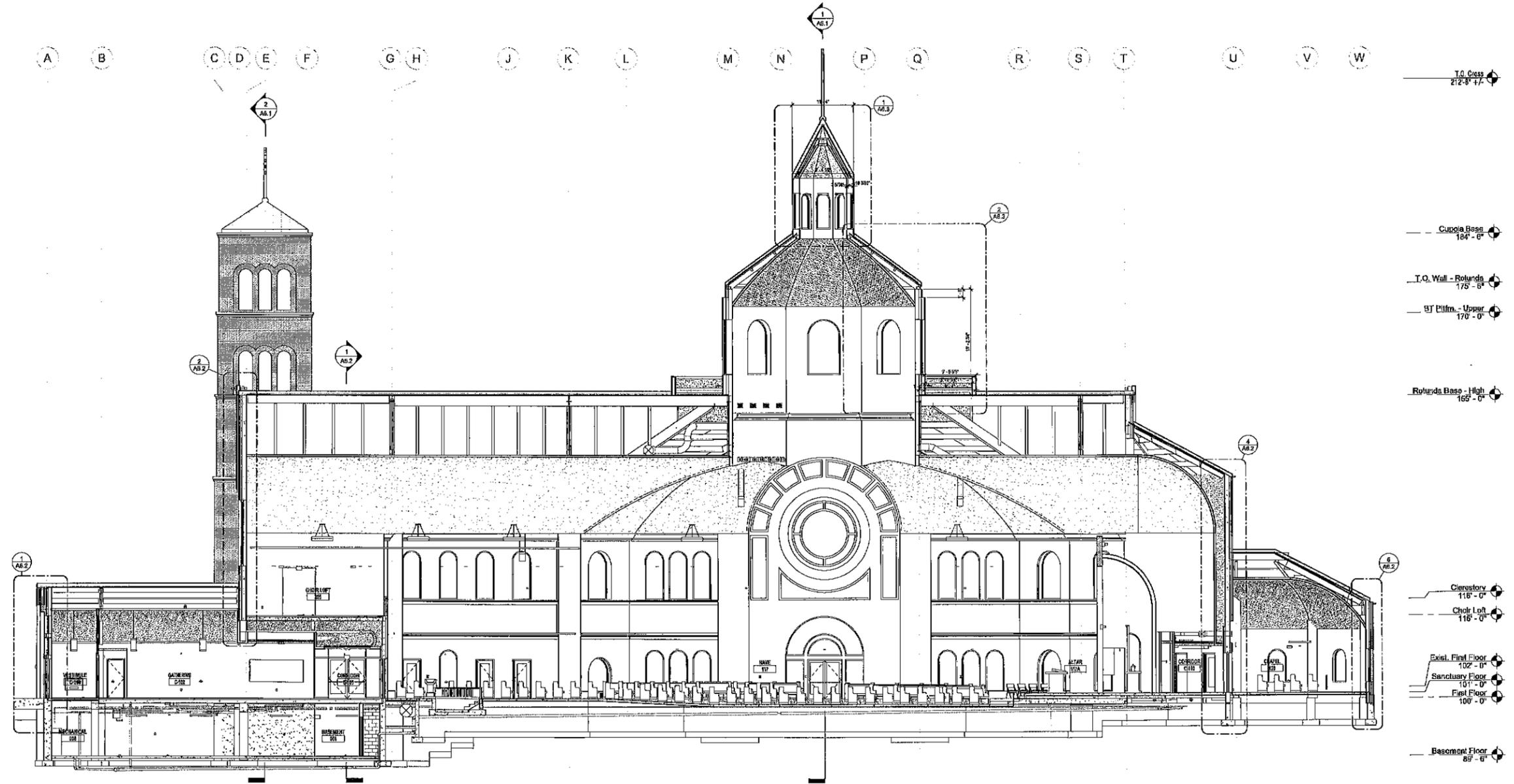
No.	Date	Description

Date:  
 12.06.19

Project No:  
 160068.01

Sheet No:

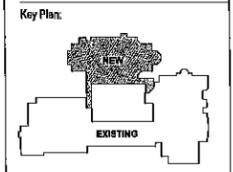
**A5.0**



Consultant:

Project:  
**St. Charles Church Addition**

Location:  
 515 Circle Drive  
 Herland, WI 53029



Sheet  
**BUILDING SECTIONS**

Phase:  
**Planning Commission  
 Submittal**

Scale:  
 1/8" = 1'-0"

Revisions:

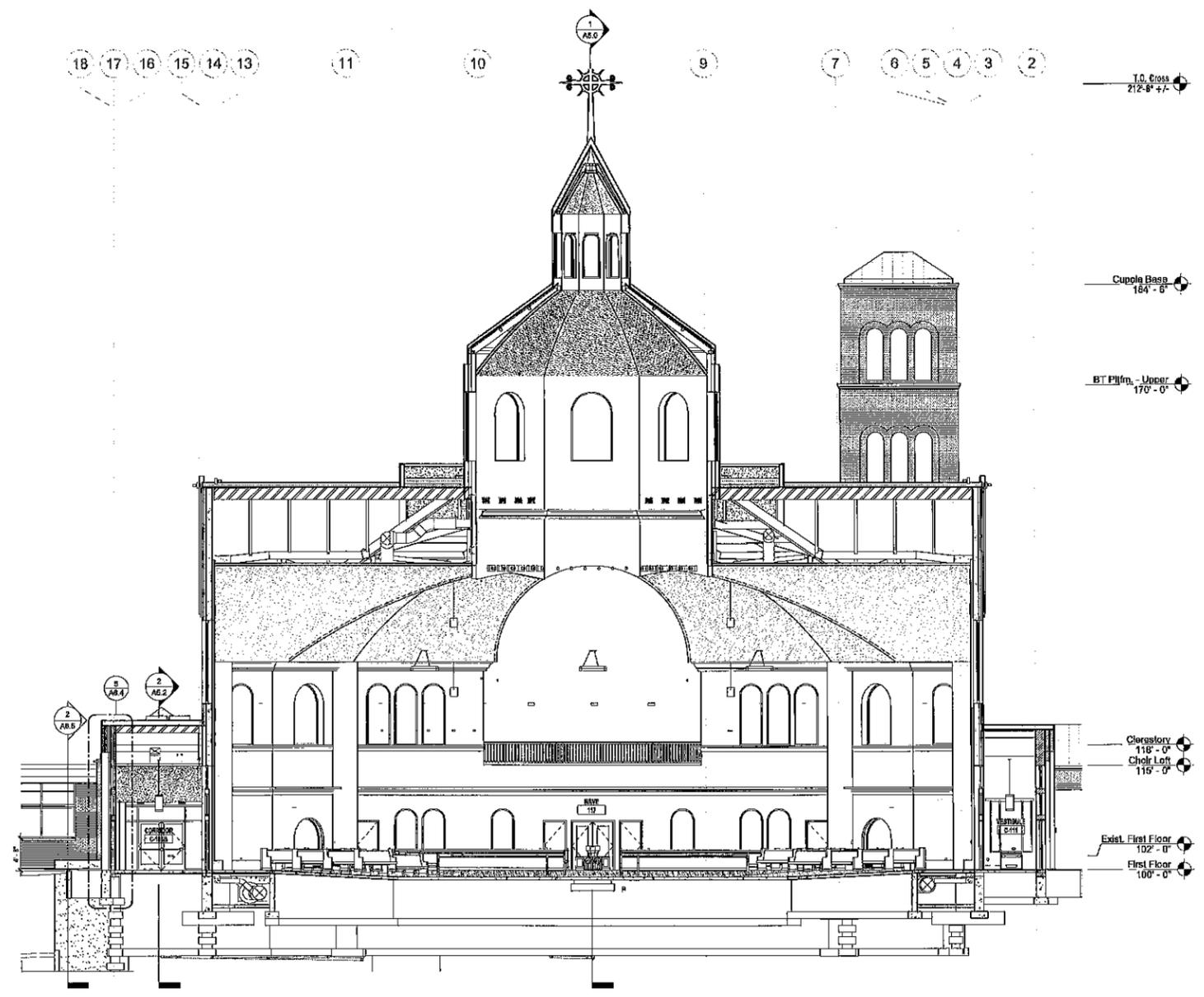
No.	Date	Description

Date:  
 12.06.19

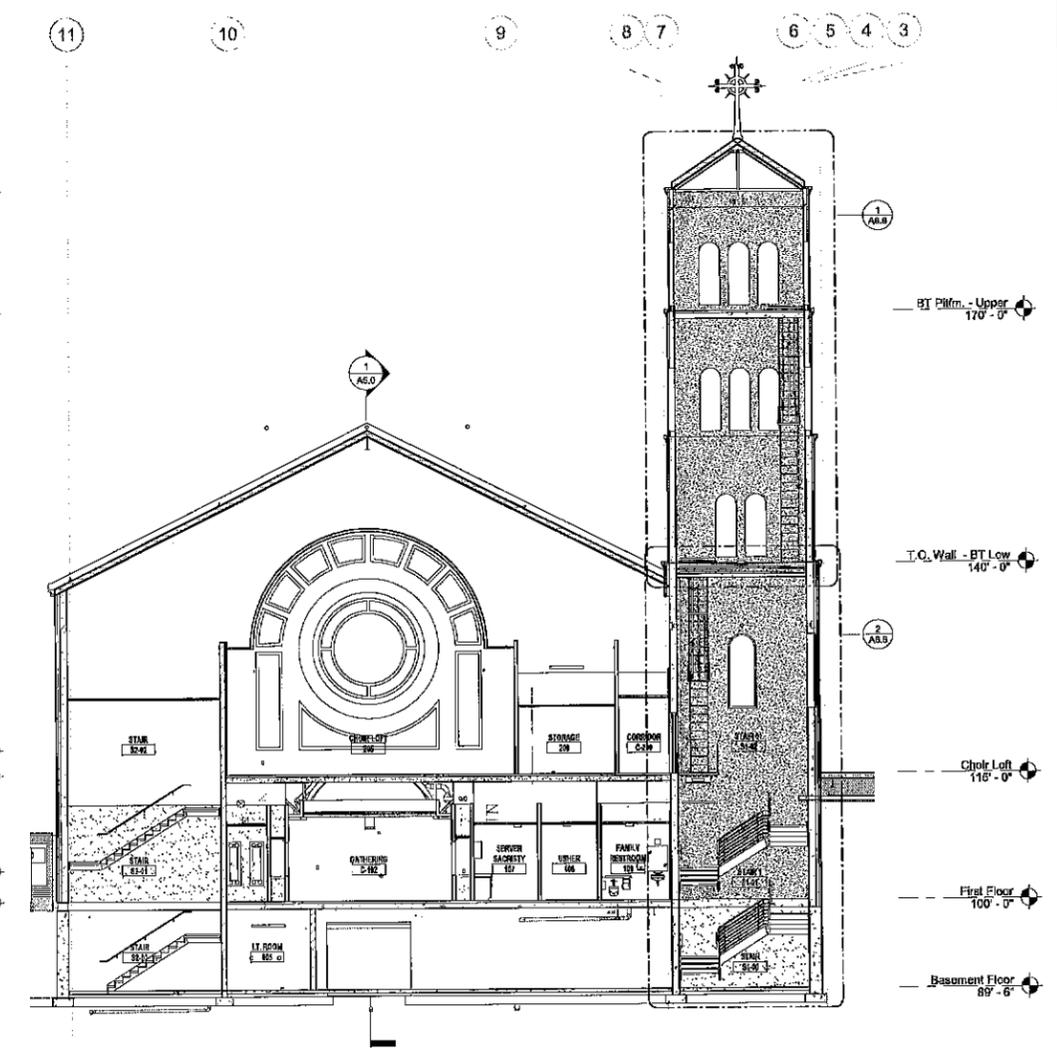
Project No:  
 160028.01

Sheet No:

**A5.1**



**1** N-S BUILDING SECTION 01  
 1/8" = 1'-0"



**2** SECTION @ BELL TOWER/STAIR  
 1/8" = 1'-0"

Consultant:

Project:  
 St. Charles Church Addition

Location:  
 313 Circle Drive  
 Hartford, WI 53029

Key Plan:



Sheet:  
 BUILDING SECTIONS

Phase:  
 Planning Commission  
 Submittal

Scale:  
 1/8" = 1'-0"

Revisions:

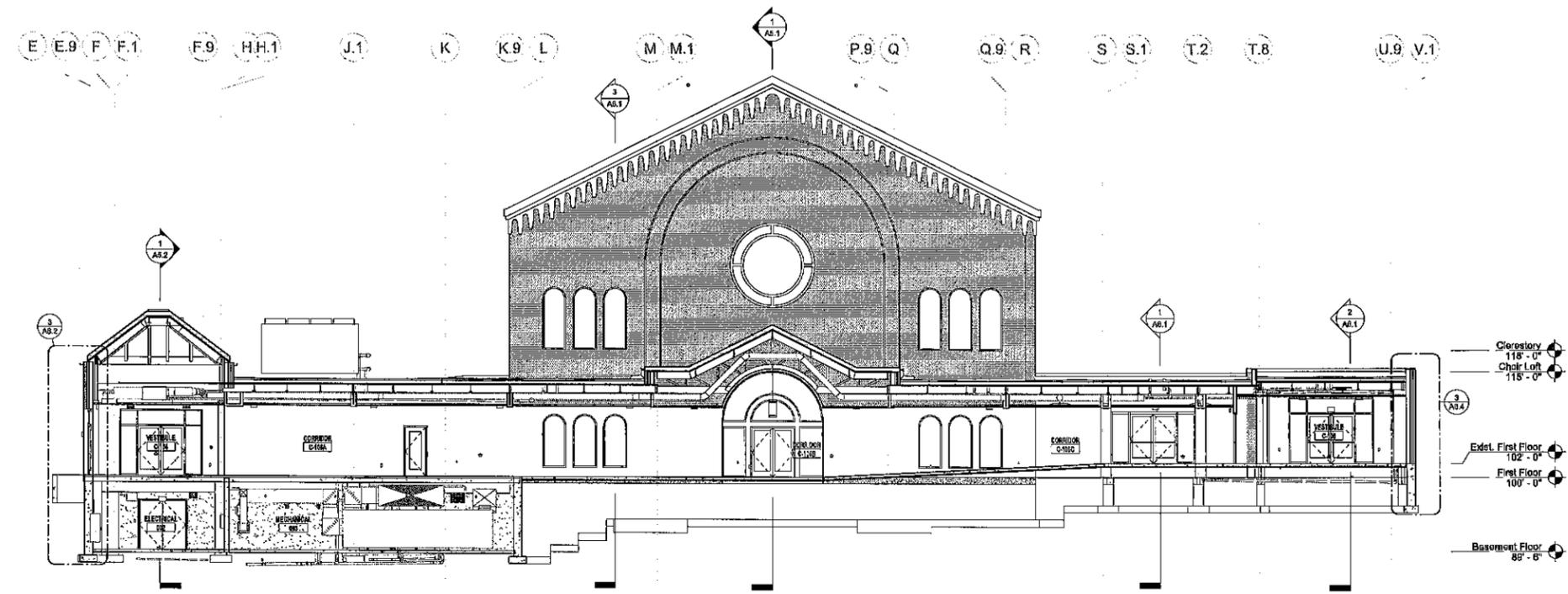
No.	Date	Description

Date:  
 12.06.19

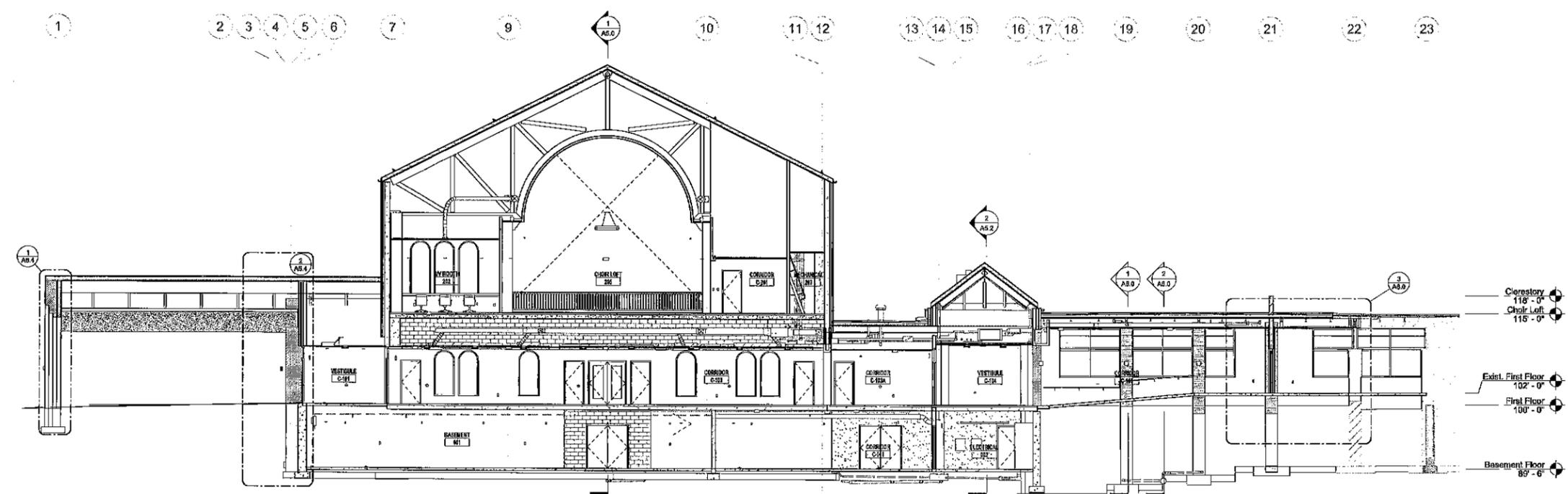
Project No:  
 160088.01

Sheet No:

**A5.2**



**2 SECTION @ CORRIDOR C-104**  
 1/8" = 1'-0"



**1 SECTION @ CORRIDOR C-103**  
 1/8" = 1'-0"

ADELE R GARCIA  
267 HAZEL LN  
HARTLAND WI 53029-1809

ALAN SLEAPER AND DIANE SLEAPER  
624 RENSON RD  
HARTLAND WI 53029

ANDREW D LEMKE  
619 BELSHIRE DR  
HARTLAND WI 53029-1801

ANN C CHARLESWORTH  
613 RENSON RD  
HARTLAND WI 53029

ANTHONY SARDINA AND JEAN  
SARDINA  
226 HAZEL LN  
HARTLAND WI 53029

BARBARA A REZNER FAMILY TRUST  
262 HAZEL LN  
HARTLAND WI 53029

BENJAMIN CARRIVEAU AND  
CASSAUNDR A CARRIVEAU  
251 CARLIN CT  
HARTLAND WI 53029-1805

BOBBY WANGLER AND MARY E  
WANGLER  
626 BELSHIRE DR  
HARTLAND WI 53029-1802

BRIAN ARNDT AND BETH ARNDT  
217 HAZEL LN  
HARTLAND WI 53029

CHARLES & KAREN KVOOL TRUST  
208 HAZEL LN  
HARTLAND WI 53029

CHRISTOPHER R KLAWITTER AND  
ROBERT M KLAWITTER  
618 BELSHIRE DR  
HARTLAND WI 53029-1802

CYNTHIA L CORRIGAN  
612 BELSHIRE DR  
HARTLAND WI 53029

DAISY PROPERTIES LLC  
9700 W BLUEMOUND RD  
WAUWATOSA WI 53226

DALE BORCHARDT AND KAREN  
BORCHARDT  
710 RENSON RD  
HARTLAND WI 53029

DANIEL A LAYMAN  
225 CARLIN CT  
HARTLAND WI 53029

DANIEL A PAVLOVICH  
711 RENSON RD  
HARTLAND WI 53029

DANIEL J ZEUSKE AND KAREN M  
ZEUSKE  
539 RENSON RD  
HARTLAND WI 53029-1825

DAVID & GWENDOLYN STAE TRUST  
279 HAZEL LN  
HARTLAND WI 53029

DAVID ACKLEY AND CAROL ACKLEY  
633 BELSHIRE DR  
HARTLAND WI 53029

DAVID ERICKSON AND PAMELA  
ERICKSON  
710 BELSHIRE DR  
HARTLAND WI 53029

DAVID GREVENKAMP AND ANN  
GREVENKAMP  
618 RENSON RD  
HARTLAND WI 53029

DAVID L VODNIK  
604 BELSHIRE DR  
HARTLAND WI 53029

DEBRA K WOLF  
3017 DUNHAM WOODS RD  
HARVARD IL 60033-9761

DELBERT KRAEMER AND EDNA  
KRAEMER  
545 RENSON RD  
HARTLAND WI 53029

DHCH PROPERTIES LLC  
10225 W CAPITOL DR  
WAUWATOSA WI 53222

EDWARD R HORN AND PATRICIA K  
HORN  
234 CIRCLE DR  
HARTLAND WI 53029

ERIC M GROSS AND CASSIE L GROSS  
717 BELSHIRE DR  
HARTLAND WI 53029-1803

GAIL E SCHNEEBERGER AND JAMES R  
SCHNEEBERGER  
251 CIRCLE DR  
HARTLAND WI 53029

GRANT P HULTMAN AND MARY R  
HULTMAN  
250 CIRCLE DR  
HARTLAND WI 53029

GRANT W BARNES AND BRENDA L  
BARNES  
235 HAZEL LN  
HARTLAND WI 53029-1808

JAMES E KLECKER  
213 CIRCLE DR  
HARTLAND WI 53029

JAMES F ECKERT  
241 CIRCLE DR  
HARTLAND WI 53029

JAMES M SCAFFIDO  
711 BELSHIRE DR  
HARTLAND WI 53029

JAMES MARSCHALEK AND COURTNEY  
MARSCHALEK  
210 NIXON AVE  
HARTLAND WI 53029

JAMES MATTOX  
431 RENSON RD  
HARTLAND WI 53029

JAMES SCHNEIDER AND PAMELA  
SCHNEIDER  
242 NIXON AVE  
HARTLAND WI 53029

JAMES T JANSEN  
233 CARLIN CT  
HARTLAND WI 53029-1805

JASON A CHRISTIANSEN  
280 HAZEL LN  
HARTLAND WI 53029-1808

JASON P ZELLMER  
248 HAZEL LN  
HARTLAND WI 53029

JEANNE R DAVID LIVING TRUST  
253 HAZEL LN  
HARTLAND WI 53029

JESSICA KOEHLER  
211 HAZEL LN  
HARTLAND WI 53029-1808

JOAN M PEDERSEN  
240 CIRCLE DR  
HARTLAND WI 53029-1807

JOHN MARQUARDT AND MARIE  
MARQUARDT  
233 CIRCLE DR  
HARTLAND WI 53029

JOHN R STCLAIR  
334 LAWN ST  
HARTLAND WI 53029

JOINT SCHOOL DISTRICT NO 3  
651 E IMPERIAL DR  
HARTLAND WI 53029-2699

JOSEF C LESNIEWSKI  
223 HAZEL LN  
HARTLAND WI 53029-1808

JOSEPH P KLEIST AND ANDREA M  
KLEIST  
218 CIRCLE DR  
HARTLAND WI 53029-1807

JOSEPH SCHNEIDER  
621 RENSON RD  
HARTLAND WI 53029

LAURA M GROONWALD  
273 HAZEL LN  
HARTLAND WI 53029-1809

LILA JOY GOLL IRREVOCABLE TRUST  
220 NIXON AVE  
HARTLAND WI 53029

LISA A HEDRICK  
423 RENSON RD  
HARTLAND WI 53029-1816

LMJD LLC  
N24W30380 CRYSTAL SPRINGS DR  
PEWAUKEE WI 53072-4274

MARGARET A KRUG REVOCABLE TRUST  
705 RENSON RD  
HARTLAND WI 53029-1821

MARK J KOSKI AND AMY L KOSKI  
240 CARLIN CT  
HARTLAND WI 53029

MARNI A SCHWENKER  
274 HAZEL LN  
HARTLAND WI 53029-1808

MARY A DOYNE  
247 HAZEL LN  
HARTLAND WI 53029

MATTHEW J WILLERT  
328 LAWN ST  
HARTLAND WI 53029

MAX J & JUDITH HORWATICH TRUST  
722 BELSHIRE DR  
HARTLAND WI 53029

MICHAEL SCHIRMER AND SALLY  
SCHIRMER  
718 RENSON RD  
HARTLAND WI 53029

MICHAEL WARREN AND JEFFREY  
WARREN  
632 BELSHIRE DR  
HARTLAND WI 53029-1802

MICHAEL WIDERHOLT AND ERICA  
WIEDERHOLT  
218 HAZEL LN  
HARTLAND WI 53029

P M WALKER PROPERTIES LLC  
143 E CAPITOL DR  
HARTLAND WI 53029

PAMELA S RICK  
716 BELSHIRE DR  
HARTLAND WI 53029

PATRICK DECLEENE AND CYNTHIA G  
DECLEENE  
627 BELSHIRE DR  
HARTLAND WI 53029

PETER & JUDITH ROIDT TRUST  
212 HAZEL LN  
HARTLAND WI 53029

PETER & VILLA JOHNSON TRUST  
259 HAZEL LN  
HARTLAND WI 53029

RAYMOND HOLDEN AND PEGGY  
HOLDEN  
250 NIXON AVE  
HARTLAND WI 53029

REX & JEANNETTE FORD TRUST  
227 CIRCLE DR  
HARTLAND WI 53029

RICHARD E LANDWEHR AND CAROL L  
LANDWEHR  
705 BELSHIRE DR  
HARTLAND WI 53029

RICHARD W ROCKWELL AND LISA ANN  
KOHLE  
241 HAZEL LN  
HARTLAND WI 53029-1808

RICKY LOW AND KELLY LOW  
612 RENSON RD  
HARTLAND WI 53029

ROBERT & ELIZABETH EBERHARDY  
JOINT REVOCABLE TRUST  
285 HAZEL LN  
HARTLAND WI 53029

ROBERT FRANZ JR AND AMY FRANZ  
632 RENSON RD  
HARTLAND WI 53029

ROBERT J COMPTON AND KAREN M  
COMPTON  
719 RENSON RD  
HARTLAND WI 53029-1821

ROBERT M CLAFFEY  
702 RENSON RD  
HARTLAND WI 53029

ROBERT WISNIEWSKI AND VALERIE  
WISNIEWSKI  
511 RENSON RD  
HARTLAND WI 53029

ROBERT WISNIEWSKI AND VALERIE  
WISNIEWSKI  
511 RENSON RD  
HARTLAND WI 53029

ROSS A & KARLA A BLANK REVOCABLE  
LIVING TRUST  
611 BELSHIRE DR  
HARTLAND WI 53029

RYAN KARTZ AND ANTOINETTE KARTZ  
229 HAZEL LN  
HARTLAND WI 53029-1808

SCOTT ZANE AND CINDY ZANE  
286 HAZEL LN  
HARTLAND WI 53029

SHAUN FARRELL AND TRACY FARRELL  
236 NIXON AVE  
HARTLAND WI 53029

ST CHARLES CONGREGATION  
313 CIRCLE DR  
HARTLAND WI 53029

SUSAN M LOPPNOW 2005 LIVING  
TRUST  
604 RENSON RD  
HARTLAND WI 53029

TABETHA A MALECKI AND MARK  
MALECKI  
704 BELSHIRE DR  
HARTLAND WI 53029

THEODORE L GEPNER  
230 NIXON AVE  
HARTLAND WI 53029

THOMAS M FLEMING  
322 LAWN ST  
HARTLAND WI 53029

THOMAS OSTERMANN AND JENNIFER  
OSTERMANN  
241 CARLIN CT  
HARTLAND WI 53029

THOMAS R AND MARCIA A COOK 2018  
LIVING TRUST  
226 CIRCLE DR  
HARTLAND WI 53029-1807

THOMAS SLATTERY AND MAUREEN  
SLATTERY  
268 HAZEL LN  
HARTLAND WI 53029

TIMOTHY ELEYET AND GWEN ELEYET  
340 LAWN ST  
HARTLAND WI 53029

TIMOTHY GAMBATESE  
W253N5082 MCKERROW DR  
PEWAUKEE WI 53072-1303

VERONICA M MYERS TRUST  
603 BELSHIRE DR  
HARTLAND WI 53029

TIMOTHY J CULHANE AND JAMES P  
CULHANE  
723 BELSHIRE DR  
HARTLAND WI 53029

VYTAUTAS AND MERRIE  
BALTRAMONAS REVOCABLE  
207 CIRCLE DR  
HARTLAND WI 53029-1806

TMPN HARTLAND LLC AND HARTLAND  
PLAZA LLC  
11518 N PORT WASHINGTON RD STE  
103  
MEQUON WI 53092-3443

WAUKESHA STATE BANK  
151 E SAINT PAUL AVE  
WAUKESHA WI 53188-3701

VILLAGE OF HARTLAND  
BUSINESS OCCUPANCY  
PERMIT APPLICATION  
PAGE 2

BUSINESS:

Name: GymGutz  
Address: N/A mobile business Unit/Suite No. \_\_\_\_\_  
Phone No: 262 701-7200 FAX No. \_\_\_\_\_

BUSINESS OWNER:

Name: Benji Rossmann  
Address: 1020 Christopher Ct Oconomowoc WI  
Day Phone: 262 490 7975 Evening Phone: \_\_\_\_\_ Emergency Phone: \_\_\_\_\_

BUILDING OWNER:

Name: Brian Cass  
Address: W229 N2494 County Rd F Waukesha, WI 53186  
Day Phone: 262 521 9710 Evening Phone: \_\_\_\_\_ Emergency Phone: \_\_\_\_\_

2<sup>ND</sup> EMERGENCY CONTACT:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Emergency Phone: \_\_\_\_\_

CONTACT FOR FIRE DEPARTMENT TO MAKE ARRANGEMENT FOR INSPECTION:

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

DETAILED DESCRIPTION OF BUSINESS OPERATION: Mobile Personal Training

Hours and days of operation: Sam - 9pm M - Sat

Number of full and part time employees on site during each shift (count working owner as an employee): 1 Full  
2 partime

Estimated max. total of customers/clients/visitors on site at one time: N/A  
Number of total off-street parking stalls provided on site: N/A  
Number of above parking stalls dedicated for use by this business: N/A

Describe anticipated method and frequency of deliveries to/from the site, and location on site where loading/unloading/parking of shipping vehicle is to occur: N/A

Describe any activities that may occur outside the building but still on-site such as dumpster, outside storage, equipment, accessory buildings, etc. (Please attach site plan showing these items): N/A

Detailed description of any equipment, operation, device, or process that may emit noise, vibration, or odors from the site: N/A

**BUSINESS OCCUPANCY  
PERMIT APPLICATION  
PAGE 3**

The names and amounts of any noxious or hazardous substances or fumes that may be created, stored, or used on the site: N/A

Describe or sketch area for storage of above substances and any other high fire hazard areas: N/A

Fire extinguisher size, type, and quantity: N/A

Is there a fire sprinkler system: \_\_\_\_\_

Is there an alarm system: \_\_\_\_\_

Heating type and location: \_\_\_\_\_

Describe or sketch gas shut off location: N/A

Describe or sketch electric shut off location: \_\_\_\_\_

Describe or sketch fire sprinkler shut off location: \_\_\_\_\_

Attach a sketch of the area of the building to be used for this business unless all of building is to be used. \_\_\_\_\_

Please note that operation of a business is not allowed until the occupancy permit application has been approved.

You may need to attach additional pages to this application.

If you have questions call Building Inspector at 262-367-4744.

Incomplete applications will not be approved.

Applicant's Signature: [Signature] Date: 12-5-19

**FOR OFFICE USE ONLY**

<b>ZONING DEPARTMENT/BUILDING INSPECTION DEPARTMENT</b>	
Zoning Classification:	
Zoning Approved:	By: _____
Application Approved:	
Permit Number:	
Notes/Conditions:	

<b>FIRE DEPARTMENT</b>	
Site Approved:	By: _____
Notes/Conditions:	

The Hartland Police Department is updating our records for all the businesses in the Village of Hartland. Please provide the information below needed for emergency and after hours contacts for your business. Feel free to add any other pertinent information that would better assist us in dealing with your business needs.

### HARTLAND POLICE DEPARTMENT BUSINESS/KEY HOLDER UPDATE

BUSINESS NAME: GymGuyz  
ADDRESS: N/A  
PHONE: 262 701 7200

#### EMERGENCY AFTER HOURS KEY HOLDERS:

NAME: Benj. Rossman  
ADDRESS: 1020 Christopher Ct  
PHONE: 262 490 7975  
CELL PHONE: " "

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
CELL PHONE: \_\_\_\_\_

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
CELL PHONE: \_\_\_\_\_

Please complete and return to the Hartland Police Department by mail:  
210 Cottonwood Avenue  
Hartland, WI 53029

Or by FAX: 262-369-2224

Thank you for your cooperation.

## GYMGUYZ Business Operations

GYMGUYZ is a mobile personal training franchise that dedicates itself to helping our fellow neighbors and community members by finding an empowering path back to their fitness journey. We have outfitted vans that serve as multi-purpose functions. One, to house our equipment and two, to serve as central hub for our trainers to switch out equipment, when serving different clients that have different regiments and equipment use. We have no physical address or brick and mortar location, that is why I park our van at 418 Merton Ave in Hartland, WI. I also rent a store front from Brian Cass, known as Bronzer Image Tanning for the last 6 years. GYMGUYZ services all of waukesha county and Hartland happens to be right in the middle while I have trainers who live in Oconomowoc, Waukesha, and Menomonee Falls. Many times our trainers will also take our van overnight and return it back, the next morning. I will also take the van home every so often. Thank you for your time and understanding. If you need any other information about GYMGUYZ, please contact me on my personal cell number below.

-Benji Rossman  
owner  
(262)490-7975

418 MERTON LLC  
W229N2494 COUNTY RD F  
WAUKESHA WI 53186-1104

BRYAN LUFTER AND JACQUELINE  
LUFTER  
405 HILL N DALE CIR  
HARTLAND WI 53029

CHRISTOPHER PARKER AND KRISTEN  
PARKER  
408 HILL N DALE CIR  
HARTLAND WI 53029-1503

DANTO WAGS LLC  
WALGREENS COMPANY PO BOX 1159  
DEERFIELD IL 60015-6002

DOUGLAS V TURNER 2007 LIVING  
TRUST  
402 HILL-N-DALE CIR  
HARTLAND WI 53029

HARTLAND SENIOR LIVING LLC  
101 N WACKER DR STE 608  
CHICAGO IL 60606-1726

MATTHEW CHRISTOPHER MILLER  
419 HILL N DALE CIR  
HARTLAND WI 53029-1502

PINE & WHITNALL LLP  
6980 INDUSTRIAL LOOP PO BOX 196  
GREENDALE WI 53129

ROBERT N BERES AND AMANDA BERES  
415 HILL N DALE CIR  
HARTLAND WI 53029-1502

SCOTT CHILES  
414 HILL N DALE CIR  
HARTLAND WI 53029-1503

SUSAN FLOR AND DANIEL FLOR  
36543 NORMANDALE DR  
OCONOMOWOC WI 53066-9458

THOMAS E REBLIN  
N27W27338 WOODLAND DR  
PEWAUKEE WI 53072

TMPN HARTLAND LLC AND HARTLAND  
PLAZA LLC  
11518 N PORT WASHINGTON RD 103  
MEQUON WI 53092

TONYA L BEREND  
212 19TH CT  
ANKANY IA 50021-4629



LAND INFORMATION SYSTEMS DIVISION

# Waukesha County GIS Map



0 107.89 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

**Notes:**

Printed: 12/11/2019





**VILLAGE OF HARTLAND PLAN COMMISSION**

**RESOLUTION NO. \_\_\_\_\_**

**A VILLAGE PLAN COMMISSION RESOLUTION ADOPTING  
THE VILLAGE OF HARTLAND COMPREHENSIVE PLAN**

**WHEREAS**, the Village of Hartland, pursuant to the provisions of Section 62.23 of the Wisconsin Statutes, has created a Village Plan Commission; and

**WHEREAS**, it is the duty and function of the Village Plan Commission, pursuant to Section 62.23(2) of the Wisconsin Statutes and Village of Hartland Ord. § 46-152 (1) and (5), to make and adopt and/or recommend any changes or amendments to the comprehensive plan for the physical development of the Village of Hartland; and

**WHEREAS**, the Village of Hartland requested the Southeastern Wisconsin Regional Planning Commission (SEWRPC) to help prepare a Master Plan for the Village in 2004, which was instrumental in the initial creation of a comprehensive plan.

**WHEREAS**, the plan was then updated/amended in 2010 and adopted as *The Village of Hartland Comprehensive Development Plan:2035* which included elements in accordance with Wis. Stat. § 66.1001 (2) pertaining to:

- (A.) Issues and Opportunities
- (B.) Housing
- (C.) Transportation
- (D.) Utilities and Community Facilities
- (E.) Natural and Cultural Resources
- (F.) Economic Development
- (G.) Intergovernmental Cooperation
- (H.) Land Use
- (I.) Implementation of Specific Actions to Effectuate *The Village of Hartland Comprehensive Development Plan: 2035*

**WHEREAS**, the aforementioned forecasts, inventories, analyses, objectives, land use plan, and implementation recommendations have now been updated with the assistance of SRF Consulting and are set forth in a published report entitled *The Village of Hartland 2045 Comprehensive Plan*;

**WHEREAS**, the Village of Hartland Plan Commission held public meetings to acquaint residents, landowners, and local government officials of the Village and neighboring communities with the plan recommendations, including public informational meetings held by the Plan Commission, and a public hearing held on June 6, 2019;

**WHEREAS**, the Village Plan Commission has considered the plan updates/amendments, including public statements and requests during the planning process, and has proceeded to incorporate, where deemed appropriate, changes to the recommended comprehensive plan; and

**WHEREAS**, the Village Plan Commission considers the plan to be a necessary guide to the future development of the Village and environs.

**NOW, THEREFORE, BE IT RESOLVED**, that pursuant to Section 62.23(3)(b) of the Wisconsin Statutes, the Village of Hartland Plan Commission hereby adopts and places on file with the Village Clerk *The Village of Hartland 2045 Comprehensive Plan* and its attendant recommended land use plan as a guide for the future development of the Village of Hartland and its environs; and

**BE IT FURTHER RESOLVED**, that the Clerk of the Village of Hartland on behalf of the Plan Commission transmit a certified copy of this resolution and *The Village of Hartland 2045 Comprehensive Plan* and its attendant recommended land use plan after recording this action on the adopted plan, to the Board of Trustees of the Village of Hartland, Waukesha County, Wisconsin, to the State Department of Administration, Southeastern Wisconsin Regional Planning Commission, and to Waukesha County, Wisconsin.

Passed and adopted this 16th day of December 2019, by the Village of Hartland Plan Commission.

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Jeffrey Pfannerstill, Chairperson

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Darlene Igl, MMC/WCPC, Village Clerk