

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, MARCH 16, 2020
6:30 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Roll Call

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of February 17, 2020.
2. Architectural Board review and consideration of an application for signage for Bank Five Nine, 800 Cardinal Lane.
3. Architectural Board review and consideration of an application for construction of a detached garage on the Bower property, 626 Cardiff Drive.
4. Architectural Board review and consideration of installation of a bulk nitrogen supply system at Eye Com. Inc., 455 E. Industrial Drive.
5. Items related to potential development of property on Campus Drive east of Lake Country Lutheran:
 - a. Plan Commission review and consideration of a petition to rezone property to the RM-1 Multi-Family Residential District and the RS-5 Single Family Residential District.
 - b. Plan Commission review and consideration of a petition for a Planned Unit Development
6. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
7. Adjourn.

Tim Rhode, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes).

Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 800 Cardinal Ln			
Lot 14	Block 2	Subdivision	Key No. HAV 0731025
Owner First Bank Financial		EMAIL jeff.mccarthy@fbfc.wi.com	Phone 262-500-2190
Address 155 W Wisconsin Ave		City Oconomowoc	State WI Zip 53066
Contractor Appleton Sign	Phone 920-500-6022	FAX 920-734-1022	EMAIL emilur@appletonsign.com
Address 2400 Holly Rd		City Neenah, WI	State WI Zip 54956

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

A-1

JOB LOCATION 800 Cardinal Ln TAX KEY # 0731025
OWNER First Bank Financial Centre PHONE 262-560-2196
ADDRESS 155 W Wisconsin Ave CITY Oconomowoc STATE WI ZIP 53016
CONTRACTOR Appleton Sign Co PHONE 920-560-1682
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Bank Five Nine, 24 Hour ATM, 800

OVERALL DIMENSIONS OF SIGN 1103" x 96" COLOR OF BACKGROUND white
SIZE OF LETTERS IN INCHES 36" COLOR OF LETTERS black + red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

aluminum, flex face, vinyl

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 18,100

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Emily Kammerer DATE 2/5/2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

B-1

JOB LOCATION 800 Cardinal Ln TAX KEY # 0731025
OWNER First Bank Financial Centre PHONE 202-560-2196
ADDRESS 155 W Wisconsin Ave CITY Oconomowoc STATE WI ZIP 53090
CONTRACTOR Appleton Sign Co PHONE 920-560-6822
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Bank Five Nine

OVERALL DIMENSIONS OF SIGN 46" x 96" COLOR OF BACKGROUND white

SIZE OF LETTERS IN INCHES approx 30" COLOR OF LETTERS black + red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

aluminum + vinyl

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 4,100

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Emily Kaminski DATE 2/5/2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

C-1
JOB LOCATION 800 Cardinal Ln TAX KEY # 0731025
OWNER First Bank Financial Centre PHONE 202-510-2910
ADDRESS 155 W Wisconsin Ave CITY Oconomowoc STATE WI ZIP 53066
CONTRACTOR Appleton Sign Co PHONE 920-510-6877
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN: Both sides
Bank Five Nine, Parking, Drive Thru, 24 hour ATM

OVERALL DIMENSIONS OF SIGN 72" x 42" COLOR OF BACKGROUND white
SIZE OF LETTERS IN INCHES 3" COLOR OF LETTERS black

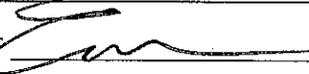
CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 1,883

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT  EMILY RAMIREZ DATE 2/5/2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 800 Cardinal Ln TAX KEY # 0731025
OWNER First Bank Financial Centre PHONE 202-560-2196
ADDRESS 165 W Wisconsin Ave CITY Oconomowoc STATE WI ZIP 53066
CONTRACTOR Appleton Sign Co PHONE 920-560-1822
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Side A - Parking, Drive Thru, 24 Hour ATM, Parking
Side B - Thank you for banking with us

OVERALL DIMENSIONS OF SIGN 72" x 42" COLOR OF BACKGROUND white

SIZE OF LETTERS IN INCHES 3" COLOR OF LETTERS black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

aluminum

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 1,883

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APPLICANT Emily Ramirez DATE 2/5/2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

C-3

JOB LOCATION 800 Cardinal Ln TAX KEY # 0731025
OWNER First Bank Financial Centre PHONE 262-820-2100
ADDRESS 165 W Wisconsin Ave CITY Oconomowoc STATE WI ZIP 54986
CONTRACTOR Apudon Sign Co PHONE 920-560-1822
ADDRESS 2400 Holly Rd CITY Neenah STATE WI ZIP 54956

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN: Both Sides
Parking, Drive Thru, 24 Hour ATM

OVERALL DIMENSIONS OF SIGN 72" x 42" COLOR OF BACKGROUND white

SIZE OF LETTERS IN INCHES 3" COLOR OF LETTERS black

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 1,883

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Emily Ramirez DATE 2/5/2020

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

TOTAL FEES: _____ DATE PAID _____ RECEIPT # _____

bank | five nine

conceptual design package

SCOPE OF WORK:

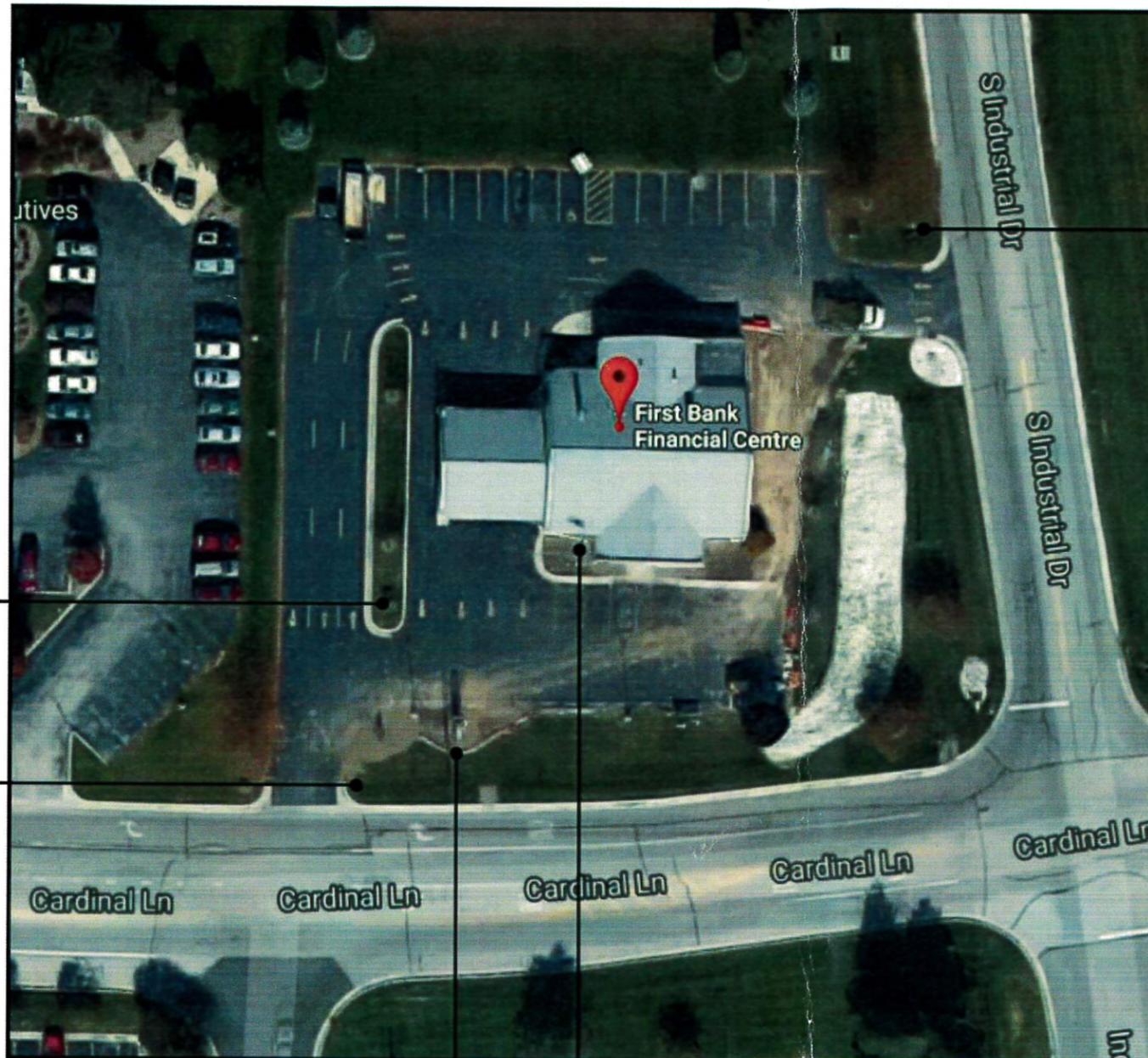
1. Manufacture and Install the following:

- A. Monument
- B. Wall Cabinet
- C. Directionals
- D. Clearance sign



2400 Holly Road • Neenah, WI 54956 - Tel: 920.734.1601 • Fax: 920.734.1622

11 800 CARDINAL LANE - HARTLAND



C
2

C
1

A
1

B
1

C
3

CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS

VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	

COLOR SCHEDULE

REQUIRED ITEMS

<input type="checkbox"/> CLEAN ART?	
<input type="checkbox"/> FIELD SURVEY?	
<input type="checkbox"/> COLORS?	
<input type="checkbox"/> MISC. ITEMS ?	

REVISION SCHEDULE

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

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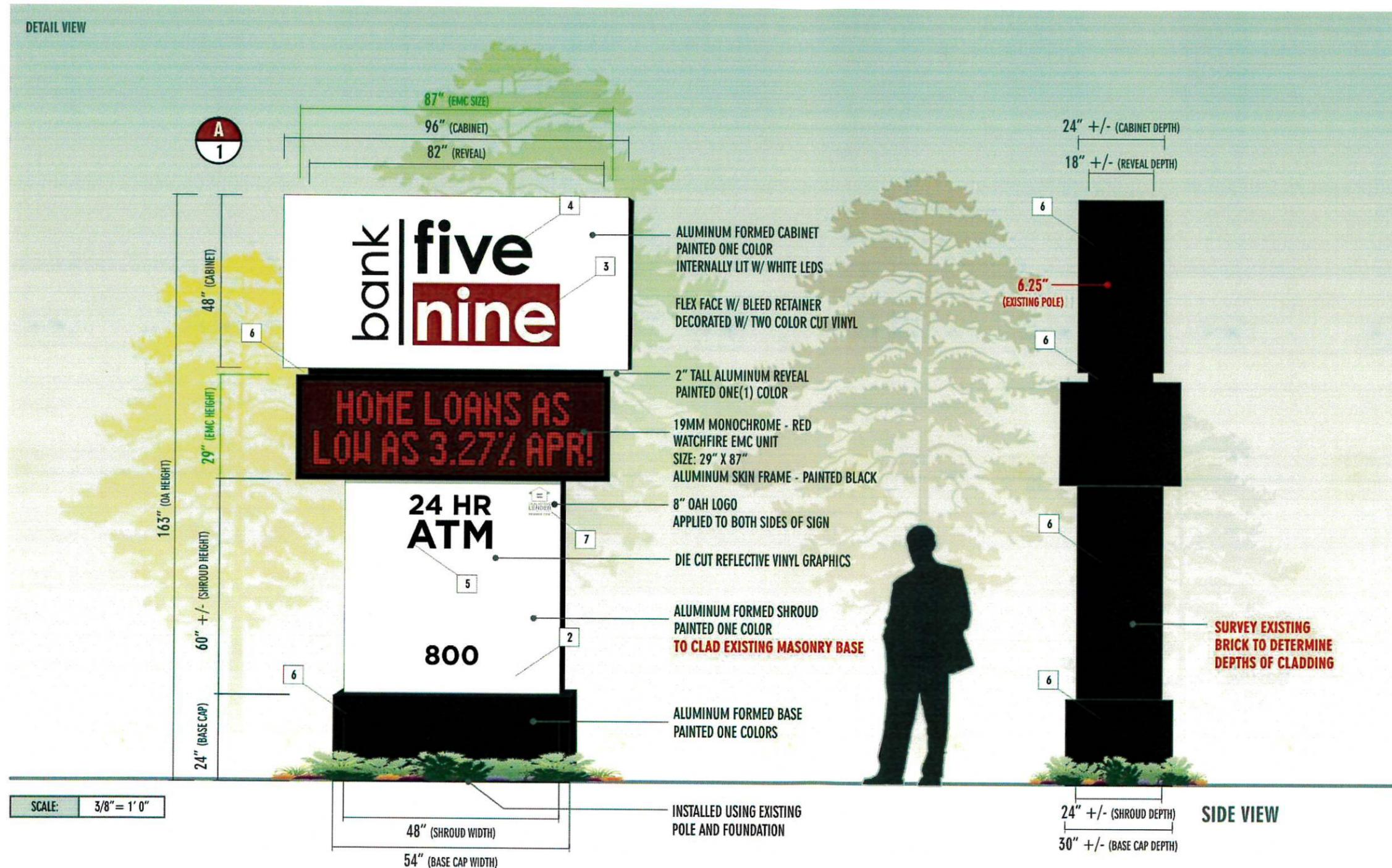
SITE MAP OVERVIEW

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OPT. #1 200011-03 1

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DETAIL VIEW



CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	UNKNOWN
POWER DRAW:	UNKNOWN
SQUARE FOOTAGE:	52 - APPROX.

COLOR SCHEDULE	
2	PAINT SATIN WHITE
3	ORACAL 8500017 CHERRY RED
4	ORACAL 751070 BLACK (MATTE)
5	REFLECTIVE WHITE VINYL
6	PAINT MATTE BLACK
7	ORACAL 951730 SIMPLE GREY

REQUIRED ITEMS	
<input type="checkbox"/> CLEAN ART?	
<input checked="" type="checkbox"/> FIELD SURVEY?	ANY PRICE ASSOCIATED WITH THIS DESIGN CAN NOT BE GUARANTEED. FINDINGS DURING A FIELD SURVEY MAY IMPACT ESTIMATED TIME/MATERIALS
<input type="checkbox"/> COLORS?	
<input type="checkbox"/> MISC. ITEMS?	

REVISION SCHEDULE	

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A: FABRICATE & INSTALL ONE(1) D/F INTERNALLY LIT PYLON CABINET AND EMC ONTO EXISTING SIGN POLE AND FOUNDATION - CLADDING AROUND EXISTING MASONRY BASE INCLUDED (SEE PAGE 2)

OPT. #1

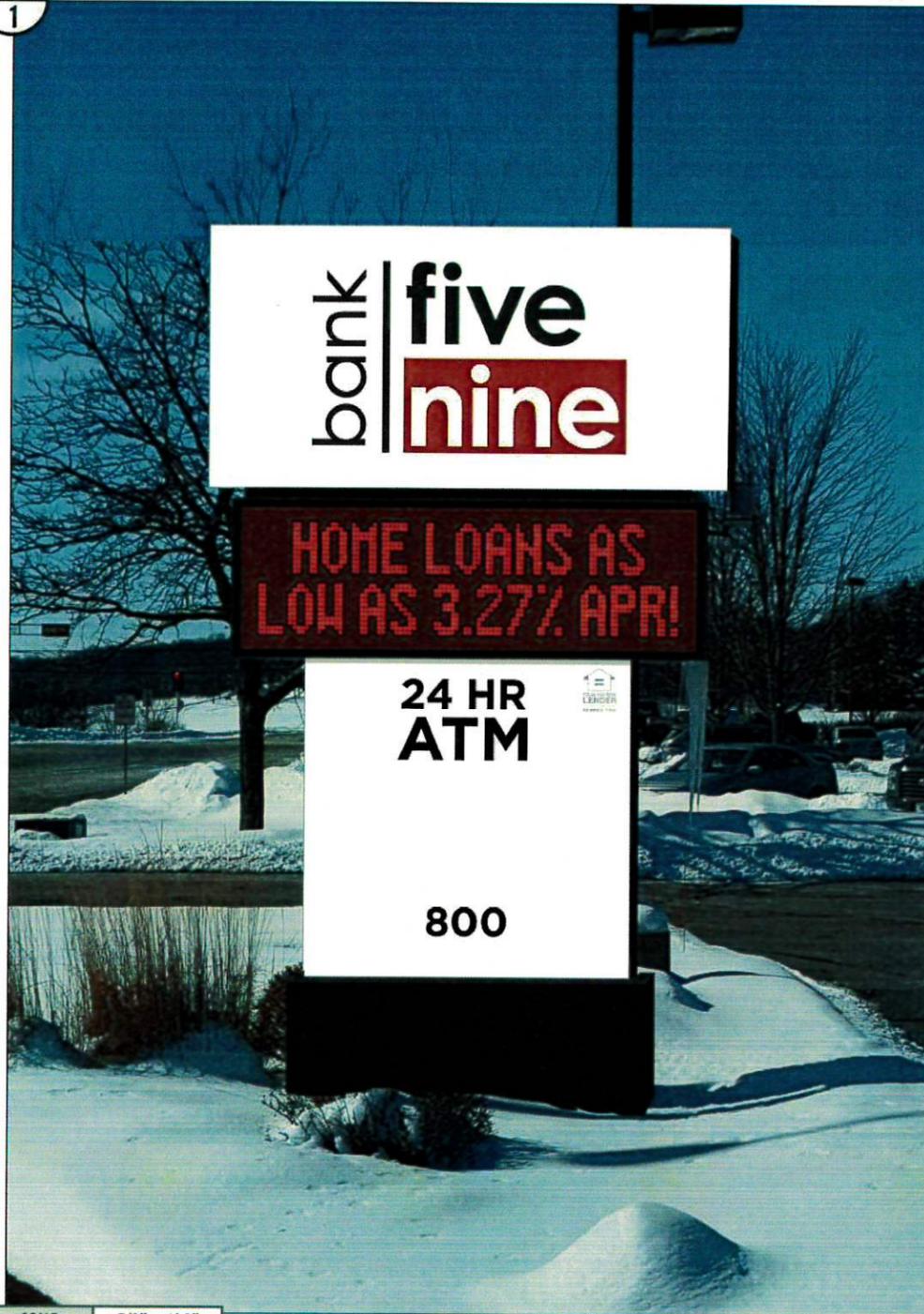
200011-03

1

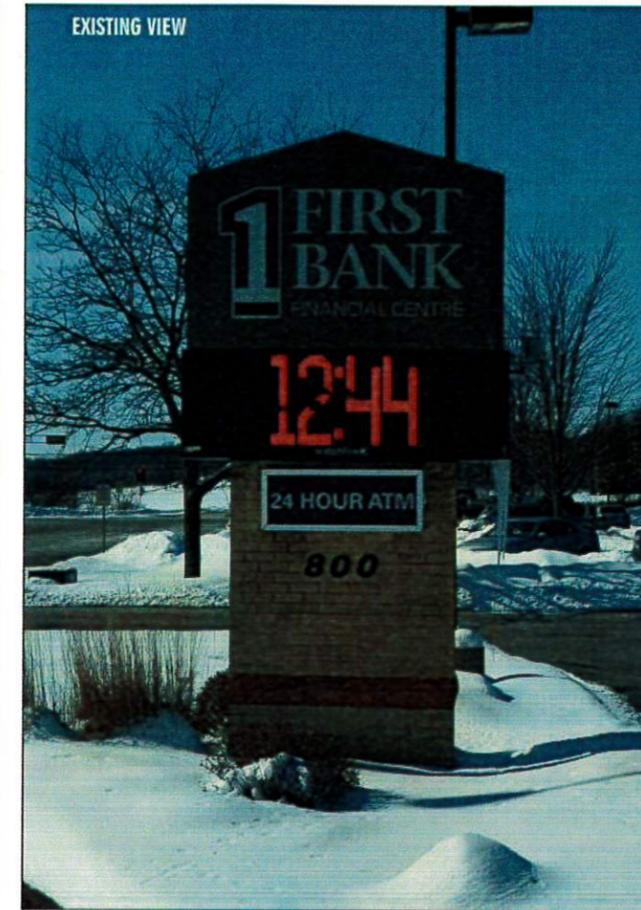
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A
1



SCALE: 3/8" = 1' 0"



REMOVE AND DISPOSE OF EXISTING SIGN CABINET-REVEALS-EMC-ATM CABINETS AND ADDRESS FLAT-CUTS
REUSE EXISTING SIGN POLE - FOUNDATION- CLAD AROUND EXISTING BRICK

CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	UNKNOWN
POWER DRAW:	UNKNOWN
SQUARE FOOTAGE:	52 - APPROX.

COLOR SCHEDULE

REQUIRED ITEMS

<input checked="" type="checkbox"/>	CLEAN ART?	
<input checked="" type="checkbox"/>	FIELD SURVEY?	
<input checked="" type="checkbox"/>	COLORS?	
<input checked="" type="checkbox"/>	MISC. ITEMS?	

REVISION SCHEDULE

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SEE DESCRIPTION ON PAGE 1

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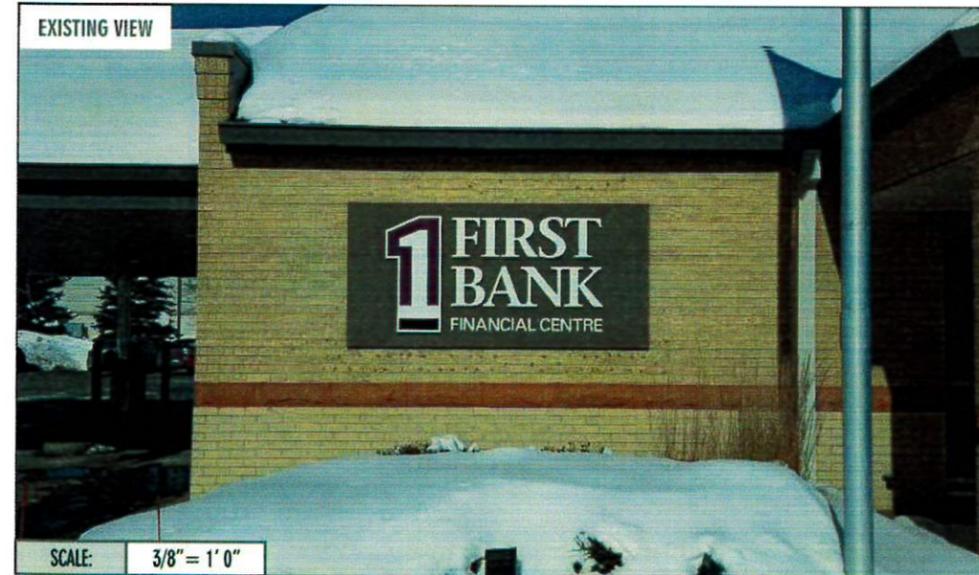
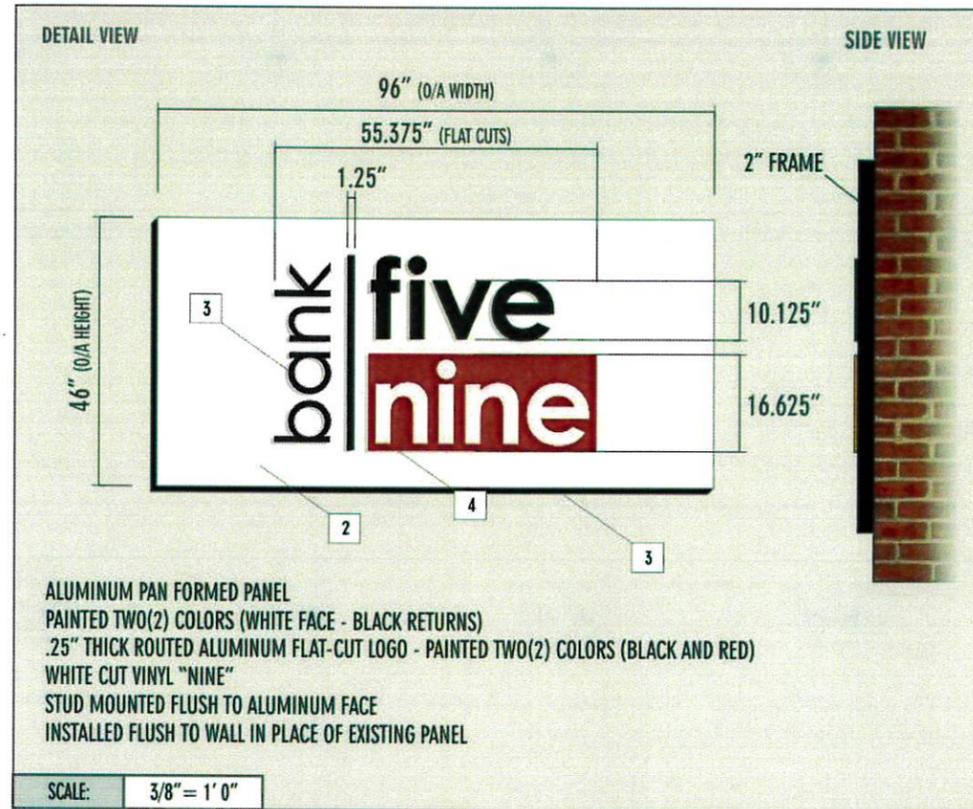
OPT. #1

200011-03

2

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B
1



REMOVE AND DISPOSE OF EXISTING PAN FORMED PANEL

CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	NA
POWER DRAW:	NA
SQUARE FOOTAGE:	32 - APPROX.
COLOR SCHEDULE	
2	PAINT MATTE WHITE
3	PAINT MATTE BLACK
4	ORCAL 751-010 - MATTE WHITE OPAQUE

REQUIRED ITEMS	
<input checked="" type="checkbox"/>	CLEAN ART?
<input checked="" type="checkbox"/>	FIELD SURVEY?
<input checked="" type="checkbox"/>	COLORS?
<input checked="" type="checkbox"/>	MISC. ITEMS?

REVISION SCHEDULE	

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B: REFACE ONE(1) EXISTING S/F NON-LIT WALL MOUNTED SIGN

OPT. #1

200011-03

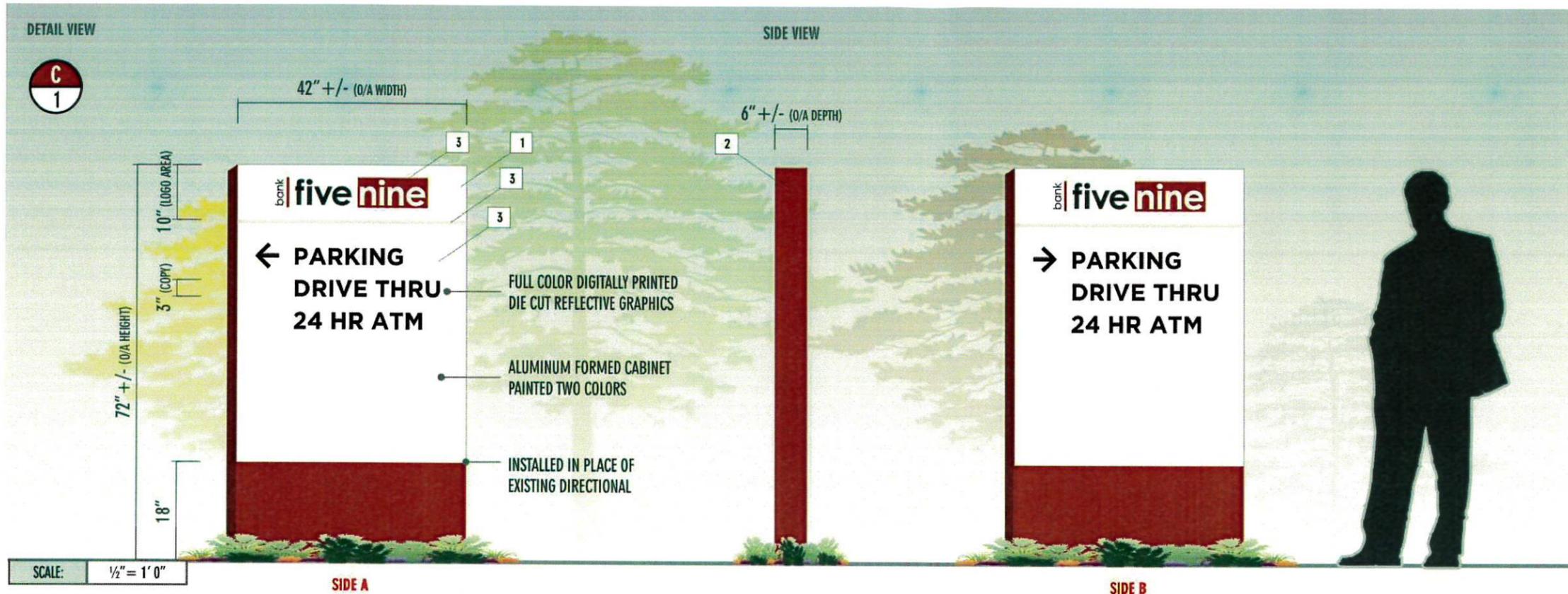
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CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	NA
POWER DRAW:	NA
SQUARE FOOTAGE:	
COLOR SCHEDULE	
1	PAINT SATIN WHITE
2	PAINT TO MATCH ORACAL 8500017 CHERRY RED
3	DIGITALL PRINT REFLECTIVE GRAPHICS (MATTE LAM)

REQUIRED ITEMS	
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS?	

REVISION SCHEDULE	

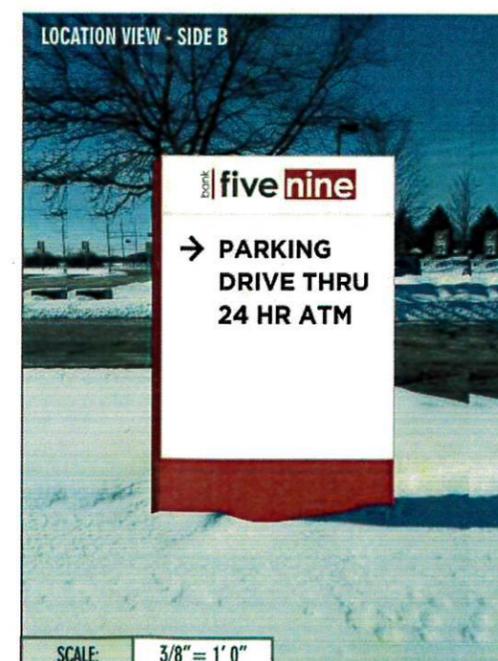
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REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE



REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE

C: FABRICATE & INSTALL REPLACEMENT DIRECTIONALS - QTY: THREE(3) D/F NON-LIT (SEE PAGES 2 AND 3)

OPT. #1

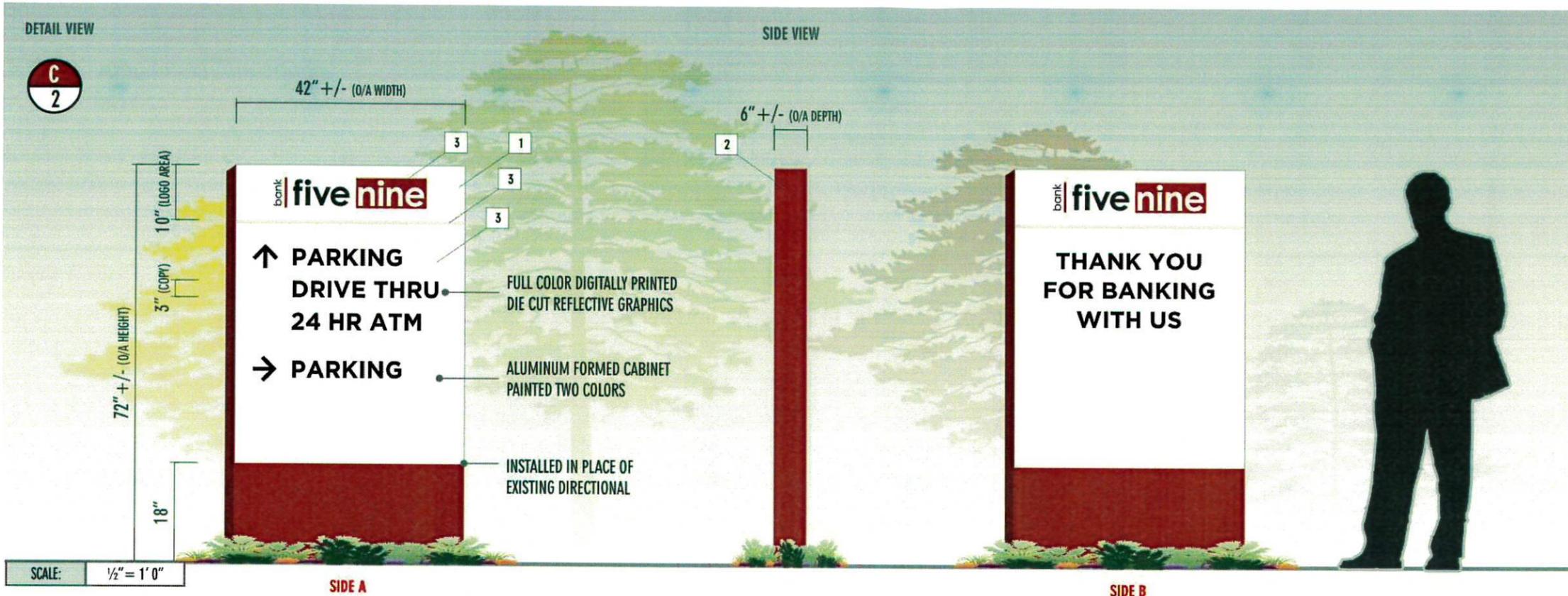
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1

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NOT TO BE USED FOR PRODUCTION



CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	NA
POWER DRAW:	NA
SQUARE FOOTAGE:	

COLOR SCHEDULE	
1	PAINT SATIN WHITE
2	PAINT TO MATCH ORACAL 8500017 CHERRY RED
3	DIGITAL PRINT REFLECTIVE GRAPHICS (MATTE LAM)

REQUIRED ITEMS	
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS?	

REVISION SCHEDULE	
NO. OF REVISIONS	
REVISION DESCRIPTION	
DATE	

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X

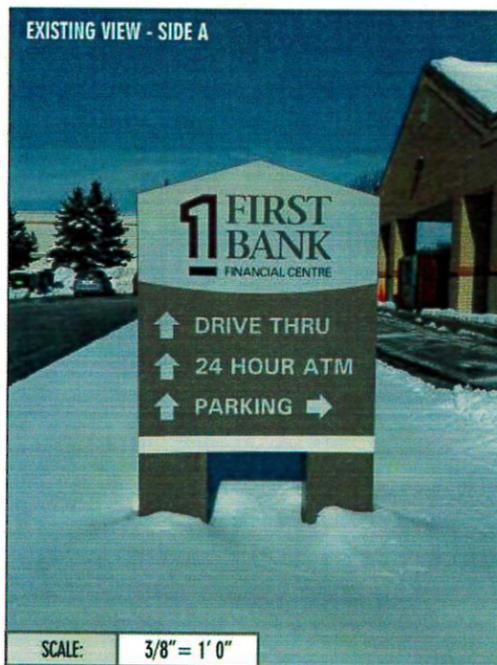
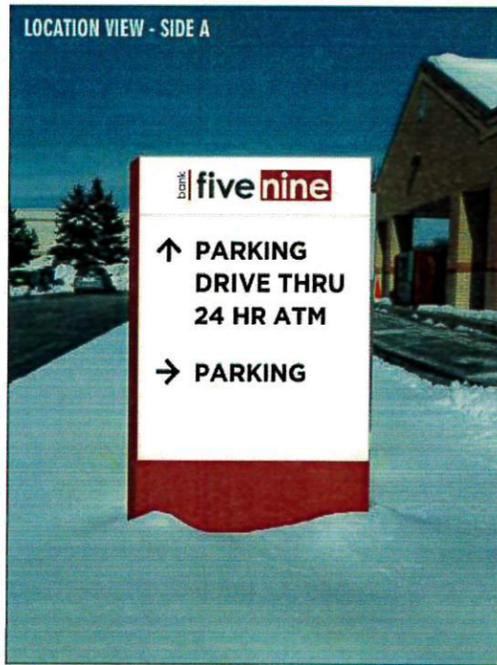
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SEE DESCRIPTION ON PAGE 1

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OPT. #1 200011-03 2

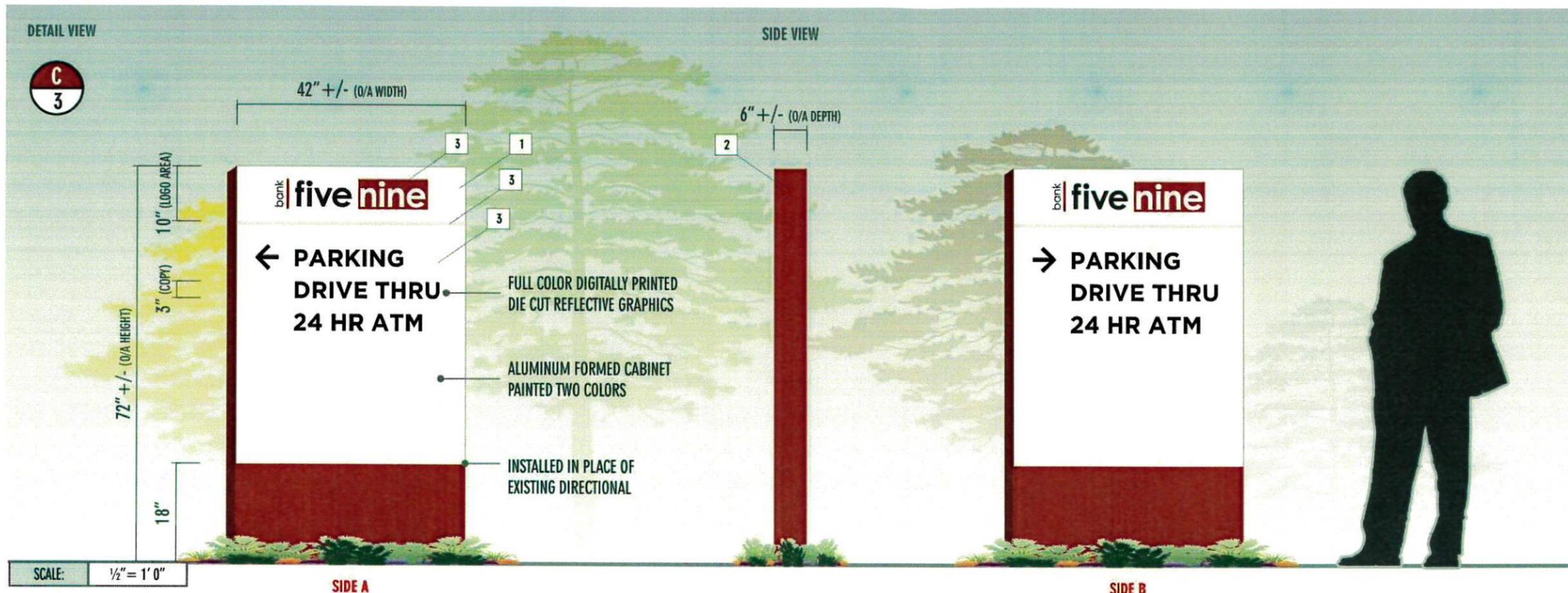
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REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE



REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE



CLIENT:	BANK FIVE NINE (PREVIOUSLY FIRST BANK)
STREET ADDRESS:	800 CARDINAL LANE
CITY / STATE:	HARTLAND, WI
SCOPE:	2018 - REBRAND
DATE:	MARCH 2018
SALES:	MONICA SCHNEIDER
DESIGNER:	MIKE FRASSETTO & ERIC CATES

GENERAL SPECIFICATIONS

VOLTAGE:	NA
POWER DRAW:	NA
SQUARE FOOTAGE:	

COLOR SCHEDULE

1	PAINT SATIN WHITE
2	PAINT TO MATCH ORACAL 8500017 CHERRY RED
3	DIGITALL PRINT REFLECTIVE GRAPHICS (MATTE LAM)

REQUIRED ITEMS

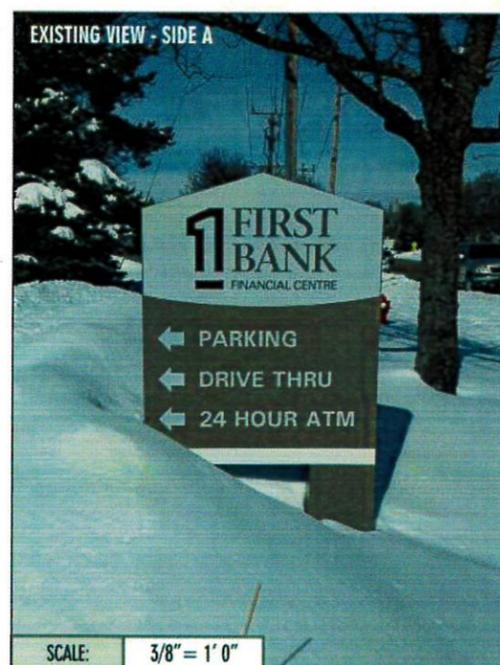
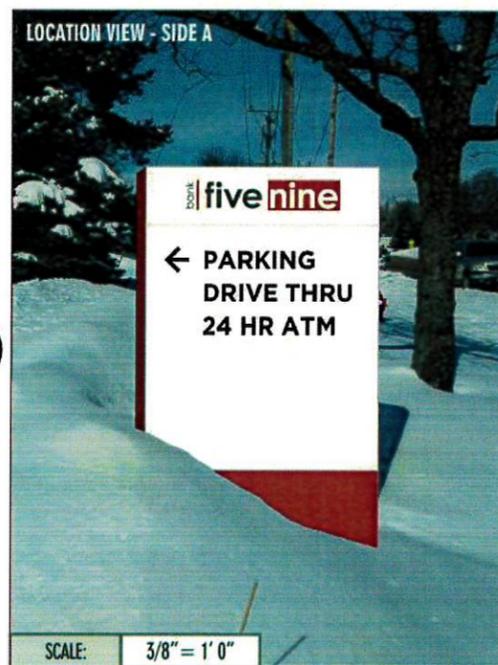
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS?	

REVISION SCHEDULE

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X

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REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE



REMOVE AND DISPOSE OF EXISTING DIRECTIONAL CABINET
REUSE POSTS AND FOUNDATION IF POSSIBLE

SEE DESCRIPTION ON PAGE 1

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OPT. #1

200011-03

3

CONCEPTUAL DESIGN ONLY!
NOT TO BE USED FOR PRODUCTION

CBS PROPERTIES LLC
805 CARDINAL LN
HARTLAND WI 53029-2319

DALEYS WOODS LLC
810 CARDINAL LN STE 100
HARTLAND WI 53029-2390

FIRST BANK FINANCIAL CENTRE
155 W WISCONSIN AVE
OCONOMOWOC WI 53066

HM INVESTMENT PARTNERS LLC
581 S INDUSTRIAL DR
HARTLAND WI 53029

LANDMARK CREDIT UNION
PO BOX 510870
NEW BERLIN WI 53151-0870

LAUDERMILK 710 LLC
710 CARDINAL LN
HARTLAND WI 53029

TROMPLER PROPERTIES LLC
580 S INDUSTRIAL DR
HARTLAND WI 53029-2357



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot	Block	Subdivision Willow Bluff	Key No. HAV
Owner Scott Bower			Phone 2625657141
Address 626 Cardiff Dr.		City Hartland	State WI Zip 53029
Contractor Josh Kamuchey	Phone 920-699-1113	FAX	E-Mail Address kamucheyconstructio
Address 116 Chapel Hill Dr.		City Johnson Creek	State WI Zip 53038

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____



Department of Building Inspection

PERMIT # _____

APPLICATION FOR BUILDING PERMIT

210 Cottonwood Avenue • Hartland, WI 53029 • Phone (262) 367-4744 • Fax (262) 367-2430

JOB LOCATION _____

LOT _____ BLOCK _____ SUBD Willow Bluff TAX KEY _____

OWNER Scott Bower PHONE 262-565-7141 FAX _____

ADDRESS 626 Cardiff Dr. CITY, STATE, ZIP Hartland, WI 53029

CONTRACTOR Kamuchey Construction LLC PHONE 920-699-0113 FAX _____

ADDRESS 116 Chapel Hill Dr. CITY, STATE, ZIP Johnson Creek, WI 53038

When permit is ready notify: Contractor Owner By: Mail Phone Fax

Project Description: 2 car detached garage.

Current principal use of property Existing shed/yard (shed to be removed)

Proposed principal use of property garage

Width 22' Length 26' Sq. Ft. 572' Height 18'10" Cu. Ft. _____

Estimated cost of above job(s) \$ 38,000 \$ _____ \$ _____

State Approval _____ Date _____

Class of Construction _____ Sprinkler No Stories 1

TO THE BUILDING INSPECTOR: The undersigned hereby applies for a permit to do work herein described according to the plans and specifications filed herewith and located as shown on this application. The undersigned agrees that such work will be done in accordance with the said description, plans and specifications and in compliance with the Uniform Dwelling Code of Wisconsin Administrative Code, Zoning Ordinance, all other ordinances of the Village of Hartland and with all the laws and orders of the State of Wisconsin applicable to said premises.

Signature of Applicant Scott Bower Date 1-12-20

CONDITIONS OF APPROVAL: This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

1. See plans for possible conditions/recommendations
2. _____
- _____
- _____
- _____
- _____

_____ TOTAL FEES

_____ Date Paid

_____ Receipt

Meeting dates plans were approved for building permit:
Plan Commission _____ Village Board _____ Arch Board _____

APPLICATION APPROVED ON: _____ BY: _____
DATE BUILDING INSPECTOR

Kamuchey Construction LLC..

December 16, 2019

Bower Garage

We propose to do the following:

1. Excavation

- Dig out 26' by 24' grade beam slab
- 5" compacted gravel base
- remove extra dirt from property

2. Concrete

- Pour 26' by 24' grade beam slab
- 4" concrete slab with saw cut joints
- plastic and wire mesh(rebar in perimeter)

3. Carpentry

- 2 by 4 framing, 10' height walls
- 6-8 pitch roof with gable ends
- osb and tyvek on exterior

- 2-3'by 5' Alliance single hung windows
- 1 36" service door
- smart siding and smart trim for corners
- white soffit venting
- 1/2" cdx on interior walls

4. Roofing

- felt paper
- 3 tab shingles (owner approve color)
- Ridge vent
- Gutters and 2 down spouts (owner approves color)

5. Garage Door

- 8' by 16' with windows to match existing
- insulated door, opener, and key pad

6. Drywall

- 5/8 on ceiling
- Insulation on walls and ceiling
- vapor barrier
- sand texture and primer

7. Electric

- 220 service from house (panel in garage)
- 2 exterior lights

- 8 can allowance
- 5 electric box allowance
- heater hook up and unit
- gas trenched in from house
- power for garage door opener

Excluded:

- Painting interior and exterior
- extra \$1,500 for pre painted siding
- permit by owner
- exterior lights

\$39,200 cash

\$41,700 check

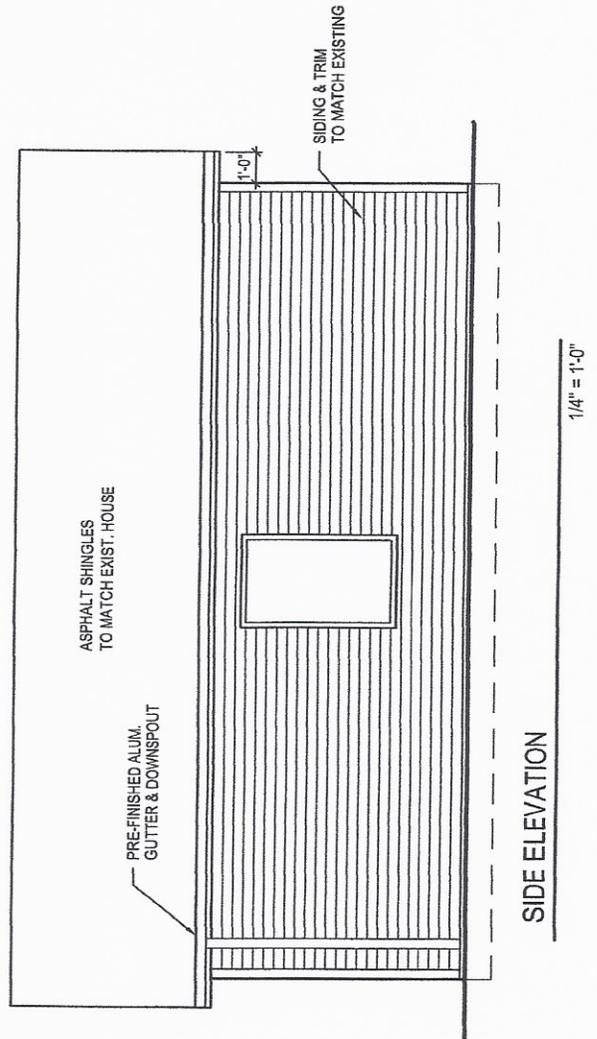
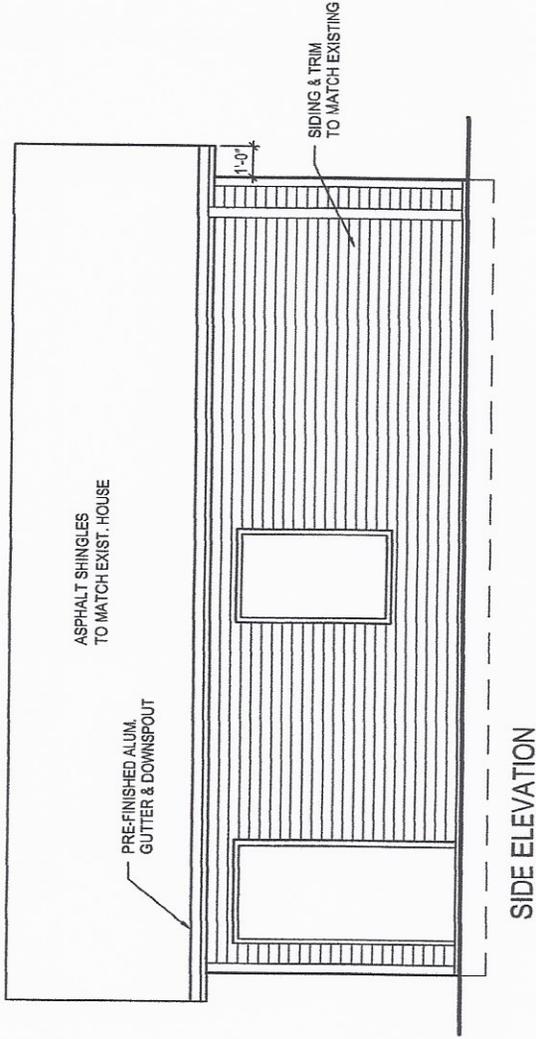
Thanks for opportunity to bid this project

Kamuchey Construction

50% payment after framing

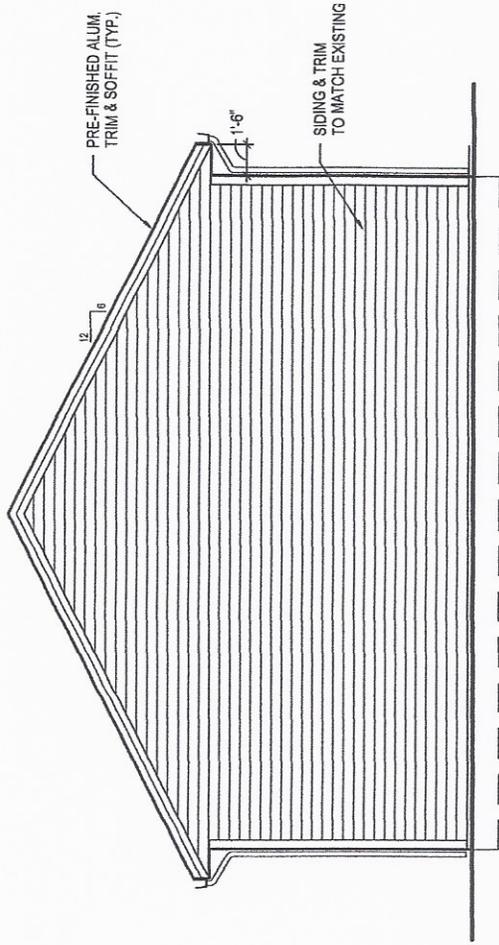
25% after siding

Final upon completion

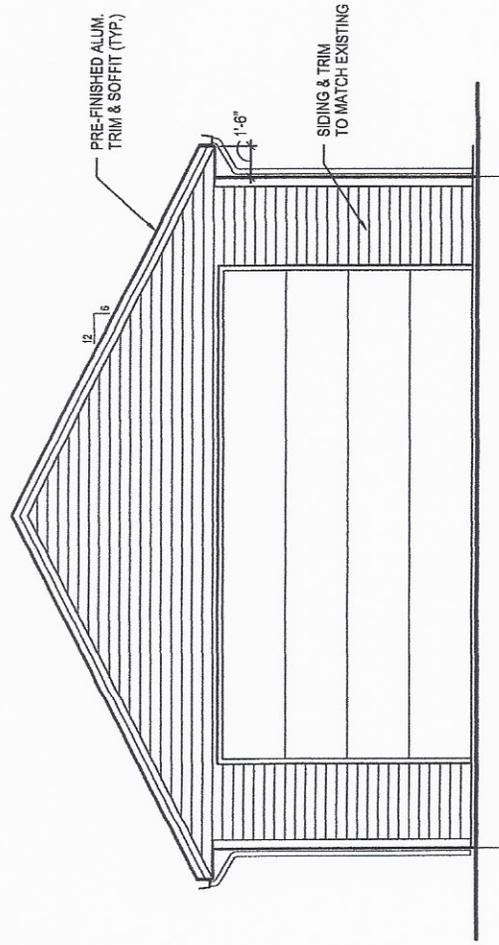


drawn by:	SMD
date:	02-04-20
job no.:	2002
sheet no.:	2

drawn by:	SMD
date:	02-04-20
job no.:	2002
sheet no.:	3

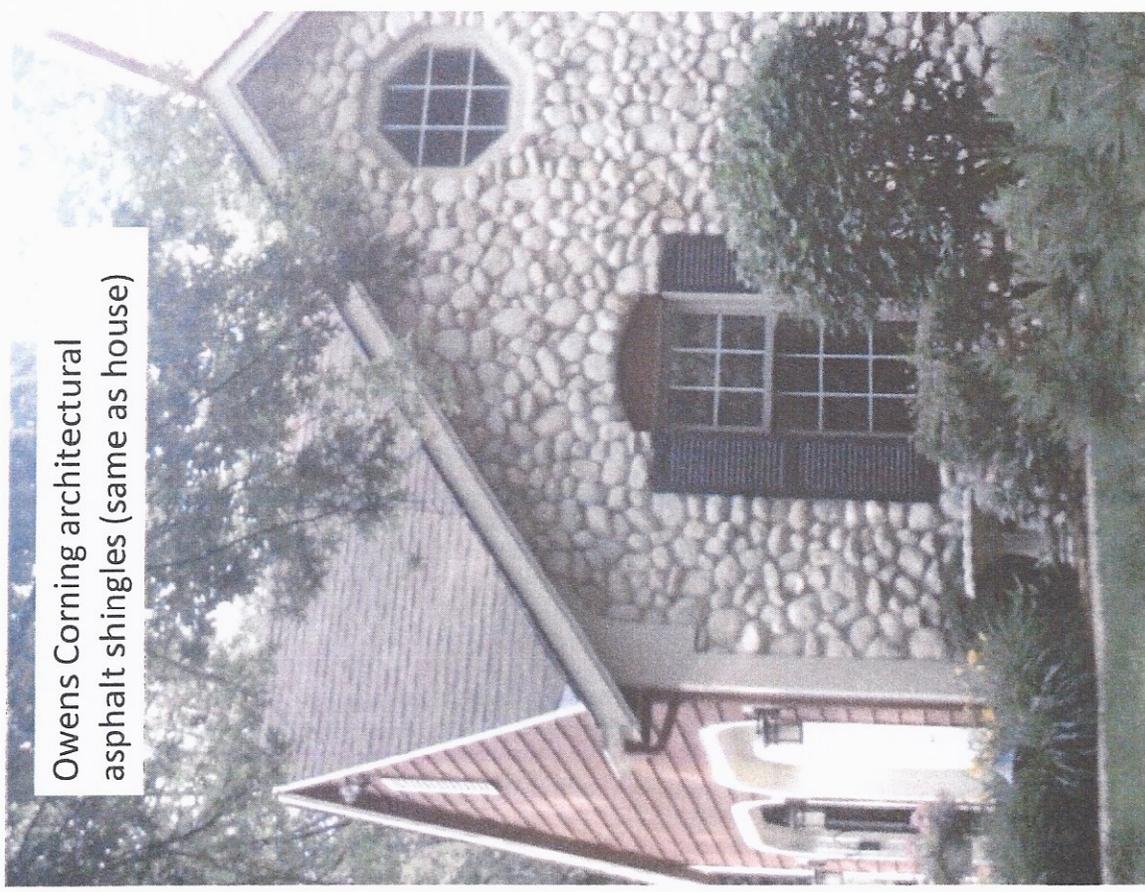


BACK ELEVATION



FRONT ELEVATION

Owens Corning architectural asphalt shingles (same as house)







SUBDIVIDING
LOT SURVEYS

KUOKKANEN & ASSOCIATES, INC.

BUILDING SURVEYS
PERCOLATION TESTS
SOIL BORING TESTS

910 ELM GROVE RD.
ELM GROVE, WISCONSIN 53122

PHONE: 782-8690

91-671-246

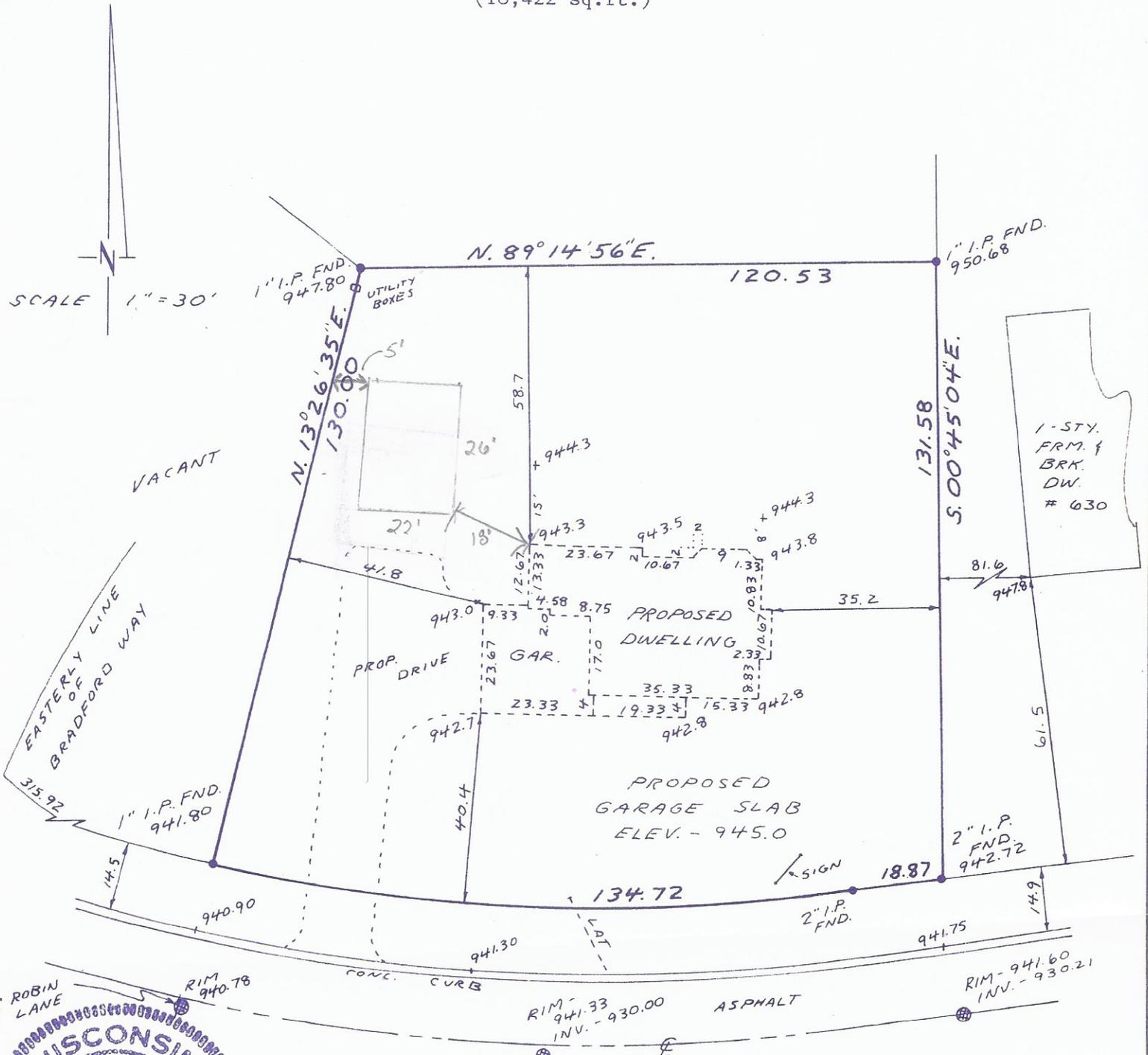
PREPARED FOR: Mr. & Mrs. Patrick & Lisa Lammert / Stonefield Homes, Ltd.

LOCATION: Cardiff Drive (Village of Hartland)

DESCRIPTION OF PROPERTY

Lot 27 in WILLOW BLUFF, being a part of the SE 1/4 of the NW 1/4 of Section 2, Town 7 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.

(18,422 sq.ft.)



CARDIFF DRIVE - 60'

AUDREY & DAVID BROXTERMAN
584 BRADFORD WAY
HARTLAND WI 53029-2541

DENNIS & GINGER LAMBERTY
643 CARDIFF DR
HARTLAND WI 53029-2511

GREGORY & DAWN LUBKE
600 BRADFORD WAY
HARTLAND WI 53029-2503

JOHN & SUSAN LUTHER
593 BRADFORD WAY
HARTLAND WI 53029-2541

MICHAEL K DEWEERDT
623 ROBIN LN
HARTLAND WI 53029

PATRICK & PATRICIA BABLER
631 CARDIFF DR
HARTLAND WI 53029

ROBERT F KEEHN AND LINDSAY L
O'HANISON
585 BRADFORD WAY
HARTLAND WI 53029-2541

BROOKE LUNDBOHM
627 ROBIN LN
HARTLAND WI 53029-2518

GARY ZIMMERMANN III & KELLY
ZIMMERMANN
634 CARDIFF DR
HARTLAND WI 53029-2512

HUBERT & LENORE BUSS
630 CARDIFF DR
HARTLAND WI 53029-2512

KATHLEEN & DAWN KLOCKOW
624 BRADFORD WAY
HARTLAND WI 53029

MICHAEL & MARY BROWN
625 ROBIN LN
HARTLAND WI 53029

RANDY & SHERI WERMAGER
576 BRADFORD WAY
HARTLAND WI 53029

SCOTT A & CHARITY N BOWER
626 CARDIFF DR
HARTLAND WI 53029

CHRISTOPHER & AMY FANNING
577 BRADFORD WAY
HARTLAND WI 53029-2541

GEOFFREY & TAMMY MERTENS
621 ROBIN LN
HARTLAND WI 53029-2518

JAMES & LINDA THORNE
622 CARDIFF DR
HARTLAND WI 53029-2512

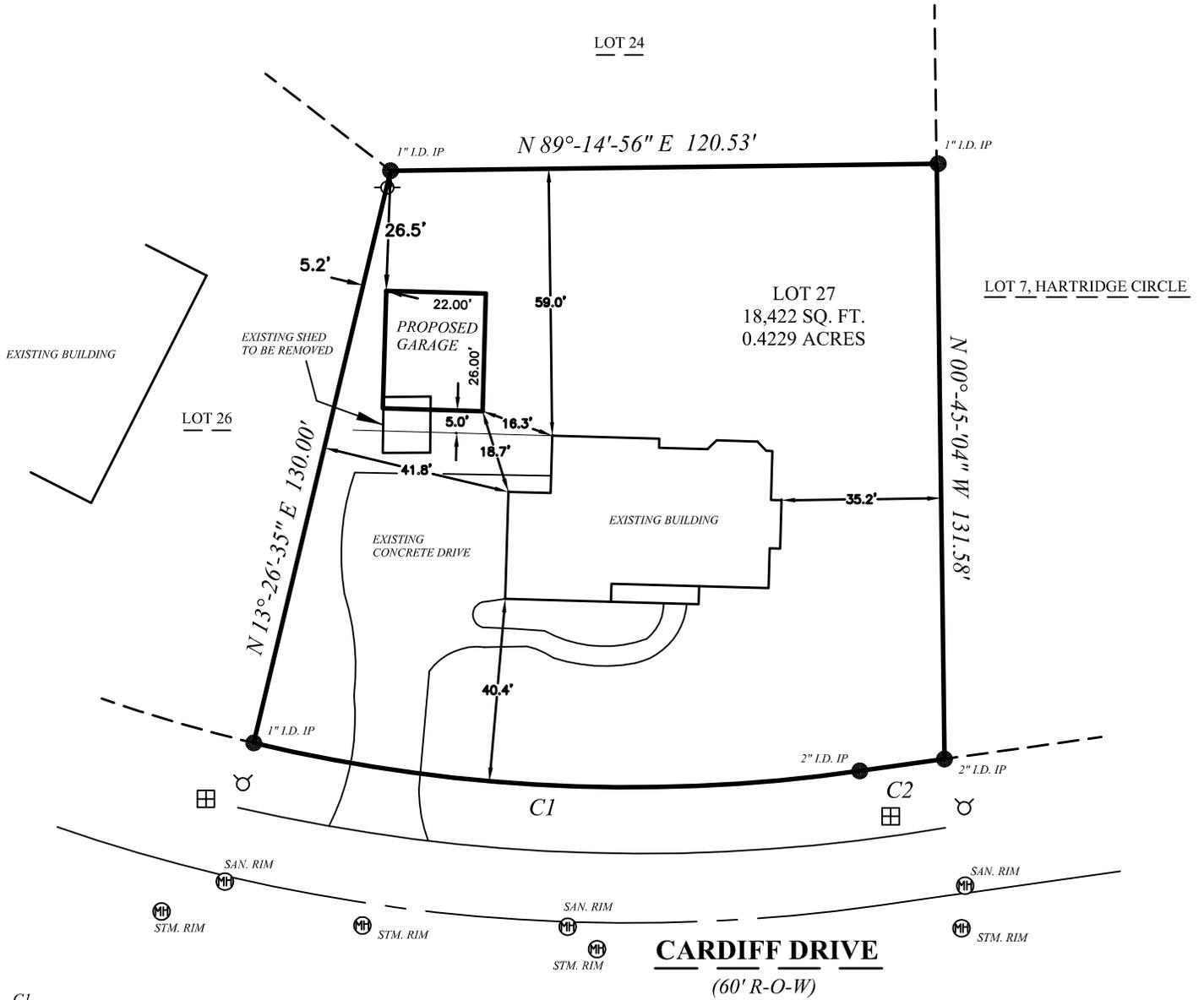
KPM TRUST
619 ROBIN LN
HARTLAND WI 53029

ORP REAL ESTATE HOLDINGS LLC
PO BOX 278
DOUSMAN WI 53118

RAYMOND & SUSAN BETZ
637 CARDIFF DR
HARTLAND WI 53029

YANJU WANG AND MICHAEL RATNER
592 BRADFORD WAY
HARTLAND WI 53029-2541

FOR LOT 27 OF WILLOW BLUFF, AND BEING A PART OF THE SE 1/4 OF THE NORTHWEST QUARTER OF SECTION 2, TOWN 7 NORTH, RANGE 18 EAST, VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



C1
 RAD. = 357.36'
 ARC = 134.72'
 CHD = 133.93'
 C.B. = $N 87^{\circ}-21'-25'' W$

C2
 RAD. = 3630.00'
 ARC = 18.87'
 CHD = 18.87'
 C.B. = $S 81^{\circ}-59'-31'' W$

CARDIFF DRIVE
 (60' R-O-W)

MEMORANDUM

TO: Tim Rhode

March 11, 2020

RE: Proposed 22' x 26' detached garage at 626 Cardiff Dr

Detached garages permitted in rear yard only, at least 5 feet from any side or rear property line.

Maximum allowable height is 15 feet measured from grade to ridge.
Proposed garage height is 18'-10".

Architectural Board can approve increase in height to 18 feet if proposed structure is "in harmony" and "aesthetically consistent" with existing structures on the property and in the neighborhood.

Plans indicate siding and roofing materials to match those on house.

I recommend approval subject to proposed garage height not exceeding 18 feet measured from grade to ridge.

Scott Hussinger
Building Inspector



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address			
Lot 1	Block CSM#6484& CSM3846	Subdivision Village of Hartland	Key No. HAV0732996017
Owner Eye Com Inc.		EMAIL rvialpando@wisconsinfreeze-dried.com	Phone 9209888498
Address 455 E. Industrial Dr.		City Hartland	State WI Zip 53029
Contractor J.M. Brennan, Inc	Phone (414) 342-3829	FAX (414) 342-3209	EMAIL JCEFALU@JMBRENNAN.COM
Address 2101 W St Paul Ave		City Milwaukee	State WI Zip 53233

The Architectural Board meets on the THIRD MONDAY of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

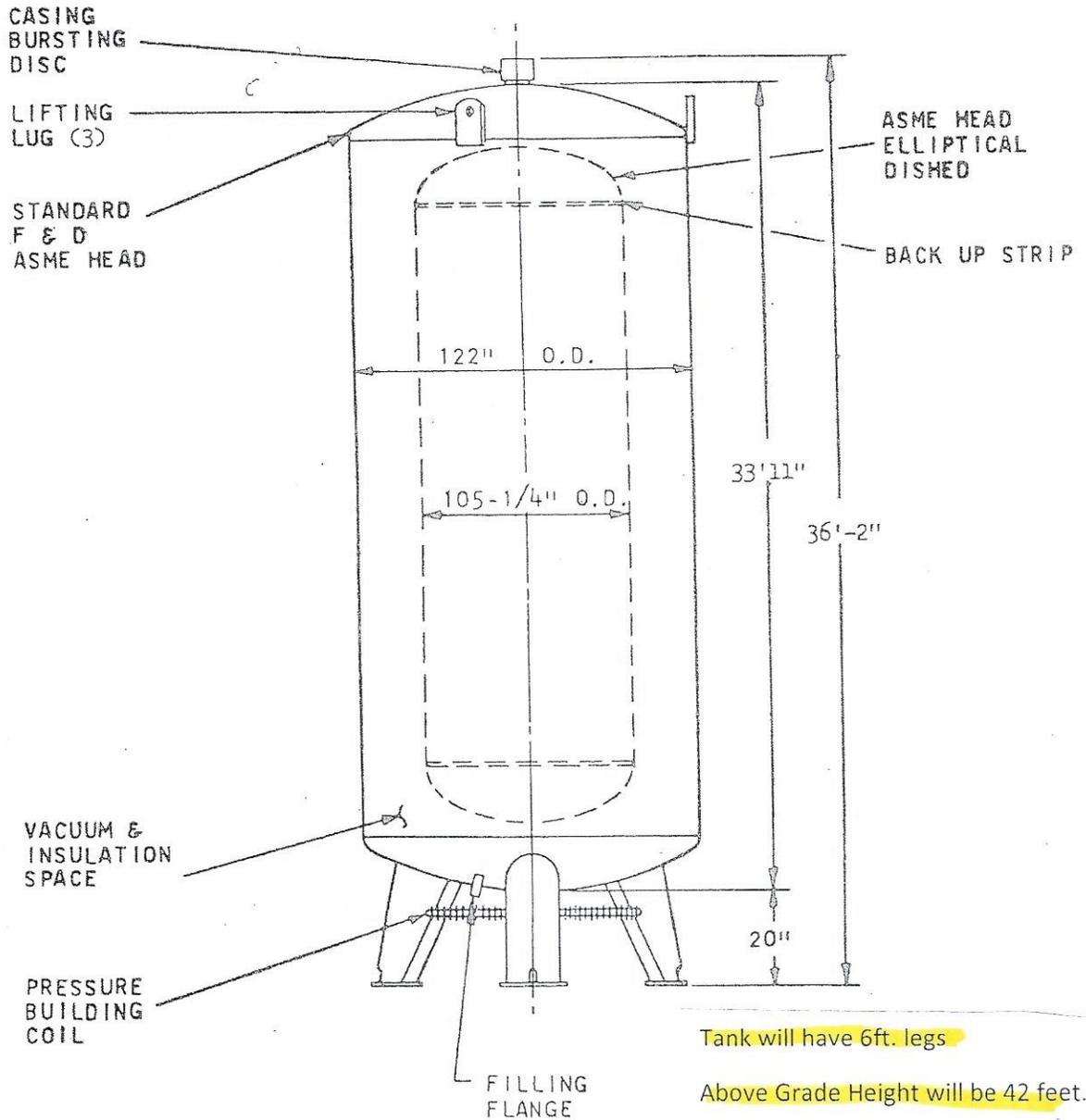
Signs:

- Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building. Four (4) sets of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

A	CHG'D. MATL. SIZE & SPECS	HK	SRK	12/14/76	SRK
LETT	ALTERATION	BY	CHK'D	DATE	APPV'D



Tank will have 6ft. legs
 Above Grade Height will be 42 feet.

SYMBOL	TITLE TM 13,000 STORAGE TANK GENERAL DESIGN & CONSTRUCTION	SIMILAR TO		FIRST USED ON	
		BY DS	DATE 9-23-76		LATEST ALT. LETT. A
UNION CARBIDE CORPORATION LINDE DIVISION		CHK'D GCH	GROUP	HO. SHTS. 3	DWT. NO. 1
ENGINEERING DEPARTMENT TONAWANDA, NEW YORK		APPV'D SRK	A-2069032		

NOTES (CONT.)

CASING (CONT.)

DESIGN AND CONSTRUCTION: THE CASING IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED ENGINEERING PRACTICE FOR PRESSURE VESSELS SUBJECT TO 15 PSI MAXIMUM EXTERNAL PRESSURE.

DESIGN AND TEST DATA

PNEUMATIC TEST PRESSURE 22.5 PSIG
 LEAK TEST HELIUM LEAK TEST (MASS SPECTROMETER)

GENERAL INFORMATION

VESSEL IS INSULATED WITH MPS- 172 PERLITE.

BOTH EXTERNAL AND INTERNAL PIPING ALONG WITH THE LIQUID CONTAINER ARE CLEANED FOR O₂ SERVICE.

WEIGHT

EMPTY 50,000 LBS.

FULL

N₂ 138,000 LBS.
 O₂ 174,000 LBS.
 A 201,000 LBS.

SAFETY DEVICES

CONTAINER

SAFETY VALVE 247 PSIG
 BURSTING DISK 315 PSIG

CASING

BURSTING DISK 10 PSIG

VOLUMES

GROSS CONTAINER VOLUME, GALLONS - 13,300
 NET CAPACITY GALLONS OF LIQUID - 13,000

TITLE

TM 13,000 STORAGE TANK GENERAL
 DESIGN & CONSTRUCTION

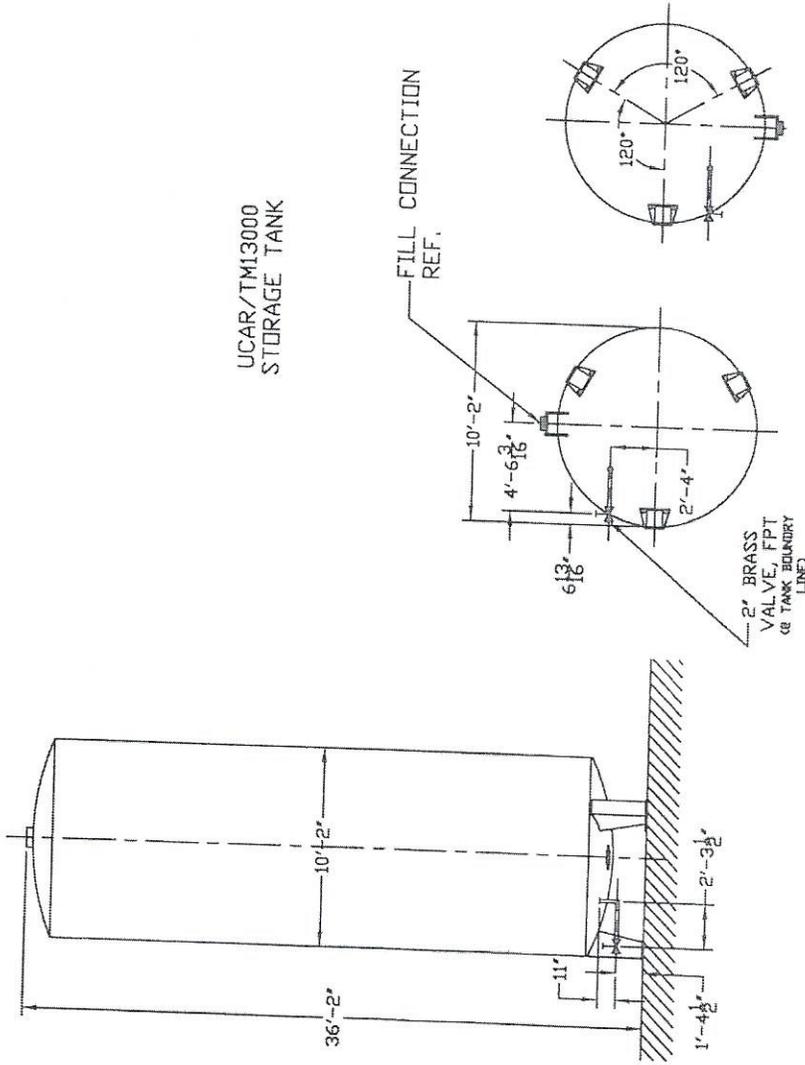
BY DS	DATE 9-23-76	CHK'D GH	
APP'D SRK	SHEET 3	SHEETS 3	



LINDE DIVISION
 ENGINEERING DEPARTMENT
 YONAWANDA, NEW YORK

A-2069032

UCAR/TM13000
STORAGE TANK



FRONT VIEW

BOTTOM VIEW

TOP VIEW



PRAXAIR NO.

FILE: PROFILE_13K

DRAWN BY: MRM

DATE: 12-26-01

CHECK BY: PCL

SCALE: 1"=10FT

APPROVED BY:

SHEET 1 OF 1

REV. DATE:

PROJECT: GENERIC

LOCATION:

ETE COMMUNICATION SYSTEMS

455 E. INDUSTRIAL DR. HARTLAND, WI 53029

PROJECT DESIGN CRITERIA

- 1) REFERENCE THE "BILL OF MATERIAL" ON THIS SHEET. THE SITE WORK, i.e. CIVIL, ELECTRICAL, PERMITTING etc. SHOWN. THE PRODUCT SUPPLY SYSTEM, i.e. TANK, VAPORIZERS & INTERCONNECTING PIPING, IS THE RESPONSIBILITY AND IS OWNED BY "PRAXAIR INC."
 - 2) ALL ACCESS ROADWAYS ARE THE RESPONSIBILITY OF THE CUSTOMER AND ARE TO BE CAPABLE OF SUPPORTING 80,000 lbs. AASHTO HS-20 LOADING.
 - 3) THIS FOUNDATION SYSTEM IS DESIGNED ASSUMING THE FOLLOWING CONDITIONS: 2000 psf SOIL BEARING CAPACITY, 115 MPH WIND LOAD EXPOSURE 'C', SEISMIC VALUES: Ss=8.6 S1=4.6 (IBC 2012)
- NORMAL WATER TABLE CONDITIONS. IN ACCORDANCE WITH A.C.I.318 LATEST EDITION FOR CONDITIONS OUTSIDE THESE CRITERIA IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE SUITABLE FOUNDATION DESIGNS THAT MUST BE APPROVED BY "PRAXAIR INC" BEFORE CONSTRUCTION.
- 4) CONTRACTOR TO REMOVE TOPSOIL UNTIL A SUITABLE BASE IS ESTABLISHED FOR GRAVEL UNDERLAYMENT IF CONDITIONS CANNOT BE MET AT DRAWING DEPTHS.
 - 5) CONTRACTOR TO USE AIR ENTRAINED, 4"-5" SLUMP CONCRETE; ASTM #C-150 TYPE I, FC=4500psi @ 28 DAYS. OR ASTM #C-150 TYPE III, FC=4500psi @ 7 DAYS.
 - 6) ROUND EDGES OF PADS WITH SIDEWALK EDGING TOOL.
 - 7) TOP OF PADS TO BE BROOM FINISHED AND LEVEL. ALL PAD ELEVATIONS TO BE REFERENCED FROM CHOSEN BENCHMARK.
 - 8) SKIRTING OF PAD TO BE BELOW FROST LINE PER LOCAL BUILDING CODES.
 - 9) BUMPER POSTS TO BE FILLED WITH CONCRETE. IN MULTIPLE POST INSTALLATIONS, ALL POST TOPS ARE TO BE IN A LINE.
 - PRIME=2.5mil RED OXIDE PAINT=SSSPC-SP6
 - W/3 STRIPS OF REFLECTIVE GROUND FAULT INTERRUPTERS.
 - 10) BUMPER POSTS TO BE PAINTED; BLAST=SSSPC-SP6
 - 11) ALL OUTDOOR RECEPTACLES AT SITE TO BE PROTECTED WITH GROUND FAULT INTERRUPTERS.
 - 12) ALL ELECTRICAL COMPONENTS NOT INSTALLED WITHIN A BUILDING MUST BE IN WEATHERTIGHT ENCLOSURES.

BILL OF MATERIAL

ITEM	QTY	U/M	DESCRIPTION	SUPPLIER
1	1	EA	VESSEL, CROGENIC STORAGE, TL-13000 NITROGEN (6' LESS)	PRAXAIR
2	1	EA	VAPORIZER, ATMOSPHERIC PRODUCT, THERMAX S520H/F	PRAXAIR
3	1	EA	VAPORIZER, ATMOSPHERIC PRESSURE BUILDING, 804	PRAXAIR
4	1	EA	TANK, PRESSURE CONTROL MODULE	PRAXAIR
5	1	EA	POWERED WIRELESS TELEMETRY UNIT	PRAXAIR
6				
7				
8				
9			PIPE, 6" SCH 40 x 72" lg, (MIN) C-STL	CUSTOMER
10				
11			BAR, NO.7, ASTM TYPE A-615, GRADE 60	CUSTOMER
12			BAR, NO.6, ASTM TYPE A-615, GRADE 60	CUSTOMER
13			BAR, NO.5, ASTM TYPE A-615, GRADE 60	CUSTOMER
14			FENCE, CHAIN LINK, 9 GA. X 72" HIGH	CUSTOMER
15			GATE, SLIDING, 72" WIDE MIN, CHAIN LINK, 9 GA. X 72" HIGH	CUSTOMER
16			GATE, SWING 36" WIDE MIN, CHAIN LINK, 9 GA. X 72" HIGH	CUSTOMER
17			CONCRETE, SEE NOTE # 5.	CUSTOMER
18				
19	1	EA	120 VOLT/ 15 AMP POWER SUB-UP FOR ROOM	CUSTOMER
20	1	EA	120 VOLT/ 20 AMP POWER SUB-UP w/ GFI DUPLEX OUTLET/ TELEMETRY UNIT	CUSTOMER
21				
22				
23				
24				
25				

PRAXAIR NEW EQUIPMENT TABLE

ITEM	EQUIPMENT NAME	REMARKS	DIMENSIONS (ft)			WEIGHT (pounds)		ANCHOR BOLTS	
			Length	Width	Height	Empty	Full	Type	Embedment
1	TL-11,000 LNG Vertical Tank	on new foundation	122	66	526	35,000	125,000	1	43
2	S520 2 x 2 Vaporizers	on new foundation	22	22	128	136	NA		

FOR
CONSTRUCTION

PRAXAIR BUSINESS CONFIDENTIAL

ADDRESS SERVICE CENTER - EAST CHARLOTTE, NC 28226

PRAXAIR NITROGEN SYSTEM

SYSTEM LAYOUT & FOUNDATION

WISCONSIN FREEZE DRIED

HARTLAND, WI

DATE: 1/28/20

SCALE: N.T.S.

PROJECT NO: 2395405

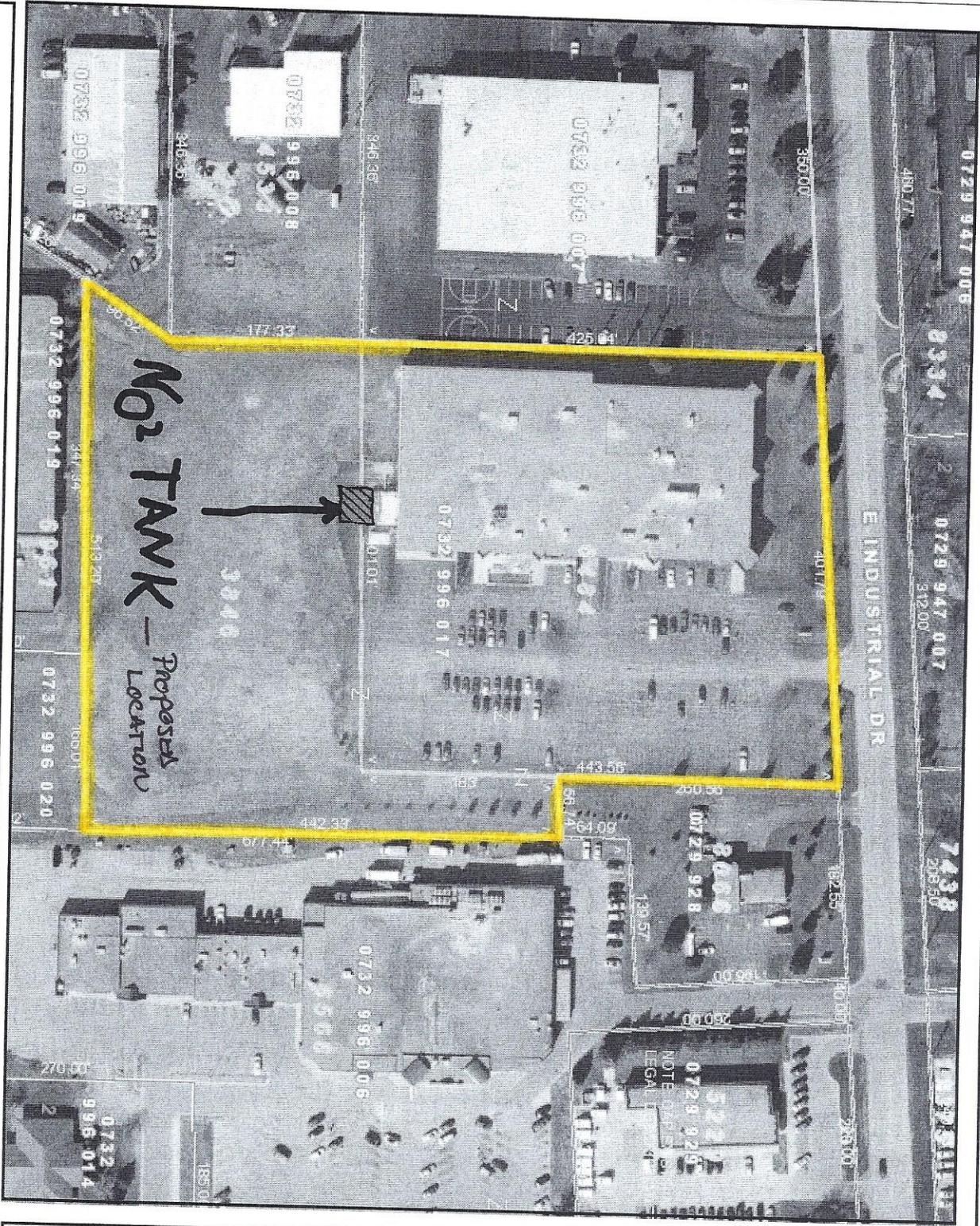
DATE: 1/28/20

REV: 1

BY: 3

CHECKED: 0

Waukesha County GIS Map



0 140.87 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

- Legend**
- Plats
 - Retired Plats
 - Municipal Boundary_2K
 - FacilitySites_2K_Labels
 - Lots_2K
 - Lot
 - Outlet
 - SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
 - Carotline_2K
 - <all other values>
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Line
 - PL-Meander_Line
 - PL-Note
 - PL-The
 - PL-The_Line
 - Road_Centerlines_2K
 - Railroad_2K
 - TaxParcel_2K
 - Waterbodies_2K_Labels
 - Waterlines_2K_Labels
 - Municipal Boundary_5K
 - FacilitySites_5K_Labels
 - Waterbodies_5K_Labels
 - Waterlines_5K_Labels
 - Railroad_5K
 - SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
 - TaxParcel_5K

Notes:

Printed: 2/22/2020



Waukesha County GIS Map



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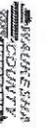
0 81.93 Feet

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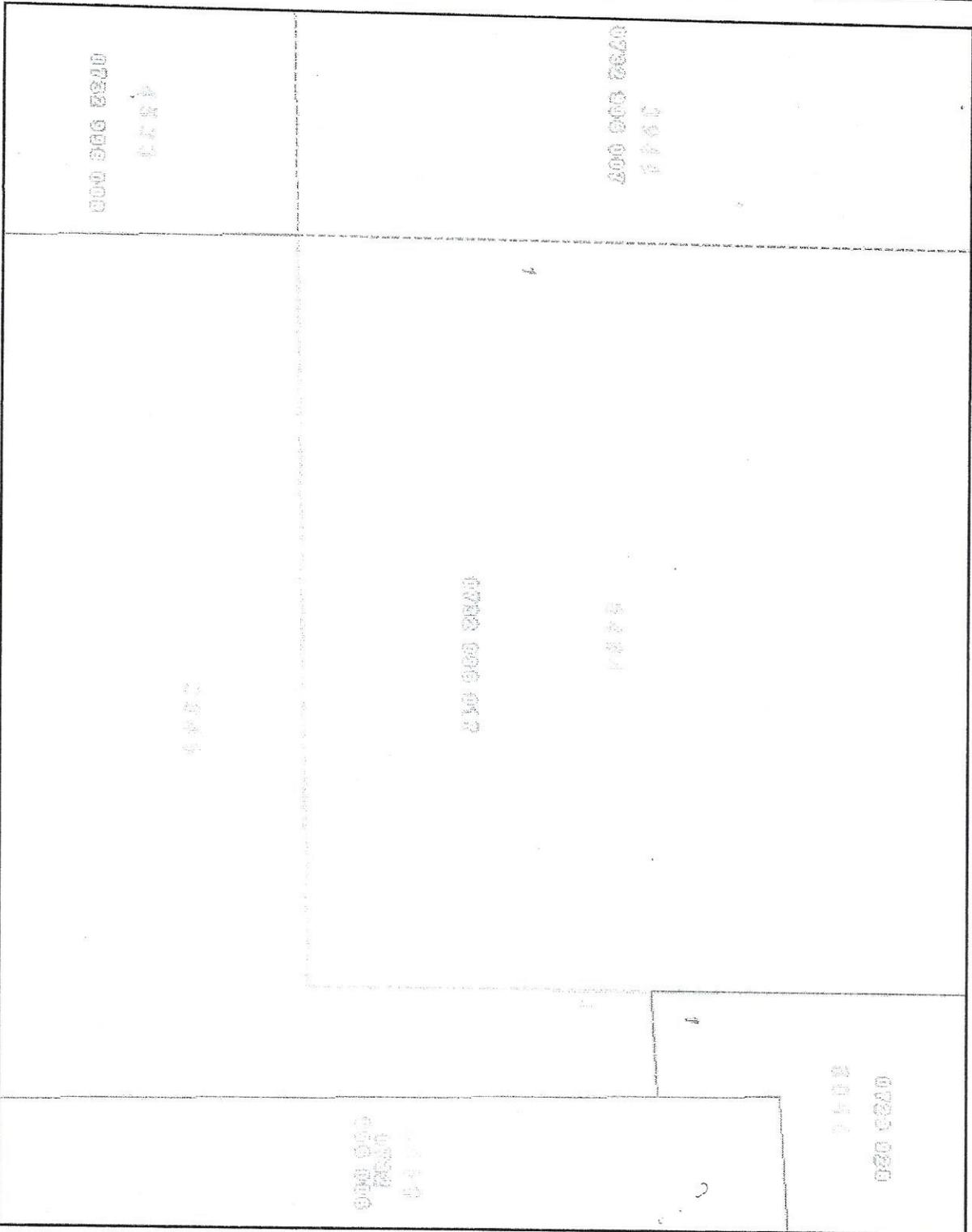
Notes:

Printed: 2/27/2020





Waukesha County GIS Map



0 81.93 Feet

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- Waterlines_5K_Labels
- Railroad_5K
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- TaxParcel_5K

Notes:

Printed: 2/27/2020



Property Details

Tax Key: **HAV 0732996017**

Tax Year: **2020**

2/27/2020 10:49:05 AM

**WAUKESHA COUNTY
VILLAGE OF HARTLAND**

OWNER NAME AND MAILING ADDRESS

PROPERTY ADDRESS

EYE COMMUNICATION SYSTEMS
1823 EXECUTIVE DR
OCONOMOWOC, WI 53066-4832

455 E INDUSTRIAL DR
HARTLAND, WI 53029-2330

Contact Us to Update Mailing Address

LEGAL DESCRIPTION

LOT 1 CSM #6484 VOL 53/351 REC AS DOC #1661178 PT NE1/4 SEC 3 T7N R18E :: ALSO PT CSM #3846 VOL 29/405 REC AS DOC #1128682; COM NW COR; N89°51'E 40 FT; N 269.71 FT; N86°37'E 350 FT; S 425.64 FT THE BGN; N89°11'E 401.01 FT; N 183 FT; N86°37'E 56.74 FT; S 442.33 FT; S89°11'W 513.20 FT; N33°56'E 96.52 FT; N 177.33 FT TO BGN :: R1329/669 & R1541/22

ASSESSMENT STATUS

OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS

Assessment Year: 2020
Assessment Status: ACTIVE
Assessment Attributes: NONE
Deeded Acres: 0.000

DEED RI 1329 / 669
DEED RI 1541 / 22

ASSESSMENT INFORMATION

Assessed By: WI Department of Revenue
Board of Review Date:

Links to WI Dept of Revenue Resources:
[Guide for Property Owners](#)
[Property Assessment Appeal Guide](#)
[Board of Review Calendar](#)

PROPERTY VALUES

Property Class **Acres** **Land** **Improvement** **Total**
The current property valuation is in process. You will find the contact information for the Municipal Assessor shown above. The Links to WI Dept of Revenue will provide more information about the property assessment process. You can see assessment values for a previous year by changing the tax year at the top of this screen.

DISTRICTS

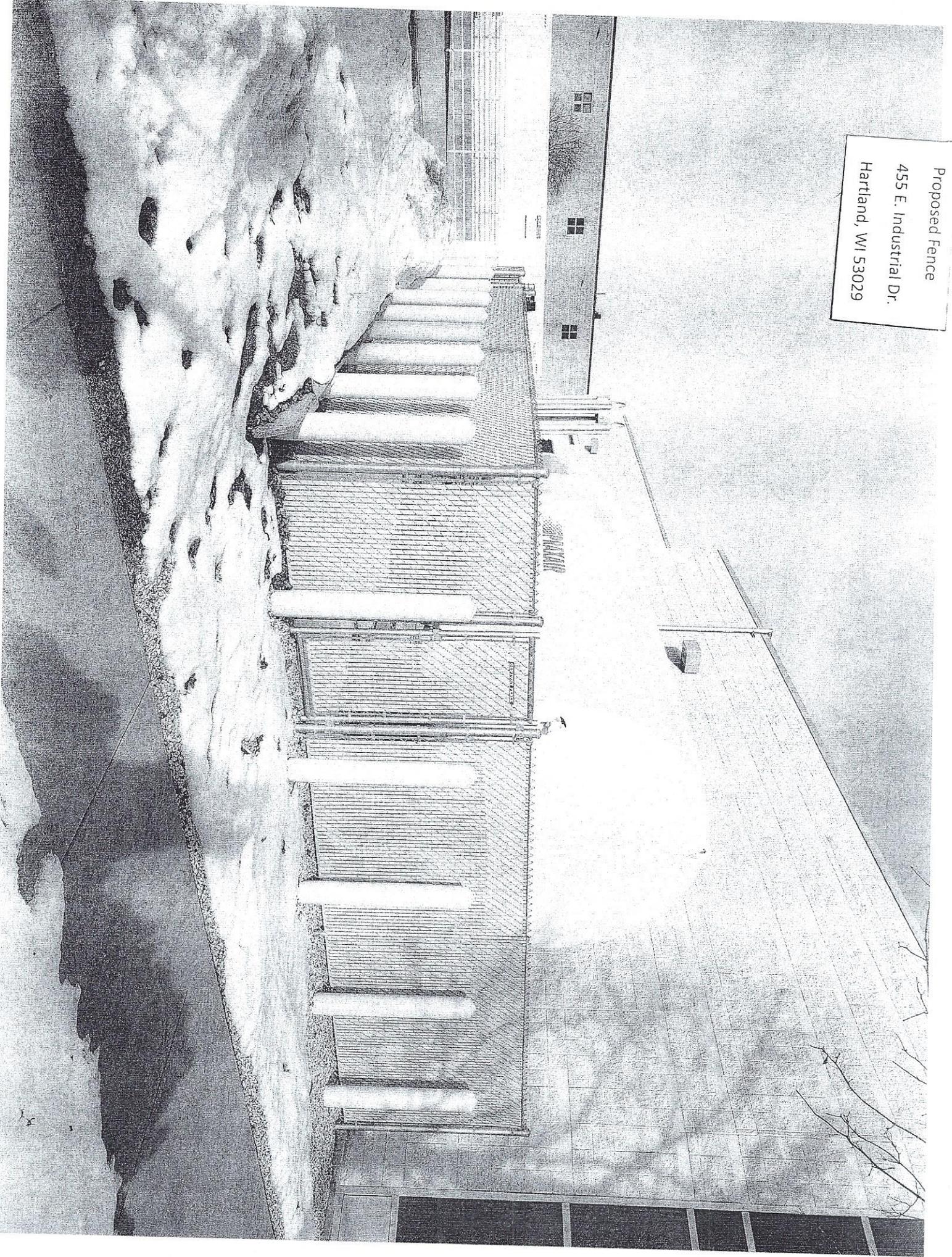
District Type	District Name	DOR Code
VILLAGE	VILLAGE OF HARTLAND	136
SCHOOL	HARTLAND LKSIDE 2460	2460
HIGH	ARROWHEAD U H S 2450	2450
TCDB	WAUKESHA TECH COLLEGE	08

This program accesses data from databases maintained by several County Departments and Local Municipalities. There may be inconsistencies in data depending on the date the information was gathered or the purpose for which it is maintained. Due to variances in sources and update cycles, there is no guarantee as to the accuracy of the data. For questions regarding Outstanding Taxes and Tax Payment records, contact the County Treasurer's office at (262)548-7029.

For Tax Listing and GIS Viewer related issues, please see our FAQs click here. If you still have tax listing questions, contact: taxlisting@waukeshacounty.gov. If you still have GIS Viewer questions, contact: landinformation@waukeshacounty.gov.

The following browsers are supported:    This page run 2/27/2020 10:49:05 AM.

Proposed Fence
455 E. Industrial Dr.
Hartland, WI 53029



To: Robert Vialpando
CC: RJ Spehn
From: Jorge Pesquera
Date: 1/29/2020
Re: Praxair / Wisconsin Freeze Dried - Scope of Work

Robert,

The equipment for the Bulk Nitrogen Supply System is:

Bulk Nitrogen Supply System #2395405

- 13,000 Gallon, Cryogenic Liquid Tank on 6ft legs
Height 42' Diameter 10' Weight Empty 38,000# Weight Full 126,000#
- External Pressure Building, PBV804, QTY 1
- Warming Vaporizer, SG20HF, QTY 1
- Pressure Building Module

Prior to Praxair installing equipment, all site work **MUST** be completed. **Wisconsin Freeze Dried Foods** is responsible for **ALL** site work which includes but not limited to:

- Concrete
- Fencing & Gates
- Bumper Posts For Vehicle Protection per NFPA 55 Section 4.11
- Lighting
- Any Permits Required (including crane work)
- Electrical Conduit – Power
- Electrical Disconnects
- Piping From The Building To The Product Pad
- Electrical Receptacle – 120V 20 amps GFI (can be tied to same circuit as Tracker)
- Power required for the Tracker Unit: 120V 20 amps GFI, #14 AWG, 3-Conductor, Type THWN Wire. An On/Off Switch shall be installed as the Termination Point for the Electrical Power.
- Power required for the Tank Pressure Control Module: 120V 15 amp dedicated, outdoor-rated circuit. An On/Off Switch shall be installed as the Termination Point for the Electrical Power.
- Supply Electrician to run Conduit and land all Wiring on the specific Components during Installation of the System under Praxair supervision



Making Our Planet More Productive

Praxair Inc.
4330 Kennedy Ave
East Chicago, IN 46312

Praxair's scope of work during installation is as follows:

- Transportation of all Equipment
- Hiring of Crane company and Riggers to set Tanks and Equipment
- Anchoring Equipment to Pad
- Brazing of Piping from the Tanks to Wisconsin Freeze Dried Foods's Source Valves, **Praxair** will Connect to **Wisconsin Freeze Dried Foods's** Source Valves
- Perform Initial Fill of the System and review Start Up Procedure with **Wisconsin Freeze Dried Foods** when turning the System Online

Wisconsin Freeze Dried Foods will need to supply an electrician to run conduit and land all wiring on the specific components during the installation of the system while under Praxair supervision. **Please be aware that all NFPA 55 guidelines and distances must be strictly adhered to.** Any deviation from NFPA must be approved, in writing, by a local Authority Having Jurisdiction (AHJ).

If you have any technical questions regarding the bulk system or siting requirements, please direct them to me.

Praxair Planner, Melissa Pearman, will follow up to schedule the installation of the new system. Once confirmed, a schedule of events detailing the timing of the installation will be sent.

If you have any questions or concerns, please give any of us a call at:

Melissa - 219-391-5214

Jorge – 219-391-5185

Sincerely,

Jorge Pesquera
Project Manager

3-D REAL ESTATE INVESTMENTS LLC
540 NORTON DR
HARTLAND WI 53029

BARK RIVER PROPERTIES
2831 N GRANDVIEW BLVD STE 222
PEWAUKEE WI 53072-5584

EYE COMMUNICATION SYSTEMS
1823 EXECUTIVE DR
OCONOMOWOC WI 53066-4832

KUSCH INVESTMENTS LLC
N65W30981 BEAVER LAKE RD
HARTLAND WI 53029-9799

RONALD & ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029

445 CARDINAL LLC
445 CARDINAL LN
HARTLAND WI 53029-2332

D&B HAYDEN LLC
425 E INDUSTRIAL DR
HARTLAND WI 53029

HARTLAND SELF STORAGE LLC
74 HALBACH CT
FOND DU LAC WI 54937-8626

MICHAEL R WHITE REVOCABLE TRUST
OF 1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

RONALD & ANN JAEGER
430 INDUSTRIAL DR
HARTLAND WI 53029-2329

AUSTIN REAL ESTATE COMPANY LLC
530 NORTON DR
HARTLAND WI 53029-2328

EHLEN LIMITED PARTNERSHIP
10510 FRANCE AVE S
BLOOMINGTON MN 55431-3538

ILLINOIS TOOL WORKS INC
PO BOX 110
HARTLAND WI 53029-0110

MICHAEL R WHITE REVOCABLE TRUST
OF 1992
3787 CAMPBELL TRCE
HARTLAND WI 53029-8826

SW 2017 1 LLC AND J F CLEARCOTTON
LLC
1200 N MAYFAIR RD STE 310
MILWAUKEE WI 53226-3288

MEMORANDUM

TO: Tim Rhode

RE: Proposed 42 feet high tank at 455 E Industrial

Property owner is Eye Communication Systems

Tenant is Wisconsin Freeze Dried/Herbsmith

Tenant is requesting permission to install 10' x 36' tank on legs 6' tall to store liquid nitrogen.

Tank to be mounted to 16' x 20' concrete pad surrounded by enclosure and bollards.

Enclosure is located about 25 feet from edge of manufacturing building.

Tank located such that neighboring properties not subject to physical damage if tank falls over.

Questions:

Enclosure details – Color? Height? Material?

Tank color?

Is additional landscaping of any value to screen/soften view?

Is any illumination proposed?

Frequency of tank filling/servicing?

Tank content? Will tank content ever change?

Arch Bd/PC approval subject to:

Require that tank be removed if no longer needed or if WI Freeze Dried or Herbsmith vacates the premises.

Be maintained such that tank, enclosure and bollards are plumb, level and visually pleasing.

MEMO

TO: Tim Rhode, Village Administrator
 FROM: Ryan Amtmann, Village Engineer
 DATE: March 11, 2020
 SUBJECT: LCL Development Area – Petition for Rezone and PUD

BASIC INFORMATION	
Project Name	Lake Country Lutheran East Lands
Applicant Name	Neumann Development Inc
Consulting Planner and/or Engineer	TRIO
Existing Zoning	Public/Institutional
Requested Zoning	Rs-5 PUD Single-Fam Res, Rm-1 PUD Multiple-Family Res
Address/Abbreviated Legal	Tax Key HAV0423981
Comprehensive Land Map Designation	Low Density Res 2.5 to 5 u/a High Density Res 8 to 18 u/a

ADJACENT LAND USE/ZONING MATRIX		
Direction	Land Use	Zoning
North	Single Family	Town of Merton R-1 Single Fam
South	N/A	Hwy 16
East	Single Family Res	Rs-5
West	Public/Institutional	C-1

Neumann Development, Inc. Submitted a Rezoning Petition and PUD Petition both dated 1/30/2020.

Rezoning Petition

- Subject property is tax key HAV0423981; 53.31 acres in size; and currently zoned I-1
- Neumann's petition narrative states that the Isolated Natural Resource Area (INRA) is based upon the SEWRPC 2010 delineation and is 15.48 acres in size.
- The petition states that the design intent is to create the development around the INRA and preserve it in an Upland Conservancy Overlay (UCO) District
- The Rezoning Exhibit "A" shows the 53.31acre parcel to have two new zoning designations upon it
 - Area A is 27.4350 acres and is proposed as RS-5 with an UCO for the easterly portion of the area in 11.0177 acres in size.
 - Area B is 16.9677 acres and is proposed as RM-1 with an UCO for the easterly portion of the area in 4.4595 acres in size.
 - Lands to Remain I-1 – the southerly 8.9096 acres of land will remain as I-1. The rezoning petition states that this area could allow for future institutional or commercial use.

PUD Petition

- Neumann's PUD petition narrative states that they are proposing a PUD Overlay for:
 - Area A – proposed RS-5 zoning with PUD overlay and UCO. Proposed development is single family condominium. Narrative states that PUD will allow for design of urban style cluster community that will preserve a significant portion of the wooded areas along the west and north parts of the lot.
 - Area B – proposed RM-1. RM-1 REQUIRES a PUD overlay.

The Rezoning and PUD petitions were discussed initially at the 2/17/2020 Plan Commission meeting.

- Plan Commission requested that the INRA be delineated
- Plan Commission stated that the Rezoning and PUD approvals should occur concurrently.

NEW INFORMATION

- On Friday March 6, 2020, Neumann provided the following additional information related to their Petition for Rezoning and PUD.
 - Isolated Natural Resource Area Delineation Report, dated March 3, 2020, prepared by Heartland Ecological Group, Inc. The report summarizes the following highlights:
 - The INRA has been delineated to include 39.09 acres of area, which equals most of the site
 - Because this area is less than 400-acres and 100-acres respectively – the area is neither a primary nor secondary environmental corridor, rather it is defined as an Isolated Natural Resource Area (INRA)
 - The INRA includes wetlands, steep slopes, and significant wildlife habitat.
 - Tree species comprising the canopy were dominated by black cherry; red oak; white oak; quaking aspen; red cedar; shagbark hickory; box elder, American basswood and American elm.
 - Dominant shrub species within the INRA include common buckthorn and hybrid bush honeysuckle
 - The report is ambiguous regarding SEWRPC and/or local unit of government in having authority/jurisdiction over the INRA.
 - Updated Rezoning Exhibit "A" dated March 6, 2020.
 - The UCO was adjusted slightly, and acreages updated.
 - The multifamily area was adjusted from 8 buildings to 6 larger buildings.
 - The entrance to the multifamily area was changed from the interior road to Campus Drive
 - We recommend that SEWRPC be provided the latest concept plan and rezoning exhibit along the INRA delineation report to confirm the extent of authority to which the Village of Hartland can set the limits of the development area and the UCO, given that the majority of the site is designated as INRA.

PROCESS MOVING FORWARD

Rezoning

- Per Sec. 46-38 (2) Owners' names and addresses of all properties lying within 200 feet of the area proposed to be rezoned, shall be attached to the petition
- Per Sec. 46-39 Recommendations of Plan Commission
 - Plan Commission shall recommend that the petition be granted as requested, modified or denied. The recommendation shall be made at a meeting subsequent to the meeting at which a petition is first submitted and shall be made in writing to the Village Board.
- Per Sec 46-40 Hearings
 - Village Board shall hold a Public Hearing for the proposed change to zoning recommended by the Plan Commission
 - Following the Public Hearing, the Village Board shall vote on the proposed change to zoning.

PUD

- Sec 46-806 Procedural Requirements
 - (1) Meeting with Plan Commission (or its staff) – prior to official submission of the petition for PUD.
 - Pre-petition meeting - Owner shall present a general conceptual development plan including drawings/sketches, figures/calculations using 46-806(2)b
 - Petition – following the pre-petition conference, the Owner may file a petition with the clerk for approval of PUD containing the following:
 - There is a more detailed list of items that the Owner needs to include with the petition identified in 46-806 (2)b related to the general development plan such as:

- Location of public and private roads, driveways, sidewalks and parking facilities
 - Architectural plans, elevations and perspective drawings and sketches illustrating the design/character of proposed structures
 - Existing and proposed locations of sanitary sewer, water supply and stormwater drainage facilities
 - Existing and proposed locations of private utilities or other easements
 - Characteristics of soils
 - Existing topography – ID areas > 12% slopes
 - Staging plan.
 - The PUD petition that was submitted on 1/30/2020 is deficient of some of the above information
- Referral to Plan Commission – the complete petition for a PUD overlay district shall be referred to Plan Commission for review/recommendation/conditions to Village Board
 - Public Hearing (at Village Board) – upon receipt of the Plan Commissions' recommendations, the Village Board, shall hold a Public Hearing.
- Sec 46-807 Basis for Approval of the Petition
 - Plan Commission in making its recommendation and Village Board in making its determination shall consider the following:
 - (1) Owner intends to begin the development of the PUD within one year of approval; do so with a reasonable schedule/staging plan; and Owner has the financial capacity to carry out the project
 - (2) PUD is consistent with purpose of Division 46 – Land Development
 - (3) Items a. through g. related to technical/infrastructure functions being adequate
 - (4) Items a. through j. related to residential aspects/impact being adequate
- Sec 46-808 Determination of Disposition of the Application
 - (a) Generally – Village Board, after due consideration, shall either deny, approve as submitted or approve subject to conditions and restrictions.
 - (b) Approval
 - (1) General Approval – Plans submitted with the PUD application need not be completely detailed at the time of rezoning provided they are of enough detail to satisfy the Village Board as to the general character, scope and appearance of the proposed development. Such preliminary plan shall designate the pattern of proposed streets, size/arrangement of buildings. The approval of such a preliminary plan shall be

conditioned upon the subsequent submittal and approval of more specific and detailed plans as each stage of development progresses.

- (2) Detailed Approval – Plans submitted for detailed approval shall be sufficiently precise for Village Board approval. A Letter of Credit is required prior to Detailed Approval.
- (c) Guarantees – developer shall enter into a contract with the Village to guarantee implementation of the development in accordance with the approved PUD.
- (d) Changes and additions – Any subsequent changes to PUD shall be submitted to Plan Commission for recommendation to Village Board.
- (e) Subsequent land division – the division of land within a PUD district for the purpose of conveyance of ownership shall be pursuant to land division regulations of the Village, and a preliminary plat of the lands to be divided shall accompany the petition for PUD approval.

STATUS TODAY

- Rezoning Petition –
 - I believe the Village Ordinance would allow for moving forward with the rezoning of the property that is intended to have a PUD overlay district, on separate timelines.
 - However, I do not believe that the rezoning can be accomplished with 3 different zoning classes on 1 single parcel. I believe the land division would need to occur to allow for a minimum of 3 parcels to change the zoning.
 - For the above reason, I believe the rezoning of the property should occur concurrently with the PUD approval and land division document.
 - The Plan Commission could affirm its concurrence with the proposed zoning of the 3 future parcels, subject to the approval of the PUD and land division document
- PUD Petition
 - There should be a formal pre-petition meeting between Village representatives and Neumann to review their 1/30/2020 rezoning/PUD petition documents; March submittal of INRA delineation report and updated exhibits and to discuss high level concepts such as: private vs public roads; private vs public sewer/water mains; Willow Drive; minimization of INRA impact; locations of private/public utilities; architectural sketches of proposed structures; and other information identified above that is required to be submitted with the PUD Petition
 - This meeting could occur on Friday March 13
 - At the pre-petition meeting the development review process should be discussed and outlined.
 - The pre-petition meeting would serve to allow Neumann staff and Village representatives to collaborate and identify high level issues that should be brought forward early in the process to the Plan Commission for input.
 - The PUD Petition may need deliberation at more than 1 Plan Commission meeting, given the complexity of this project
 - The PUD process allows for a "General Approval by Plan Commission/Village Board" followed by a "Detailed Approval".
 - The PUD process requires a preliminary plat to be provided for land divisions within the PUD. This needs to be submitted with the petition for the PUD.
 - The PUD agreement and letter of credit need to be finalized with the Detailed Approval.

RTA:rt



PETITION FOR

REZONING ZONING CODE AMENDMENT

\$400 REVIEW FEE DUE AT TIME OF APPLICATION

PLUS \$200 PROFESSIONAL FEE DEPOSIT

Property Owner	LHSA of Greater Milwaukee Applicant: Neumann Developments Inc.		
Property Address	East side of Campus Drive north of Hwy 16		
Contact Person	Bryan Lindgren	Phone	262-542-9200
Key No. HAV	0423981	Email	blindgren@neumanncompanies.com

The Plan Commission meets on the third Monday of the month at 6:30 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State zoning change desired:

see narrative

State present use of property and intended use:

see narrative

Include a Plat Map drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and directory of each boundary thereof, the location of existing buildings and uses of same on such lands. Also, show the proposed building and the plat plans and indicate setbacks and offsets from the lot line. Parking area should also be shown.

Petitioner Signature		
Print Name	Bryan Lindgren	Date 1-30-20

OFFICE USE ONLY:

Date Applied:	Fee Paid:	Meeting Date:
---------------	-----------	---------------



VILLAGE OF HARTLAND
PETITION FOR:



NEW PLANNED UNIT DEVELOPMENT OVERLAY PETITION
(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

OR

AMENDMENT TO EXISTING PLANNED UNIT DEVELOPMENT
(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

FEE: \$150.00 + \$1,000 Professional Fee Deposit

Date: <u>1-30-20</u>	Fee Paid:
Date Filed:	Receipt No.

- Name: Newmann Developments Inc. - Bryan Lindgren
Address of Owner/Agent: N27W24025 Paul Ct., Suite 100
Pewaukee, WI 53072
Phone Number of Owner/Agent: 262-542-9200
FAX No. — E-mail blindgren@neumanncompanies.com
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use.
see attached narrative


Signature of Petitioner
N27W24025 Paul Ct, suite 100, Pewaukee, WI 53072
Address
262-542-9200
Phone

NOTE:

- a. Upon receipt of the petition for a PUD Overlay or PUD Amendment, the Plan Commission shall consider the request after the second meeting and make a recommendation to the Village Board. If the Village Board, upon reviewing the Plan Commission's recommendation, determines the request to have merit, it may order publication for a public hearing. After the public hearing held by the Village Board, it will take any action deemed necessary.
- b. Petition, Approval of Location and Plan of Operation may be made to the Village Plan Commission by filing such petition with the Village Clerk, accompanied by an operation description and a site plan showing the property boundaries, proposed and existing structures, a sketch of the building exterior and floor plan, and indicating uses on abutting property within 25 feet. Plans for landscaping and indication of parking facilities should be attached. Be as detailed as possible in order to fully inform the Plan Commission of your exact purpose and intention.
- c. Include a Plat Map in triplicate, drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and direction of each boundary thereof, the location of existing buildings and uses of same on such lands. Also, show the proposed building and the plat plans and indicate setbacks and offsets from the lot line. Parking area should also be shown.
- d. Ask for a copy of the Village Ordinance relating to zoning changes or Planned Unit Development districts (PUD), as required.
- e. Include fee payable to **The Village of Hartland**

\$150 for PUD Petition + \$1,000 PROFESSIONAL FEE DEPOSIT
- f. Mail or deliver request, in triplicate, to:

**Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029**

**Village of Hartland
Professional Services Reimbursement Form**

The Village of Hartland has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such services is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that the Village may pass on other certain fees, costs, and charges which will be the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to this Agreement between the Village and, The responsible party listed below, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of activities incurred by the responsible party, whether at our request or at the request of the Village, we shall be responsible for the fees and expenses incurred by the Village. In addition, we have been advised that certain other fees, costs, and charges will be our responsibility.

Project Name: Campus Drive - East of Lake Country Lutheran

Submit invoices to: Responsible Party Property Owner

Responsible Party:

Neumann Developments Inc.
Bryan Lindgren
Printed Name [Signature] Signature 1-30-20 Date

N27W24025 Paul Ct., Suite 100 Pewaukee WI 53072
Street Address City State Zip

Phone 262-542-9200 E-Mail blindgren@neumanncompanies.com

Property Owner Name:

Printed Name Signature Date

Street Address City State Zip

Phone E-Mail _____

INTERNAL USE ONLY

Amount Due: \$ _____ Check #: _____ Date Paid: ___/___/___ Rec'd By: _____



January 30, 2020

Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

Dear Plan Commission,

We are excited to be submitting for consideration our request to re-zone lands east of Campus Drive in Hartland for the purposes of a mixed use development. Neumann Developments Inc. has been creating single-family residential subdivisions in South-Eastern and South-Central Wisconsin since the year 2000, and has had the proud distinction to have their communities selected for the Metropolitan Builders Association Parade of Homes in seven of the past nine years. Since the year 2000, Neumann Developments has developed over 4000 home sites, built over 40 miles of roads, and preserved over 2000 acres of land. For this proposed development we will be cooperating with Catalyst Construction. Catalyst is one of southeast Wisconsin's fastest growing and most respected construction firms specializing in providing construction management and design/build services to the religious, education, medical, office, senior-living and multi-family housing markets. In business since 2004, Catalyst provides the quality, experience, and knowledge to help us to bring another great neighborhood to the Village of Hartland.

The lands we are proposing for development include the northern and central portions of tax key HAV0423981 and are located north of STH 16, East of Campus Drive and Lake Country Lutheran High School, West of residential development on Willow Drive, and south of residential lands in the Town of Merton. Historically, these lands have been used for agriculture and for the past several decades have been left fallow. Currently, sewer and water extensions have been run through the center of the lands connecting Campus Drive to Willow Drive. Additionally, there is a trail system that runs around the area that the current owner has allowed neighbors as well as the various nearby school districts to use. Our proposed development would re-route some of these trails and permanently preserve them through easements for the benefit of the public use.

In 2019, the Village revised and approved a new comprehensive plan and Smart Growth map. The included exhibits and proposed zoning changes are consistent with the vision laid out for this area in the Comprehensive Plan for the Village of Hartland. The proposed development respects the boundary of the Isolated Natural Resource Area (INRA) on the property as previously discussed and agreed upon by SEWRPC and the Village. Through the rezoning process, this boundary can be protected by including it in an Upland Conservancy Overlay (UCO) as is described in the Village's zoning ordinance.

At the time of this re-zoning request wetlands have been delineated and confirmed by the DNR. The limited wetland areas included on the site will be avoided with this proposed development. Additionally, per the Village's ordinance a tree inventory survey was conducted of species with a DBH greater than 6". Exhibits showing the full inventory of trees as well as those intended to be preserved accompanies this submittal.

NEUMANN DEVELOPMENTS, INC. * N27 W24025 PAUL CT. SUITE 100 * PEWAUKEE, WI 53072
262-542-9200 * FAX: 262-349-9324 * NEUMANNDEVELOPMENTSINC.COM



The overall vision for this PUD is that of a mixed use, primarily residential development. The parcel is proposed to be set up as three different uses:

- The southwestern most portion closest to STH 16 and the intersection of STH 83 is proposed to remain institutional and be retained by the current owner. This parcel will allow for future commercial or institutional uses that provide a transition from the main highway corridor into other uses.
- The central portion of the site supports higher density and is a residential transition area from the commercial/institutional use to less dense residential areas.
- The northern portion of the site is designed as clustered residential. This clustering is a less dense residential than the central portion of the site, preserves the isolated natural resource areas, and provides a further buffer and transition to the existing residential areas.

The following proposed zoning districts and uses further describe our proposal for this development in the central and northern areas of the site.

Central - Multi-Family

The central portion identified as Area B on the attached Rezoning Exhibit is currently identified as High Density Residential on the Village of Hartland Comprehensive Plan’s Future Land Use map. We are proposing this area to be multifamily apartments with RM-1 PUD zoning proposed. This zoning is consistent with other areas of the Village identified as high density residential. This parcel is proposed with a PUD overlay per the zoning ordinance as it will include more than two buildings. Zoning details include:

Proposed zoning: RM-1 PUD
Total Area: 16.94 acres
INRA (UCO) area: 3.51 acres
Net Area: 13.43 acres
Maximum Density: 146 units (10.9 units/net acre) – 184 units with density transfer from UCO
Proposed Density: 135 units (10.05 units/net acre)
Buildings: 8 buildings plus 1 clubhouse
Unit Mix:

Unit Type	Unit Count	Beds	Baths	Sq. Ft./Unit
1 Bed	20	1	1	700
1 Bed + Den	40	1	1.5	850
2 Bed	55	2	2	1100
2 Bed + Den	20	2	2	1300



- Parking:** One indoor parking per unit above ground, mix of attached and detached garages with additional exterior parking for renters and guests.
- Architecture:** Final plans, materials, and colors to be presented to architectural board at a future date. It is anticipated that the buildings will be two stories with a mix of at grade and walk up units. The exteriors will be low maintenance pitched roofs with asphalt shingles, LP smart siding with stone accents, and vinyl frame windows. Interiors will have nine foot ceilings with luxury vinyl tile flooring in main living areas, carpet in bedrooms, well-appointed kitchens with granite countertops and stainless steel appliances. Additionally, each unit will have outdoor space in the form of a patio or deck.
- Amenities:** For the benefit of the tenants a clubhouse will be built that will include a party room, management offices, exercise room, and an outdoor pool.

The proposed buildings, amenities, roads, and drives will all be privately owned and maintained. Property management will be conducted on site with staff to include leasing agents and maintenance staff. Anticipated rents range from \$1100-\$1800 per month. Upon completion the multifamily component of this development is estimated to be valued at \$17 million dollars. We feel that this area of the Village is well suited for multifamily development as it is adjacent to state highways and main thoroughfares as well as institutional uses. It will provide a great option for current and future Village residents to enjoy new, well designed, amenity filled, low maintenance living in a great area, and provide an excellent transition to the existing residential housing as well as our proposed single family homes in the northern portion of the development.

Northern – Single Family Condominium

The northern portion of the site identified as Area A on the attached Rezoning Exhibit is currently identified as Low/Medium Density Residential on the Village of Hartland Comprehensive Plan's Future Land Use map. We are proposing single family condominium homes with RS-5 PUD zoning on this parcel. The RS-5 zoning is consistent with the existing residential in the adjacent lands to the east in the Village. We are proposing a PUD overlay to develop this parcel as a condominium and design an urban style clustered community preserving more adjacent open space. Clustering the homes will allow us to keep as much of the existing wooded areas along the west and northern portions of the property. Zoning details include:

- Proposed Zoning:** RS-5 PUD
Total Area: 27.44 acres
INRA (UCO) Area: 12.94 acres
Net Area: 14.50 acres
Maximum Density: 78 units (5.4 units/net acre) – 148 units with density transfer from UCO
Proposed Density: 47 units (3.24 units/net acre)



Setbacks: 15 feet between units
 15 feet from street ROW's
 10 feet from INRA
 20 feet from Area A boundaries

We are proposing the streets in Area A to be built to the public standard and dedicated to the public. We envision this condominium of single family homes to be designed with a neo-traditional urban style feel appealing to first time home buyers and downsizers. An additional amenity area with a tot lot style play structure is proposed for the development. The development will be established with a condominium association responsible for architectural oversight, enforcement, budget, and management of neighborhood common and private elements. Units and limited common elements would be maintained by the homeowner.

The total area to be included in the PUD is the full 44.37 acres included in Areas A and B. As proposed the project preserves 16.45 acres of open space. This development would connect to municipal sewer and water service currently located adjacent to the property.

The proposed development costs are estimated at three million dollars to include necessary road improvements, neighborhood amenities, walking trails, community landscaping, and necessary infrastructure improvements. It is estimated that individual single family condominiums will retail between \$399,000 and \$500,000. Upon completion the development will add an estimated \$19-\$24 million dollars in tax base to the Village of Hartland.

If approved the commencement of development work is anticipated to be Summer of 2020. We anticipate an approximate 3-4 year time frame for full completion of the units.

This petition is being made after careful consideration regarding the market supply and demand of different residential product types in the Hartland area and we feel it provides a variety of housing options that will benefit the Village for many years to come.

We look forward to discussing these proposed changes and bringing another great neighborhood to the Village of Hartland.

Sincerely,

Bryan Lindgren
Neumann Developments Inc

REZONING EXHIBIT "A"

BEING A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF SECTION 34, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.

NW COR. SW 1/4,
SEC. 34-8-18

NE COR. SW 1/4,
SEC. 34-8-18

TOWN OF MERTON R-1
N. LN. SW 1/4 SEC. 34-8-18
N89°54'10"E 1401.66'



TOWN OF MERTON R-1
VILLAGE OF HARTLAND

I-1
LANDS TO BE REZONED to RS-5(PUD)
1,195,068 S.F.
27.4350 Ac.

UCO Area
779,930 S.F.
11.0177 Ac.

TOWN OF MERTON R-1
VILLAGE OF HARTLAND
P-1
RS-5
VILLAGE OF HARTLAND

I-1
LANDS TO BE REZONED to RM-1(PUD)
739,113 S.F.
16.9677 Ac.

AREA-A
AREA-B
TOTAL UCO Area
194,256 S.F.
4.4595 Ac.

I-1
LANDS TO REMAIN I-1
388,101 S.F.
8.9096 Ac.

VILLAGE OF HARTLAND

CAMPUS DRIVE

Institutional
VILLAGE OF HARTLAND

S.T.H. "16"

WETLAND PER HARTLAND ECOLOGICAL GROUP INC



4100 N. CALHOUN ROAD
Suite 500
Brookfield, WI 53008
Phone: (262) 790-1480
Fax: (262) 790-1481

LAND AREA SUMMARY	
AREA-A RS-5 (PUD)	
TOTAL AREA=	1,195,068 S.F. (27.4350 Ac.)
UCO AREA=	779,930 S.F. (11.0177 Ac.)
NET AREA=	715,138 S.F. (16.4173 Ac.)
AREA-B RM-1 (PUD)	
TOTAL AREA=	739,113 S.F. (16.9677 Ac.)
UCO AREA=	194,256 S.F. (4.4595 Ac.)
NET AREA=	544,857 S.F. (12.5082 Ac.)

THIS EXHIBIT WAS PREPARED BY DEBORAH L. JOERS, P.L.S. (S-2132)

DATE: 3-06-20

HA\0900\0521\190225-01\SURVEXHIBIT-EXHIBIT A REZONING EXHIBIT.dwg

REZONING EXHIBIT "A"

LEGAL DESCRIPTION of lands to be REZONED to RS-5 (PUD):

Area-A:

All that part of the Northeast 1/4 of the Southwest 1/4 of Section 34 Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest Corner of the said Southwest 1/4 of said Section 34; Thence North 89°54'10" East and along the North line of the said Southwest 1/4 Section, 1401.66 feet to a point on the East Right-of-Way line of "Campus Drive" and the place of beginning of lands hereinafter described;

Continuing thence North 89°54'10" East and along the said North line, 1241.53 feet to the Northeast corner of said Southwest 1/4 Section; Thence South 00°30'48" West and along the East line of the said Southwest 1/4 Section, 865.02 feet to a point; Thence South 89°53'13" West, 40.00 feet to a point; Thence South 00°30'48" West, 60.00 feet to a point; Thence South 89°53'13" West, 2.23 feet to a point of curvature; Thence Southwesterly 36.65 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 70.00 feet, whose central angle is 30°00'04", and whose chord bears South 74°53'11" West, 36.24 feet to a point of tangency; Thence South 59°53'09" West, 177.43 feet to a point of curvature; Thence Southwesterly 68.07 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 130.00 feet, whose central angle is 30°00'00", and whose chord bears South 74°53'09" West, 67.29 feet to a point of tangency; Thence South 89°53'09" West, 226.34 feet to a point of curvature; Thence Northwesterly 159.70 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 305.00 feet, whose central angle is 30°00'00", and whose chord bears North 75°06'51" West, 157.88 feet to a point of tangency; Thence North 60°06'51" West, 172.81 feet to a point of curvature; Thence Northwesterly 86.50 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 170.00 feet, whose central angle is 29°09'11", and whose chord bears North 74°41'26" West, 85.57 feet to a point of tangency; Thence North 89°16'02" West, 337.64 feet to a point on the said East Right-of-Way line of "Campus Drive"; Thence North 00°43'57" East and along said East Right-of-Way line, 885.92 feet to the point of beginning of this description.

Said Parcel contains 1,195,068 Square Feet (or 27.4350 Acres) of land, more or less.

LEGAL DESCRIPTION of lands to be REZONED to RM-1 (PUD):

Area-B:

All that part of the Northwest 1/4, Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 34 Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest Corner of the said Southwest 1/4 of said Section 34, Thence North $89^{\circ}54'10''$ East and along the North line of the said Southwest 1/4 Section, 1401.66 feet to a point on the East Right-of-Way line of "Campus Drive"; Thence South $00^{\circ}43'57''$ West and along the said East Right-of-Way line, 885.92 feet to the place of beginning of lands hereinafter described;

Thence South $89^{\circ}16'02''$ East, 337.64 feet to a point of curvature; Thence Southeasterly 86.50 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 170.00 feet, whose central angle is $29^{\circ}09'11''$, and whose chord bears South $74^{\circ}41'26''$ East, 85.57 feet to a point of tangency; Thence South $60^{\circ}06'51''$ East, 172.81 feet to a point of curvature; Thence Southeasterly 159.70 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 305.00 feet, whose central angle is $30^{\circ}00'00''$, and whose chord bears South $75^{\circ}06'51''$ East, 157.88 feet to a point of tangency; Thence North $89^{\circ}53'09''$ East, 226.34 feet to a point of curvature; Thence Northeasterly 68.07 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 130.00 feet, whose central angle is $30^{\circ}00'00''$, and whose chord bears North $74^{\circ}53'09''$ East, 67.29 feet to a point of tangency; Thence North $59^{\circ}53'09''$ East, 177.43 feet to a point of curvature; Thence Northeasterly 36.65 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 70.00 feet, whose central angle is $30^{\circ}00'04''$, and whose chord bears North $74^{\circ}53'11''$ East, 36.24 feet to a point of tangency; Thence North $89^{\circ}53'13''$ East, 42.23 feet to a point on the East line of the said Southwest 1/4 Section; Thence South $00^{\circ}30'48''$ West and along the said East line, 120.01 feet to a point; Thence North $89^{\circ}53'13''$ East, 557.01 feet to a point on the Northwesterly Right-of-Way line of S.T.H. "16"; Thence South $70^{\circ}31'26''$ West and along the said Northwesterly Right-of-Way line, 462.77 feet to a point; Thence South $62^{\circ}39'50''$ West and along the said Northwesterly Right-of-Way line, 919.58 feet to a point; Thence North $82^{\circ}02'10''$ West, 363.51 feet to a point; Thence North $44^{\circ}05'55''$ West, 273.03 feet to a point; Thence North $12^{\circ}19'27''$ West, 82.57 feet to a point; Thence North $63^{\circ}08'36''$ West, 158.46 feet to a point on the said East Right-of-Way line of said "Campus Drive"; Thence Northeasterly 155.89 feet along the said East Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 560.00 feet, whose central angle is $15^{\circ}57'00''$, and whose chord bears North $30^{\circ}36'10''$ East, 155.39 feet to a point; Thence North $38^{\circ}34'11''$ East and along the said East Right-of-Way line, 65.30 feet to a point of curvature; Thence Northeasterly 125.47 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 190.00 feet, whose central angle is $37^{\circ}50'14''$, and whose chord bears North $19^{\circ}39'04''$ East, 123.21 feet to a point of tangency; Thence North $00^{\circ}43'57''$ East and along the said East Right-of-Way line, 32.99 feet to the point of beginning of this description.

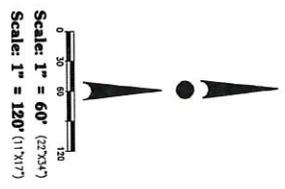
Said Parcel contains 739,113 Square Feet (or 16.9677 Acres) of land, more or less.

Date: 3/06/2020

Deborah L. Joers, P.L.S.
Professional Land Surveyor, S-2132
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481



Area A - Rs-5 PUD Single Family Condominium 'East 50 Acres'
Village of Hartland Wisconsin



AREA A Development Summary

- Total Area: 27.435 acres
- UCO Area: 11.018 acres
- Net Area: 16.417 acres
- Proposed Zoning: RS-5 PUD
- "Clustered Conservancy Community"
- Net Density = 47 / 16.417 = 2.86 units/acre
- Common Area = 15 acres
- Outdoor Amenity Areas, Walking Trails, Landscape Buffers & Open Space

Setbacks:

- Interior Public & Private Road setback = 25'
- Min Campus Dr. Setback = 30'
- Min Bldg. Bldg. Setback = 15'
- Min Rear Yard setback = 25'

PARKING SUMMARY

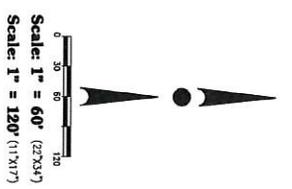
Garage	= 2/UNIT = 34 SPACES
Street	= 2/UNIT = 34 SPACES
Surface	= 2/UNIT = 34 SPACES
TOTAL	= 102 SPACES
	(44 SPACES/UNIT)

		<p>PROJECT: "EAST 50 ACRES" RESIDENTIAL DEVELOPMENT LAKE COUNTRY LUTHERAN LAND VILLAGE OF HARTLAND, WISCONSIN BY: NEUMANN DEVELOPMENTS, INC. N27W24025 PAUL COURT, SUITE 100 PEWaukee, WI 53072</p>										
		<p>REVISION HISTORY</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DESIGNED BY</th> <th>PLANNED BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	DESCRIPTION	DESIGNED BY	PLANNED BY						
DATE	DESCRIPTION	DESIGNED BY	PLANNED BY									
<p>DATE: MARCH 8, 2020</p>	<p>JOB NUMBERS: 19023-953</p>	<p>DESCRIPTION: AREA A SITE PLAN</p>										
<p>SHEET</p> <p>C1.1</p>												



Area B - RM-1 PUD Townhome Residential

'East 50 Acres'



AREA B Development Summary

- Total Area: 16,968 acres
- UCO Area: 4,460 acres
- Net Area: 12,508 acres
- Proposed Zoning: RM-1 PUD "Townhome Residential"
- 134 - Townhome Residential Units
- Net Density = 134 / 12,508 = 10.713 units/acre
- Common Area with Outdoor Amenities, Walking Trails, Landscape Buffers & Open Space
- Setbacks:
 - STH 16 Building setback = 50'
 - Min Campus Dr setback = 30'
 - Min Rear setback = 30'
- Lot Coverage:
 - Pavement = 110,305 sf
 - Sidewalk = 23,000 sf
 - Building = 101,600 sf
 - Total = 134,905 sf (18.3%)
- Total Open Space = 13,87 acres (81.7%)

PARKING SUMMARY

Garage = 1/unit = 134 SPACES
Street = 1/unit = 104 SPACES
Surface = 200 SPACES
TOTAL = 438 SPACES (300/138)

		<p>PROJECT: "EAST 50 ACRES" RESIDENTIAL DEVELOPMENT LAKE COUNTRY LUTHERAN LAND VILLAGE OF HARTLAND, WISCONSIN BY: NEUMANN DEVELOPMENTS, INC. N27W24025 PAUL COURT, SUITE 100 PEWAUKEE, WI 53072</p>									
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<p>DATE: MARCH 8, 2020</p> <p>JOB NUMBER: 18023-953</p> <p>DESCRIPTION: AREA B SITE PLAN</p> <p style="text-align: center;">SHEET</p> <p style="text-align: center; font-size: 24pt;">C12</p>											

ALLEN KOGLIN AND PATRICIA KOGLIN 231 WILLOW DR HARTLAND WI 53029	ALAN G STANWICK 2008 LIVING TRUST W305N5205 GAIL LN HARTLAND WI 53029	ALEXANDER ALLISTER 4887 EASY ST UNIT 10 HARTLAND WI 53029-1942
AMOL NANDKISHOR AGASHE 4887 EASY ST UNIT 2 HARTLAND WI 53029-1942	ALLEN M & ROBIN R WEISS REVOCABLE TRUST 273 WILLOW DR HARTLAND WI 53029-1324	ALYCIA J WARD 4875 EASY ST UNIT 5 HARTLAND WI 53029-1943
ANDREW & AMANDA M RUSSELL N49W31057 OLD STEEPLE RD HARTLAND WI 53029-8533	AMY JO BENSON 530 WINDSTONE DR UNIT 112 HARTLAND WI 53029-1657	ANDREW J FARRELL 4875 EASY ST UNIT 9 HARTLAND WI 53029-1943
ANTHONY J KLOTZ & KARRIE L KLOTZ 4887 EASY ST UNIT 14 HARTLAND WI 53029	ANDREW AND ANNA KOPCZYK 14130 SHEFFIELD DR APT 301 HOMER GLEN IL 60491-7891	ANDREW SISK 520 WINDSTONE DR UNIT 103 HARTLAND WI 53029-1653
ASHLEY E PEIRICK 4887 EASY ST UNIT 6 HARTLAND WI 53029-1942	ANTON & CHRISTINE MOLLGAARD 705 CENTERVILLE RD ANDERSON SC 29625-2529	ARLENE A MAYES 4875 EASY ST UNIT 8 HARTLAND WI 53029-1943
BONNIE SUEDBECK 530 WINDSTONE DR UNIT 312 HARTLAND WI 53029-1659	BARBARA E SAMUELSON 530 WINDSTONE DR UNIT 109 HARTLAND WI 53029	BONNIE IZYDOR 530 WINDSTONE DR UNIT 103 HARTLAND WI 53029-1657
BRENT W YUNK 4821 EASY ST UNIT 14 HARTLAND WI 53029	BOYD & ELIZABETH STAPLETON W304N5309 EVELYN CT HARTLAND WI 53029	BRANDON ORDWAY 520 WINDSTONE DR UNIT 204 HARTLAND WI 53029
BRIAN NAHEY 5661 HIGHWAY 83 HARTLAND WI 53029-8502	BRIAN J BORKENHAGEN 4835 EASY ST UNIT 2 HARTLAND WI 53029-1954	BRIAN M & PATRICIA A STIPPICH 2011 LIVING TRUST 4887 EASY ST UNIT 3 HARTLAND WI 53029-1942
BRUCE SINOTTE AND KATHLEEN SINOTTE 302 WILLOW DR HARTLAND WI 53029-1316	BRIAN W MONTAG 2017 TRUST PO BOX 180336 DELAFIELD WI 53018-0336	BRIANA V DENEVAN 530 WINDSTONE DR UNIT 212 HARTLAND WI 53029
	BRYAN E BAUMAN 1420 BLAZING STAR DM OCONOMOWOC WI 53066-3552	CALVIN M AKIN 19105 W CAPITOL DR #200 BROOKFIELD WI 53045

CARRIE HAANSTAD
4863 EASY ST UNIT 3
HARTLAND WI 53029

CASEY & KATRINA JOHNSTON
4821 EASY ST UNIT 3
HARTLAND WI 53029-1941

CECELIA FAUSEL
4887 EASY ST UNIT 16
HARTLAND WI 53029-1942

CELINE F MULLEN
520 WINDSTONE DR UNIT 304
HARTLAND WI 53029-1655

CHAD D TORKELESON
4821 EASY ST UNIT 6
HARTLAND WI 53029

CHRISTINE GLASS
520 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1655

CHRISTOPHER KLUSS
4835 EASY ST UNIT 14
HARTLAND WI 53029-1954

CLIFFORD R LOKER
4875 EASY ST UNIT 7
HARTLAND WI 53029-1943

COLLEEN K CONDON
4875 EASY ST UNIT 13
HARTLAND WI 53029

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DANIEL D PFEFFER & KELLY E BABCOCK
530 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1658

DANIEL E SHEPHERD
4887 EASY ST UNIT 1
HARTLAND WI 53029-1942

DANIEL & KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

DANIEL AND PATRICIA QUIGLEY
255 WILLOW DR
HARTLAND WI 53029

DANIELLE NICOLE HENRY
4875 EASY ST UNIT 6
HARTLAND WI 53029-1943

DARRELL AND JUDITH L NULAND
530 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1658

DAVID AND KAREN ZUEGE
N74W28831 COLDSTREAM DR
HARTLAND WI 53029-8486

DAVID BAHR AND JANET BAHR
261 WILLOW DR
HARTLAND WI 53029

DAVID C PANAWASH
530 WINDSTONE DR UNIT 104
HARTLAND WI 53029

DAVID E COX AND CHRISTINE M COX
297 WILLOW DR
HARTLAND WI 53029

DAVID G LASKA
N77W22305 WOODED HILLS DR
SUSSEX WI 53089-2149

DAVID HADDIX
4887 EASY ST UNIT 9
HARTLAND WI 53029-1942

DAVID ROESSLER AND JEAN ROESSLER
243 WILLOW DR
HARTLAND WI 53029

DEGROTHY TRUST DATED SEPTEMBER
11 2006
4835 EASY ST UNIT 15
HARTLAND WI 53029-1954

DENNIS A & DARLENE F SISCO
REVOCABLE LIVING TRUST
296 HICKORY CT
HARTLAND WI 53029

DEREK J AND STEPHANIE L REINKE
W334N6905 REYNOLDS DR
OCONOMOWOC WI 53066-1429

DONALD PAUL MCDOWELL
530 WINDSTONE DR UNIT 205
HARTLAND WI 53209-1658

DONALD R PORTER
4835 EASY ST UNIT 10
HARTLAND WI 53029

DUKE PLOENSE
250 WILLOW DR
HARTLAND WI 53029-1321

DUNKER TRUST
3761 NAGAWICKA SHORE DR
HARTLAND WI 53029

ELLEN J UMENTUM
4863 EASY ST UNIT 2
HARTLAND WI 53029-1953

ERIN J O'BOYLE
4887 EASY ST UNIT 5
HARTLAND WI 53029

GABRIELA VAZQUES & JESUS GARCIA
272 HICKORY CT
HARTLAND WI 53029-1306

GEOFFREY C AND RUSSELL C ACKLEY
4863 EASY ST UNIT 6
HARTLAND WI 53029

GREGORY BURICH
520 WINDSTONE DR UNIT 307
HARTLAND WI 53029-1655

HADDIX TRUST
W282N4288 SOMERSET LN
PEWAUKEE WI 53072

HAYLIE HAMPTON
520 WINDSTONE DR UNIT 302
HARTLAND WI 53029-1655

JACOB M & DANIELLE L CATAROZZOLI
284 HICKORY CT
HARTLAND WI 53029-1306

JAMES STRECHER AND LISA STRECHER
267 WILLOW DR
HARTLAND WI 53029

JANET K ADLER
520 WINDSTONE DR UNIT 104
HARTLAND WI 53029-1653

ELLEN LOUISE BECKER
4821 EASY ST UNIT 5
HARTLAND WI 53029-1941

FRED AND LESLIE SCHWEINERT
4835 EASY ST UNIT 16
HARTLAND WI 53029

GARY AND MARY WITTER
222 WILLOW CT
HARTLAND WI 53029

GEORGE AND MARGARET URBAN
258 BIRCH CT
HARTLAND WI 53029

GREGORY F FAAS AND REBEKAH J FAAS
285 WILLOW DR
HARTLAND WI 53029-1324

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

J SWEET TOWNE LLC
1127 HAWTHORNE PL APT E
PEWAUKEE WI 53072-6575

JACOB W BOLYARD & KATELYN A
KOTAJARVI
264 BIRCH CT
HARTLAND WI 53029-1320

JAMES AND TERESA TERONDE
W304N5293 EVELYN CT
HARTLAND WI 53029

JANET L STAHNKE
530 WINDSTONE DR #107
HARTLAND WI 53029

EMIL & RUTH MEINDL FAMILY TRUST
228 WILLOW CT
HARTLAND WI 53029-1312

FREDERICK A & LINDA A KUHN 2007
LIVING TRUST
260 BIRCH CT
HARTLAND WI 53029

GEOFFREY A YOUNG
664 HILL ST
HARTLAND WI 53029

GRAFTON MANOR 5 LLC
PO BOX 512
HARTLAND WI 53029-0512

GREGORY L & JANET E WARREN
4875 EASY ST UNIT 16
HARTLAND WI 53029-1943

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

JACK VACCARO
520 WINDSTONE DR UNIT 301
HARTLAND WI 53029-1655

JAMES & LINDA HOLMBERG TRUST
W310N4958 OLD STEEPLE RD
HARTLAND WI 53029

JANE LAITSCH
4835 EASY ST UNIT 6
HARTLAND WI 53029-1954

JASON AND MELISSA MALDONADO
520 WINDSTONE DR UNIT 107
HARTLAND WI 53029

JAYNE WEYER TRUST
13716 W WHITE WOOD DR
SUN CITY WEST AZ 85375-5845

JEAN A LARSEN
642 HILL ST
HARTLAND WI 53029

JEAN M LYONS
4863 EASY ST UNIT 1
HARTLAND WI 53029

JEANINE LUND
4875 EASY ST UNIT 1
HARTLAND WI 53029-1943

JEANNE A HOPPE
520 WINDSTONE DR UNIT 207
HARTLAND WI 53029

JEFFERY AND JUDITH SCHUBERT
W310N4932 OLD STEEPLE RD
HARTLAND WI 53029

JEFFREY C SAATKAMP
280 HICKORY CT
HARTLAND WI 53029-1306

JENNIFER R KLEMME
256 BIRCH CT
HARTLAND WI 53029

JEREMY H KONTNEY
4821 EASY ST UNIT 4
HARTLAND WI 53029-1941

JOAN P GLEASER
520 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1655

JOANN PAPA IRREVOCABLE TRUST
520 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1655

JOHN AND PATRICIA BAKER
230 WILLOW CT
HARTLAND WI 53029

JOHN GRUBA AND BETSY GRUBA
214 WILLOW CT
HARTLAND WI 53029

JOHN L AND MARY A KOSAK
530 WINDSTONE DR UNIT 108
HARTLAND WI 53029

JOHN M AND WANDA E GOSA
530 WINDSTONE DR UNIT 111
HARTLAND WI 53029-1657

JOHN AND CHERYL MALONEY
290 HICKORY CT
HARTLAND WI 53029

JOHN P LYNE
530 WINDSTONE DR UNIT 201
HARTLAND WI 53029

JOSHUA D BUEGE
530 WINDSTONE DR #207
HARTLAND WI 53029

JOSHUA ENGEL AND LORA ENGEL
N49W31079 OLD STEEPLE RD
HARTLAND WI 53029-8533

JUDITH SCHNEIDER
520 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1654

JUSTIN CULL
530 WINDSTONE DR UNIT 303
HARTLAND WI 53029-1659

JUSTIN J LEWANDOWSKI
520 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1653

KAREN E LAWLOR
216 WILLOW CT
HARTLAND WI 53029

KAREN K KOTTKE
520 WINDSTONE DR UNIT 212
HARTLAND WI 53029

KAREN M WAGNER
4863 EASY ST
HARTLAND WI 53029-1953

KATHLEEN A ORLIKOWSKI
520 WINDSTONE DR UNIT 205
HARTLAND WI 53029

KATIE L EGGERS
213 WILLOW DR
HARTLAND WI 53029-1324

KELLY M AND MARK R BLACKBURN
248 WILLOW DR
HARTLAND WI 53029

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

KIMBERLY A TESSMAN
4875 EASY ST UNIT 11
HARTLAND WI 53029-1943

KRISTIN M SLOANE
226 WILLOW CT
HARTLAND WI 53029

KRISTIN ROGACZEWSKI
520 WINDSTONE DR UNIT 108
HARTLAND WI 53029-1653

KURT D ASHBRENNER
220 WILLOW CT
HARTLAND WI 53029

KURT AND CONSTANCE PRANGE
244 WILLOW CT
HARTLAND WI 53029

KYLE A NIGL
4821 EASY ST UNIT 10
HARTLAND WI 53029-1941

LARRY C COMPTON JR
530 WINDSTONE DR #305
HARTLAND WI 53029

LAURIE HILL
4835 EASY ST UNIT 12
HARTLAND WI 53029-1954

LINDA C BEASTER
4835 EASY ST UNIT 5
HARTLAND WI 53029

LINDA D LEMEROND
254 BIRCH CT
HARTLAND WI 53029

LINDSEY BROWN
4821 EASY ST UNIT 12
HARTLAND WI 53029-1941

LISA M WEATHERBEE
266 WILLOW DR
HARTLAND WI 53029-1325

LOLA M VANHIERDEN
520 WINDSTONE DR UNIT 306
HARTLAND WI 53029

LOT OWNERS OF CHESTNUT RIDGE
AND CHESTNUT RIDGE HOMEOWNERS
ASSOCIATION
Not Available

LOT OWNERS OF KIEFER FARMS
Not Available
HARTLAND WI 53029

LUKE W BAAR
520 WINDSTONE DR UNIT 105
HARTLAND WI 53029-1653

LUTHERAN H.S. ASSOC OF GREATER
MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

MADELINE L DUERO
4835 EASY ST UNIT 3
HARTLAND WI 53029-1954

MAHVASH SHAKER
600 THAMES PKWY APT 2C
PARKRIDGE IL 60068-3679

MARGARET BURRUS TRUST DATED
AUGUST 9 2006
300 HICKORY CT
HARTLAND WI 53029

MARGIT TROMPLER
530 WINDSTONE DR UNIT 110
HARTLAND WI 53029

MARK A KRAUS JR
520 WINDSTONE DR UNIT 102
HARTLAND WI 53029

MARK J AND FRANCINE J DEMLER-
GIMLA
W305N5220 GAIL LN
HARTLAND WI 53029

MARK AND NIYARA WOODWARD
520 WINDSTONE DR UNIT 201
HARTLAND WI 53029-1654

MARVIN KATH AND JOAN KATH
530 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1659

MARY ELLEN THOSS
530 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1659

MARY L BUELOW
4835 EASY ST UNIT 9
HARTLAND WI 53029-1954

MARY S MUTH
520 WINDSTONE DR UNIT 106
HARTLAND WI 53029-1653

MATTHEW J FRANCOIS
4875 EASY ST UNIT 15
HARTLAND WI 53029

MATTHEW W KLEWER
2252 LADDIE TRL
DE PERE WI 54115-8472

MELANIE M KRAAK 291 WILLOW DR HARTLAND WI 53029	MELVIN L AND ANDREW D KIRSCH 1424 WILDERNESS TRL DELAFIELD WI 53018	MICHAEL A AND MELISSA A ZUNIGA 249 WILLOW DR HARTLAND WI 53029-1324
MICHAEL AND RAELE BELLAND S12W31280 RUCCI DR WALES WI 53183-9722	MICHAEL H AND BARBARA J SYLVESTER 4821 EASY ST UNIT 8 HARTLAND WI 53029-1941	MICHAEL J & RAYNELLE A CHYCINSKI JOINT REV TRUST 1000 SW 5TH AVE BOYNTON BEACH FL 33426-4734
MICHAEL J AND DEBRA M PASSINO 530 WINDSTONE DR UNIT 203 HARTLAND WI 53029-1658	MICHAEL J AND DEBRA M PASSINO 520 WINDSTONE DR UNIT 110 HARTLAND WI 53029-1653	MICHAEL L SCHMIDT 4821 EASY ST UNIT 7 HARTLAND WI 53029
MILWAUKEE INVESTMENTS VIII LLC 2626 DELMAR PL FORT LAUDERDALE FL 33301-1576	MYRON W SR AND SUSAN J COONS 4863 EASY ST UNIT 5 HARTLAND WI 53029	NATHAN LEROY 4887 EASY ST UNIT 7 HARTLAND WI 53029-1942
NATHAN S AND CYNTHIA K STRAYER 262 BIRCH CT HARTLAND WI 53029	NATHAN T GROTH 4835 EASY ST UNIT 4 HARTLAND WI 53029	NELSON-ZIRZOW REVOCABLE TRUST 225 WILLOW DR HARTLAND WI 53029-1324
NICHOLAS L MASTROCOLA 4875 EASY ST UNIT 10 HARTLAND WI 53029-1943	NICOLE R KULAS 282 HICKORY ST HARTLAND WI 53029	PAMELA L GROSS 24159 HARBORVIEW RD PUNTE GORDA FL 33980
PATRICK AND MARY HENZE W305N5235 GAIL LN HARTLAND WI 53029	PATRICK J AND DONNA W BALISTRERI W305N5240 GAIL LN HARTLAND WI 53029-1025	PAUL A RADDATZ 520 WINDSTONE DR UNIT 109 HARTLAND WI 53029
PAUL BRANDES 520 WINDSTONE DR UNIT 310 HARTLAND WI 53029	PAUL STAPLETON W305N5247 GAIL LN HARTLAND WI 53029	PENNY L NEULRICH 4835 EASY ST UNIT 1 HARTLAND WI 53029-1954
PETER AND SUSAN MIHOJEVICH N52W30555 MORAIN DR HARTLAND WI 53029	PETER AND SHARON PURVIS W305N5260 GAIL LN HARTLAND WI 53029	PETER PURVIS JR AND JILL PURVIS W305N5250 GAIL LN HARTLAND WI 53029
PUSHING THE LIMIT ENTERPRISES LLC PO BOX 621 PEWAUKEE WI 53072	QI 13 LLC 1600 PARAMOUNT DR WAUKESHA WI 53186-3965	RIC J AND DANA A NEARY PANELLA 298 HICKORY CT HARTLAND WI 53029

RICHARD D AND STACY DURANSO
W304N5290 EVELYN CT
HARTLAND WI 53029

RICHARD D HANSON
4835 EASY ST UNIT 13
HARTLAND WI 53029

RICHARD J AND RITA L GOEPEL
530 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1659

RICKY A WINTER & SANDRA D RICHTER
279 WILLOW DR
HARTLAND WI 53029

ROBERT AND LINDA BABEL
238 WILLOW CT
HARTLAND WI 53029

ROBERT D LITTLE
278 HICKORY CT
HARTLAND WI 53029

ROBERT AND KATHLEEN FREIBOTH
276 HICKORY CT
HARTLAND WI 53029

ROBERT J DOOME AND LISA L GIEG-
DOOME
18110 HOFFMAN AVE UNIT A
BROOKFIELD WI 53045-3559

RONALD BYCZEK CUSTODIAN FOR
OLIVIA BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

RONALD AND LISA MARIE CHOLIP
270 WILLOW DR
HARTLAND WI 53029

RONALD E FLANAGAN
226 WILLOW DR
HARTLAND WI 53029

RONALD W JR AND DIANE L NUNN
530 WINDSTONE DR UNIT 102
HARTLAND WI 53029

ROY D AND ANNE T TANNER
520 WINDSTONE DR UNIT 209
HARTLAND WI 53029-1654

RYAN J STANCL
4821 EASY ST UNIT 11
HARTLAND WI 53029-1941

SALLY DOYLE
4875 EASY ST UNIT 4
HARTLAND WI 53029-1943

SAMANTHA R TIETGEN
4875 EASY ST UNIT 3
HARTLAND WI 53029-1943

SAMUEL EICKMEYER
4821 EASY ST UNIT 16
HARTLAND WI 53029-1941

SANDRA C MATUSHINEC
530 WINDSTONE DR UNIT 301
HARTLAND WI 53029

SANDRA J SHAW
520 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1654

SARA ELIZABETH CARTER
520 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1653

SARA J BRISK
530 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1658

SARAH J HANSEN
4821 EASY ST UNIT 9
HARTLAND WI 53029

SCOTT AND DENISE BRLECIC
242 WILLOW CT
HARTLAND WI 53029

SCOTT HOSEID AND MARY HOSEID
294 HICKORY CT
HARTLAND WI 53029-1306

SHANNON ROBBINS AND CHRISTINE
JANSSEN
4863 EASY ST UNIT 4
HARTLAND WI 53029-1953

SHARON K SIME
4887 EASY ST UNIT 8
HARTLAND WI 53029

SHAWN A MORTENSEN
218 WILLOW CT
HARTLAND WI 53029-1312

STACEY A BITTMAN
W305N5200 GAIL LN
HARTLAND WI 53029

STATE OF WISCONSIN AND
DEPARTMENT OF TRANSPORTATION
PO BOX 798
WAUKESHA WI 53187-0798

STEVEN G AND DANIELLE R HANSON
745 SPRING WATERS DR
OCONOMOWOC WI 53066-4178

STEVEN KELLER
4821 EASY ST UNIT 13
HARTLAND WI 53029-1941

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

SURVIVOR'S TRUST
W307N5276 ANDERSON RD
HARTLAND WI 53029-1032

SUSAN M HUBATCH
4863 EASY ST UNIT 8
HARTLAND WI 53029-1953

TERENCE J & ELIZABETH A FELLABAUM
W305N5270 GAIL LN
HARTLAND WI 53029

TERESA T GNEWUCH
530 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1657

TERRY L AUDLEY
224 WILLOW CT
HARTLAND WI 53029

THOMAS A WRIGHT
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

THOMAS D ACKERMAN
4875 EASY ST UNIT 12
HARTLAND WI 53029-1943

THOMAS J GUSTAVSON JR
4875 EASY ST UNIT 14
HARTLAND WI 53029

THOMAS PETRI AND DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

TODD AND PAMELA JORGENSEN
225 WILLOW CT
HARTLAND WI 53029

TRAVIS F TANNIS
4887 EASY ST UNIT 4
HARTLAND WI 53029-1942

TW COUNTRY AIRE DELAFIELD LLC &
DELAFIELD COUNTRY AIRE ASSOCIATES LLC
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

VICTOR AND ISABELLE ANDERSON
207 WILLOW DR
HARTLAND WI 53029

VILLAGE OF HARTLAND
210 W COTTONWOOD AVE
HARTLAND WI 53029

VINOD ASHOK RAJE & JULIE ALMEIDA
4821 EASY ST UNIT 15
HARTLAND WI 53029-1941

VIOLA FLEMING
520 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1654

WALTER AND NATALIE M KIRCHHOFF
520 WINDSTONE DR UNIT 210
HARTLAND WI 53029-1654

WESLEY T AND LAURA L BURNAM
520 WINDSTONE DR UNIT 305
HARTLAND WI 53029-1655

WILLIAM D AND STEPHANIE J SMITH
240 WILLOW CT
HARTLAND WI 53029

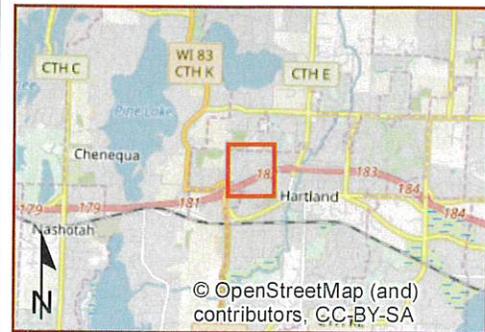
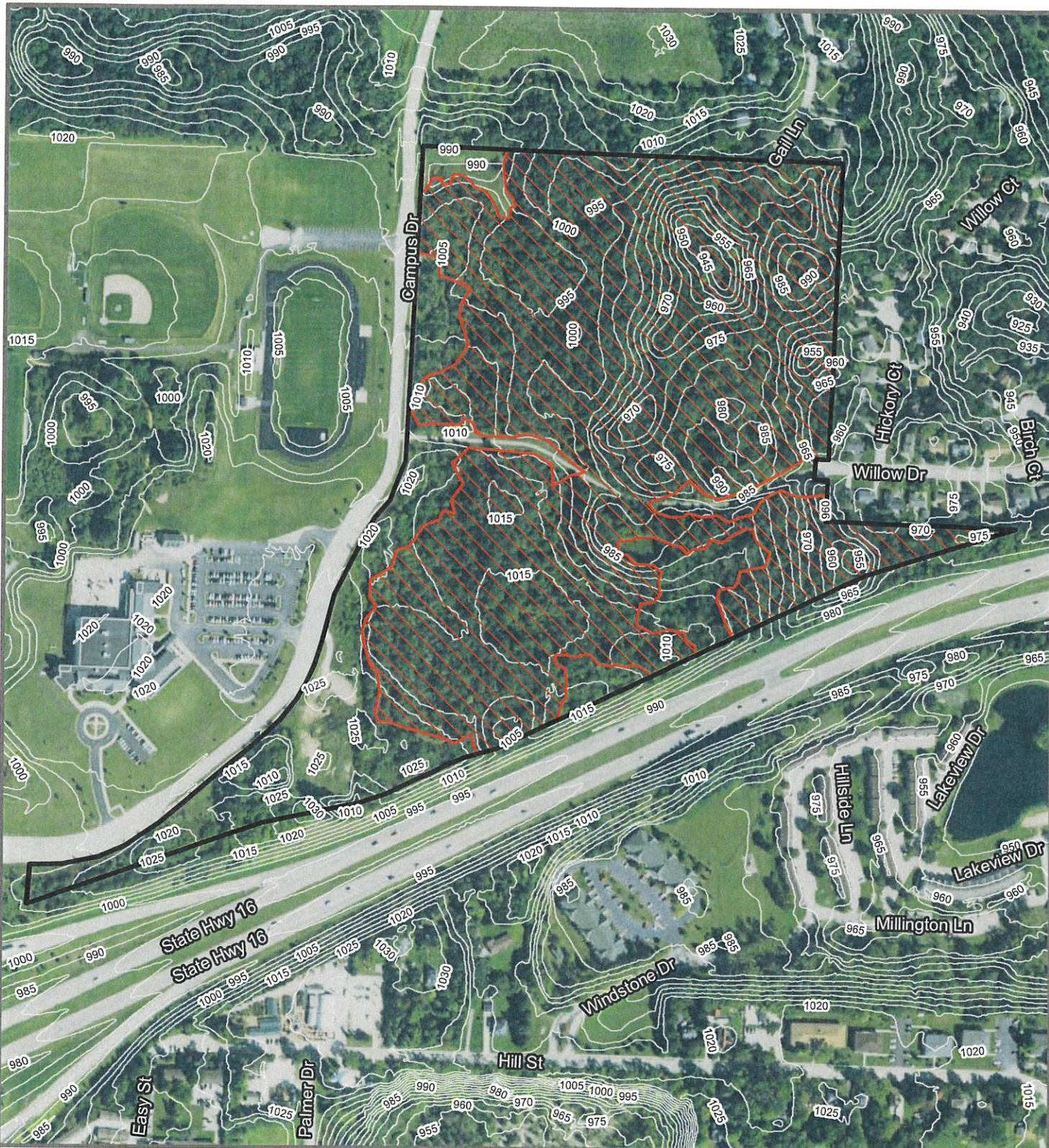
WILLIAM E KOEHN JR
274 HICKORY CT
HARTLAND WI 53029-1306

WILLIAM J BEIMLING
4821 EASY ST UNIT 1
HARTLAND WI 53029

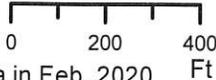
WISCONSIN ELECTRIC POWER CO
231 W MICHIGAN
MILWAUKEE WI 53203

WONG LIVING TRUST
520 WINDSTONE DR UNIT 211
HARTLAND WI 53029

YEVGENY LANDAU
520 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1655



-  Study Area (53.32 ac)
 -  Areas Meeting INRA Criteria in Feb. 2020 (39.90 ac)
- Waukesha Co 5' Contours



Heartland
 ECOLOGICAL GROUP INC

Figure 7. INRA Mapping
 Campus Drive Parcel
 Project #20190274
 T8N, R18E, S34
 V Hartland,
 Waukesha Co, WI

2018 NAIP
 Data: Waukesha Co, HEG 2/27/2020



Isolated Natural Resource Area Delineation Report

Campus Drive Property

Village of Hartland, Waukesha County, Wisconsin

March 3, 2020

Project Number: 20190274

Campus Drive Property

Village of Hartland, Waukesha County, Wisconsin

March 3, 2020

Prepared for:

Mr. Bryan Lindgren
Neumann Developments, Inc.
N27 W24025 Paul Court
Suite 100
Pewaukee, WI 53072

Prepared by:

Heartland Ecological Group, Inc.
506 Springdale Street
Mount Horeb, WI 53572
608-433-9864
www.heartlandecological.com



Eric C. Parker, Principal



Jeff Kraemer, Principal

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Appendix D | Delineator Qualifications

1.0 Introduction

Heartland Ecological Group, Inc. ("Heartland") performed a delineation of environmental corridor of the Campus Drive Property (the "Study Area"). Fieldwork was completed on February 25, 2020 by Eric C. Parker (Appendix D, Qualifications). The 53.3-acre Study Area is located east of Campus Drive and north of State Highway 16, in Section 34, Township 8 north, Range 18 east, Village of Hartland, Waukesha County, Wisconsin (Figure 1, Appendix A). The purpose of the environmental corridor delineation was to determine the location and extent of isolated natural resource area (INRA) within the Study Area, refining boundaries most recently defined and mapped by the Southeastern Wisconsin Regional Planning Commission (SEWRPC) in 2010.

One (1) area of INRA totaling approximately 39.9 acres was delineated and mapped within the Study Area (Figure 7, Appendix A). SEWRPC was consulted prior to Heartland's fieldwork in the refinement of the INRA. SEWRPC initially defines environmental corridor areas which are then adopted by local municipalities, townships, and counties as part of their zoning codes. Such entities have authority via zoning over environmental corridors. Heartland recommends this report be submitted to the Village of Hartland for their review.

2.0 Methods

2.1 Environmental Corridors

Per the "Development Exhibit" provided by SEWRPC (Exhibit B) the INRA in the Study Area is approximately 16.4 acres. SEWRPC's delineation is based on 2010 GIS data and the Village of Hartland's Smart Growth Plan & Zoning Map. Over time the adopted boundary may require adjustment due to changing conditions and, due to scale, the original mapping may not be accurate. Therefore, a delineation of the existing INRA was needed for the Village to evaluate a pending tree protection and building permit. Fieldwork was completed by Eric Parker of Heartland on February 25, 2020.

Initial steps in the corridor (e.g. INRA) delineation refinement may include a review of:

- Aerial photography
- NRCS's *Web Soil Survey*
- USGS 7.5-minute Wisconsin quadrangle map and available topographic maps
- WWI Mapping
- SEWRPC Corridor Composite Map or similar mapping

These and other similar documents may provide evidence of where environmental corridors were previously identified in addition to adjacent areas that possess the required elements. Potential corridor areas were visited and on-site delineations were made.

Heartland conducted a field review and applied the definitions, criteria, and guidelines outlined in "Refining the Delineation of Environmental Corridors in Southeastern Wisconsin" (Rubin and Emmerich, 2000). Field conditions were compared with aerial photography to assess changes in land use and/or vegetative cover. SEWRPC defines environmental corridors such as INRA as "...areas in the landscape containing concentrations of natural resource amenities, as well as scenic, recreational, and historic resource amenities. These corridors generally lie along the major stream valleys, around major lakes, and in the Kettle Moraine area of southeastern Wisconsin. Almost all the remaining high-value woodlands, wetlands, wildlife habitat areas, major bodies of surface water, and delineated floodlands and shorelands are contained within these corridors."

SEWRPC initially identified environmental corridors (including INRA's, primary environmental corridor – PEC, and secondary environmental corridor - SEC) within southeastern Wisconsin through aerial photographic interpretation. Over the course of many years many have been field reviewed by SEWRPC staff biologists and other qualified professionals. The following are definitions for these terms:

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- PEC contains concentrations of our most significant natural resources. They are at least 400 acres in size, at least two miles long and at least 200 feet wide.
- SEC contains significant but smaller concentrations of natural resources. They are at least 100 acres in size and at least one mile long, unless serving to link primary corridors.
- INRA contains significant remaining resources apart from environmental corridors. They are at least five acres in size and at least 200 feet wide.

If soil limitations were part of the criteria, soil types were confirmed during the field inspection. Changes in wildlife habitat and/or environmental corridor width were noted.

Heartland identified key natural resource base elements including:

- Lakes, rivers, and streams
- Wetlands
- Prairie remnants
- Rugged terrain and steep slopes
- Poorly drained and organic soil
- Potential outdoor recreation sites
- Historic sites and structures
- Undeveloped shorelands and floodlands
- Woodlands
- Wildlife habitat
- Unique landforms
- Existing outdoor recreation sites
- Significant open spaces
- Outstanding scenic areas and vistas

Point values of each base element were summed, and those areas with 10 or more points and met the minimum size and width requirements were identified as environmental corridor.

Heartland typically identifies environmental corridors within the Study Area and determines boundaries by finding the outer drip line of contiguous trees of a woodland comprised of trees at least four (4) inches in diameter at breast height with a minimum density of 17 trees per acre and producing greater than 50% canopy cover. Steep slopes, woodlands, scenic views, and wildlife habitat elements were combined to determine the outer edge of environmental corridors.

Staff at SEWRPC were consulted on February 25, 2020 prior to Heartland's fieldwork to assist in the establishment of the natural resource base elements that comprise the INRA in the Study Area. Based on this consultation the INRA in the Study Area is comprised of woodland, steep slopes, and significant wildlife habitat.

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3.0 Results

3.1 Site Description

The Study Area is mostly undeveloped woodland with relatively small areas of stormwater management features, historic soil stockpile areas, and trails. The topography within the Study Area was noted to be hilly with various slopes, depressions, and ridges. A topographic high of approximately 1030 feet above mean sea level (msl) is present southwest portion, while topographic lows of approximately 955 feet above msl is present on the western edge of the Study Area (Figures 2 and 7, Appendix A). Land uses within the Study Area and surrounding areas are primarily woodland, wetland, institutional, and residential. General drainage is to the east.

3.2 Isolated Natural Resource Area (INRA)

One INRA area was identified within the Study Area and is depicted on Figure 7 in Appendix A. The natural resource elements within the INRA area included mostly woodlands, but also included wetlands, steep slopes, and significant wildlife habitat. A Photo Log is included in Appendix C.

Tree species comprising the canopy were dominated by black cherry (*Prunus serotina*), red oak (*Quercus rubra*, FACU), white oak (*Quercus alba*), quaking aspen (*Populus tremuloides*), red cedar (*Juniperus virginiana*), shagbark hickory (*Carya ovata*), box elder (*Acer negundo*), American basswood (*Tilia americana*), and American elm (*Ulmus americana*). Dominant shrub species within the INRA included common buckthorn (*Rhamnus cathartica*) and hybrid bush honeysuckle (*Lonicera X bella*).

The edge of the INRA was identified by the outer drip line of the trees that comprise the INRA's woodland canopy. In limited locations what appeared to be a canopy was excluded because it was dominated by ash (*Fraxinus* spp.) trees that were either dead or in poor health due to emerald ash borer. In other areas, a canopy of tree-size common buckthorn was also excluded.

3.3 Other Environmental Considerations

This report is limited to the identification of environmental corridors within the Study Area. Wetlands within the Study Area were previously delineated and were entirely within the INRA. There may be other regulated environmental features within the Study Area, including, but not limited to, historical or archeological features, endangered or threatened species, navigable waters, and floodplains, etc. Federal, state, and local units of government may have regulatory authority to control or restrict land uses within or near these features. Heartland can assist with identification and/or assessment of additional regulated resources at your request, to the extent that the work is within our range of expertise.

4.0 Conclusion

Heartland performed a delineation of INRA in the Campus Drive Study Area. The Study Area was approximately 53.3 acres and is located east of Campus Drive and north of State Highway 16, in Section 34, Township 8 north, Range 18 east, Village of Hartland, Waukesha County, Wisconsin (Figure 1, Appendix A). The purpose of the environmental corridor delineation was to determine the location and extent of INRA within the Study Area, refining boundaries most recently defined and mapped by SEWRPC in 2010 (Figure 7, Appendix A).

The boundary of the INRA within the Study Area was identified and delineated with a sub-meter GPS. The INRA area was comprised of various combinations of natural resource elements including woodlands, steep slopes, a wetland, and wildlife habitat.

Environmental corridor designations were created by SEWRPC and adopted by local municipalities, townships, and counties. These local entities have authority over the extension of sanitary sewers under the oversight of SEWRPC. Heartland recommends this report be submitted to the local zoning authority for final jurisdictional review and concurrence.

Prior to beginning work at this site or disturbing or altering environmental corridors in any way, Heartland recommends that the owner obtain the necessary permits or other agency regulatory review and concurrence with regards to the proposed work to comply with applicable regulations. Heartland can assist with identification and/or assessment of additional regulated resources at your request, to the extent that the work is within our range of expertise.

Solutions for people, projects, and ecological resources.

The information provided by Heartland regarding corridor boundaries is a scientific-based analysis of the component natural resource elements present within the Study Area at the time of the fieldwork. The delineation was performed by experienced and qualified professionals using standard practices and sound professional judgment. The ultimate decision on corridor boundaries rests with SEWRPC or a local unit of government. As a result, there may be adjustments to boundaries based upon review by their staff.

5.0 References

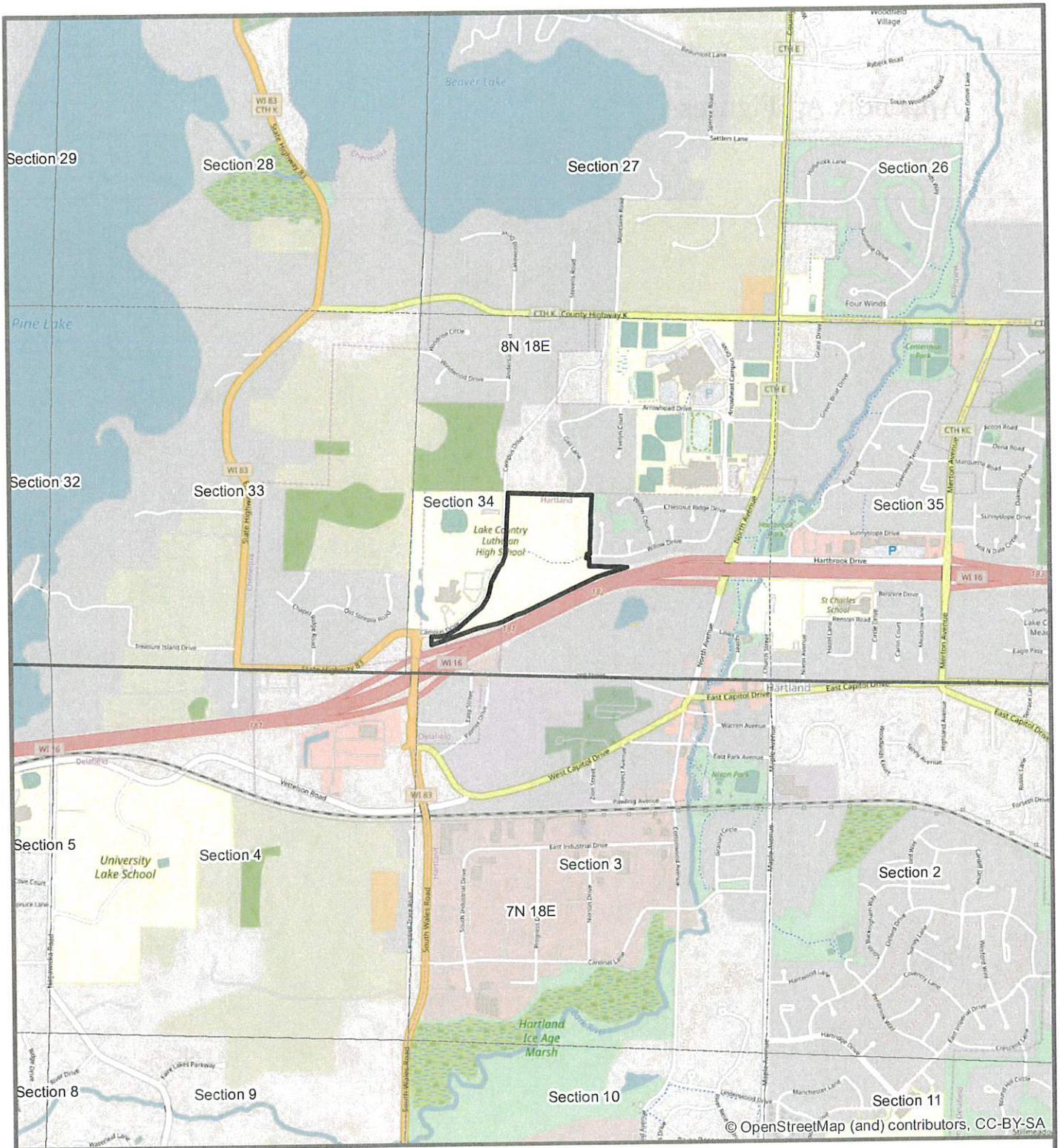
Rubin, B. P. and G. H. Emmerich Jr. 2000. Refining the Delineation of Environmental Corridors in Southeastern Wisconsin, Southeastern Wisconsin Regional Planning Commission Technical Record Vol. 4 No. 2. 1981.

Southeastern Wisconsin Regional Planning Commission (SEWRPC) July 2019. Development Exhibit "Lake Country Lutheran", East 53.3 Acres, Village of Hartland, WI. Includes 2010 INRA mapping.

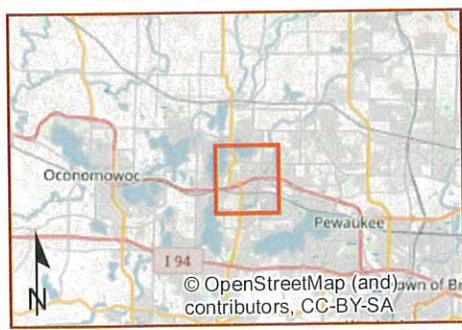
United States Geological Survey (USGS). Wisconsin 7.5 Minute Series (Topographic) Maps. 1:24,000. Reston, VA: United States Department of the Interior, USGS.

Wilhelm, G, and L. Rericha. 2017. Flora of the Chicago Region, a Floristic and Ecological Synthesis. Indiana Academy of Science.

Appendix A | Figures

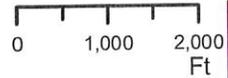


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- Study Area (53.32 ac)
- PLSS Township
- PLSS Section

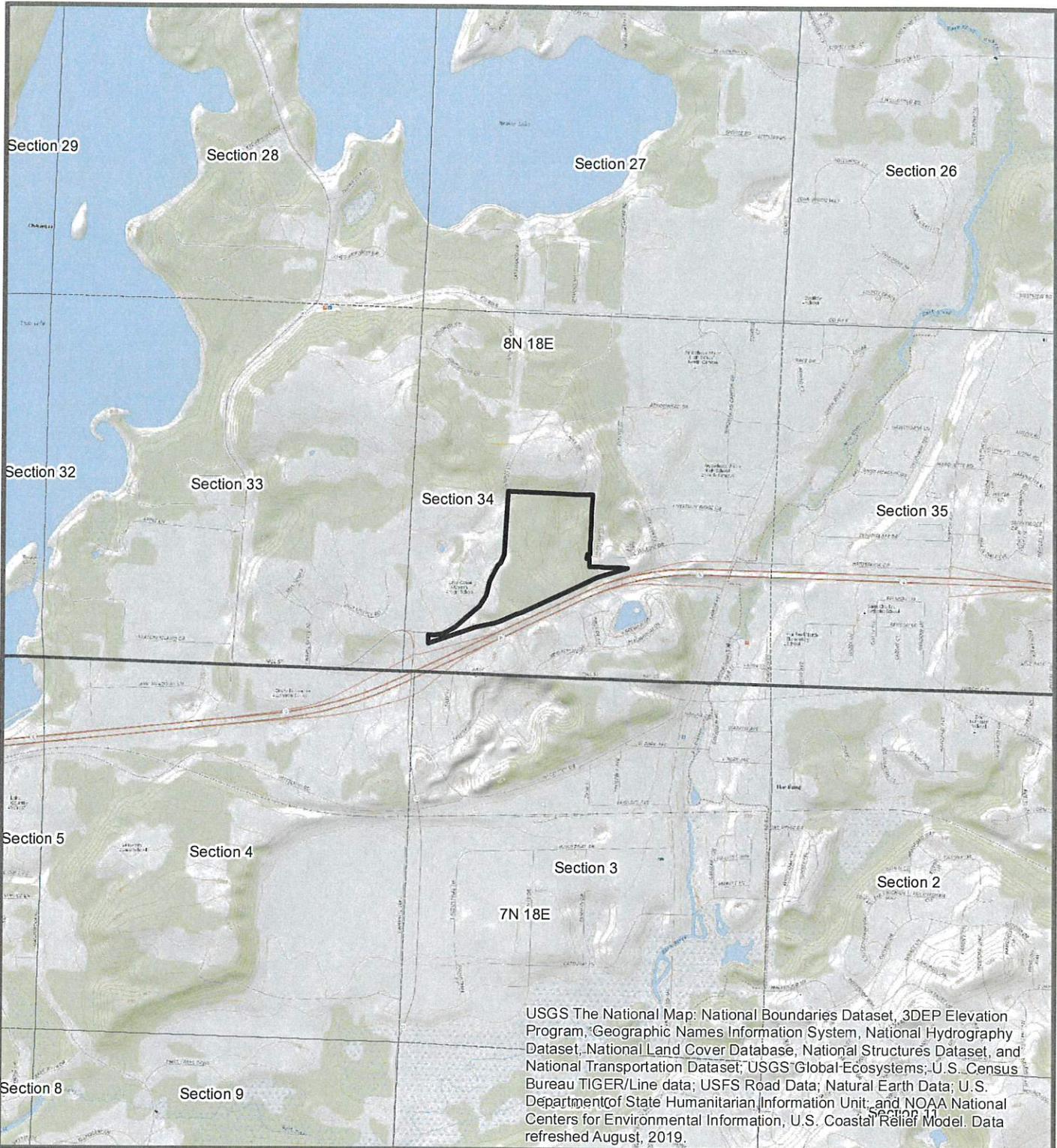


Heartland
 ECOLOGICAL GROUP INC

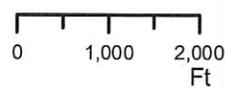
Figure 1. Project Location
 Campus Drive Parcel
 Project #20190274
 T8N, R18E, S34
 V Hartland,
 Waukesha Co, WI

OpenStreetMap
 Data: ESRI

12/10/2019



-  Study Area (53.32 ac)
-  PLSS Township
-  PLSS Section

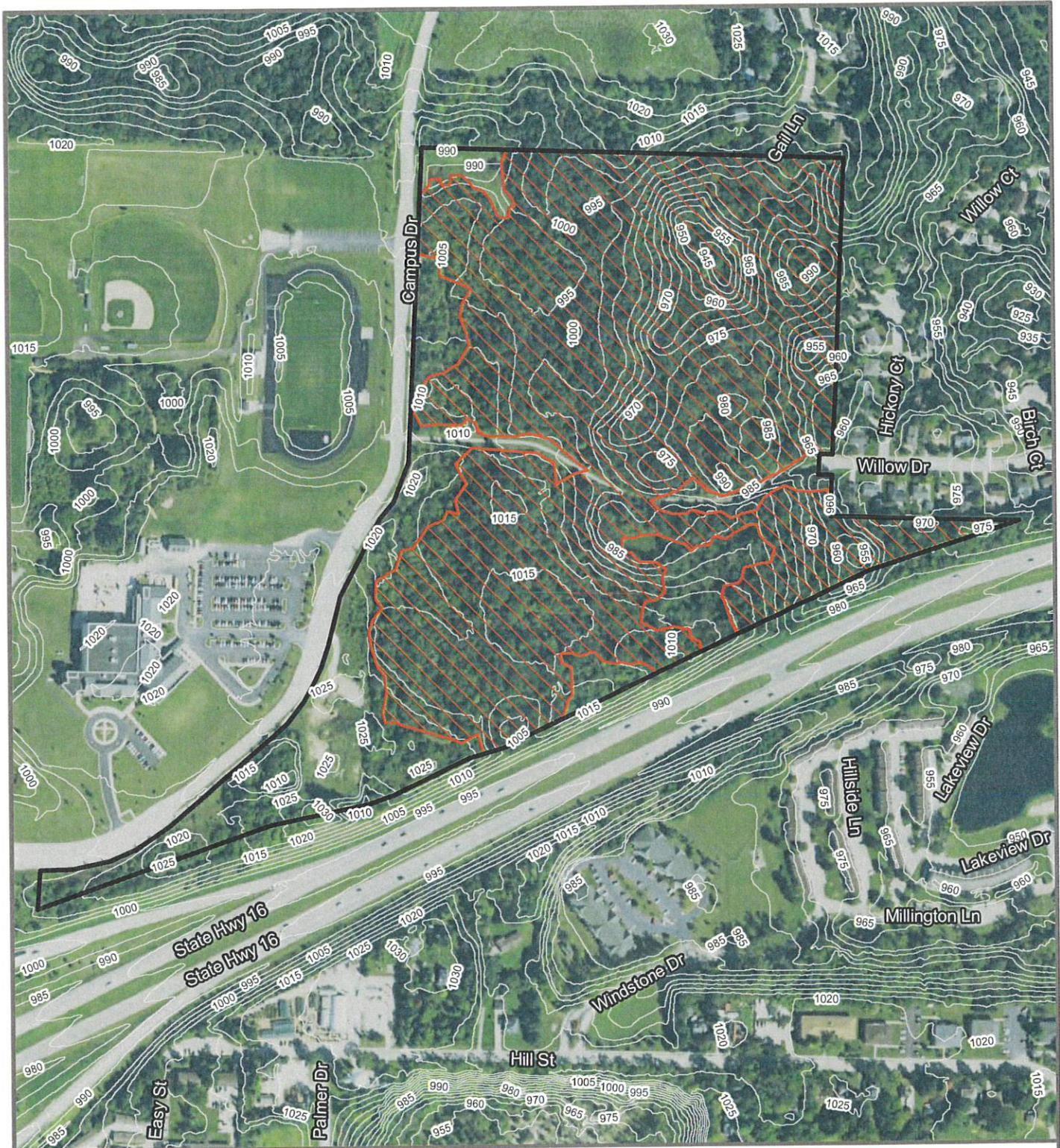


Heartland
ECOLOGICAL GROUP INC

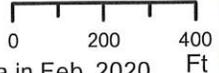
Figure 2. USGS Topography
Campus Drive Parcel
Project #20190274
T8N, R18E, S34
V Hartland,
Waukesha Co, WI

USGStopo
Data: USGS

12/10/2019



-  Study Area (53.32 ac)
 -  Areas Meeting INRA Criteria in Feb. 2020 (39.90 ac)
- Waukesha Co 5' Contours



Heartland
 ECOLOGICAL GROUP INC

Figure 7. INRA Mapping
 Campus Drive Parcel
 Project #20190274
 T8N, R18E, S34
 V Hartland,
 Waukesha Co, WI

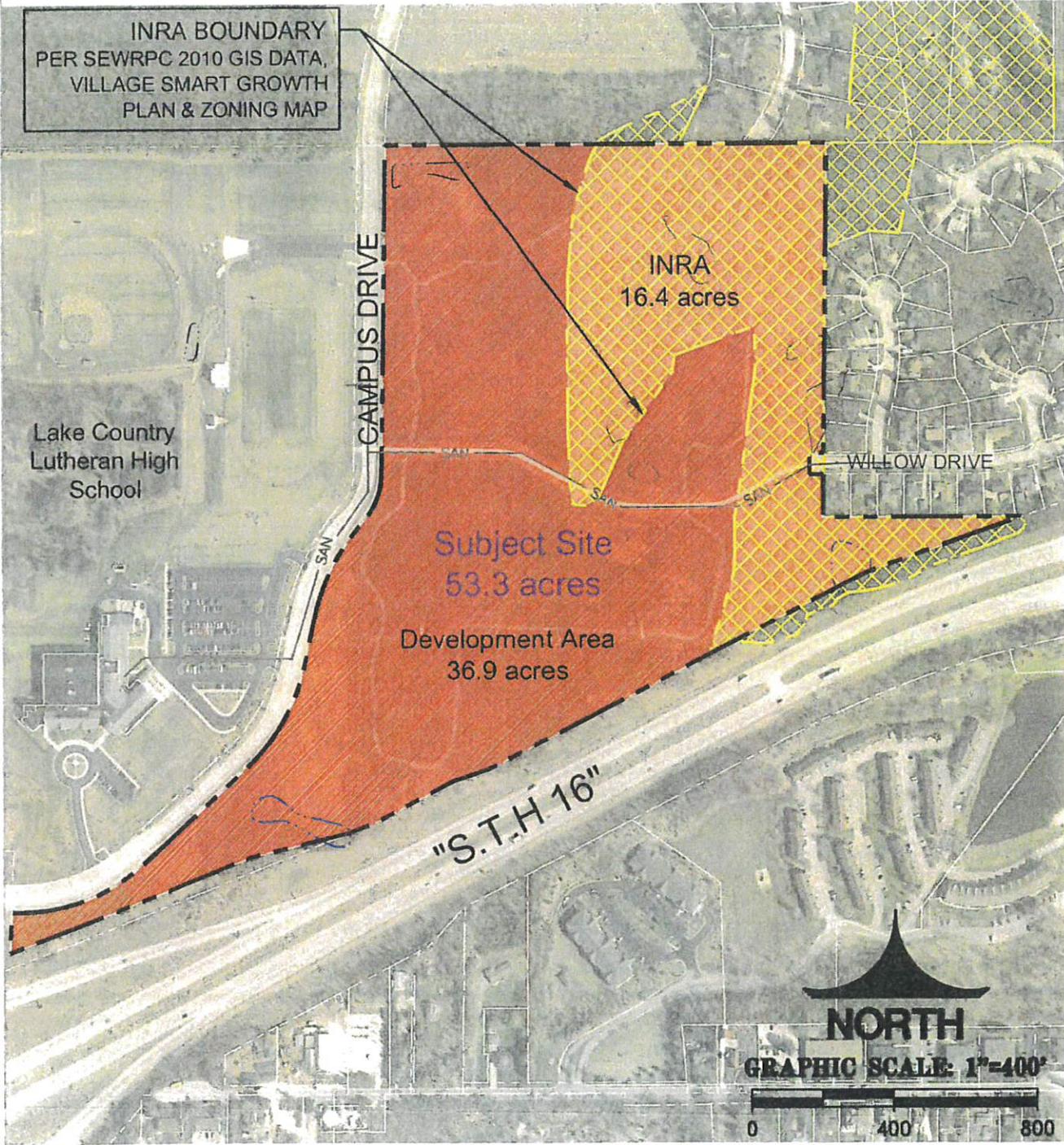
2018 NAIP
 Data: Waukesha Co, HEG 2/27/2020

Appendix B | SEWRPC Mapping

Development Exhibit

"LAKE COUNTRY LUTHERAN"

(EAST 53.3 ACRES)
VILLAGE OF HARTLAND, WI



DATE: 07/31/2019

Appendix C | Site Photographs



Photo #1 INRA opening in southern part of Study Area, view east.



Photo #2 INRA opening in northwestern part of Study Area, view southeast.



Photo #3 INRA opening in northwestern part of Study Area, view northeast.



Photo #4 INRA opening in west central part of Study Area, view south.



Photo #5 View along path in west central part of Study Area, an INRA opening.

Appendix D | Delineator Qualifications



Eric C. Parker, PWS

Principal Scientist

eric@heartlandecological.com

(414) 380-0269



Mr. Parker is a certified Professional Wetland Scientist and Wisconsin Assured Wetland Delineator with over 30 years of professional and project management experience assisting public and private clientele. He has completed wetland projects in other states including IL, IN, OH, MI, ND, MO, PA, TX, MD, VA, and NC. His work has supported thousands of institutional, commercial, utility, residential, industrial & transportation projects. His natural resource specialties include botanical surveys, wetland science, restoration and mitigation. Mr. Parker has a widespread understanding of the scientific, technical and regulatory aspects of natural resources projects. His interests also include floristic quality assessment (FQA) and wetness categorization of plant species.

His experience includes the following: Botanical / Biological Surveys and Natural Resource Inventories; Rare Species Surveys, Conservation Plans and Monitoring; Wetland Determination, Delineation and Functional Assessment; Wetland Restoration, Mitigation, Banking and Monitoring; Habitat Restoration, Wildlife Surveys, SCAT surveys, Environmental Assessments; Local, state, federal permit applications; Expert Witness testimony; and Regulatory permit compliance.

Education

BS, Watershed Management, Soils Minor
University of Wisconsin - Stevens Point
Stevens Point, WI, 1983

Wetland Ecosystems (including delineation & assessment)
USEPA Graduate School
Washington DC, 1988

Field Oriented Wetland Delineation Course
(1987 Corps Manual)
Wetlands Training Institute (WTI)
St. Paul, MN, 1994

Basic Wetland Delineation Training
Wisconsin Department of Administration
Waukesha, WI, 1997

Vegetation Description, UWM Cedarburg Bog
Field Station, Saukville, WI, 1998

Advanced Wetland Delineation
University of Wisconsin - La Crosse
Bayfield County, WI, 2001

Critical Methods in Wetland Delineation
University of Wisconsin - La Crosse Continuing
Education and Extension, Madison, WI, 2006,
2008, 2010, 2014, 2016, 2017, 2018, 2019,
2020

Mosses ID & Ecology, UWM Cedarburg Bog
Field Station, Saukville, WI, 1998

Sedges ID & Ecology, UWM Cedarburg Bog
Field Station, Saukville, WI, 2002, 2006, 2010

Grasses ID & Ecology, UWM Cedarburg Bog
Field Station, Saukville, WI, 1998

Registrations

Professional Wetland Scientist #838, Society of
Wetland Scientists Certification Program

Certified Wetland Scientist #C-058
Stormwater Management Commission
Lake County, IL

Qualified Wetland Specialist #W-057
Kane County, Illinois



Project Experience

Wetland Delineation & Regulatory Support

Example 2019 Wetland Delineations in WI (39 sites)

North Hills Subdivision, Waukesha Co., WI (Jan); Prairie Walk Subdivision, Waukesha Co., WI (Apr); Loomis Parcel Determination, WI (Mar-Apr); Lamminem Parcel, Kenosha Co., WI (Apr); Lot 103 Burlington, Racine Co., WI (Apr); 7220 Ryan Rd Parcel, Milwaukee Co., WI (Apr); 1-Acre Franklin Parcel, Milwaukee Co., WI (June); 256th Ave Site, Kenosha Co., WI (May); 915 Main St Mukwonago, Waukesha Co., WI (May); Muskego Lakes CC, Muskego, Waukesha Co., WI (June), Bonniwell Road Parcel, Ozaukee Co., WI (July); 333 Portland Rd Site, City of Waterloo, Jefferson Co., WI (May); Thompson Lane Parcel, Village of Chenequa, Waukesha Co., WI (May); Schmitz Redi-Mix Site, Village of Mt. Pleasant, Racine Co., WI (June); New Berlin Redi-Mix Site, City of New Berlin, Waukesha Co., WI (May); Elm Grove Road Basin, City of New Berlin, Waukesha Co., WI (May); Lathrop-Meacham Parcels Mitigation Site, Village of Mt. Pleasant, Racine Co., WI (May-July); Lot 18-31 Geneva National Site, Town of Geneva, Walworth Co., WI (July); Bohner's Lake Parcel, Town of Burlington, Racine Co., WI (Sept); 6970 South 6th St., City of Oak Creek, Milwaukee Co., WI (Aug); Weatherstone Meadows site, City of New Berlin, Waukesha Co., WI (Aug); Parkview Apartments site, Village of Somers, Kenosha Co., WI (Aug); Volkswagen Expansion site, Village of Pleasant Prairie, Kenosha Co., WI (Aug); Pewaukee-Brookfield Trail, Waukesha Co., WI (Aug-Sept); Parcel 1268-993, City of New Berlin, Waukesha Co., WI (Aug); Germantown Industrial Business Park, Washington Co., WI (Oct); Haasch-Finger site, City of Brookfield, Waukesha Co., WI (Oct); Kennedy Property, Village of Waunakee, Dane Co., WI (Oct); Jefferson County Interurban Trail, Towns of Watertown and Ixonia, Jefferson Co., WI (Oct); Mukwonago Residential Parcel, Village of Mukwonago, Waukesha Co., WI (Oct); Pine Ridge Estates, City of Oconomowoc, Waukesha Co., WI (Oct); Silver Lake Parcels, Village of Salem Lakes, Kenosha Co., WI (Oct); New Berlin Trail Phase II, City of Waukesha, Waukesha Co., WI (Oct); 1910 W Puetz Road site, City of Oak Creek, Milwaukee County, WI (Oct); Project Redline, Village of Menomonee Falls, WI (Oct); CSM 3232 Oulot 1, Village of Mt. Pleasant, Racine Co., WI (Oct); Plant Community Mapping and Assessment, City of Oak Creek, Milwaukee Co., WI (Nov); Faber Property, Village of Williams Bay, Walworth Co., WI (Nov); Campus Drive Property, Village of Hartland, Waukesha Co., WI (Dec).

Example 2018 Wetland Delineations in WI and IL (50 sites)

Homestead Acres, Racine Co., WI (Apr); Greenmeadows, Racine Co., WI (Apr), Wind Point School, Racine Co., WI (Apr); Vintage Parc East, Kenosha Co., WI (Apr); Nelson-Heckel, Kenosha Co., WI (Apr); Caledonia Storage, Racine Co., WI (Apr); New Berlin Storage, Waukesha Co., WI (Mar); Manke Gravel Pit, Columbia Co., WI (May); Drissel-Wallace, Kenosha Co., WI (May); LaBelle Golf Course, Waukesha Co., WI (May); Waterloo Aluminum, Jefferson Co., WI (May); Salem Business Park, Kenosha Co., WI (May); Audubon Arboretum, Racine Co., WI (May); Briarwood, Racine Co., WI (May); Basting-Brown Parcels, Waukesha Co., WI (May); 84-Acre Site, Racine Co., WI (May); Jolenta Lane, Waukesha Co., WI (Apr); Rock Road Storage, Walworth Co., WI (May); Wildwood Creek, Winnebago Co., WI (Jun); Green Bay Site, Brown Co., WI (Jun); Main Street Market, Kenosha Co., WI (Jul); Armstrong Eddy Park, Rock Co., WI (May); Hickory St Site, Ozaukee Co., WI (Jun); Parcel DW 800004, Walworth Co. (Jun); Lot 8 Parcel WCA-0003, Walworth Co., WI (Jun); RRR Grundy, Kane Co., IL (Jul); Coleman Norris Parcel, Waukesha Co., WI (Jul); Deaton Parcel, Kenosha Co., WI (Aug); Hintz Parcel, Washington Co., WI (Aug); Loomis-Ryan Rds Site, Milwaukee Co., WI (Aug); Grass Parcels, Waukesha Co., WI (Sep); Mallard Ridge Landfill Pipeline, Walworth Co., WI (Sep); Glacier Ridge Landfill Pipeline, Dodge Co., WI (Sep); Ravenwoods, Waukesha Co., WI (Aug); Canopy Hills, Racine Co., WI (Sep); Duck Pond, Kenosha Co., WI (Sep); Splinter Parcels, Racine Co., WI (Oct); Berget Parcel, Walworth Co., WI (Sep); Saylesville Rd Parcel, Waukesha Co., WI (Oct); Racine Ave-Lawnsdale Rd Parcel, Waukesha Co., WI (Oct); Braun Rd-90th St Parcel, Racine Co., WI (Oct); Grafton Parcels, Ozaukee Co., WI (Dec); Crawford Parcel, Racine Co., WI (Nov); Kotas Parcels, Racine Co., WI (Nov); Altamont Acres South, Racine Co., WI (Dec); Christina Estates, Racine Co., WI (Dec); Christina Estates NE, Racine Co., WI (Dec); Lathrop Parcel, Racine Co., WI (Dec); Hillside Ridge, Waukesha Co., WI (Dec); Stolz Property, Waukesha Co., WI (Dec).

Example 2017 Wetland Delineations in WI, MI, IN, and IL (31 Sites)

Back 40 Mine, Menominee Co., MI (Jan); Oakdale Rd Site, Waukesha Co., WI (Sep), Birds Eye Foods,



Walworth Co., WI (Sep); Boss Property, Leelanau Co., MI (Jul); Brighton Estates, Waukesha Co., WI (Sep); Saltzman North, Waukesha Co., WI (Sep); Susnar Parcel, Waukesha Co., WI (Sep); Wrenwood Site, Washington Co., WI; Chorneyko Site, Walworth Co., WI (Apr); CN Railroad Bridges-6 Sites, Fond du Lac & Winnebago Co's, WI; CN Railroad Freeport Culvert, Kane Co., IL (May); Herrling Site, Dane Co., WI (Sep); MMSD Sewerage Project, Milwaukee Co., WI (May); Spring St Site, Racine Co., WI (Oct); Goshen Midway Cell Tower, Elkhart Co., IN (Apr); Two Creeks Utility Site, Manitowoc Co., WI (Nov); Suncast Site, Kane Co., IL (Dec); Lot 51 Lakeview Corp Park, Kenosha Co., WI (Oct); Lakefront Gun Range, Racine Co., WI (Oct); WI Club Golf Course, Milwaukee Co., WI (Apr); WisDOT Improvements, STH 32 Racine Co (Aug), STH 67 Walworth Co. (Sep), STH 20, Racine Co. (Oct), 27th St, Milwaukee Co. (Sep); Conference Point Boat Launch, Walworth Co., WI (Oct); Lake View RR Corridor, Portage Co., WI (Sep).

Example 2016 Wetland Delineations in WI, OH, MI and IL (Mostly Large Projects)

AEP Wavery-Adams-Seaman 138 kV Trans. Line Rebuild, Adams & Pike Co's, OH (Dec); Kansas West-Faraday Trans. Line Rebuild-Macon, Moultrie, & Coles Co's, IL (Jan), Riveredge Nature Center Preliminary, Ozaukee Co., WI (Feb); Lost Creek Mitigation Site, Portage Co., WI (Jun); I-41 Burleigh to Good Hope Corridor WisDOT, Milwaukee Co., WI (Jul); STH 60 Corridor, Ozaukee & Washington Co's, WI (Aug-Oct); Erin Hills Golf Course, Washington Co., WI (Sep); Back 40 Mine, Menominee Co., MI; Lake Zurich SW Cell Tower, Lake Co., IL (Oct); Acme Steel Coke Site, Cook Co., IL (Dec).

Example 2015 Wetland Delineations in WI, IL, and MO (Mostly Large Projects)

Bolser Street MO33211-M Cell Tower Site, Grundy Co., MO (Sep); Section 9 Site, Dane Co., WI (Apr); Franzel Rd Site, Bayfield Co., WI (Apr); Big Eau Pleine Mitigation Site, Marathon Co., WI (Aug); Taylor Road Siding Track, Jackson Co., WI (Nov); UPS-CACH Site, Cook Co., IL (Jun); Eggers Woods Forest Preserve, Cook Co., IL (Mar).

Example 2014 Wetland Delineations in WI, IL, and MI (Mostly Large Projects)

Emerald Park Western Expansion, Waukesha Co., WI (Oct); Arcadia Mining Site-Trempealeau Co., WI (Apr); Kalamazoo River Parcel, Kalamazoo and Calhoun Co's, MI (Jul); G2 Mitigation Site - Winnebago Co., WI (May); Line 6A MP 378.94, McHenry Co., IL (Sep); Geneva National Site, Walworth Co., WI (Nov); Nortrax Site -Lincoln Co., WI (Oct); Toberman Parcel- Crawford Co., WI (Oct).

Example 2013 Wetland Delineations in WI, IL, OH, and MI (Mostly Large Projects)

West Central Lateral - Eau Claire, Clark, Jackson & Monroe Co's, WI (Apr-May); Walker Cranberry 80-acre Parcel - Jackson Co., WI (Sept - Oct); Berne to Natrium Pipeline, Monroe Co., OH (Oct); CNX Noble Pipeline - Noble Co., OH (Oct); Deer Grove Forest Preserve, Cook Co., IL (Nov).

Example 2012 Wetland Delineations in WI, IL, IN, and TX (Mostly Large Projects)

West Central Lateral (190 miles), Eau Claire, Clark, Jackson & Monroe Co's, WI (Sep-Nov); Morrison Creek Cranberry Parcel, Jackson Co., WI (Aug); London Mitigation Site, Jefferson Co., WI (July); Southern Access Pipeline, Sawyer & Washburn Co's, WI (Jun); I-80 Interchange, LaPorte Co., IN (Mar); Eagle-Ford Shale Plays, LaSalle & McMullen Co's, TX (Jan-Feb).

I-94 Corridor Wetland and Primary Environmental Corridor Mapping and Endangered Species Study, Milwaukee, Racine, and Kenosha Counties, WI (Project Manager and Lead Scientist)

Deer Grove Forest Preserve Wetland Delineation and Restoration*, Cook County, IL (Project Manager and Lead Scientist)

Elm Road Generating Station, Oak Creek & Caledonia, WI (Project Manager & Lead Scientist)

Tri-State Tollway, Deerfield Plaza Wetland and Endangered Species Investigation, Lake and Cook Counties, IL (Lead Scientist)

Guardian II Laterals, Fox Valley, Hartford and West Bend, WI (Project Manager and Lead Scientist)

ATC Paris to St. Martins (KK3025) 138KV Line Rebuild, Kenosha, Racine and Milwaukee Counties, WI (Project Manager and Lead Scientist)

	ALAN G STANWICK 2008 LIVING TRUST W305N5205 GAIL LN HARTLAND WI 53029	ALEXANDER ALLISTER 4887 EASY ST UNIT 10 HARTLAND WI 53029-1942
ALLEN KOGLIN AND PATRICIA KOGLIN 231 WILLOW DR HARTLAND WI 53029	ALLEN M & ROBIN R WEISS REVOCABLE TRUST 273 WILLOW DR HARTLAND WI 53029-1324	ALYCIA J WARD 4875 EASY ST UNIT 5 HARTLAND WI 53029-1943
AMOL NANDKISHOR AGASHE 4887 EASY ST UNIT 2 HARTLAND WI 53029-1942	AMY JO BENSON 530 WINDSTONE DR UNIT 112 HARTLAND WI 53029-1657	ANDREW J FARRELL 4875 EASY ST UNIT 9 HARTLAND WI 53029-1943
ANDREW & AMANDA M RUSSELL N49W31057 OLD STEEPLE RD HARTLAND WI 53029-8533	ANDREW AND ANNA KOPCZYK 14130 SHEFFIELD DR APT 301 HOMER GLEN IL 60491-7891	ANDREW SISK 520 WINDSTONE DR UNIT 103 HARTLAND WI 53029-1653
ANTHONY J KLOTZ & KARRIE L KLOTZ 4887 EASY ST UNIT 14 HARTLAND WI 53029	ANTON & CHRISTINE MOLLGAARD 705 CENTERVILLE RD ANDERSON SC 29625-2529	ARLENE A MAYES 4875 EASY ST UNIT 8 HARTLAND WI 53029-1943
ASHLEY E PEIRICK 4887 EASY ST UNIT 6 HARTLAND WI 53029-1942	BARBARA E SAMUELSON 530 WINDSTONE DR UNIT 109 HARTLAND WI 53029	BONNIE IZYDOR 530 WINDSTONE DR UNIT 103 HARTLAND WI 53029-1657
BONNIE SUEDBECK 530 WINDSTONE DR UNIT 312 HARTLAND WI 53029-1659	BOYD & ELIZABETH STAPLETON W304N5309 EVELYN CT HARTLAND WI 53029	BRANDON ORDWAY 520 WINDSTONE DR UNIT 204 HARTLAND WI 53029
BRENT W YUNK 4821 EASY ST UNIT 14 HARTLAND WI 53029	BRIAN J BORKENHAGEN 4835 EASY ST UNIT 2 HARTLAND WI 53029-1954	BRIAN M & PATRICIA A STIPPICH 2011 LIVING TRUST 4887 EASY ST UNIT 3 HARTLAND WI 53029-1942
BRIAN NAHEY 5661 HIGHWAY 83 HARTLAND WI 53029-8502	BRIAN W MONTAG 2017 TRUST PO BOX 180336 DELAFIELD WI 53018-0336	BRIANA V DENEVAN 530 WINDSTONE DR UNIT 212 HARTLAND WI 53029
BRUCE SINOTTE AND KATHLEEN SINOTTE 302 WILLOW DR HARTLAND WI 53029-1316	BRYAN E BAUMAN 1420 BLAZING STAR DM OCONOMOWOC WI 53066-3552	CALVIN M AKIN 19105 W CAPITOL DR #200 BROOKFIELD WI 53045

CARRIE HAANSTAD
4863 EASY ST UNIT 3
HARTLAND WI 53029

CELINE F MULLEN
520 WINDSTONE DR UNIT 304
HARTLAND WI 53029-1655

CHRISTOPHER KLUSS
4835 EASY ST UNIT 14
HARTLAND WI 53029-1954

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DANIEL & KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

DARRELL AND JUDITH L NULAND
530 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1658

DAVID C PANAWASH
530 WINDSTONE DR UNIT 104
HARTLAND WI 53029

DAVID HADDIX
4887 EASY ST UNIT 9
HARTLAND WI 53029-1942

DENNIS A & DARLENE F SISCO
REVOCABLE LIVING TRUST
296 HICKORY CT
HARTLAND WI 53029

DONALD R PORTER
4835 EASY ST UNIT 10
HARTLAND WI 53029

CASEY & KATRINA JOHNSTON
4821 EASY ST UNIT 3
HARTLAND WI 53029-1941

CHAD D TORKELESON
4821 EASY ST UNIT 6
HARTLAND WI 53029

CLIFFORD R LOKER
4875 EASY ST UNIT 7
HARTLAND WI 53029-1943

DANIEL D PFEFFER & KELLY E BABCOCK
530 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1658

DANIEL AND PATRICIA QUIGLEY
255 WILLOW DR
HARTLAND WI 53029

DAVID AND KAREN ZUEGE
N74W28831 COLDSTREAM DR
HARTLAND WI 53029-8486

DAVID E COX AND CHRISTINE M COX
297 WILLOW DR
HARTLAND WI 53029

DAVID ROESSLER AND JEAN ROESSLER
243 WILLOW DR
HARTLAND WI 53029

DEREK J AND STEPHANIE L REINKE
W334N6905 REYNOLDS DR
OCONOMOWOC WI 53066-1429

DUKE PLOENSE
250 WILLOW DR
HARTLAND WI 53029-1321

CECELIA FAUSEL
4887 EASY ST UNIT 16
HARTLAND WI 53029-1942

CHRISTINE GLASS
520 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1655

COLLEEN K CONDON
4875 EASY ST UNIT 13
HARTLAND WI 53029

DANIEL E SHEPHERD
4887 EASY ST UNIT 1
HARTLAND WI 53029-1942

DANIELLE NICOLE HENRY
4875 EASY ST UNIT 6
HARTLAND WI 53029-1943

DAVID BAHR AND JANET BAHR
261 WILLOW DR
HARTLAND WI 53029

DAVID G LASKA
N77W22305 WOODED HILLS DR
SUSSEX WI 53089-2149

DEGROTHY TRUST DATED SEPTEMBER
11 2006
4835 EASY ST UNIT 15
HARTLAND WI 53029-1954

DONALD PAUL MCDOWELL
530 WINDSTONE DR UNIT 205
HARTLAND WI 53209-1658

DUNKER TRUST
3761 NAGAWICKA SHORE DR
HARTLAND WI 53029

ELLEN J UMENTUM 4863 EASY ST UNIT 2 HARTLAND WI 53029-1953	ELLEN LOUISE BECKER 4821 EASY ST UNIT 5 HARTLAND WI 53029-1941	EMIL & RUTH MEINDL FAMILY TRUST 228 WILLOW CT HARTLAND WI 53029-1312
ERIN J O'BOYLE 4887 EASY ST UNIT 5 HARTLAND WI 53029	FRED AND LESLIE SCHWEINERT 4835 EASY ST UNIT 16 HARTLAND WI 53029	FREDERICK A & LINDA A KUHN 2007 LIVING TRUST 260 BIRCH CT HARTLAND WI 53029
GABRIELA VAZQUES & JESUS GARCIA 272 HICKORY CT HARTLAND WI 53029-1306	GARY AND MARY WITTER 222 WILLOW CT HARTLAND WI 53029	GEOFFREY A YOUNG 664 HILL ST HARTLAND WI 53029
GEOFFREY C AND RUSSELL C ACKLEY 4863 EASY ST UNIT 6 HARTLAND WI 53029	GEORGE AND MARGARET URBAN 258 BIRCH CT HARTLAND WI 53029	GRAFTON MANOR 5 LLC PO BOX 512 HARTLAND WI 53029-0512
GREGORY BURICH 520 WINDSTONE DR UNIT 307 HARTLAND WI 53029-1655	GREGORY F FAAS AND REBEKAH J FAAS 285 WILLOW DR HARTLAND WI 53029-1324	GREGORY L & JANET E WARREN 4875 EASY ST UNIT 16 HARTLAND WI 53029-1943
HADDIX TRUST W282N4288 SOMERSET LN PEWAUKEE WI 53072	HAO LI 17320 BARD LN BROOKFIELD WI 53045-1251	HAO LI 17320 BARD LN BROOKFIELD WI 53045-1251
HAYLIE HAMPTON 520 WINDSTONE DR UNIT 302 HARTLAND WI 53029-1655	J SWEET TOWNE LLC 1127 HAWTHORNE PL APT E PEWAUKEE WI 53072-6575	JACK VACCARO 520 WINDSTONE DR UNIT 301 HARTLAND WI 53029-1655
JACOB M & DANIELLE L CATAROZZOLI 284 HICKORY CT HARTLAND WI 53029-1306	JACOB W BOLYARD & KATELYN A KOTAJARVI 264 BIRCH CT HARTLAND WI 53029-1320	JAMES & LINDA HOLMBERG TRUST W310N4958 OLD STEEPLE RD HARTLAND WI 53029
JAMES STRECHER AND LISA STRECHER 267 WILLOW DR HARTLAND WI 53029	JAMES AND TERESA TERONDE W304N5293 EVELYN CT HARTLAND WI 53029	JANE LAITSCH 4835 EASY ST UNIT 6 HARTLAND WI 53029-1954
JANET K ADLER 520 WINDSTONE DR UNIT 104 HARTLAND WI 53029-1653	JANET L STAHNKE 530 WINDSTONE DR #107 HARTLAND WI 53029	JASON AND MELISSA MALDONADO 520 WINDSTONE DR UNIT 107 HARTLAND WI 53029

JAYNE WEYER TRUST
13716 W WHITE WOOD DR
SUN CITY WEST AZ 85375-5845

JEANINE LUND
4875 EASY ST UNIT 1
HARTLAND WI 53029-1943

JEFFREY C SAATKAMP
280 HICKORY CT
HARTLAND WI 53029-1306

JOAN P GLEASER
520 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1655

JOHN GRUBA AND BETSY GRUBA
214 WILLOW CT
HARTLAND WI 53029

JOHN AND CHERYL MALONEY
290 HICKORY CT
HARTLAND WI 53029

JOSHUA ENGEL AND LORA ENGEL
N49W31079 OLD STEEPLE RD
HARTLAND WI 53029-8533

JUSTIN J LEWANDOWSKI
520 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1653

KAREN M WAGNER
4863 EASY ST
HARTLAND WI 53029-1953

KELLY M AND MARK R BLACKBURN
248 WILLOW DR
HARTLAND WI 53029

JEAN A LARSEN
642 HILL ST
HARTLAND WI 53029

JEANNE A HOPPE
520 WINDSTONE DR UNIT 207
HARTLAND WI 53029

JENNIFER R KLEMME
256 BIRCH CT
HARTLAND WI 53029

JOANN PAPA IRREVOCABLE TRUST
520 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1655

JOHN L AND MARY A KOSAK
530 WINDSTONE DR UNIT 108
HARTLAND WI 53029

JOHN P LYNE
530 WINDSTONE DR UNIT 201
HARTLAND WI 53029

JUDITH SCHNEIDER
520 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1654

KAREN E LAWLOR
216 WILLOW CT
HARTLAND WI 53029

KATHLEEN A ORLIKOWSKI
520 WINDSTONE DR UNIT 205
HARTLAND WI 53029

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

JEAN M LYONS
4863 EASY ST UNIT 1
HARTLAND WI 53029

JEFFERY AND JUDITH SCHUBERT
W310N4932 OLD STEEPLE RD
HARTLAND WI 53029

JEREMY H KONTNEY
4821 EASY ST UNIT 4
HARTLAND WI 53029-1941

JOHN AND PATRICIA BAKER
230 WILLOW CT
HARTLAND WI 53029

JOHN M AND WANDA E GOSA
530 WINDSTONE DR UNIT 111
HARTLAND WI 53029-1657

JOSHUA D BUEGE
530 WINDSTONE DR #207
HARTLAND WI 53029

JUSTIN CULL
530 WINDSTONE DR UNIT 303
HARTLAND WI 53029-1659

KAREN K KOTTKE
520 WINDSTONE DR UNIT 212
HARTLAND WI 53029

KATIE L EGGERS
213 WILLOW DR
HARTLAND WI 53029-1324

KIMBERLY A TESSMAN
4875 EASY ST UNIT 11
HARTLAND WI 53029-1943

KRISTIN M SLOANE 226 WILLOW CT HARTLAND WI 53029	KRISTIN ROGACZEWSKI 520 WINDSTONE DR UNIT 108 HARTLAND WI 53029-1653	KURT D ASHBRENNER 220 WILLOW CT HARTLAND WI 53029
KURT AND CONSTANCE PRANGE 244 WILLOW CT HARTLAND WI 53029	KYLE A NIGL 4821 EASY ST UNIT 10 HARTLAND WI 53029-1941	LARRY C COMPTON JR 530 WINDSTONE DR #305 HARTLAND WI 53029
LAURIE HILL 4835 EASY ST UNIT 12 HARTLAND WI 53029-1954	LINDA C BEASTER 4835 EASY ST UNIT 5 HARTLAND WI 53029	LINDA D LEMEROND 254 BIRCH CT HARTLAND WI 53029
LINDSEY BROWN 4821 EASY ST UNIT 12 HARTLAND WI 53029-1941	LISA M WEATHERBEE 266 WILLOW DR HARTLAND WI 53029-1325	LOLA M VANHIERDEN 520 WINDSTONE DR UNIT 306 HARTLAND WI 53029
LOT OWNERS OF CHESTNUT RIDGE AND CHESTNUT RIDGE HOMEOWNERS ASSOCIATION Not Available	LOT OWNERS OF KIEFER FARMS Not Available HARTLAND WI 53029	LUKE W BAAR 520 WINDSTONE DR UNIT 105 HARTLAND WI 53029-1653
LUTHERAN H.S. ASSOC OF GREATER MILW 10427 W LINCOLN AVE STE 1300 MILWAUKEE WI 53227-1263	LUTHERAN HIGH SCHOOL ASSOCIATION OF GREATER MILW 10427 W LINCOLN AVE STE 1300 MILWAUKEE WI 53227-1263	MADELINE L DUERO 4835 EASY ST UNIT 3 HARTLAND WI 53029-1954
MAHVASH SHAKER 600 THAMES PKWY APT 2C PARKRIDGE IL 60068-3679	MARGARET BURRUS TRUST DATED AUGUST 9 2006 300 HICKORY CT HARTLAND WI 53029	MARGIT TROMPLER 530 WINDSTONE DR UNIT 110 HARTLAND WI 53029
MARK A KRAUS JR 520 WINDSTONE DR UNIT 102 HARTLAND WI 53029	MARK J AND FRANCINE J DEMLER- GIMLA W305N5220 GAIL LN HARTLAND WI 53029	MARK AND NIYARA WOODWARD 520 WINDSTONE DR UNIT 201 HARTLAND WI 53029-1654
MARVIN KATH AND JOAN KATH 530 WINDSTONE DR UNIT 308 HARTLAND WI 53029-1659	MARY ELLEN THOSS 530 WINDSTONE DR UNIT 309 HARTLAND WI 53029-1659	MARY L BUELOW 4835 EASY ST UNIT 9 HARTLAND WI 53029-1954
MARY S MUTH 520 WINDSTONE DR UNIT 106 HARTLAND WI 53029-1653	MATTHEW J FRANCOIS 4875 EASY ST UNIT 15 HARTLAND WI 53029	MATTHEW W KLEWER 2252 LADDIE TRL DE PERE WI 54115-8472

MELANIE M KRAAK
291 WILLOW DR
HARTLAND WI 53029

MICHAEL AND RAELE BELLAND
S12W31280 RUCCI DR
WALES WI 53183-9722

MICHAEL J AND DEBRA M PASSINO
530 WINDSTONE DR UNIT 203
HARTLAND WI 53029-1658

MILWAUKEE INVESTMENTS VIII LLC
2626 DELMAR PL
FORT LAUDERDALE FL 33301-1576

NATHAN S AND CYNTHIA K STRAYER
262 BIRCH CT
HARTLAND WI 53029

NICHOLAS L MASTROCOLA
4875 EASY ST UNIT 10
HARTLAND WI 53029-1943

PATRICK AND MARY HENZE
W305N5235 GAIL LN
HARTLAND WI 53029

PAUL BRANDES
520 WINDSTONE DR UNIT 310
HARTLAND WI 53029

PETER AND SUSAN MIHOJEVICH
N52W30555 MORAIN DR
HARTLAND WI 53029

PUSHING THE LIMIT ENTERPRISES LLC
PO BOX 621
PEWAUKEE WI 53072

MELVIN L AND ANDREW D KIRSCH
1424 WILDERNESS TRL
DELAFIELD WI 53018

MICHAEL H AND BARBARA J SYLVESTER
4821 EASY ST UNIT 8
HARTLAND WI 53029-1941

MICHAEL J AND DEBRA M PASSINO
520 WINDSTONE DR UNIT 110
HARTLAND WI 53029-1653

MYRON W SR AND SUSAN J COONS
4863 EASY ST UNIT 5
HARTLAND WI 53029

NATHAN T GROTH
4835 EASY ST UNIT 4
HARTLAND WI 53029

NICOLE R KULAS
282 HICKORY ST
HARTLAND WI 53029

PATRICK J AND DONNA W BALISTRERI
W305N5240 GAIL LN
HARTLAND WI 53029-1025

PAUL STAPLETON
W305N5247 GAIL LN
HARTLAND WI 53029

PETER AND SHARON PURVIS
W305N5260 GAIL LN
HARTLAND WI 53029

QI 13 LLC
1600 PARAMOUNT DR
WAUKESHA WI 53186-3965

MICHAEL A AND MELISSA A ZUNIGA
249 WILLOW DR
HARTLAND WI 53029-1324

MICHAEL J & RAYNELLE A CHYCINSKI
JOINT REV TRUST
1000 SW 5TH AVE
BOYNTON BEACH FL 33426-4734

MICHAEL L SCHMIDT
4821 EASY ST UNIT 7
HARTLAND WI 53029

NATHAN LEROY
4887 EASY ST UNIT 7
HARTLAND WI 53029-1942

NELSON-ZIRZOW REVOCABLE TRUST
225 WILLOW DR
HARTLAND WI 53029-1324

PAMELA L GROSS
24159 HARBORVIEW RD
PUNTE GORDA FL 33980

PAUL A RADDATZ
520 WINDSTONE DR UNIT 109
HARTLAND WI 53029

PENNY L NEULRICH
4835 EASY ST UNIT 1
HARTLAND WI 53029-1954

PETER PURVIS JR AND JILL PURVIS
W305N5250 GAIL LN
HARTLAND WI 53029

RIC J AND DANA A NEARY PANELLA
298 HICKORY CT
HARTLAND WI 53029

RICHARD D AND STACY DURANSO
W304N5290 EVELYN CT
HARTLAND WI 53029

RICHARD D HANSON
4835 EASY ST UNIT 13
HARTLAND WI 53029

RICHARD J AND RITA L GOEPEL
530 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1659

RICKY A WINTER & SANDRA D RICHTER
279 WILLOW DR
HARTLAND WI 53029

ROBERT AND LINDA BABEL
238 WILLOW CT
HARTLAND WI 53029

ROBERT D LITTLE
278 HICKORY CT
HARTLAND WI 53029

ROBERT AND KATHLEEN FREIBOTH
276 HICKORY CT
HARTLAND WI 53029

ROBERT J DOOME AND LISA L GIEG-
DOOME
18110 HOFFMAN AVE UNIT A
BROOKFIELD WI 53045-3559

RONALD BYCZEK CUSTODIAN FOR
OLIVIA BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

RONALD AND LISA MARIE CHOLIP
270 WILLOW DR
HARTLAND WI 53029

RONALD E FLANAGAN
226 WILLOW DR
HARTLAND WI 53029

RONALD W JR AND DIANE L NUNN
530 WINDSTONE DR UNIT 102
HARTLAND WI 53029

ROY D AND ANNE T TANNER
520 WINDSTONE DR UNIT 209
HARTLAND WI 53029-1654

RYAN J STANCL
4821 EASY ST UNIT 11
HARTLAND WI 53029-1941

SALLY DOYLE
4875 EASY ST UNIT 4
HARTLAND WI 53029-1943

SAMANTHA R TIETGEN
4875 EASY ST UNIT 3
HARTLAND WI 53029-1943

SAMUEL EICKMEYER
4821 EASY ST UNIT 16
HARTLAND WI 53029-1941

SANDRA C MATUSHINEC
530 WINDSTONE DR UNIT 301
HARTLAND WI 53029

SANDRA J SHAW
520 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1654

SARA ELIZABETH CARTER
520 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1653

SARA J BRISK
530 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1658

SARAH J HANSEN
4821 EASY ST UNIT 9
HARTLAND WI 53029

SCOTT AND DENISE BRLECIC
242 WILLOW CT
HARTLAND WI 53029

SCOTT HOSEID AND MARY HOSEID
294 HICKORY CT
HARTLAND WI 53029-1306

SHANNON ROBBINS AND CHRISTINE
JANSSEN
4863 EASY ST UNIT 4
HARTLAND WI 53029-1953

SHARON K SIME
4887 EASY ST UNIT 8
HARTLAND WI 53029

SHAWN A MORTENSEN
218 WILLOW CT
HARTLAND WI 53029-1312

STACEY A BITTMAN
W305N5200 GAIL LN
HARTLAND WI 53029

STATE OF WISCONSIN AND
DEPARTMENT OF TRANSPORTATION
PO BOX 798
WAUKESHA WI 53187-0798

STEVEN G AND DANIELLE R HANSON
745 SPRING WATERS DR
OCONOMOWOC WI 53066-4178

STEVEN KELLER
4821 EASY ST UNIT 13
HARTLAND WI 53029-1941

SURVIVOR'S TRUST
W307N5276 ANDERSON RD
HARTLAND WI 53029-1032

TERESA T GNEWUCH
530 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1657

THOMAS D ACKERMAN
4875 EASY ST UNIT 12
HARTLAND WI 53029-1943

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

TW COUNTRY AIRE DELAFIELD LLC &
DELAFIELD COUNTRY AIRE ASSOCIATES LLC
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

VINOD ASHOK RAJE & JULIE ALMEIDA
4821 EASY ST UNIT 15
HARTLAND WI 53029-1941

WESLEY T AND LAURA L BURNAM
520 WINDSTONE DR UNIT 305
HARTLAND WI 53029-1655

WILLIAM J BEIMLING
4821 EASY ST UNIT 1
HARTLAND WI 53029

YEVGENY LANDAU
520 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1655

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

SUSAN M HUBATCH
4863 EASY ST UNIT 8
HARTLAND WI 53029-1953

TERRY L AUDLEY
224 WILLOW CT
HARTLAND WI 53029

THOMAS J GUSTAVSON JR
4875 EASY ST UNIT 14
HARTLAND WI 53029

TODD AND PAMELA JORGENSEN
225 WILLOW CT
HARTLAND WI 53029

VICTOR AND ISABELLE ANDERSON
207 WILLOW DR
HARTLAND WI 53029

VIOLA FLEMING
520 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1654

WILLIAM D AND STEPHANIE J SMITH
240 WILLOW CT
HARTLAND WI 53029

WISCONSIN ELECTRIC POWER CO
231 W MICHIGAN
MILWAUKEE WI 53203

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

TERENCE J & ELIZABETH A FELLABAUM
W305N5270 GAIL LN
HARTLAND WI 53029

THOMAS A WRIGHT
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

THOMAS PETRI AND DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

TRAVIS F TANNIS
4887 EASY ST UNIT 4
HARTLAND WI 53029-1942

VILLAGE OF HARTLAND
210 W COTTONWOOD AVE
HARTLAND WI 53029

WALTER AND NATALIE M KIRCHHOFF
520 WINDSTONE DR UNIT 210
HARTLAND WI 53029-1654

WILLIAM E KOEHN JR
274 HICKORY CT
HARTLAND WI 53029-1306

WONG LIVING TRUST
520 WINDSTONE DR UNIT 211
HARTLAND WI 53029