

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, JANUARY 20, 2020
6:30 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of December 16, 2019.
2. Architectural Board review and consideration of a sign for Wisconsin Athletic Club, 560 S. Industrial Drive.
3. Architectural Board review and consideration of a sign for Overlook Trails Condominiums, Overlook Drive and Hwy K/Lisbon Road.
4. Architectural Board and Plan Commission review and consideration of a request for a Conditional Use for the operation of an automotive insurance repair business for Mander Collision, 705 Cardinal Lane.
 - a. Preliminary consideration of plans for the proposed Conditional Use.
 - b. Motion to set a Public Hearing to be held during the regular Plan Commission meeting on February 17, 2020.
5. Architectural Board and Plan Commission review and consideration of plans for construction of a new church facility for St. Charles Church, 313 Circle Drive.
6. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
7. Adjourn.

Tim Rhode, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Joint Architectural Board/Plan Commission Agenda

Monday, January 20, 2020

Page 2

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, DECEMBER 16, 2019
6:30 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, James Schneeberger, Tim Hallquist, Tim Fenner, David deCourcy-Bower, Jeff Bierman and Ann Wallschlager. James Schneeberger (arrived at 6:41)
Others Present: Interim Administrator Bailey, Building Inspector Hussinger, Ryan Amtmann and Deputy Clerk Bushey.

Call to Order-

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission Minutes of November 18, 2019.

Motion (Hallquist/deCourcy-Bower) to approve the Jt. Architectural Board/Plan Commission minutes for November 18, 2019, with the correction of Wallschlager being present. Carried (6-0).

2. Architectural Board and Plan Commission review and consideration of plans for construction of a new church facility for St. Charles Church, 313 Circle Drive.

Postponed until January meeting. deCourcy-Bower did comment on concern for traffic pattern and wondered if a traffic study will need to be done. He also said specifics like roofing material, building stone, colors etc. would be helpful for the January meeting.

3. Plan Commission review and consideration of a Plan of Operation for GymGuys, 418 Merton Ave.

Benji Rossman was present to explain GymGuys. He said he owns the business and is also the owner of Bronze image tanning that is located in the strip mall that the van is parked at. He went on to explain that GymGuys does mobile personal training. The van holds the supplies equipment and sometimes they take the van but primarily the van is parked there and the coaches come get different equipment needed from the van. Wallschlager asked if the business is run out of the van and Mr. Rossman commented that it is a mobile business. Wallschlager asked if the Village allows that, and Pfannerstill said yes, the van is on private property. Hussinger commented that he would suggest tying the GymGuys business to the Bronze image tanning. Pfannerstill asked why is he coming to the Village now and Hussinger said because he needs an Occupancy from the Village. Pfannerstill asked if the vehicle will always be registered and Mr. Rossman said yes. Wallschlager asked about snowplowing and Pfannerstill commented that would

be up to the property owner. Fenner commented he would like written confirmation from the property owner.

Motion (deCourcy-Bower/Bierman) to approve the Site Plan for GymGuys contingent on business physical local and if location is no longer rented it can be removed, and a landlord letter stating van has authority to be there. Carried (6-0).

4. Consideration of a motion to approve Resolution 11-18-2019 “A Village Plan Commission Resolution adopting the Village of Hartland Comprehensive Plan”.

Bailey explained he sent this to the Village Attorney to review. deCourcy-Bower said he had looked at it and it looks good.

Motion (Fenner/Schneeberger) to adopt the Resolution 11-18-2019 “A Village Plan Commission Resolution adopting the Village of Hartland Comprehensive Plan”. Carried (7-0).

5. Announcements-

Pfannerstill thanked Bailey for the job he did as interim administrator. He said he worked with everyone as well as doing his own job and knows he will catch the new administrator up to speed. Pfannerstill said the Freeman called to ask about the Comprehensive Plan & Recreation Comprehensive Plan and he feels the Plan Commission should look at things periodically.

6. Adjourn-

Motion (Schneeberger/Bierman) to adjourn. Carried (7-0).

Meeting adjourned at 7:01 pm.

Respectfully submitted by
Recording Secretary,

Deidre Bushéy, Deputy Clerk



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>560 S. Industrial Drive</u>			
Lot	Block	Subdivision	Key No. HAV
Owner <u>KRKC-LLC LLC</u>		EMAIL	Phone
Address <u>10840 W. Rogers St</u>		City <u>West Allis</u>	State <u>WI</u> Zip <u>53227</u>
Contractor <u>Graphic House</u>		Phone <u>715 842 0402</u> FAX	EMAIL
Address <u>400 S. 72nd Ave</u>		City <u>WAUSAU</u>	State <u>WI</u> Zip <u>54401</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 560 S INDUSTRIAL DR TAX KEY # _____
OWNER KRKC-LLC LLC PHONE _____
ADDRESS 10840 W ROGERS ST CITY WESTALLIS STATE WI ZIP 53227
CONTRACTOR GRAPHIC HOUSE INC. PHONE 715-842-0402 x259
ADDRESS 400 S 72ND AVE CITY WAUSAU STATE WI ZIP 54401

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

WISCONSIN
ATHLETIC
CLUB

OVERALL DIMENSIONS OF SIGN 192" X 192" COLOR OF BACKGROUND GREY

SIZE OF LETTERS IN INCHES 25 1/8" COLOR OF LETTERS WHITE

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
ALUMINUM

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 7000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Matt Cepedini DATE 12/27/19

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

S/F NON-LIT PANEL w/ VINYL GRAPHICS
ACM PANELS MOUNTED THROUGH FACES
FLUSH TO BUILDING
PRINTED VINYL GRAPHICS w/ GLOSS LAMINATE

DP1 - White

DP2 - PMS Cool Grey 11c



EXISTING SIGN TO BE REPLACED



CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

ALL RIGHTS RESERVED THIS IS AN ORIGINAL DESIGN CREATED BY GRAPHIC HOUSE, INCORPORATED. THE SUBMITTED DESIGN IS ORIGINAL AND IS PROTECTED UNDER COPYRIGHT LAWS OF THE UNITED STATES, TITLE 17 UNITED STATES CODE. YOU AGREE NOT TO COPY, PHOTOGRAPH, MODIFY OR SHARE DIRECTLY OR INDIRECTLY ANY OF THE FOREGOING HELD BY YOU WITH ANY OTHER PARTY NOR WILL YOU PERMIT ANY THIRD PARTY TO DO ANY OF THE FOREGOING WITHOUT THE WRITTEN CONSENT OF GRAPHIC HOUSE, INC. A DESIGN FEE OF NOT LESS THAN \$5000 WILL BE INVOICED IF THIS DRAWING IS SHARED OR COPIED BY ANYONE WHILE IN YOUR POSSESSION. THIS DOES NOT EXCLUDE ADDITIONAL COMPENSATION THAT MAY BE AWARDED DUE TO COPYRIGHT INFRINGEMENT.

RELEASE AUTH: _____

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY TO CORRECT ANY ERRORS. DISCLAIMER: THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PAINTS, PANTONE OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT



HERAEUS ELECTRO-NITE CO LLC AND
RICHARD A FALK
541 S INDUSTRIAL DR
HARTLAND WI 53029-2323

HM INVESTMENT PARTNERS LLC
581 S INDUSTRIAL DR
HARTLAND WI 53029

JAMES L ORDWAY AND KRISTIN M
ORDWAY
N45W29221 FORSETH DR
HARTLAND WI 53029-2275

JOHN GEBHARD AND TRUDY GEBHARD
N56W28754 CTH K
HARTLAND WI 53029

KRKC-LC LLC
10840 W ROGERS ST
WEST ALLIS WI 53227-1135

SUPERIOR OF WISCONSIN INC AND
EXPERT DISPOSAL SERVICE INC
PO BOX 168
HARTLAND WI 53029-0168

TROMPLER PROPERTIES LLC
580 S INDUSTRIAL DR
HARTLAND WI 53029-2357

WATERTRONICS PROPERTIES LLC
PO BOX 530
HARTLAND WI 53029-0530



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address <u>Overlook Trails Condominiums - Overlook Drive & Hwy K / Lisbon Rd</u>			
Lot	Block	Subdivision <u>Overlook Trails Condominium</u>	Key No. HAVA <u>038799605</u> <u>038799603</u>
Owner <u>Overlook Trails LLC</u>		EMAIL <u>blindgren@neumanncompanies.com</u>	Phone <u>262-542-9200</u>
Address <u>N27W24025 Paul Ct, Suite 100</u>		City <u>Pewaukee</u>	State <u>WI</u> Zip <u>53072</u>
Contractor <u>Stonecraft Studios</u>		Phone <u>414-431-3907</u>	FAX <u>—</u>
Address <u>11717A Dearborn Ave</u>		City <u>Wauwatosa</u>	State <u>WI</u> Zip <u>53226</u>

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

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- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.
- Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 12-27-19 Date of Meeting: _____ Item No. _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION Overlook Trails Condominiums TAX KEY # _____
OWNER Overlook Trails LLC PHONE 262-542-9200
ADDRESS N27W24025 Paul Ct., Suite 100 CITY Pewaukee STATE WI ZIP 53072
CONTRACTOR Stone Craft Studios PHONE 414-431-3907
ADDRESS 11717A W. Dearborn Ave CITY Wauwatosa STATE WI ZIP 53226

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

2 signs each to say "Overlook Trails"

OVERALL DIMENSIONS OF SIGN 6'-3" x 2'-0" COLOR OF BACKGROUND Black Powder Coated Steel
Weathered Cedar Boards (ext)
SIZE OF LETTERS IN INCHES ≈ 12 inches COLOR OF LETTERS Black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Powder Coated Steel

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 2 each @ \$15,000 = \$30,000

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT  Bryan Lindgren DATE 12-18-19

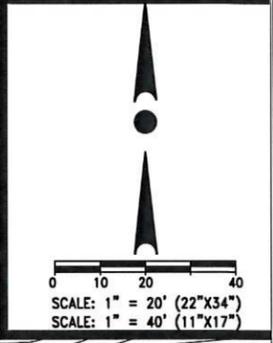
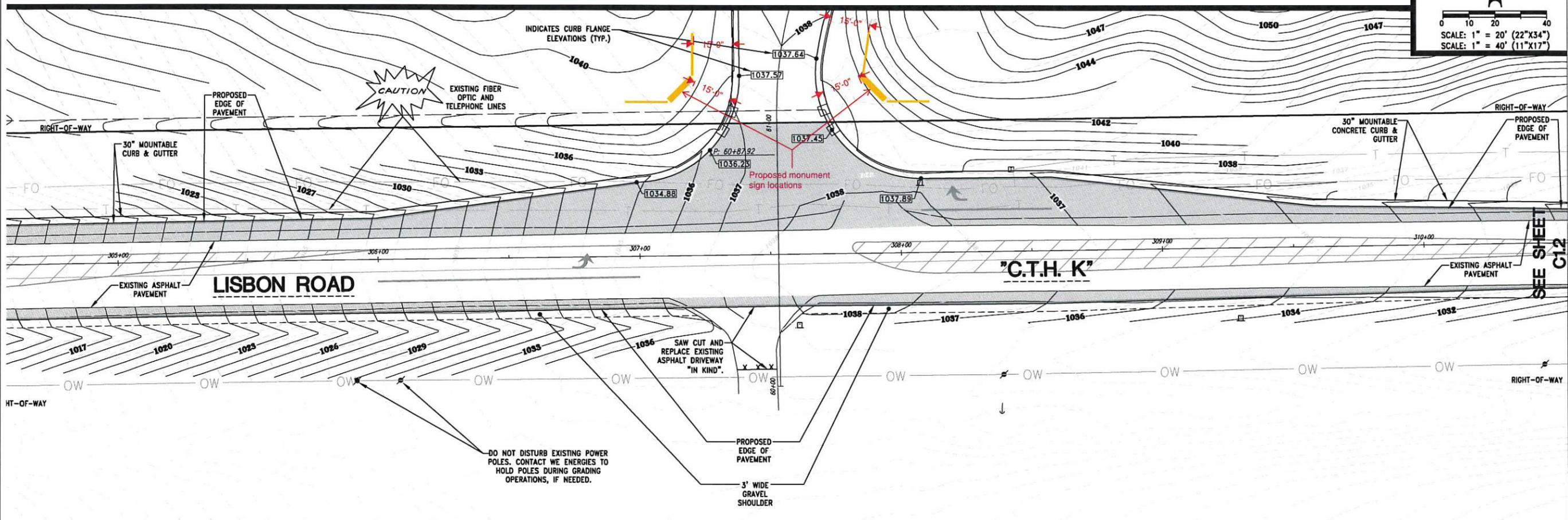
PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ **DATE PAID** _____ **RECEIPT #** _____



Monument sign examples for illustrative purposes



Overlook Trails
Single Family Condominium
Residential Subdivision
Village of Hartland, Wisconsin



FOR VILLAGE REVIEW

issue / revision	date	description
△		
△		
△		
△		
△		
△		
△		

pm la cal

issue date

sheet name
SITE DETAILS

sheet number



12640 W. INGLETH AVENUE, BLDG D
BIRMGHELD, WI 53095
PHONE: (262) 795-1450
FAX: (262) 795-1461
EMAIL: gordon@trioeng.com

Overlook Trails
Single Family Condominium
Residential Subdivision
Village of Hartland, Wisconsin



FOR VILLAGE REVIEW

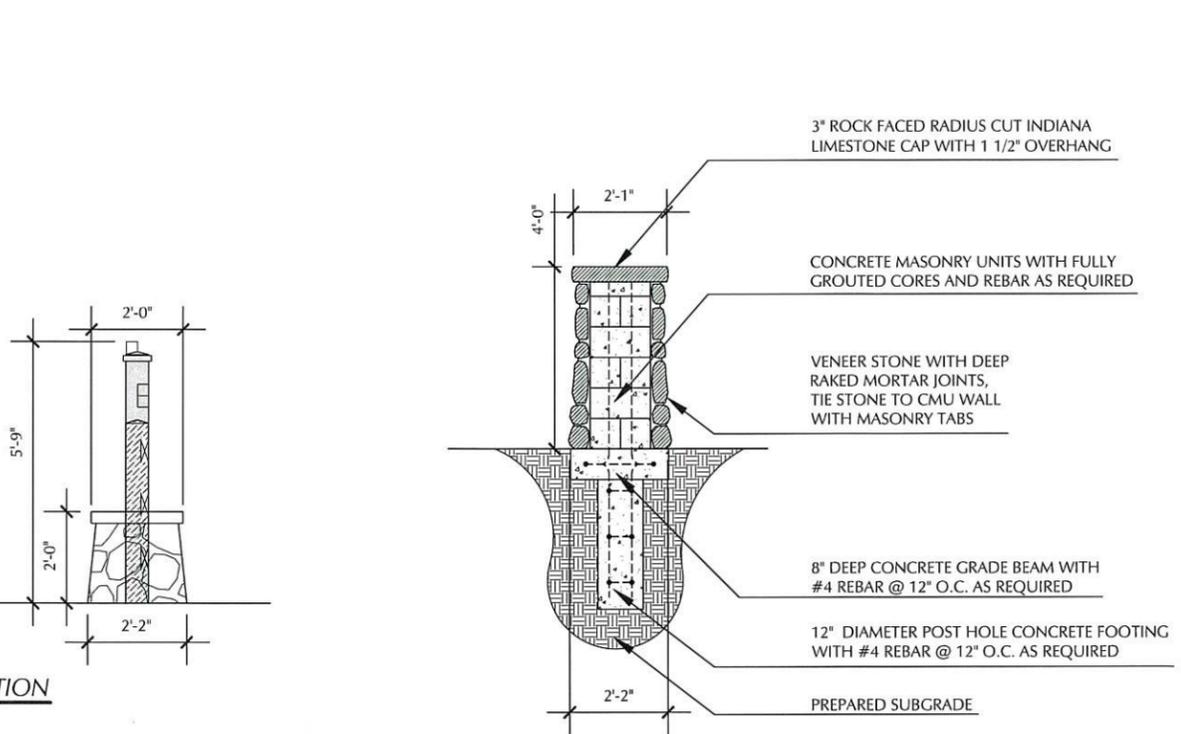
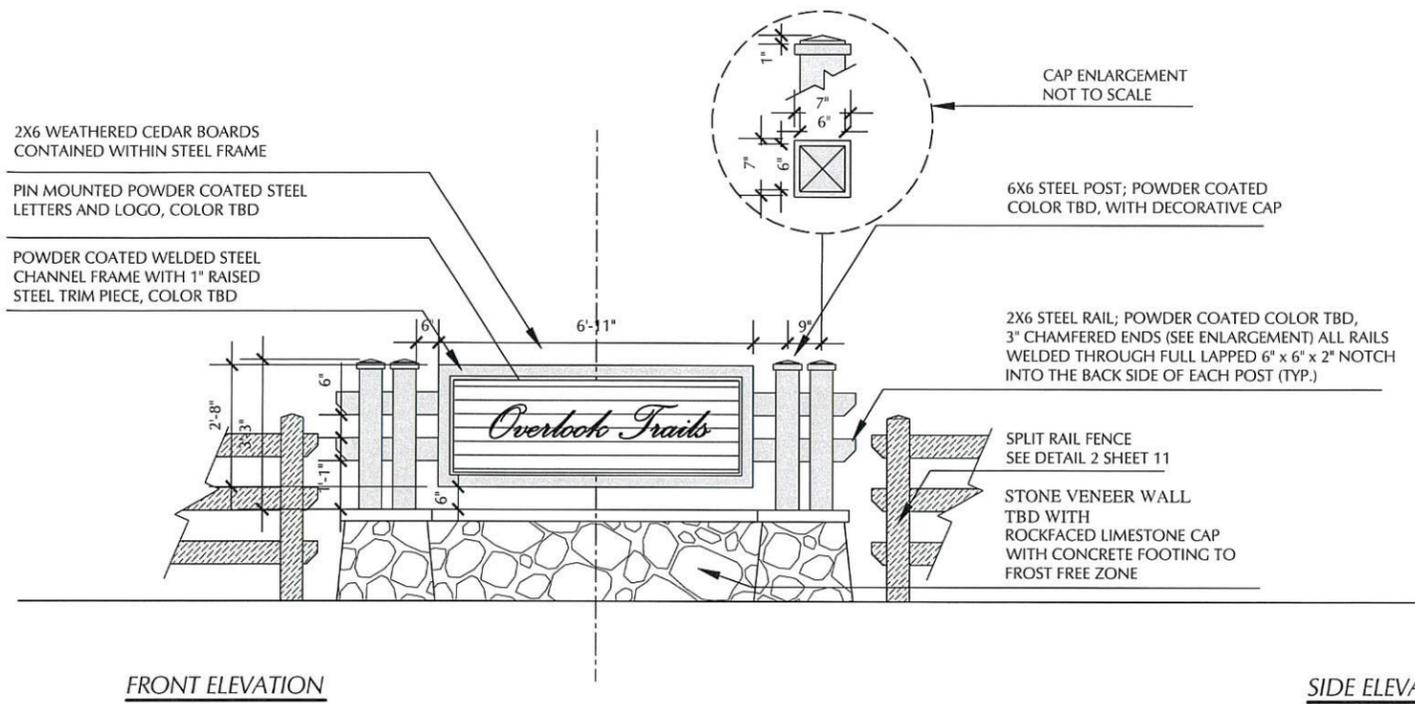
issue / revision	date	description
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pm la cal

issue date

sheet name
SITE DETAILS

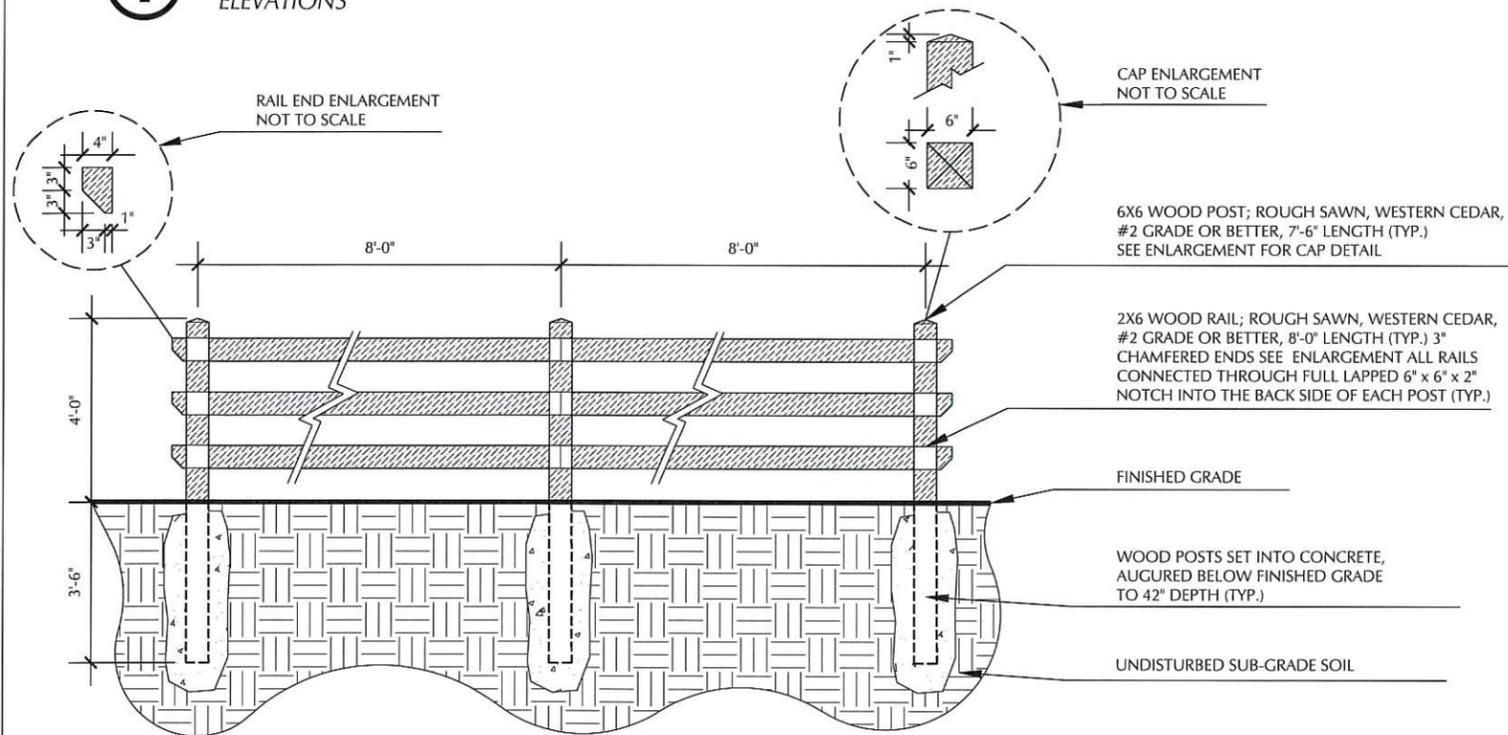
sheet number



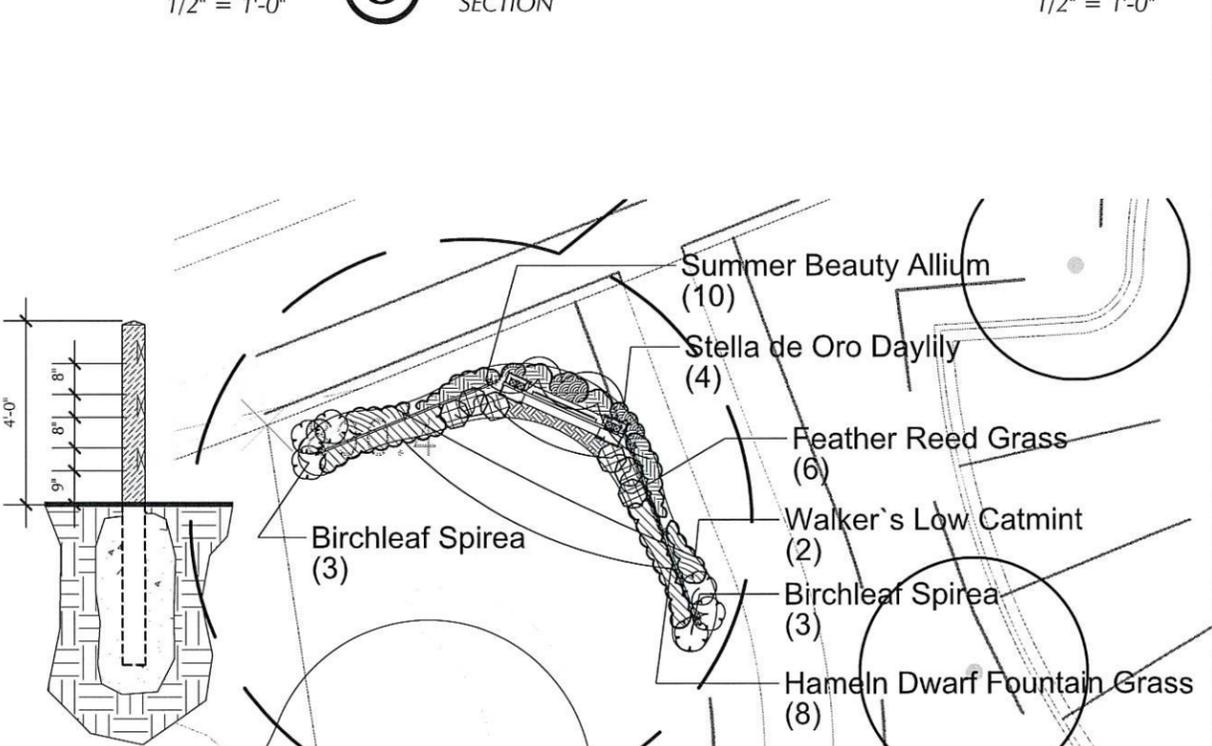
1 NEIGHBORHOOD MONUMENT SIGN
ELEVATIONS

QTY- 2
1/2" = 1'-0"

3 TYPICAL STONE COLUMN AND WALL
SECTION
1/2" = 1'-0"



2 WOOD FENCE
ELEVATION



NOTE:

- TYPICAL PERENNIAL PLANTING (TWO AREAS TOTAL)
- REFER TO MASTER PLANT SCHEDULE SHEET L 13 FOR FINAL PLANT QUANTITIES
- SHOVEL CUT ALL BED LINES

4 PLANTING ENLARGEMENT D (2 AREAS)
ELEVATION
1/8" = 1'-0"

BADER REVOCABLE TRUST
1156 MARY HILL CIR
HARTLAND WI 53029

CAROL M JUNGBLUTH AND
JUNGBLUTH FARMS LLC
W282N5811 WINKLEMAN RD
HARTLAND WI 53029-9105

DAVID S ELARIO AND LAURA I REYES
1162 MARY HILL CIR
HARTLAND WI 53029

JOHN M GEBHARD AND TRUDY B
GEBHARD
N56W28754 COUNTY ROAD K
HARTLAND WI 53029-9108

KRAUSE TRUST
N56W28748 COUNTY ROAD K
HARTLAND WI 53029-9108

KRISTIN B ATANASOFF
1168 MARY HILL CIR
HARTLAND WI 53029-8009

LONGMEADOW DEVELOPMENT LLC
W240N1221 PEWAUKEE RD
WAUKESHA WI 53188

LOT OWNERS OF MARY HILL
6255 UNIVERSITY AVE STE 101
MIDDLETON WI 53562

OVERLOOK TRAILS LLC
N27W24025 PAUL CT STE 100
PEWAUKEE WI 53072-6239

PAUL FRY AND COLLEEN R FRY
624 SOUTHERN OAK DR
HARTLAND WI 53029-8008

SCOTT WADE
607 SOUTHERN OAK DR
HARTLAND WI 53029-8008



1604 Manhattan Dr.
Waukesha, WI 53186
262.446.0655
262.446.0650 (fax)

13170 W. Capitol Dr.
Brookfield, WI 53005
262.230.1020
262.330.5030 (fax)

www.mandercollision.com

To Whom It May Concern:

Mander Collision is a Collision Repair Center specializing in automotive insurance repairs. We carry multiple OEM Certifications for repair and offer industry related training to our staff through I-Car. We take care of our properties very well and our initial plan for 705 Cardinal Lane is to paint the building, to keep it looking nice, and to clean up/repair any issues with the secure fenced in the parking area. We have no need to conduct any work outside the building but the fenced in area will be used for secured parking. We are looking for occupancy so that we can continue to employ the workforce currently at this location.

Sincerely,

A handwritten signature in black ink, appearing to read "Nathan McPherson", written in a cursive style.

Nathan McPherson
President



PETITION FOR CONDITIONAL USE

\$150 REVIEW FEE DUE AT TIME OF APPLICATION PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner	Randall Realty LLC		
Business Name	Mander Collision + Glass		
Business Owner	Mander Collision + Glass		
Address	1604 Manhattan Dr. Waukesha, WI 53186		
Contact Person	Randy McPherson	Phone	612-369-2300
Key No. HAV	0731035	Email	rmcpherson@mandercollision.com

The Plan Commission meets on the third Monday of the month at 6:30 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

Present Use → Body Shop
Intended Use → Body Shop

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature	Susan C. Pflieffka, Treasurer/Controller		
Print Name	Susan C. Pflieffka	Date	12/17/19

OFFICE USE ONLY:

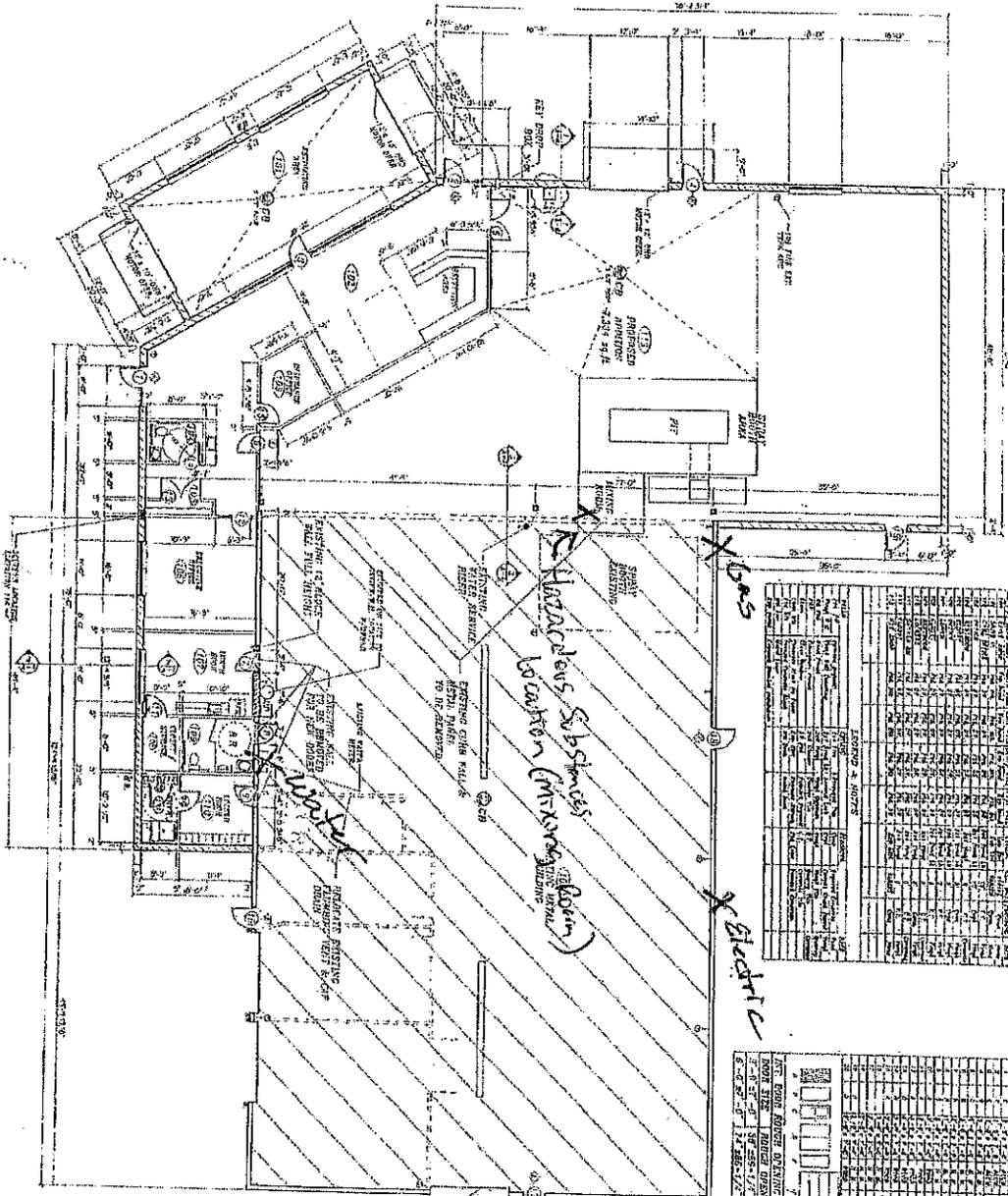
Date Applied:	Date of Meeting:	Return Comments by:
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**Hartland Plan Commission
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Plan Commission.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants are encouraged to communicate with or meet with either the Building and Zoning Official or the Village Administrator prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.
4. Four (4) sets of bound site plans or application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
5. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
6. Additional information may be requested by the Plan Commission or Staff.
7. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
8. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

NOTE: REVIEW LOCATIONS OF ALL ELECTRICAL SYMBOLS WITH OWNER PRIOR TO INSTALLATION.



FLOOR PLAN
SCALE 1/8" = 1'-0"

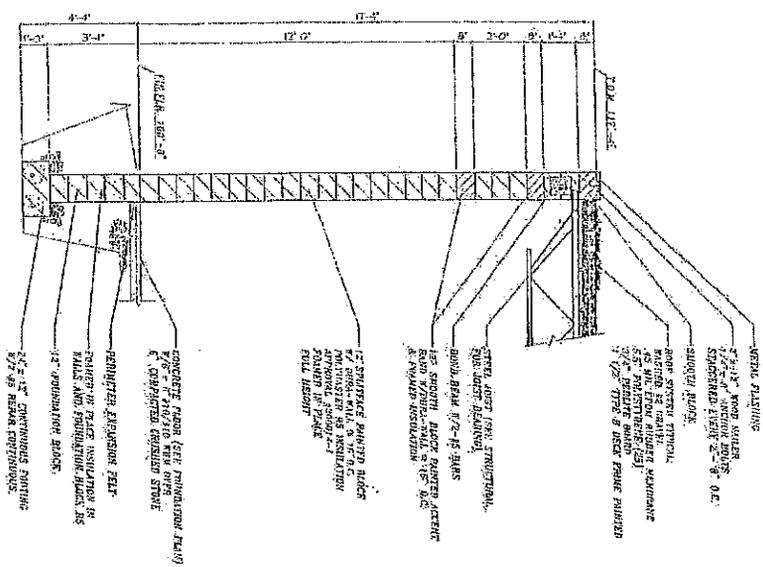
SYMBOL	DESCRIPTION
⊕	GROUND
⊖	NEGATIVE
⊕	POSITIVE
⊕	GROUND
⊖	NEGATIVE
⊕	POSITIVE

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	12/12/01	DBI	
2	REVISED	10/20/01	DBI	
3	REVISED	08/28/01	DBI	
4	REVISED	08/28/01	DBI	
5	REVISED	08/28/01	DBI	
6	REVISED	08/28/01	DBI	
7	REVISED	08/28/01	DBI	
8	REVISED	08/28/01	DBI	
9	REVISED	08/28/01	DBI	
10	REVISED	08/28/01	DBI	
11	REVISED	08/28/01	DBI	
12	REVISED	08/28/01	DBI	
13	REVISED	08/28/01	DBI	
14	REVISED	08/28/01	DBI	
15	REVISED	08/28/01	DBI	
16	REVISED	08/28/01	DBI	
17	REVISED	08/28/01	DBI	
18	REVISED	08/28/01	DBI	
19	REVISED	08/28/01	DBI	
20	REVISED	08/28/01	DBI	
21	REVISED	08/28/01	DBI	
22	REVISED	08/28/01	DBI	
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25	REVISED	08/28/01	DBI	
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28	REVISED	08/28/01	DBI	
29	REVISED	08/28/01	DBI	
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39	REVISED	08/28/01	DBI	
40	REVISED	08/28/01	DBI	
41	REVISED	08/28/01	DBI	
42	REVISED	08/28/01	DBI	
43	REVISED	08/28/01	DBI	
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46	REVISED	08/28/01	DBI	
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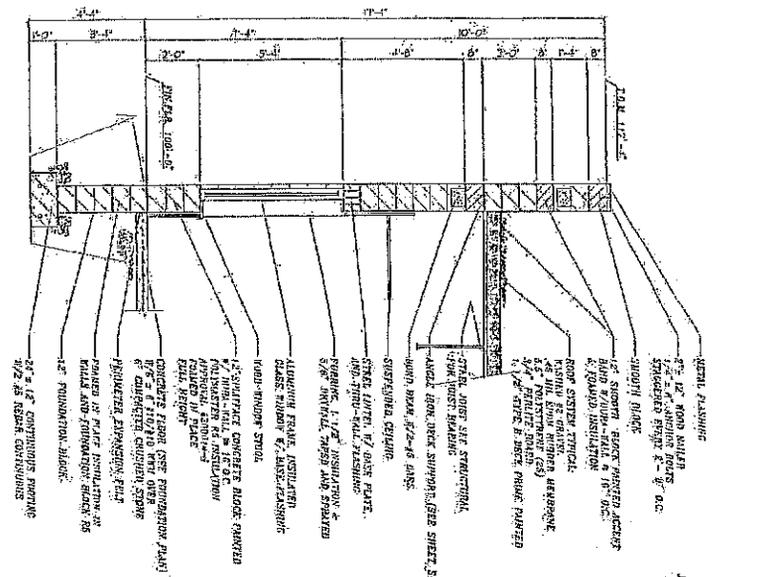
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49	REVISED	08/28/01	DBI	
50	REVISED	08/28/01	DBI	

<p>design bird inc. 1265 E. WISCONSIN AVE. FERRISBURGH, WI 53012 (262) 761-2121 FAX (262) 761-1124</p>	<p>JOB DESCRIPTION: CAR CRIFT</p> <p>799 CHARLES LANE BANKERS W. WAUWATON</p>	<p>REVISION</p> <p>13/12/01</p> <p>10/20/01</p> <p>08/28/01</p> <p>08/28/01</p> <p>08/28/01</p>
	<p>DATE: 5/20/01</p> <p>DESIGNER: J. DEWIER</p> <p>PROJECT: FLOOR PLAN</p>	<p>NO. 1</p> <p>NO. 2</p> <p>NO. 3</p> <p>NO. 4</p> <p>NO. 5</p> <p>NO. 6</p> <p>NO. 7</p> <p>NO. 8</p> <p>NO. 9</p> <p>NO. 10</p> <p>NO. 11</p> <p>NO. 12</p> <p>NO. 13</p> <p>NO. 14</p> <p>NO. 15</p> <p>NO. 16</p> <p>NO. 17</p> <p>NO. 18</p> <p>NO. 19</p> <p>NO. 20</p> <p>NO. 21</p> <p>NO. 22</p> <p>NO. 23</p> <p>NO. 24</p> <p>NO. 25</p> <p>NO. 26</p> <p>NO. 27</p> <p>NO. 28</p> <p>NO. 29</p> <p>NO. 30</p> <p>NO. 31</p> <p>NO. 32</p> <p>NO. 33</p> <p>NO. 34</p> <p>NO. 35</p> <p>NO. 36</p> <p>NO. 37</p> <p>NO. 38</p> <p>NO. 39</p> <p>NO. 40</p> <p>NO. 41</p> <p>NO. 42</p> <p>NO. 43</p> <p>NO. 44</p> <p>NO. 45</p> <p>NO. 46</p> <p>NO. 47</p> <p>NO. 48</p> <p>NO. 49</p> <p>NO. 50</p>

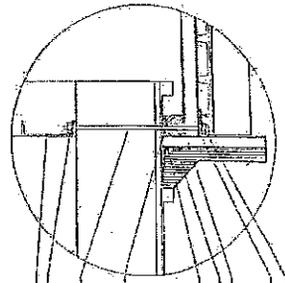
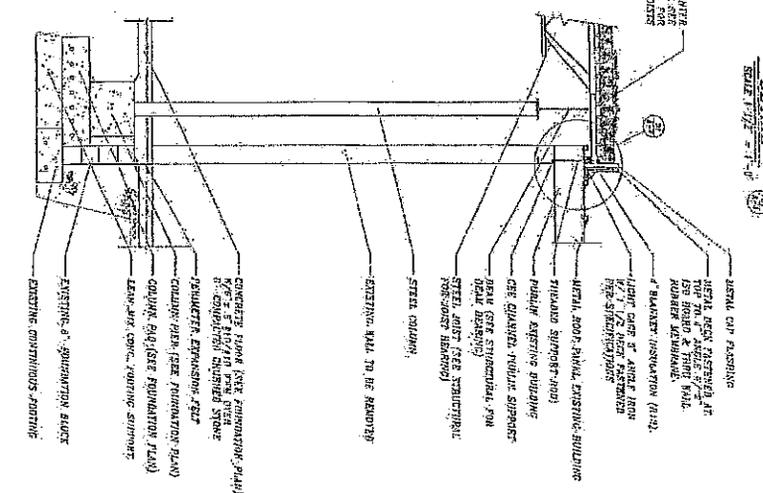
SECTION
SCALE 1/8" = 1'-0"



SECTION
SCALE 1/8" = 1'-0"



SECTION
SCALE 1/8" = 1'-0"



DETAIL
SCALE 1/4" = 1'-0"

	1265 E. WISCONSIN AVE., FERRISBURG, WI 53022 (262)691-2121 FAX (262)691-1834	
	200 WISCONSIN DR. COURT WATKINSON, WI 53091	DATE: 9/11/01 REVISION: DRAWING:
CAP CRAFT 165 CHARLES CREE HARTLAND, WI 53029		SECTION

Permit Fee:	\$75
Refundable Occupancy Deposit:	\$500
(Refundable Deposit Returned Upon Release by Building Inspector)	
Total Due:	\$575
Date Paid:	<u>12/27/19</u>
Receipt No.:	<u>211842</u>

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION

- Please Note that operation of business is not allowed until occupancy permit application has been approved.
- Allow approximately 5 working days for review.

After an occupancy permit application has been received and an occupancy inspection has been completed by the building inspection department, an occupancy letter will be sent to the applicant listing all violations. **An occupancy permit will be issued when all violations have been corrected.**

A conditional occupancy permit can be requested by the prospective occupant, if no life-safety violations exist as determined by the building inspection department.

If the conditional occupancy permit is issued, the applicant agrees to have all violations corrected within forty five (45) days. A reinspection will be scheduled after 45 days to check for compliance. If any violations exist, a penalty of \$25.00 per day will be assessed until all violations are corrected.

The \$500 Refundable Occupancy Deposit will be returned upon release by the Building Inspector.

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION
PAGE 2

BUSINESS:

Name: Mander Collision + Glass Waukesha, Inc.
Address: 1604 Manhattan Dr., Waukesha, WI 53186 Unit/Suite No. _____
Phone No: 262-446-0655 FAX No. 262-446-0650

BUSINESS OWNER:

Name: Randy McPherson / Mander Collision + Glass Waukesha, Inc.
Address: same as above
Day Phone: 612-369-2300 Evening Phone: _____ Emergency Phone: _____

BUILDING OWNER:

Name: Randall Realty, LLC
Address: 1604 Manhattan Dr, Waukesha, WI 53186
Day Phone: 612-369-2300 Evening Phone: _____ Emergency Phone: _____

2ND EMERGENCY CONTACT:

Name: Nathan McPherson
Address: same as above
Emergency Phone: 262-893-3759

CONTACT FOR FIRE DEPARTMENT TO MAKE ARRANGEMENT FOR INSPECTION:

Name: Nathan McPherson Phone: 262-893-3759

DETAILED DESCRIPTION OF BUSINESS OPERATION:

Vehicle Collision Repair

Hours and days of operation: 8A-6PM M-F, possible Sat. 9A-1pm

Number of full and part time employees on site during each shift (count working owner as an employee): 5

Estimated max. total of customers/clients/visitors on site at one time: 4

Number of total off-street parking stalls provided on site: 30

Number of above parking stalls dedicated for use by this business: 30

Describe anticipated method and frequency of deliveries to/from the site, and location on site where loading/unloading/parking of shipping vehicle is to occur: TRUCK DELIVERIES - 10 to 15 per day

Describe any activities that may occur outside the building but still on-site such as dumpster, outside storage, equipment, accessory buildings, etc. (Please attach site plan showing these items): Parking of vehicles on existing asphalt or gravel; detailing vehicles on existing asphalt.

Detailed description of any equipment, operation, device, or process that may emit noise, vibration, or odors from the site: Grinding on vehicles; Pounding Metal w/hammers; Painting in Paint Booth (contained); detailing vehicles

**BUSINESS OCCUPANCY
PERMIT APPLICATION
PAGE 3**

The names and amounts of any noxious or hazardous substances or fumes that may be created, stored, or used on the site: Dynamic Clearcoat CC200 / Paint Reducer R7K242 / Glass Clear 1000000075
Ultra 7000 Ultra Fine Metallic U7214 / Finish 12K HS Methone Korner Gray FP410

Describe or sketch area for storage of above substances and any other high fire hazard areas: See attached

Fire extinguisher size, type, and quantity: 11 - 10lb Extinguishers.

Is there a fire sprinkler system: Only in Spray Booth

Is there an alarm system: No

Heating type and location: Infared in Shop and Rooftop HVAC in office

Describe or sketch gas shut off location: See attached

Describe or sketch electric shut off location: See attached

Describe or sketch fire sprinkler shut off location: See attached

Attach a sketch of the area of the building to be used for this business unless all of building is to be used.

Incomplete applications will not be approved.

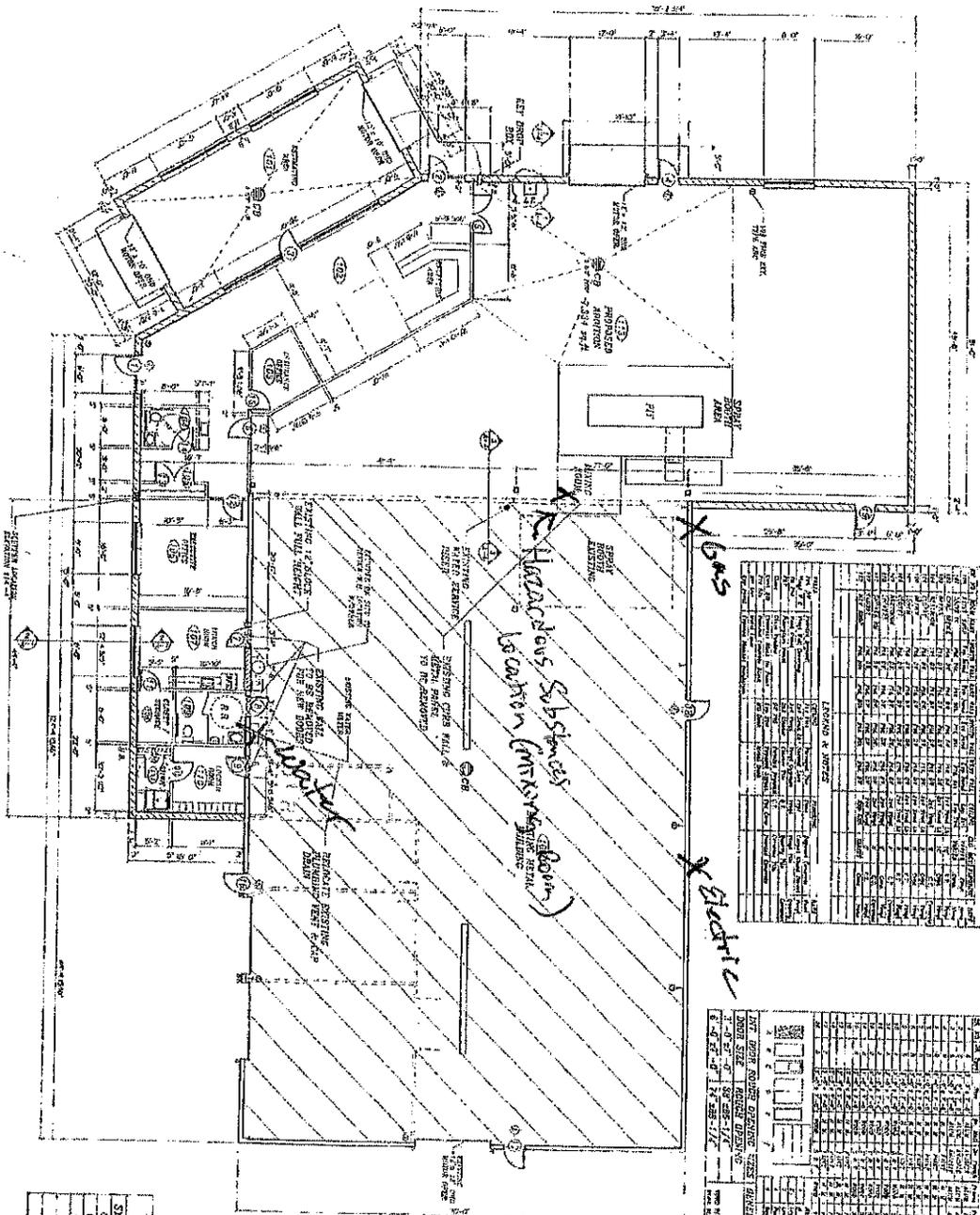
Applicant's Signature: Ausan C. Pfeiffer Date: 12/23/19
Controller/Treasurer

FOR OFFICE USE ONLY

ZONING DEPARTMENT/BUILDING INSPECTION DEPARTMENT	
Zoning Classification:	
Zoning Approved:	By:
Application Approved:	
Permit Number:	
Notes/Conditions:	

FIRE DEPARTMENT	
Site Approved:	By:
Notes/Conditions:	

NOTE: REVIEW LOCATIONS OF ALL ELECTRICAL BRACING WITH OWNER PRIOR TO INSTALLATION



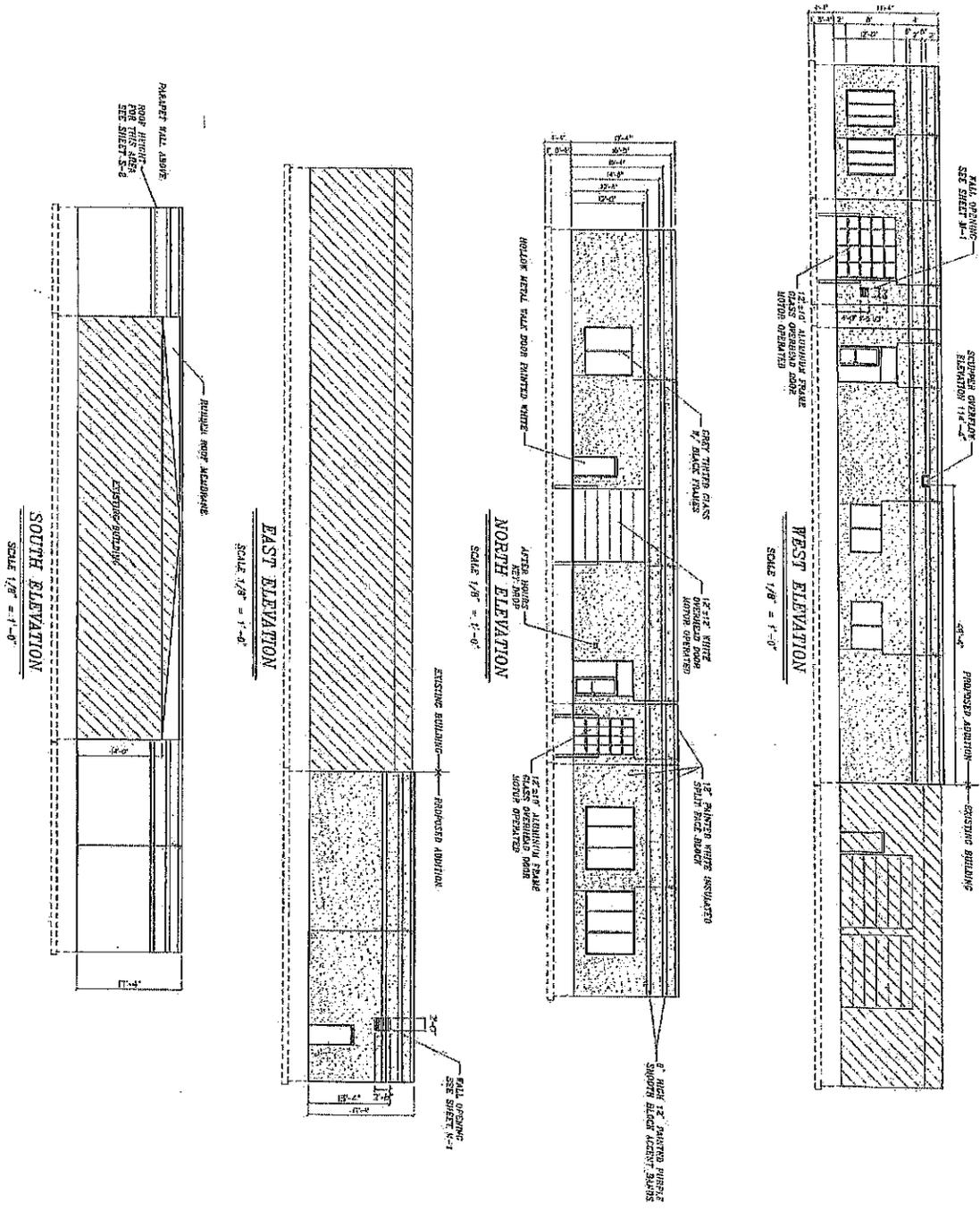
FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	Panel
(Symbol)	Switch
(Symbol)	Outlet
(Symbol)	Conduit
(Symbol)	Other

NO.	DATE	DESCRIPTION
1	10/17/01	ISSUED FOR PERMIT
2	10/29/01	REVISED PER COMMENTS
3	2/8/02	REVISED PER COMMENTS

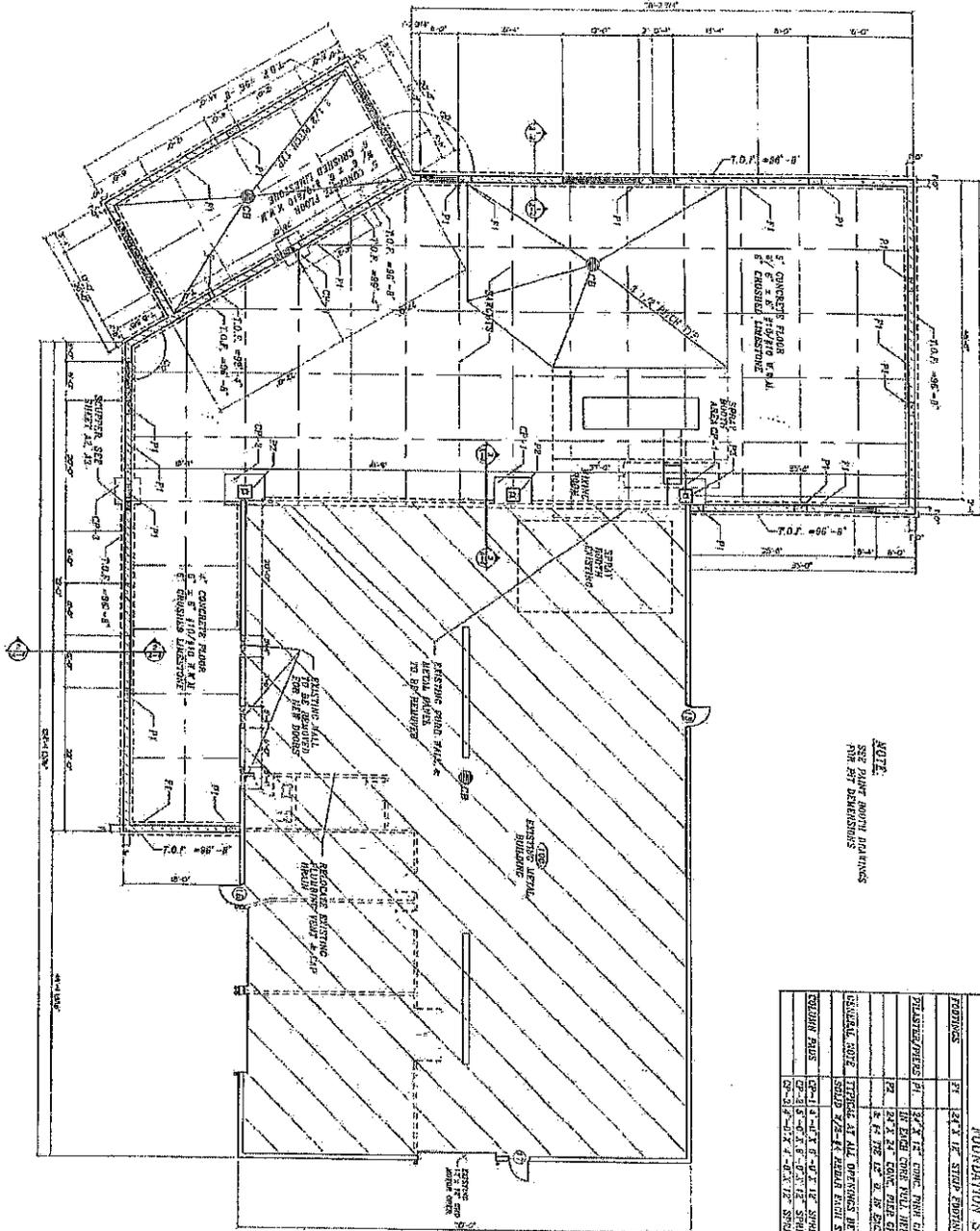
NO.	DATE	DESCRIPTION
1	10/17/01	ISSUED FOR PERMIT
2	10/29/01	REVISED PER COMMENTS
3	2/8/02	REVISED PER COMMENTS

<p>1265 E. WISCONSIN AVE., WAUKESHA, WI, 53012 (262)641-2121 FAX (262)641-1154</p>	JOB DESCRIPTION CAR CRAFT 706 CARDINAL LANE HANLON, WI 53025	REVISION 10/17/01 10/29/01 2/8/02
	DATE: 5/29/01 DESIGNER: BURKHEN	DRAWING DESCRIPTION FLOOR PLAN



dbi design build inc. 1265 E. WISCONSIN AVE., FENWICK #1, 53012 (262)691-2121 FAX (262)691-1591	JOB DESCRIPTION CAR CRAFT 705 CARROLL LANE BARTLAND, WI 53003	REVISION NO. DATE 1 10/20/01 2 10/20/01
	DATE: 8/24/01 DESIGNER: R. BEHNER DRAWN BY: R. BEHNER	ELEVATIONS

JOB DESCRIPTION
 CAR CRAFT
 705 CARROLL LANE
 BARTLAND, WI 53003
 SHEET # 4-3
 NO. 7 369



FOUNDATION PLAN
SCALE 1/8" = 1'-0"

FOUNDATION SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	24" X 12" STRIP FOOTING 2'-0" BARS CONCRETE	100.00	LINEAL FEET
2	36" X 12" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
3	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
4	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
5	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
6	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
7	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
8	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
9	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
10	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.
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50	24" X 24" CONC. PAD 2'-0" BARS CONCRETE	1.00	SQ. YD.

SEE SECTION 24-1 FOR
BEARING CAPACITY

- NOTES:**
1. ALL FOUNDATION SHALL BE 3000 PSI.
 2. ALL TIEBARS SHALL BE #4 @ 12" ON CENTER.
 3. CONCRETE SHALL BE 28 DAYS STRENGTH.
 4. ALL FOUNDATION SHALL BE 18" MINIMUM THICKNESS UNLESS OTHERWISE NOTED.
 5. ALL FOUNDATION SHALL BE 18" MINIMUM THICKNESS UNLESS OTHERWISE NOTED.
 6. ALL FOUNDATION SHALL BE 18" MINIMUM THICKNESS UNLESS OTHERWISE NOTED.
 7. ALL FOUNDATION SHALL BE 18" MINIMUM THICKNESS UNLESS OTHERWISE NOTED.

<p>design build inc. 1265 E. WISCONSIN AVE., MENAKEE, WI 53021 (262)691-2121 FAX (262)691-1151</p>	<p>JOB DESCRIPTION: CAR CRAFT 705 CARDINAL LANE HARTLAND, WI 53029</p>	<p>REVISION: 10/17/01 9/16/01 16,29,31 9/20/01 16,29,31 10/11/01 10/11/01 10/16/01 10/16/01</p>
	<p>DATE: 9/10/01 DESIGNER: R. HUGHES</p>	<p>WORKING DESCRIPTION: FOUNDATION PLAN SHEET # 5-1 369</p>

CARDINAL 635 LLC
PO BOX 341
HARTLAND WI 53029-0341

FIRST BANK FINANCIAL CENTRE
155 W WISCONSIN AVE
OCONOMOWOC WI 53066

G HOWE LAKE COUNTRY LLC
W305N1587 SILVERWOOD LN
DELAFIELD WI 53018

GALE L KELLY
PO BOX 314
HARTLAND WI 53029-0314

LANDMARK CREDIT UNION
PO BOX 510870
NEW BERLIN WI 53151-0870

LAUDERMILK 710 LLC
710 CARDINAL LN
HARTLAND WI 53029

MESCHING PROPERTIES LLC
PO BOX 379
HARTLAND WI 53029-0379

MSI GENERAL CORP
PO BOX 7
OCONOMOWOC WI 53066-0007

NETNEL LLC
602 INDUSTRIAL CT
HARTLAND WI 53029-2312

STONEWOOD STORAGE
720 INDUSTRIAL CT PO BOX 145
HARTLAND WI 53029

TROMPLER PROPERTIES LLC
580 S INDUSTRIAL DR
HARTLAND WI 53029-2357