

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, AUGUST 17, 2020
7:00 PM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.
AND AVAILABLE ON ZOOM (DETAILS BELOW AGENDA)**

Roll Call

Public Comments: Please be advised the Joint Architectural Board/Plan Commission will receive comments from the public related to any item(s) on the agenda for a three minute time period per person, with time extensions per the Chairman's discretion.

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of the July 20, 2020 meeting.
2. Plan Commission review and consideration of an Extraterritorial Certified Survey Map in the Town of Delafield.
3. Architectural Board review and consideration of an application for replacement of signage for Grandma's House Child Care Center, 229 E. Captol Drive.
4.
 - a. Architectural Board and Plan Commission review and consideration of plans for construction of Units 35-40 and Units 43-44 in the Bristlecone Pine Condominiums.
 - b. Plan Commission review and consideration for Amendment # 17 of the Declaration of Covenants, Conditions, and restriction of the Bristlecone Pines.
5. Items related to potential Development of property on Campus Drive east of Lake Country Lutheran:
Lot # 2-
 - a. Plan Commission review and consideration of a petition for a Planned Unit Development for Lot #2 Mulit-family.
6. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regards to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.

7. Adjourn.

Tim Rhode, Village Administrator

A complete packet of meeting materials is normally available by 5:00pm on the Friday before the meeting on the Village website: www.villageofhartland.com (Government/Agendas and Minutes). Notice: Please note that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Darlene Igl, WCPC/CMC, Village Clerk, at 262/367-2714. The Municipal Building is handicap accessible.

Individuals attending public meetings in person will be required to **maintain appropriate social distancing**, (i.e., maintain a 6-foot distance) and be **free of symptoms** related to COVID-19.

To participate in the Village of Hartland "Zoom" meeting with video,

<https://us02web.zoom.us/j/87915745522?pwd=TDdZVnNEZ3BCNG1OM01nRzB0K1pQQT09>

To participate in the Village of Hartland "Zoom" meeting (audio only), please dial 1(312)626-6799. The Meeting ID is 879 1574 5522 and the password is 799566.

**JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY, JULY 20, 2020
7:00 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.**

Present: Jeff Pfannerstill, James Schneeberger, Tim Hallquist, David de Courcy-Bower, Ann Wallschlager, Jeff Bierman and Dino Xykis.

Others Present: Administrator Rhode, Ryan Amtmann, Attorney De La Mora, Building Inspector Hussinger and Deputy Clerk Bushey.

Call to Order- 7:00 pm

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of two meetings June 15, 2020.

Motion (Hallquist/Schneeberger) to approve the minutes for the two meetings on June 15,2020. Carried (7-0).

2. Architectural Board review and consideration of a modified application for a sports pavilion for Lake Country Lutheran, 401 Campus Drive.

Pete Schneider from Groth Design was present and said this was approved in April however they are over budget on the project, so they have made some modifications. He said the modifications are mainly to the exterior finish. Administrator Rhode said he felt it was best to bring the changes back to the Architectural Board. He said it meets all the standards and is well off the road. DeCourcy-Bower said he doesn't see anything regarding exterior lighting and Mr. Schneider said it is part of the project but he just doesn't have the plans with him.

Motion (deCourcy-Bower/Hallquist) to approve the modified application for a sports pavilion contingent on the exterior lighting being approved by staff. Carried (7-0).

3. Plan Commission review and consideration of an application of a Certified Survey Map to divide the Zion Evangelical Lutheran Church property located at 415 W. Capitol Drive into two parcels and to consider a petition to rezone the property to the RS-5 Single Family Residential Estate District.

Craig Eisenhut who is a trustee board member was present representing Zion Evangelical Lutheran Church. He said they would like to split the property to sell it separately. Administrator Rhode said this came before the Plan Commission about 1 ½ years ago and they had a Public Hearing but for some reason it stalled and didn't move forward. He said he thought it should come before the Plan

Commission again. Hallquist asked if there has been any changes and Rhode said no it is the same. Mr. Eisenhut commented that the 2 parcels have separate sewers now.

Motion (Hallquist/Schneeberger) to recommend approval to the Village Board of the CSM for Zion Evangelical Lutheran Church and to include to consider a petition to rezone the property to RS-5 and including correcting the Comprehensive Plan.

Carried (7-0).

4. Architectural Board/Plan Commission and Village Board review and consideration of items related to development of HAV 0423-981 located on Campus Drive east of Lake Country Lutheran.

a. TWO PART PUBLIC HEARING CONDUCTED BY THE VILLAGE BOARD:

Bryan Lindgren from Neumann Development was present and explained what they are proposing. They are proposing a rezone for a Planned Unit Development to pave the way for single family condominiums on campus drive owned by Lake Country Lutheran, water and sewer currently run thru the property and the area they are developing is north of the water and sewer. They are proposing 47 single family condominiums units for first time home buyers and hoping with their building partner to offer them in the range of \$400,000. In the process of the development they will be permanently preserving the nature trails that run thru the property thru an easement. There is a wooded portion that will remain as well as some natural kettles they will preserve thru the upland conservancy zoning and the remainder the land they would like rezoned for their purpose of the condominiums.

- i) to hear comments about the proposed Planned Unit Development Agreement to allow the construction of 47 single family condominium in an urban cluster community, EXCEPT FOR COMMENTS REGARDING THE CONNECTIVITY OF THE PROPOSED PUBLIC ROAD.

Pfannerstill opened the Public Hearing at 7:20pm to hear comments on the construction of 47 single family condominiums in an urban cluster.

- 1) Melissa Harbon N48 W31172 Hwy 83 – concerned about the amount of traffic and the intersection.
- 2) Rebecca Simandl N52 W30605 Moraine Dr – concerned and opposed in general to the urban cluster. Concerned about wildlife, the land and safety of schools.
- 3) Charles Luedtke N72 W32225 Redlin Rd – more comfortable with residential than commercial. Concerned and commented on the cross-country trail.
- 4) Christine Oldenberg – representing LCL High School association & also a cross country coach.
- 5) Joanne Nelson 225 Willow Drive – asked if there will be any consideration for apartments. Pfannerstill said the Public Hearing is only for the development before us.
- 6) Thomas Petri 286 Hickory Lane – concerned about the wildlife. And feels that area represents a plus for the Village.

There were no other comments so Pfannerstill closed the Public Hearing for the Planned Unit Development at 7:31 pm.

ii. To only hear comments as to whether the proposed public road for this development should be connected to existing Willow Drive to the east of the development.

Pfannerstill opened the Public Hearing at 7:31 pm to hear comments on whether the proposed public road for this development should be connected to existing Willow Drive to the east of the development.

1. Eric Kayla Kutemeier 261 Willow Drive – have young children, concerned about safety, congestion issue, noise and property values.
2. Kayla Kutemeier 261 Willow Drive – works at the high school, congestion is bad and doesn't think adding the road will help the current congestion.
3. Cheryl Maloney 290 Hickory Ct – commented that the road is narrow. Submitted pictures said there is a blind hill. It is a dangerous road and not meant for more traffic.
4. Nicole Kulas 282 Hickory Ct. – created petition with neighbors and said 82% is against the connection. Submitted additional petitions.
5. Luke Numrych 217 Chestnut Ridge – moved to subdivision because it is quiet neighborhood and asked if impact studies have been done.
6. Emil Meindl 228 Willow Ct – Road is not wide enough to handle traffic, connecting is not good.
7. Ruth Meindl 228 Willow Ct – the existing subdivision traffic is terrible, has almost been hit several times. Cannot cross road safely when students are getting out of school.
8. Stephanie Smith 240 Willow Ct – opposed to road going through, road is not wide enough. It will create more traffic, getting out of subdivision is difficult.
9. Dennis Sweda 224 Willow Ct – extra traffic will be a mess.
10. Lisa Kreklow-Weatherbee 266 Willow Dr – opposed to connecting to Willow Drive. Bought house because it is a quiet road and neighborhood.
11. Perry Green 129 Willow Drive – Lived in neighborhood 12 years, is opposed.
12. Jackie Rottler 190 Linden Ct – has lived there 27 years, has a handicapped child who can't think cognitively and look both ways. Said the minute the kids are out school they are on their phones and it is dangerous.
13. Tonya Little 278 Hickory Ct – traffic problem will increase. Works for company that does traffic study and there are more accidents involving left hand turns.
14. Nina Fedak 157 Poplar Ct – moved in neighborhood in 1979, raised kids there. It is hazardous to connect road.
15. Theresa Gallagher 147 Willow Dr. – lived there 40 yrs. There is a hill and curve and kids come down the hill fast. Water doesn't drain well there & it is an ice rink in winter. Kids don't always look when they cross.
8:07 3-minute recess
8:10 called to order
16. Christian Gallagher 147 Willow Ct – not comfortable with connecting road, difficult to get out of subdivision sometimes.

17. Tom Gustavson 234 Willow Dr. – has 2 kids, increased traffic is a concern. Hard to turn right out of subdivision.
18. C. Momsen 153 Willow Dr – understands development, concerned about traffic and speed of traffic. Opposed to opening road.
19. Charles Lubke N72 W32225 Redlin Road – not a benefit to residents.
20. Joanne Nelson 225 Willow Drive – opposed to opening road with all the reasons that have been stated.
21. Melissa Marban N48 W31172 Hwy 83 trustees should look out for Village best interest. Neighbors are essential workers and makes no sense to make things harder.
22. Thomas Petri 286 Hickory Ct moved here for rural atmosphere, road going thru would be safety problem.
23. Craig Eisenhut 201 North Ave – commented on emergency access point
24. Dan Oostenberg 124 Willow Dr – concerned about speed issue. Said 111 out of 134 are against connecting the road.

There were no more comments so Pfannerstill closed the Public Hearing at 8:24pm.

Motion by Xykis 2nd by DeCourcy-Bower to recommend to the Village Board not to connect the proposed public road to Willow Drive. Discussion.

DeCourcy-Bower said the former plan shows additional development of residential roads and it is consistent with the original plan to connect to Willow Drive and showed what the plan looked like then and now.

Hallquist commented that the theme seems to be that they watch over their own and protect everyone. He said when school is not in session it is the residents that are speeding.

Xykis said we as members of the pc are appointed to protect and enforce the will of the people and to continue with the vote. Attorney De La Mora recommended Pfannerstill repeat the motion.

Plan Commission:

Motion (Xykis/DeCourcy-Bower) to recommend to the Village Board not to connect the proposed public road to Willow Drive. Carried (6-1). Schneeberger opposed.

Village Board:

Motion (Connor/Anson) to accept recommendation to not connect the proposed public road to Willow Drive. Discussion.

Trustee Dorau asked Interim Fire Chief Jambretz if he had an opinion either way. Interim Fire Chief Jambretz said his only concern is to have access somehow. Trustee Meyers said he thinks the police do a great job and it sounds like a lot of the traffic in the subdivision is from the people who live there and should be asking the residents there to slow down. Trustee Ludtke commented on proposed additional stop signs if the road went thru.

Motion (Connor/Anson) to accept recommendation to not connect the proposed public road to Willow Drive. Carried (7-0).

Recess taken: 8:43pm

Called order 8:50pm

b. BY THE ARCHITECTURAL BOARD/PLAN COMMISSION:

Review, consideration, and submission of a recommendation to the Village Board regarding the proposed Certified Survey Map to divide property owned by the Lutheran High School Association of Greater Milwaukee east of Campus Drive for future development.

DeCourcy-Bower said it was a strange way of a road layout and he was concerned about a public road with a private cul-de-sac. Amtmann said the whole development is set up with public and private roads. He said the proposed public road is over existing water/sewer. He said the rest that is proposed is private with the water/sewer to be private. He said the cul-de-sac is necessary for emergency vehicles and there are grade changes near the cul-de-sac. Administrator Rhode commented that they worked with Hartland DPW and they felt it was a better solution for snow plowing and parking for those using the trails. DeCourcy-Bower said he feels there are challenging issues with the Cul-de-sac.

Attorney De La Mora said the CSM shows lot 1 & 2, and that lot 2 should be designated as an outlot. Steve Declene from Neumann Development commented he didn't think it is allowed to have an outlot on a condo plat. De La Mora again said lot 2 should be designated as an outlot and everyone in that development would have an interest. Matt Neumann from Neumann Developments commented they are not disagreeing with the intent. There was discussion between Neuman Development and De La Mora on lot 2 being designated as an outlot. DeCourcy-Bower said another concern of his is the trail outlot and would like to see an overall trail plan. There was discussion on easement and stormwater and who would be responsible if water moves towards the condominiums. Amtmann recommended an easement be put on the Certified Survey Map. Matt Neumann said it will be a private stormwater. He said the pond is on Lake Country Lutheran property and it is all being worked out between them and Lake Country Lutheran.

DeCourcy-Bower voiced his opinion on never before approving a CSM with so many things in question, the stormwater management, the trail easement. Xykis asked if a traffic engineer was consulted Lindgren said it was discussed with several different level of engineers. Pfannerstill commented that DPW recommended the change. DeCourcy-Bower said he thinks it will cause issues with planning for the south.

Motion (Hallquist/ Schneeberger) to recommend to the Village Board to approve the CSM as submitted with addressing the engineer concern and approval and Attorney De La Mora concern and approval. Carried (5-2) Wallschlager and DeCourcy-Bower opposed.

c. BY THE ARCHITECTURAL BOARD/PLAN COMMISSION:

Review, consideration and submission of a recommendation to the Village Board regarding the proposed base and overlay zoning requests contained in a Rezoning Petition for property HAV 0423-981 located on Campus Drive east of Lake Country Lutheran, as divided by a proposed Certified Survey Map, for the rezoning of 27.45 acres to RS-5 Single Family Residential with PUD Overlay whose acreage is reduced by (a) an Outlot of 11.0.8 acres to be zoned as an Upland Conservancy Overlay District (UCO); and (b) the dedication of a public road consisting of approximately 1.746 acres without regard to whether it should be connected to existing Willow Drive to the east of the development.

Administrator Rhode said this item is pretty straight forward, this is the rezoning piece. He said hopefully if someone is in favor of the development they should be in favor of the rezoning too.

Motion (Hallquist/ Schneeberger) to send to the Village Board approval of the recommendation of the rezoning for property HAV 0423-981. Carried (5-2). Wallschlager and DeCourcy-Bower opposed.

d. BY THE VILLAGE BOARD OF TRUSTEES

Review, consideration and action on the recommendation of the Architectural Board/Plan Commission regarding the proposed Certified Survey Map to divide property owned by the Lutheran High School Association of Greater Milwaukee east of Campus Drive for future development.

Motion (Luedtke/Dorau) to act on the recommendation by the Plan Commission/Architectural Board to approve the proposed Certified Survey Map to divide the property owned by the Lutheran High School Association of Greater Milwaukee east of Campus Drive for future development. Carried (6-1). Wallschlager opposed.

e. BY THE VILLAGE BOARD OF TRUSTEES

Review, consideration and action on the recommendation of the Architectural Board/Plan Commission Review regarding the proposed base and overlay zoning request contained in a Rezoning Petition for property HAV 0423-981 located on Campus Drive east of Lake Country Lutheran, as divided by a proposed Certified Survey Map, for the rezoning of 27.45 acres to RS-5 Single Family Residential with PUD Overlay whose acreage is reduced by (a) an Outlot of 11.0.8 acres to be zoned as an Upland Conservancy Overlay District (UCO); and (b) the dedication of a public road consisting of approximately 1.746 acres without regard to whether it should be connected to existing Willow Drive to the east of the development.

Motion (Anson/Meyers) to approve the rezone request for property HAV 0423-981. Carried (6-1). Wallschlager opposed.

f. BY THE VILLAGE BOARD OF TRUSTEES

Review, consideration and possible action to approve the Planned Unit Development Agreement between the Village of Hartland and PARADISE TRAILS, LLC and its exhibits and with possible conditions, including but not limited to the finalization of all exhibits and approval by village staff of same and supplementation of the PUD Agreement to reflect these proceedings .

Rhode said this is the PUD agreement. He said it is not a large document in itself but contains the stormwater management, condominium rules and development rules. He said it is a comprehensive document they have been working on for a couple months. He said there are a couple things that staff is still working on and a couple exhibits that are needed yet but are not relevant whether this development goes thru or not. He said the big picture things are the public and private road parts, what they will commit to doing and what we will receive in exchange. Rhode went on to say we have been very proactive with going thru the Condominium association and the HOA piece of it to make sure it benefits us long term. We have kept a keen eye on trying to focus on what people have been coming to the Village 20 years later, their issues and concerns that they came to us with. We will try to address that in these documentations as best as we can. He said he thinks it is about 95% done and asked De La Mora if he felt that was what was completed so far. De La Mora said he thinks it is about 90% completed. De La Mora said the main change here is to everyone's benefit is that all the changes made here tonight including the rezoning will not kick in and be legally effect until the PUD agreement and all of its exhibits have been recorded. Pfannerstill said with that the Village Board will have to decide if they feel comfortable moving forward with what has been completed so far or waiting until the full PUD is completed. De La Mora said everything is conditioned on final conditions approval by staff. Lindgren said he is comfortable with the document and working with staff. He went on to say they are comfortable with the engineering comments and legal comments that were sent their way and will have the other 5% very soon. Trustee Ludtke asked how long before 10% is finished and Lindgren said 2 weeks. Anson commented that Neumann has been stellar and has gone above and beyond anything that Village of Hartland wants. He thinks

Motion (Ludtke/Anson) to approve the Planned Unit Development agreement between the Village of Hartland and Paradise Trails with its exhibits with its possible conditions including but not limited to its final exhibits and approval by staff. Carried (6-1). Wallschlager opposed.

5. Announcements-

Administrator Rhode thanked Ben Nelson for setting up the recording equipment for tonight's meeting.

6. Adjournment of Architectural Board/Plan Commission -

Motion (Hallquist/Xykis) to adjourn. Carried (7-0).
Adjourned at 9:54pm.

7. Adjournment of Village Board of Trustees-

Motion (Dorau/Connor) to adjourn. Carried (7-0).
Adjourned at 9:54pm.

Respectfully submitted by

Recording Secretary,

Deidre Bush y, Deputy Clerk

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

- Name: Gina Dillig Revocable Trust WAD August 17, 2005
Address of Owner/Agent: attny Kathy Gutierrez P.O. Box 558
Waukesha, WI 53187
Phone Number of Owner/Agent: 262. 522. 8745
- Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").
- State present use of property and intended use.
Residential & combining two lots into one

K. Dillig attny for owner
Signature of Petitioner

P.O. Box 558 Waukesha WI 53187
Address

262. 522. 8745
Phone

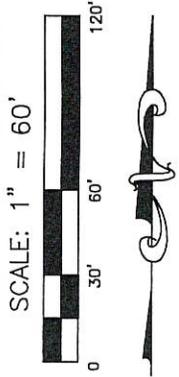
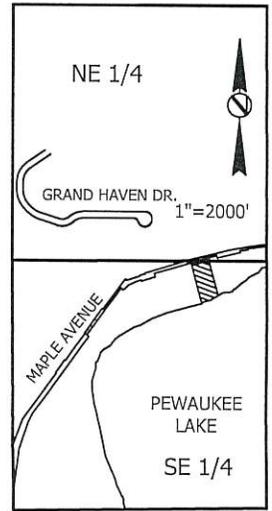
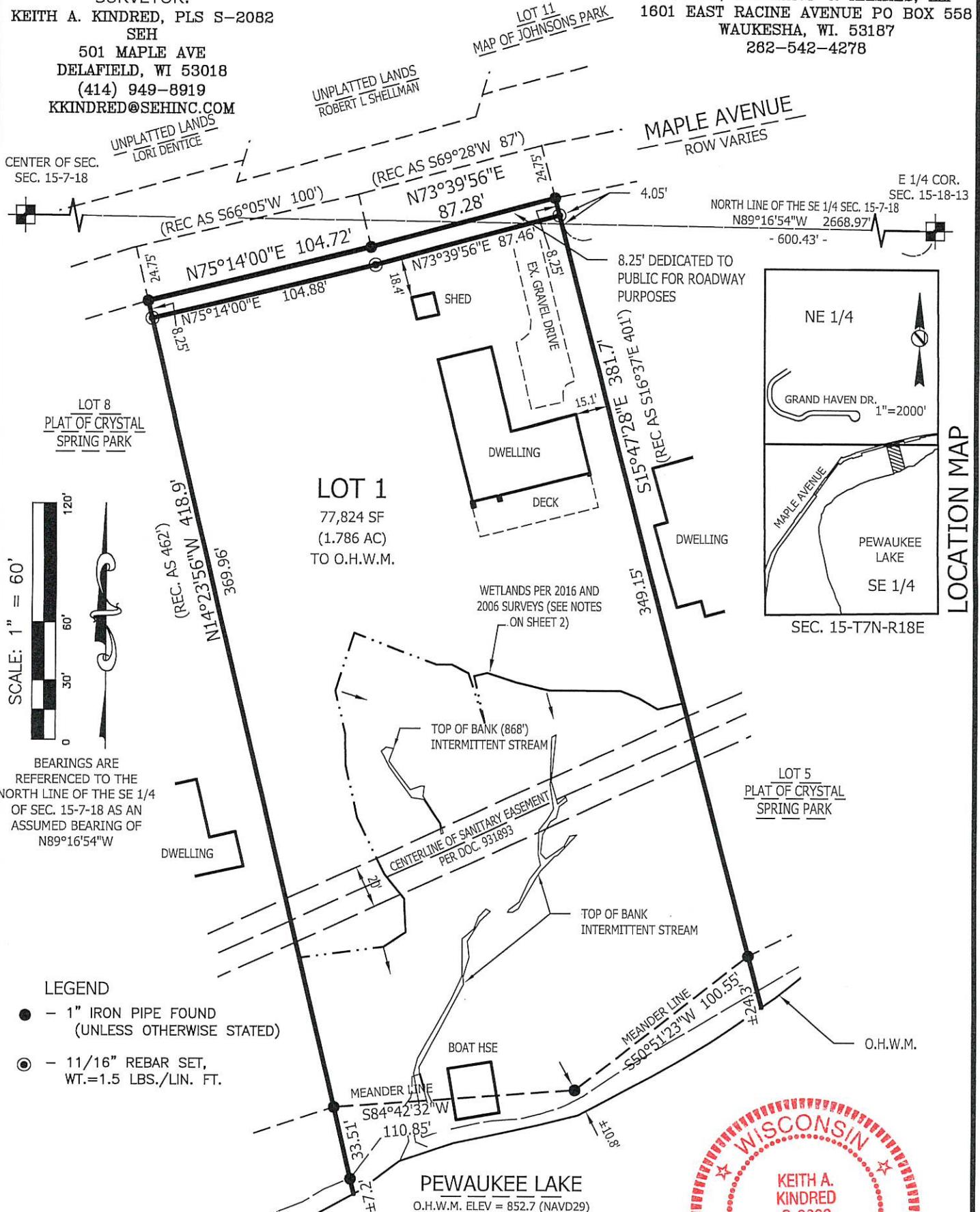


CERTIFIED SURVEY MAP NO.

BEING ALL OF LOT 6 & 7 OF PLAT OF CRYSTAL SPRING PARK
 LOCATED IN THE SE 1/4 OF THE NE 1/4 AND
 THE NE 1/4 OF THE SE 1/4 OF SEC. 15 T.7N., R.18E.,
 IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

SURVEY FOR:
 Gina Dillig Revocable Trust
 U/A/D August 17, 2005
 C/O KATHY SAWYER GUTENKUNST
 CRAMER, MULTHAUF & HAMMES, LLP
 1601 EAST RACINE AVENUE PO BOX 558
 WAUKESHA, WI. 53187
 262-542-4278

SURVEYOR:
 KEITH A. KINDRED, PLS S-2082
 SEH
 501 MAPLE AVE
 DELAFIELD, WI 53018
 (414) 949-8919
 KKindred@SEHINC.COM



BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE SE 1/4 OF SEC. 15-7-18 AS AN ASSUMED BEARING OF N89°16'54"W

- LEGEND**
- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
 - ⊙ - 11/16" REBAR SET, WT.=1.5 LBS./LIN. FT.



DATED THIS 3RD DAY OF MARCH, 2020
 REVISED THIS 14TH DAY OF APRIL, 2020

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 6 & 7 OF PLAT OF CRYSTAL SPRING PARK
LOCATED IN THE SE 1/4 OF THE NE 1/4 AND
THE NE 1/4 OF THE SE 1/4 OF SEC. 15 T.7N., R.18E.,
IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That I have surveyed, mapped and dedicated all of lot 6 and lot 7 of the Plat of Crystal Spring Park located in the SE 1/4 of the NE 1/4 and the NE 1/4 of the SE 1/4 of Sec.15 T.7N., R.18E., in the Town of Delafield, Waukesha County, Wisconsin, more fully described as follows;

All of lot 6 and lot 7 of the Plat of Crystal Spring Park.

Said lands contain 77,824 square feet or 1.786 acres.

That I have made such survey, land division and plat by the direction of Gina Dillig Revocable Trust U/A/D August 17, 2005, owner of said lands.

That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236, in the Wisconsin State Statutes and the subdivision regulations of the Town of Delafield, Village of Hartland and Waukesha County in surveying, dividing, dedicating and mapping the same.

Dated this 3rd day of March, 2020

Revised this 14th day of April, 2020.



Keith A Kindred, PLS 2082



NOTES:

- THE ENTIRE PROPERTY IS WITHIN THE JURISDICTION OF THE WAUKESHA COUNTY SHORELAND AND FLOODLAND PROTECTION ORDINANCE.
- WETLANDS FOR LOT 6 SHOWN PER ERIC JOHNSON (RSV ENGINEERING, INC.) PLAT OF SURVEY DATED 12-12-2006. DELINEATED BY CEDARBURG SCIENCE NOVEMBER 6, 2006
- WETLANDS FOR LOT 7 SHOWN PER JOHN STIGLER (JAHNKE & JAHNKE ASSOCIATES INC.) PLAT OF SURVEY DATED 08-26-2016. DELINEATED BY STANTEC, SEPTEMBER 2015.
- NO WELLS WERE OBSERVED ON SAID PROPERTY OR WITHIN 50 FEET OF PROPOSED CSM
- AN ORDINARY HIGH WATER MARK ELEVATION (852.7 NAVD29) WAS ESTABLISHED FOR THIS PORTION OF PEWAUKEE LAKE, BASE ON A STAKING DONE BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, ON SEPTEMBER 8, 2005, AT W289N3089 LAKESIDE DR.
- ANY LAND BELOW THE ORDINARY HIGH WATER MARK (OHWM) OF A LAKE OR NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION
- NAVIGABILITY DETERMINATION FOR AN INTERMITTENT STREAM WAS COMPLETED ON JULY 11, 2002 AND THE WATERWAY WAS FOUND TO BE NON-NAVIGABLE.
- IF A FUTURE BUILDING(S), BUILDING ADDITIONS, STRUCTURES(S) OR DEVELOPMENT ARE PROPOSED WITH CLOSE PROXIMITY TO THE WETLAND BOUNDARY, A WETLAND DELINEATION MAY BE NECESSARY TO DETERMINE THE WETLAND BOUNDARY; AND ALL SETBACKS SHALL BE IN ACCORDANCE WITH WAUKESHA COUNTY SHORELAND AND FLOODLAND PROTECTION ORDINANCE AT THE TIME OF DEVELOPMENT.

WETLAND/FLOODPLAIN RESTRICTIONS

THOSE AREAS IDENTIFIED AS A WETLAND PRESERVATION AREA ON SHEET 1 OF 4 OF THIS CERTIFIED SURVEY MAP SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

- GRADING, FILLING AND REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY IN WHICH THIS LAND IS LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
- THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT INVASIVE, DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER, AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, SHALL ALSO BE PERMITTED.
- GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED, UNLESS GRAZING IS CONDUCTED IN ORDER TO MANAGE INVASIVE VEGETATION AND APPROVAL IS OBTAINED BY THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION.
- THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
- PONDS ARE PROHIBITED UNLESS DESIGNED TO ENHANCE THE NATURAL ENVIRONMENT. PONDS THAT MAY BE PERMITTED ARE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY IN WHICH THEY ARE LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
- THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 6 & 7 OF PLAT OF CRYSTAL SPRING PARK
LOCATED IN THE SE 1/4 OF THE NE 1/4 AND
THE NE 1/4 OF THE SE 1/4 OF SEC. 15 T.7N., R.18E.,
IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

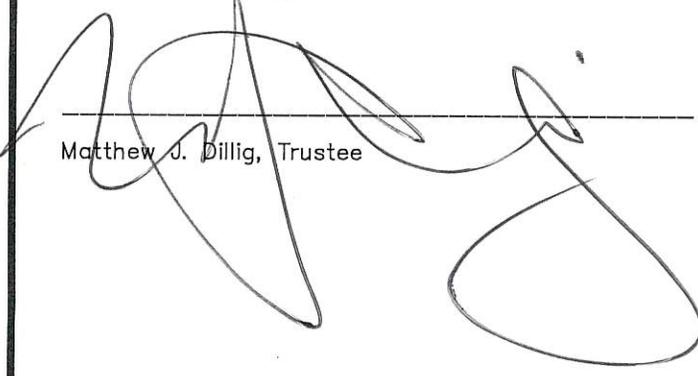
OWNER'S CERTIFICATE:

As owner, Gina Dillig Revocable Trust U/A/D August 17, 2005, I hereby certify that I caused that land described on this Certified Survey Map to be surveyed, mapped and dedicated as represented on the Certified Survey Map. I also certify that this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1) Village of Hartland
- 2) Town of Delafield
- 3) Waukesha County

WITNESS the hand and seal of said owner this 27th day of May 2020.

In Presence of:



Matthew J. Dillig, Trustee

STATE OF WISCONSIN)

Waukesha COUNTY) SS

Personally came before me this 27 day of May, 2020, the above named Matthew J. Dillig of Gina Dillig Revocable Trust U/A/D August 17, 2005 to me known to be the same person who executed the foregoing instrument and acknowledged the same.



Notary Public

Waukesha County, Wisconsin

My Commission Expires permanent



DATED THIS 3RD DAY OF MARCH, 2020
REVISED THIS 14TH DAY OF APRIL, 2020



CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 6 & 7 OF PLAT OF CRYSTAL SPRING PARK
LOCATED IN THE SE 1/4 OF THE NE 1/4 AND
THE NE 1/4 OF THE SE 1/4 OF SEC. 15 T.7N., R.18E.,
IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

TOWN BOARD APPROVAL CERTIFICATE:

Resolved that the Certified Survey Map, in the Town of Delafield, Gina Dillig Revocable Trust U/A/D August 17, 2005, owner, is hereby approved by the Town Board.

Approved as of the _____ day of _____, 2020.

Signed _____ Signed _____
Ronald Troy, Chairperson Dan Green, Town Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the Town of Delafield, Gina Dillig Revocable Trust U/A/D August 17, 2005, owner, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 2020.

Signed _____ Signed _____
Kevin Fitzgerald, Chairperson Dan Green, Town Clerk

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE APPROVAL:

The above, which has been filed for approval as required by chapter 236, Wis. Statutes, is hereby approved as of the _____ day of _____, 2020.

Date: _____ Signed _____
Dale R. Shaver, Director

VILLAGE OF HARTLAND EXTRA-TERRITORIAL PLAN COMMISSION APPROVAL:

Approved by the Village of Hartland on this _____ day of _____, 2020,

Signed _____ Signed _____
Darlene Igl, Village Clerk Jeffrey Pfannerstill – Chairman

VILLAGE OF HARTLAND EXTRA-TERRITORIAL VILLAGE BOARD APPROVAL:

Approved by the Village of Hartland on this _____ day of _____, 2020,

Signed _____ Signed _____
Darlene Igl, Village Clerk Jeffrey Pfannerstill – Village President



DATED THIS 3RD DAY OF MARCH, 2020
REVISED THIS 14TH DAY OF APRIL, 2020



227 INVESTMENTS LLC
N8W22520 JOHNSON DR STE L
WAUKESHA WI 53186-1668

ANTHONY R WAITE TRUST
N27W30113 MAPLE AVE
PEWAUKEE WI 53072

BERNARD W KOOK JR
N27W30061 MAPLE AVE
PEWAUKEE WI 53072

BETTY J PODJASKI
2071 S 105TH ST
WEST ALLIS WI 53227-1209

BIG 3 PROPERTIES LLC
38W441 HIGHLAND AVE
ELGIN IL 60123

CARL P TOMICH
N8W22520 JOHNSON DR
WAUKESHA WI 53186-1668

DONNA J YOKOSH AND MARK D
TARNOW
N27W30105 MAPLE AVE
PEWAUKEE WI 53072

EDWIN WELCH AND SUSAN WELCH
N27W30080 MAPLE AVE
PEWAUKEE WI 53072

FRANK GRAD REVOCABLE TRUST
N26W30249 MAPLE AVE
PEWAUKEE WI 53072

GINA DILLIG REVOCABLE TRUST
1304 TRAPP LN
WINNETKA IL 60093-1633

GINA DILLIG REVOCABLE TRUST
1304 TRAPP LN
WINNETKA IL 60093-1633

GRANDHAVEN HOMEOWNERS
ASSOCIATION INC AND LOT OWNERS OF
GRANDHAVEN SUBDIVISION
PO BOX 180574
DELAFIELD WI 53018-0574

HOWARD H HOLZ AND DONNA R HOLZ
N26W30268 MAPLE AVE
PEWAUKEE WI 53072-4257

JAMES A SMERZ
N27W30020 MAPLE AVE
PEWAUKEE WI 53072

JAMES E AND SUSAN A LINDENBERG
N27W30071 MAPLE AVE
PEWAUKEE WI 53072

JAMES H FERRELL JR AND PRISCILLA R
FERRELL
N27W30076 MAPLE AVE
PEWAUKEE WI 53072

JAMES R WENNINGER AND CHRISTINA L
WENNINGER
N26W30165 MAPLE AVE
PEWAUKEE WI 53072-4254

JOHN GLIATIS AND CRISTINA E GLIATIS
N27W30161 MAPLE AVE
PEWAUKEE WI 53072-4254

JOHN M REMMERS AND CATHERINE A
MCCAIN
W300N2815 MAPLE AVE
PEWAUKEE WI 53072-4248

JOHN M ROUTES AND BARBARA A
ROUTES
N27W30090 MAPLE AVE
PEWAUKEE WI 53072

JOSEPH ESSER II AND MARY ANN ESSER
N26W30255 MAPLE AVE
PEWAUKEE WI 53072-4256

JOSEPH ESSER II AND MARY ANN ESSER
N26W30255 MAPLE AVE
PEWAUKEE WI 53072-4256

LORI DENTICE
N27W30181 GRAND HAVEN DR
PEWAUKEE WI 53072-4030

LORI DENTICE AND JOHN GLIATIS
N27W30181 GRAND HAVEN DR
PEWAUKEE WI 53072-4030

LOT OWNERS OF HAWKSNEST
Not Available
Not Available WI 00000

LUKE M HOLTAN
N27W30147 MAPLE AVE
PEWAUKEE WI 53072-4254

MICHAEL E FINNEGAN AND BROOKE D
FINNEGAN
N27W30084 MAPLE AVE
PEWAUKEE WI 53072-4253

MICHAEL S STRUPP AND STEPHANIE L
STRUPP
N28W30193 RED HAWK CT
PEWAUKEE WI 53072-4273

MYRON G FELDMAN AND LINDA K
FELDMAN
N26W30277 MAPLE AVE
PEWAUKEE WI 53072-4256

PETER MCCORMICK AND DARCY
MCCORMICK
N27W30097 MAPLE AVE
PEWAUKEE WI 53072

ROBERT & LYNELLE SUKALICH
REVOCABLE TRUST
N26W30183 MAPLE AVE
PEWAUKEE WI 53072

ROBERT K AND SUSAN R FREY
REVOCABLE TRUST
N26W30199 MAPLE AVE
PEWAUKEE WI 53072-4254

ROBERT L SHELLMAN LIFE TRUST
N27W30131 MAPLE AVE
PEWAUKEE WI 53072-4254

RYAN AND GINA MANISCALCO
N27W30203 GRANDHAVEN DR
PEWAUKEE WI 53072

STEWART C WHEALON AND MICHELLE L
HEINTZE
N27W30028 MAPLE AVE
PEWAUKEE WI 53072-4253

TERRY ZARLING AND SALLY ZARLING
N28W30167 RED HAWK CT

TOWN OF DELAFIELD
W302N1254 MAPLE AVE
DELAFIELD WI 53018-7000



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 229 E. Capitol Drive				
Lot	Block	Subdivision	Key No. HAV	
Owner		EMAIL	Phone	
Address		City	State	Zip
Contractor		Phone	FAX	EMAIL
Address		City	State	Zip

The Architectural Board meets on the THIRD MONDAY of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

Four (4) bound sets of plans and application material and one (1) electronic copy of all submittals.

Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

Four (4) color renderings of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.

Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.

Four (4) site plans with dimensions. Not required for wall signs or other signs attached to the building.

Four (4) sets of lighting details. Include type, location, number and photometric plan.

Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: _____ Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official and the Village Administrator prior to submission of an application.
3. Applications for signs within the boundaries of the Hartland Downtown Business Improvement District (BID) must be reviewed by the BID prior to the meeting with the Architectural Board.
4. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
5. Applications shall include professional-level drawings of all elevations impacted by the proposed project showing the proposed conditions including location and depiction of requested signage.
6. Applications for signage on existing buildings should include a scale depiction of the sign on a current photograph of the existing building.
7. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
8. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
9. Additional information may be requested by the Architectural Board or Staff.
10. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
11. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.



Hartland Business Improvement District 2020 Exterior Sign and Awning Program Application

1. Applicant Name: Colleen Pomeroy

2. Name of Business: Grandma's House Child Care

3. Business address where sign/awning will be installed: 229 E. Capitol Drive, Hartland

4. Home Address: _____ City: _____ Zip: _____

5. Contact Numbers: Work 262-790-9262 Home: _____

Cell: _____ Email: info@grandmashouse.org

6. Web site address, if applicable: www.grandmashouse.org

7. Legal entity of applicant, check one:

Sole Proprietorship Partnership Corporation LLC Other: _____

8. Status of Applicant: Property Owner

Tenant : Building owner name: GH Hartland LLC

Building owner phone number: 262-790-9262

9. Give a brief description of the project and any other future building improvements: _____

Updating sign with our new logo

10. Cost of project: Sign: \$1725 Awning: _____ Installation: \$300

Lighting: _____ Permit: _____ Total Estimated Cost: \$2025

11. Proposed start date: Upon Approval Expected completion date: One day

12. Affirmations: I have read and understand the process and rules to receive the Hartland B.I.D. Sign and Awning Grant Program funds. I understand that failure to abide by the outline process and rules will result in denial of the funds. I understand the project may be inspected by representatives of the B.I.D. for compliance to the project as submitted with the application. I understand that should the project be found not in compliance with the original application and proposal as submitted and approved, I may be denied issuance of the B.I.D. grant funds. The undersigned applicant(s) affirms that the information submitted herein is true and accurate to the best of my knowledge. I have read and understand the conditions of the Hartland B.I.D. Sign and Awning Grant Program and agree to by the conditions and guidelines.

The applicant's presence at the B.I.D. Design Committee meeting is highly encouraged to help expedite the application review process.

Thank you for submitting your application to the Hartland Business Improvement District.

Applicant Signature: _____ Date: _____

Tenant Signature, if Applicant: Colleen Pomeroy Date: 7/29/2020

Building Owner Signature: _____ Date: _____

PLEASE RETURN COMPLETED APPLICATION TO:

Hartland B.I.D. Business Improvement District, 135 Cottonwood Ave., Hartland, WI 53029
Phone: 262-367-6560 · Email: bid@downtownhartland.com · www.downtownhartland.com

For B.I.D. Use Only

Application Number: _____-2020

Applicant Name: _____

Business: _____

Address: _____

Check Issued to: _____

Approval Process:

- _____ Initial application date.
- _____ B.I.D. Design Committee approval date.
- _____ B.I.D. Board approval date.
- _____ Village of Hartland Architectural Review Board approval date.
- _____ Approval letter sent to applicant.
- _____ Paid receipts received from applicant with all required documents.
- _____ Final inspection date.
- _____ Date approved and submitted to B.I.D. Treasurer for payment processing.
- _____ Total grant amount approved for reimbursement.

Applicant submitted the following:

- _____ Rendering or sketch with dimensions showing placement of sign and/or awning on building, and mounting height, and clearance from sidewalk to bottom of sign and/or awning.
- _____ Overall dimensions of sign/and or awning, color of background, size of letters in inches, color of letters, construction materials of sign/and or awning.
- _____ Wording to appear on all signage.
- _____ Colors and material type specifications with samples, when applicable.
- _____ Two or more photographs of the existing building, all sides.
- _____ Total project cost estimate, including installation and permit fee.
- _____ Dimensioned site plan required for ground installed signs, not required for wall signs.
- _____ Lighting details to include type, location, number, and wattage of fixtures.

Approved B.I.D. Signature _____ Date: _____

Grandma's House

CHILD CARE CENTER

229 E. Capitol Drive



229

Grandma's
House

Child Care





Gietl Sign Co. Inc.
 5300 W. Vliet Street
 Milwaukee, WI 53208
 Phone: 414-774-4690
 service@gietlsign.com
 for Quote : john@gietlsign.com
 www.gietlsign.com

JOB ESTIMATE**

Double-sided sandblasted HDU sign
 Grandma's House Hartland front yard

DUE DATE : Aug/Sept 2020

Quote for	Contact	Shipping/Install
Grandma's House Hartland 229 E. Capitol Dr. Hartland, WI 53029	Tonia Lilienkamp Mobile : (262) 790-9262 Email : tonia@grandmashouse.org Address : 3150 N. Brookfield Road Brookfield, WI 53045	

Quote #	Quote Date	Sales Rep	Payment Terms	PO	PO Date
01	08/05/20	John Gietl john@gietlsign.com Mobile : (414) 731-4690	Balance due upon completion.		

Items

#	Item	Qty	Unit Price	Tax (5.5%)	Total
1	Furnish and Install Primed & Painted High Density Urethane (Sign Foam) Panel W:43 in. x H:27.5 in. , Double-Sided , Exterior Includes : 8.2 Sqft 2 in.-thick HDUrethane #15 - Design & Install Time - Primer & Paint in the following colors: 	1	\$2,025.00	\$111.38	\$2,136.38



will REUSE existing sign posts (will repaint/touch-up); sign will REMAIN in same location.

▼ some Gietl Signs constructed from HDU material.



All costs reflect most current range in estimating & are subject to change based on circumstance. Unlaminated and regular-performance vinyl will lower costs. Thank you for considering **Gietl Sign.

BEHREND PROPERTY LLC
220 E CAPITOL DR
HARTLAND WI 53029-2106

BENJAMIN LYONS AND CANDIDA
LYONS
123 CHURCH ST
HARTLAND WI 53029

BETSY E SHURTE
203 MAPLE AVE
HARTLAND WI 53029

CAPITOL MOVE LLC
163 E CAPITOL DR
HARTLAND WI 53029

CHARLES OCONNOR AND C OCONNOR
331 E CAPITOL DR
HARTLAND WI 53029

DEBRA L MORRIS
146 MAPLE AVE
HARTLAND WI 53029

DONNA M GROSS AND SCOTT GROSS
131 MAPLE AVE
HARTLAND WI 53029

FIRST CONG CHURCH
PO BOX 568
HARTLAND WI 53029-0568

GARTH BOWEN II 2001 LIVING TRUST
PO BOX 25
HARTLAND WI 53029

GH HARTLAND LLC
3150 N BROOKFIELD RD
BROOKFIELD WI 53045

HARTLAND RIVERWALK LLC
411 W MAIN ST #106
MADISON WI 53703-3105

HOPKINS SAVINGS & LOAN
2800 E LAKE ST
MINNEAPOLIS MN 55406

JAMES P OEHMCKE AND DENISE R
OEHMCKE
143 MAPLE AVE
HARTLAND WI 53029-2110

JAMES WEISKOPF AND KATHRYN
WEISKOPF
214 WARREN AVE
HARTLAND WI 53029

JJJ HARTLAND HOME LLC
W275N7859 LAKE FIVE RD
HARTLAND WI 53029-9042

JOAN DECKER-NOLD
120 MAPLE AVE
HARTLAND WI 53029

KAY A MOEN
121 MAPLE AVE
HARTLAND WI 53029

KEVIN BROWN AND SHERRY BROWN
198 WARREN AVE
HARTLAND WI 53029

KOECK MANAGEMENT LLC
W294N6030 RIVER GROVE LN
HARTLAND WI 53029-8211

LAKE COUNTRY PLAYERS INC
221 E CAPITOL DR
HARTLAND WI 53029

LEE BROMBERGER AND TINA
BROMBERGER
140 MAPLE AVE
HARTLAND WI 53029

MARJORIE M PURGETT LIVING TRUST
16780 WILD CHERRY DR
BROOKFIELD WI 53005-2728

MARK A GAPINSKI
323 E CAPITOL DR
HARTLAND WI 53029-2107

MARK MANSKE AND CHRISTINE
MANSKE
208 WARREN AVE
HARTLAND WI 53029

MICHAEL BETKER AND JEANNETTE
BETKER
137 MAPLE AVE
HARTLAND WI 53029

MICHAEL STOLL AND SARAH STOLL
221 LAWN ST
HARTLAND WI 53029

MICHAEL ZIEMBA
128 MAPLE AVE
HARTLAND WI 53029

ROBERT F & LINDA J HAMILTON 2010
LIVING TRUST
207 E CAPITOL DR
HARTLAND WI 53029

SCOTT L CURLER
134 MAPLE AVE
HARTLAND WI 53029

STEPHEN P & CYNTHIA A GARDNER
2010 LIVING TRUST
226 WARREN AVE
HARTLAND WI 53029

TERRY L STELPFLUG AND AMY M
STELPFLUG
W289N4795 WILD ROSE CT
HARTLAND WI 53029

THOMAS C COONS
2005 TREVILIAN WAY
LOUISVILLE KY 40205-2141

THOMAS STAWICKI AND MARY
STAWICKI
225 WARREN AVE
HARTLAND WI 53029

WATERMARKE II LLC
301 E CAPITOL DR
HARTLAND WI 53029



**Village of Hartland
Administration**

210 Cottonwood Ave, Hartland, WI 53029
www.villageofhartland.com

Committee: Joint Arch Board/Plan Commission	Date: 8-12-2020
Arch Board/Plan Commission Item Number: #4a	Date: 8-17-2020
Submitted By: Tim Rhode	
Subject: Architectural Board and Plan Commission review and consideration of plans for construction of units 35-40 and units 43-44 in the Bristlecone Pines Condominium Association.	

Details:
Normal and customary review of 8 new condo units in the Bristlecone Pines Condominium Association.

The process for these new eight units has taken the Developer several months to accomplish. The specific details to include the new units into the existing association has been provided by Neumann Development for additional background. Additionally, the documents provide clarity that all three groups which make up Bristlecone Pines (HOA for single-family homes, Golf Course, and Condo Association) have all approved these buildings. Specifically, the Condo Association filed the paperwork (which I will bring to the PC meeting Monday night) with the County register of deeds office to allow these new units to be built.

The Village Building Inspector has reviewed the plans and designs which meet the Village Code. Additionally, both the HOA and the Condo Association has reviewed and signed off on the new units.

The Developer will be present to answer any question about the design/site plan.

Financial Remarks: N/A No Financial impact to the Village

Options & Alternatives:
The staff recommends a full review of the design and site layout. If favorable to the Arch Board/ Plan Commission, new units should be approved.

Executive Recommendation: The staff recommends a full review of the design and site layout. If favorable to the Arch Board/ Plan Commission, new units should be approved.

Important note: *The three groups that make up the Bristlecone Pines development have all approved these additional units via the master agreement.*

The original agreement called for 44 condo units. If/when the new 8 units are built, the project will be at 44 condo units.



**Village of Hartland
Administration**

210 Cottonwood Ave, Hartland, WI 53029
www.villageofhartland.com

Committee: Joint Arch Board/Plan Commission	Date: 8-12-2020
Arch Board/Plan Commission Item Number: #4b	Date: 8-17-2020
Submitted By: Tim Rhode	
Subject: Plan Commission Review and Consideration for Amendment # 17 fo the Declaration of Covenants, Conditions, and Restriction of Bristlecone Pines.	

Details:
The Village of Hartland Plan Commission is required to make a recommendation to the Village Board on the proposed 17th amendment to the Declaration of Covenants, Conditions, and Restrictions of Bristlecone Pines Hartland Wisconsin. The document is the master document for the Bristlecone Pines Community Association, which is made up of the Bristlecone Pines HOA, The Bristlecone Pines Condominium Association, and the Legend at Bristlecone Pines LLC (Golf Course).
Over the years, the Village has participated in several amendments relating to the master agreement, which are requirements spelled out in the agreement, due to the PUD overlay approved back on April 5th, 1995. The 17th amendment is to change the use of out lot # 5. Initially, out lot #5 was designated at part of the golf course properties for future use associated with the management of a golf course.
The request by Neumann development along with both the Golf Course owner and the Condo association is to incorporate out lot #5 into the condo association, and its respective agreements. Attached with this memo, are the proposed legal documents for review and consideration for the Plan Commission to make a recommendation to the Village Board. This approach has been the same process followed for other amendments to the agreements which required Village Board approval. The most recent being in 2004 when the Tennis Court property changed ownership hands.

Financial Remarks: N/A No Financial impact to the Village

Options & Alternatives:
The Village Plan Commission via the Master Agreement is required to review and make a recommendation for all amendments which change ownership of land.
Currently, out lot #5 has been used for brush and wood chip storage for the golf course.
Out lot 5 provides developable space for two additional condo units.

Executive Recommendation: Staff recommends a favorable recommendation to the Village Board with a final approval contingent on the confirmation of the final master grading plan of out lot # 5.

Important note: *The three groups that make up the Bristlecone Pines development have all approved this amendment.*



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address				Units 35-40 + 43-44 Bristlecone Pines Condominium Sweetbriar Lane + Pinegrove Ct.			
Lot 120		Block		Subdivision Bristlecone Pines Condos		Key No. HAV 0430120001	
Owner Bristlecone Bristlecone, LLC - Bryan Lindgren				Phone 262-542-9200			
Address N27W24025 Paul Ct., Suite 100			City Pewaukee			State WI	Zip 53072
Contractor Halen Homes		Phone 414-219-0740		FAX -		E-Mail Address emarty@halenhomes.com	
Address N27W24025 Paul Ct., suite 200			City Pewaukee			State WI	Zip 53072

The Architectural Board meets on the THIRD MONDAY of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

One & Two Family

- Four (4) bound sets of construction plans and application material and one (1) electronic copy of all submittals. One set of plans must be stamped "approved by the developer" if required.
- These plans may be reused to apply for the building permit. Building elevations are all that is necessary to obtain Architectural Board approval. Although it is recommended that complete construction plans along with other building permit application material be submitted in order to begin the permit process as soon as possible after the meeting.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.
- Four (4) site plans. These site plans must be detailed and dimensioned and may also be reused to apply for the building permit. One set of site plans must be stamped "approved by the developer" (if applicable).
- Three (3) plats of survey are required for new dwellings at the time of building permit application.

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 6-30-20 Date of Meeting: _____ Item No. _____

**Hartland Architectural Board
Application Review Policies**

All applicants and applications are subject to the following policies in order to be considered by the Architectural Board.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting.
2. All applicants for building renovations are encouraged to communicate with or meet with the Building and Zoning Official prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Architectural Board Agenda based on incomplete submittals.
4. Applications shall include professional-level drawings of all elevations showing the existing and proposed conditions.
5. Four (4) sets of application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
6. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Street right-of-way
 - n. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
7. Additional information may be requested by the Architectural Board or Staff.
8. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
9. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.



August 7, 2020

Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

Dear Plan Commission,

Over the course of the last several months we have been in discussions with the Bristlecone Pines Condo Association and the Bristlecone Pines HOA along with the Legend at Bristlecone Pines Golf Course Owner to acquire and build out the undeveloped lands in the community off of E. Sweetbriar Lane.

Through this process it was determined that the undeveloped lands that were originally intended to be included in the condo association were never platted, and the rights to plat them had expired. We worked closely with the existing condo owners and the HOA and agreed that it would be to the greatest benefit of the current owners and future owners if the new units on the vacant lands would become part of the Bristlecone Pines Condo Association.

Since the Declarants rights had expired as well as the Expansion rights of the vacant land an amendment to the Declaration of Condominium of Bristlecone Pines Condominium per Article 11 of the document was needed. This required approval by 75% or more of the Owners and at least 51% of Mortgagees. We are happy to say that with great cooperation of the Bristlecone Condo Owners we have surpassed the number of approvals required on both numbers to record a new amendment to the Bristlecone Pines Condominium Declarations allowing the entry into the condominium of ten new condominium units. By the time of the plan commission meeting on 8/17/20 this 16th Amendment to the Declaration of Condominium of the Bristlecone Pines Condominium will be recorded with the Waukesha County Register of Deeds. A copy is included with this submittal.

The signed 16th Amendment also introduced a new ranch duplex floor plan to be built in the condominium. This was necessary due to copyright laws of using the existing floor plan and a desire to update the plans to meet current building code and consumer demands. These plans are included with this submittal for Hartland Architectural Review Board Approval. These floor plans and colors have been reviewed and approved by the Bristlecone Condo Association through the 16th Amendment and by the Bristlecone HOA ACC Board via separate approval letter.



A portion of the vacant lands to be reintroduced to the Condominium Association were previously platted as Outlot 5 of the plat. An additional amendment was necessary to the Bristlecone Pines Declaration of Covenants, Conditions, and Restrictions to change the use of Outlot 5. It was provided in Article 10.1 of these Declarations that a change in the use of Outlot 5 need only require the consent of the Golf Course Owner and the Village of Hartland. A copy of the 17th Amendment to the Declaration of Covenants, Conditions, and Restrictions of Bristlecone Pines is included for review with this submittal. We ask that this 17th Amendment be reviewed by the Plan Commission and recommended to the Village Board for approval.

We are excited about working within such a great neighborhood and feel that the new homes here will be an asset to the neighborhood as well as the Village of Hartland.

Thank you for your consideration of the plans and amendments included in this submittal.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan Lindgren", is written over a faint, light blue circular stamp.

Bryan Lindgren
Neumann Developments Inc.

(c) Notwithstanding Article 11 of this Declaration, the easements set forth in this Article 10 may not be amended or terminated without the prior written express consent of Declarant or its successors and assigns.

ARTICLE 11. AMENDMENT OF DECLARATION

11.1 General. Except as otherwise provided herein, this Declaration may be amended only by the written consent of Owners representing at least seventy five percent (75%) or more of the total votes of the Association then entitled to vote. An Owner's written consent is not effective unless approved by its Mortgagee, if any. Amendments shall be prepared and executed by the President of the Association and shall become effective when recorded in the Office of the Register of Deeds for Waukesha County, Wisconsin. No action to challenge the validity of an amendment shall be commenced more than one (1) year after the amendment is recorded. No amendment shall adversely affect a special right reserved to Declarant under this Declaration without Declarant's written consent.

11.2 Material Amendments. Amendments of a material nature, in addition to the requirement of Section 11.1, shall also require approval by 51% of Mortgagees. A change to any of the following is defined as "material":

- (a) voting rights;
- (b) assessments, assessment liens, or the priority of assessment liens;
- (c) reserves for maintenance, repair, and replacement of common areas;
- (d) responsibility for maintenance and repair;
- (e) reallocation of Interests in the General or Limited Common Elements, or rights to their use;
- (f) redefinition of any Unit boundaries;
- (g) convertibility of Units into Common Elements or vice versa;
- (h) expansion or contraction of the project, or the addition, annexation, or withdrawal of property to or from the project other than as contemplated in Article 10;
- (i) insurance or fidelity bond;

- (j) leasing of Units;
- (k) imposition of any restrictions on a Unit Owner's right to sell or transfer his or her Units;
- (l) a decision by the Association to establish self-management when professional management had been required previously by the project's documents or by an eligible mortgage holder;
- (m) restoration or repair of the project (after a hazard damage or partial condemnation) in a manner other than that specified in the documents;
- (n) any action to terminate the legal status of the project after substantial destruction or condemnation occurs; or
- (o) any provisions that expressly benefit mortgage holders, insurers, or guarantors.

ARTICLE 12. RIGHTS OF MORTGAGE HOLDERS

12.1 Notice. Upon written request to the Association, identifying the name and address of the holder, insurer or guarantor of a Unit mortgage and the Unit number or address, any such mortgage holder, insurer or guarantor will be entitled to timely written notice of:

- (a) Any condemnation or casualty loss that affects either a material portion of the Condominium or the Unit securing its mortgage;
- (b) Any thirty (30) day delinquency in the payment of assessments owed by the Owner of the Unit on which it holds a mortgage or any breach of the provisions of any instrument or rule governing the Condominium which is not cured by such Owner within thirty (30) days of such Owner's receipt of notice of such breach;
- (c) A lapse, cancellation or material modification of any insurance policy or fidelity bond maintained by the Association; and
- (d) Any proposed action that requires the consent of a specified percentage of eligible mortgage holders as specified below or in Article 11 hereof.

12.2 Mortgagee Acquisition of Unit. A Mortgagee acquiring title to a Unit pursuant to remedies provided in its mortgage or by a deed in lieu of foreclosure following

9.5 Waiver. The Association and each Owner acting both for themselves and for their respective insurers, waive any claim it or they may have against the other for any loss insured under any policy obtained by either to the extent of insurance proceeds actually received, however the loss is caused, including such losses as may be due to the negligence of the other party, its agents or employees. All policies of insurance shall contain a provision that they are not invalidated by the foregoing waiver, but such waiver shall cease to be effective if the existence thereof precludes the Association from obtaining any policy of insurance at a reasonable and customary rate.

9.6 Acts Affecting Insurance. No Owner or Occupant shall commit or permit any violation of covenants or agreements contained in any of the Association Insurance, or do or permit anything to be done, or keep or permit anything to be kept, or permit any condition to exist, which might (i) result in termination of any such policies, (ii) adversely affect the right of recovery thereunder, (iii) result in reputable insurance companies refusing to provide such insurance, or (iv) result in an increase in the insurance rate or premium over the premium which would have been charged in the absence of such violation or condition, unless, in the case of such increase, the Owner responsible for such increase shall pay the same. If the rate of premium payable with respect to the Association Insurance or with respect to any policy of insurance carried by any Owner shall be increased over the rate charged for the lowest-rated Unit or Lot, (i) by the size, design or composition of the Unit or Lot, (ii) by reason of anything done or kept in a Unit or Lot, or (iii) the failure of any Owner or Occupant to comply with Association Insurance requirements, or (iv) the failure of any Owner or Occupant to comply with this Declaration or the Bylaws, then the particular Owner shall reimburse the Association for the resulting additional premiums. The Association reimbursement right is without prejudice to any other Association remedy, and May be enforced by special assessment against the particular Unit or Lot.

9.7 Exclusions From Coverage. Association Insurance coverage shall exclude (i) coverage on any residence or personal property located within or pertaining to the exclusive use of an Owner except to the extent included as a standard coverage in the policy of Association Insurance; and (ii) liability coverage on an Occupant or Owner, its guests, invitees, employees or tenants, arising out of any occurrences within a Unit or Lot and/or relating in any way to an Owner's personal property. It is the sole responsibility of each Owner to obtain such insurance coverages as are excluded from Association Insurance.

ARTICLE 10. AMENDMENT OF DECLARATION

* 10.1 General. Except as otherwise provided herein, this Declarant may be amended only by the written consent of Owners representing at least seventy-five percent (75%) or more of the total votes of the Association then entitled to vote; provided that no amendment which would affect the use of any Outlot, or the rights or liabilities of the Owner of any Outlot, shall be effective without the express written consent of such affected Owner(s). An amendment relating to the use of or any other restriction or easement on Outlots 1, 2, 4 or 5 shall require only the written consent of the Owner of the Golf Course

and the Village of Hartland, and shall not require the consent of any other Owner.. An amendment relating to the use of Outlots 3 and 11 shall require only the written consent of the Association and the Village of Hartland, and shall not require the consent of any other Owner. An Owner's written consent is not effective unless approved in writing by its Mortgagee, if any.

10.2 Procedures. Amendments shall be prepared and executed by the president of the Association (except that amendments relating to the use of Outlots 1, 2, 4 and 5 shall require only the execution by the Owner of the Golf Course) and shall become effective when recorded in the Office of the Register of Deeds for Waukesha County, Wisconsin. No action to challenge the validity of an amendment shall be commenced more than one (1) year after the amendment is recorded. For purposes hereof, for a period of 10 years from the date hereof there shall be deemed to be 225 Lots and Units and Declarant shall be deemed to be the Owner of all of them except those conveyed of record to another person. No amendment shall adversely affect a special right or easement reserved to Declarant or the Golf Course Owner under this Declaration, or the rights of Mortgagees under Article 11, or the rights of the Village of Hartland under Article 16, without the express written consent of Declarant or Golf Course Owner, or 51% of the Mortgages, or the Village of Hartland as the case may be.

10.3 Inclusion of Other Property. This Declaration may be amended in order to submit to the provisions hereof certain other property described in Exhibit 20 to the PUD Agreement, upon the satisfaction of the conditions described in Section 11.C thereof. Such amendment shall be executed by the Association and by the owners of the properties being so submitted. Such amendment shall include a legal description of the property being so submitted. Upon such amendment, (i) such property shall be subject to all the terms and conditions hereof, except that the Architectural Control Committee shall not have power to require changes to any existing structures thereon until and unless circumstances occur which would require that such structures conform to the Village of Hartland Zoning Code under Section 17.09 of the Village of Hartland Zoning Code (as the same may be renamed or renumbered from time to time); (ii) each legal parcel in such property shall be deemed a Lot hereunder; (iii) each new Lot shall commence paying assessments to the Association as of the date of execution (with a proration for the month of admission); and (iv) each new Lot shall be entitled to vote as the Owner of any other Lot is entitled to vote in affairs of the Association.

ARTICLE 11. RIGHTS OF MORTGAGE HOLDERS

11.1 Notice. Any mortgage holder, insurer or guarantor of a mortgage on a Unit or Lot who submits a written request to the Association, identifying the name and address of such holder, insurer or guarantor and the Unit or Lot number or address, will be entitled to timely written notice of:



c/o Professional Property Consultants
PO Box 923
Menomonee Falls, WI 53052-0923
262-257-9250
lisa@ppc-wi.com

July 27, 2020

HALEN HOMES LLC
1207 E Sweetbriar Lane Unit 15
Hartland, WI 53029

RE: Neuman Homes - Lot 12015, 1207 E Sweetbriar Lane Unit 15 – Bristlecone Pines Subdivision)

Dear Halen Homes,

The Bristlecone Pines Architectural Control Committee has reviewed the attached Architectural Change Request, tracking #3762187, and approved the building plans per the attached rendering. Please remember *landscape plans must be submitted for approval as well.*

General Notes:

- Shingles: GAF Timberline Natural Shadow, color: Weathered Wood
- Siding: JamesHardie Fibercement, color: Khaki Brown
- Tim/Cornerboards/Frieze/Soffit/Fascia: Hardboard, color: Khaki Brown
- Gutters: Terratone Bronze
- Masonry: Halquist Natural Stone Vaneer, color: Cascade Kedge
- Front Door: SW748 Urbane Bronze
- Windows: Lindsay Earthwise, color: Clay
- Garage Door: Haas Recessed Short Panel, color: Sandstone

If you have any questions or concerns please feel free to contact me.

Sincerely,

Lisa Komppa

Lisa Komppa, CPM, AMS
Professional Property Consultants, LLC
Managing Agent of Bristlecone Pines Community Association, Inc.

Architectural Change Request



Site Bristlecone Pines
Tracking # 3762187
Submitted By HALEN HOMES LLC HALEN HOMES LLC
Submit Date 7/21/20 2:03 PM
Status new

Please Provide a Detailed Description of the Desired Alteration or Addition Below. If You Have a Blueprint or Documentation to be Included, Please Attach that as Well

Description Please see the attached color sheet for approval for units 15 and 16 of the Bristlecone Condominiums, addresses 1205 and 1207 Sweetbriar Lane. These colors will also be used on all future buildings

Attachment [Bristlecone Pines Color Palette 2020-062940058.pdf](#)

Enter Your Name, Address, and How You May Be Reached

First Name HALEN HOMES LLC
Last Name HALEN HOMES LLC
Street Address 1207 E Sweetbriar Lane
Day Phone 6082154934
Email blindgren@neumanncompanies.com

Bristlecone Pines - Exterior Color Palette



Shingles



Siding



Stone



Trim



Windows



Garage Door



Front Door



Materials

Shingles: GAF Timberline Natural Shadow – Weathered Wood

Siding: JamesHardie Fibercement – Khaki Brown

Trim/Cornerboards/Frieze/Soffit/Fascia: Hardboard - Khaki Brown

Gutters: Terratone Bronze

Masonry: Halquist Natural Stone Veneer – Cascade Ledge

Front Door: SW7048 - Urbane Bronze

Windows: Lindsay Earthwise - Clay

Garage Door: Haas Recessed Short Panel – Sandstone





FRONT ELEVATION- FARMHOUSE

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-0.10	General Notes
A-1.00	FOUNDATION PLAN - FARMHOUSE - ELEVATION-1
A-2.00	FIRST FLOOR PLAN - FARMHOUSE - ELEVATION-1
A-2.10	FIRST FLOOR OPTIONS
A-3.00	ROOF PLANS - FARMHOUSE - ELEVATION-1
A-4.00	ELEVATIONS - FARMHOUSE - ELEVATION-1
E-1.00	FOUNDATION ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1
E-2.00	FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

LEFT UNIT AREAS

Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	484 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2557 SF

RIGHT UNIT AREAS

Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	528 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2601 SF



FIRST FLOOR PLAN

REVISION LOG

REVISION #	DATE	DESCRIPTION	BY
1	03/05/2020	MASTER CREATION	AG
2	04/17/2020	ADDED WINDOW TO LEFT GARAGE	AG



BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

COVER

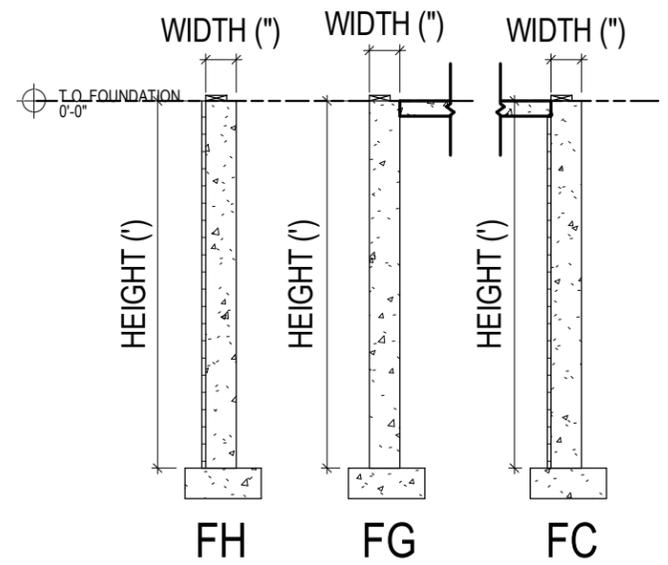
DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.00	

FOUNDATION PLAN NOTES
MAIN HOUSE CONCRETE WALLS: FH-8-8 UNLESS OTHERWISE NOTED
FURNACE TO BE MINIMUM 95% EFFICIENT
WATER HEATER IS POWER VENTED PER SPECIFICATION
POURED CONCRETE IS TO BE 3000 PSI
ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD OR FACE OF CONCRETE
3PC BATH ROUGH-IN TO INCLUDE WASTE & VENT TO RUN TO GENERAL VICINITY - FRAMING & FIXTURES NOT INCLUDED

FIRST FLOOR PLAN NOTES
ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
EXTERIOR HOUSE WALLS ARE 2x6 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
INTERIOR HOUSE WALLS ARE 2x4 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
GARAGE WALLS ARE 2x4 STUD GRADE OR BETTER AT 16" O.C.
CEILING HEIGHT AT FIRST FLOOR IS 9'-0" UNLESS OTHERWISE NOTED
WINDOW HEADER HEIGHT AT FIRST FLOOR IS 6'-11 3/8" FROM TOP OF FLOOR UNLESS OTHERWISE NOTED

ROOF PLAN NOTES
ROOF TO BE COMPOSED OF PRE - ENGINEERED TRUSSES @ 24" O.C.
ALL TRUSS CLIPS AND HANGERS TO BE SUPPLIED BY TRUSS MANUFACTURER AND TO MEET OR EXCEED REQUIREMENTS OF THE WISCONSIN UNIFORM BUILDING CODE

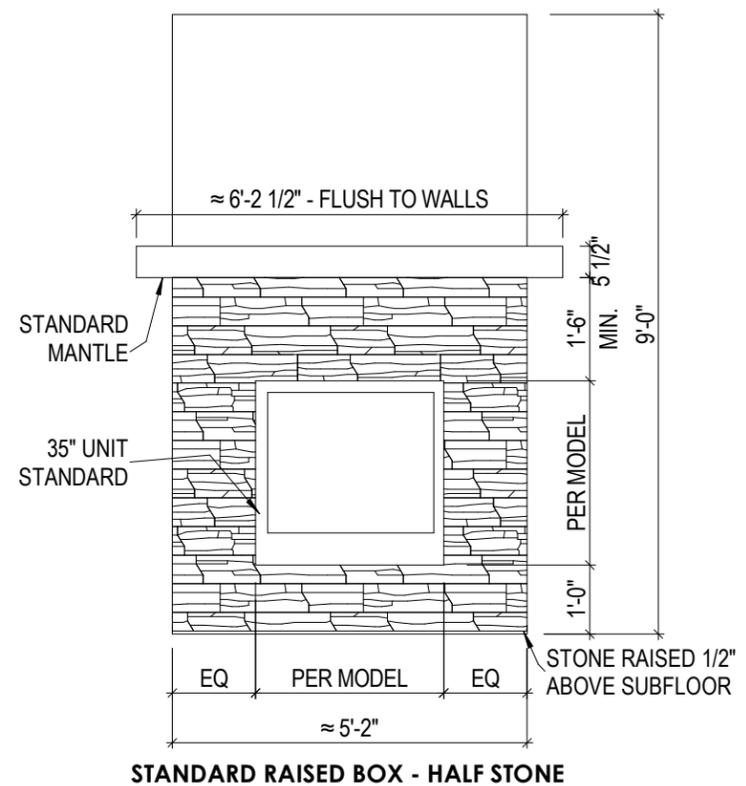
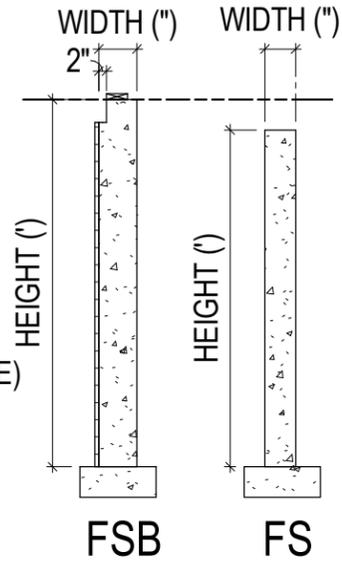
SCHEDULE S1
SIDING TYPE: HARDBOARD SIDING
SOFFIT TYPE: HARDBOARD SOFFIT
FASCIA TYPE: ALUMN. FASCIA
EXTERIOR CORNERS: 5/4"x6"
WINDOW WRAPS: 5/4"x
ATTIC INSULATION: R38
SHINGLES: DIMENSIONAL
EXTERIOR WALL INSULATION: R-19 BATT
EXTERIOR WALL SHEATHING - SEE PLAN & DETAIL FOR MORE INFORMATION: 7/16"



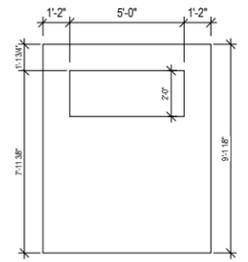
ROOM / FLOORING SCHEDULE		
Room	Floor Finish	Area
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
OWNER'S SUITE	CARPET	228 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S SUITE	CARPET	228 SF
CARPET		2014 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
PANTRY	LVP	27 SF
PANTRY	LVP	27 SF
LVP		1023 SF
HALL BATH	LVT	43 SF
HALL BATH	LVT	43 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
LVT		496 SF

WALL TYPE WIDTH (") HEIGHT (")
FH - 8 - 12

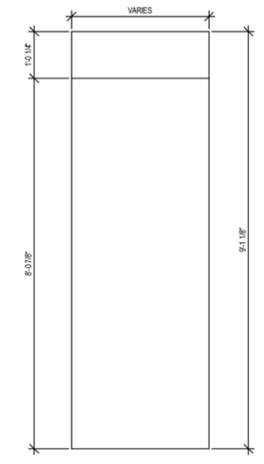
- WALL TYPES**
 FH = HOUSE
 FC = COMMON (HOUSE/GARAGE)
 FSB = STOOP W/ BRICKLEDGE
 FS = STOOP
 FG = GARAGE



FIREPLACE DETAIL



5020 DRYWALL OPENING



DRYWALL OPENING DETAIL (TYP.)



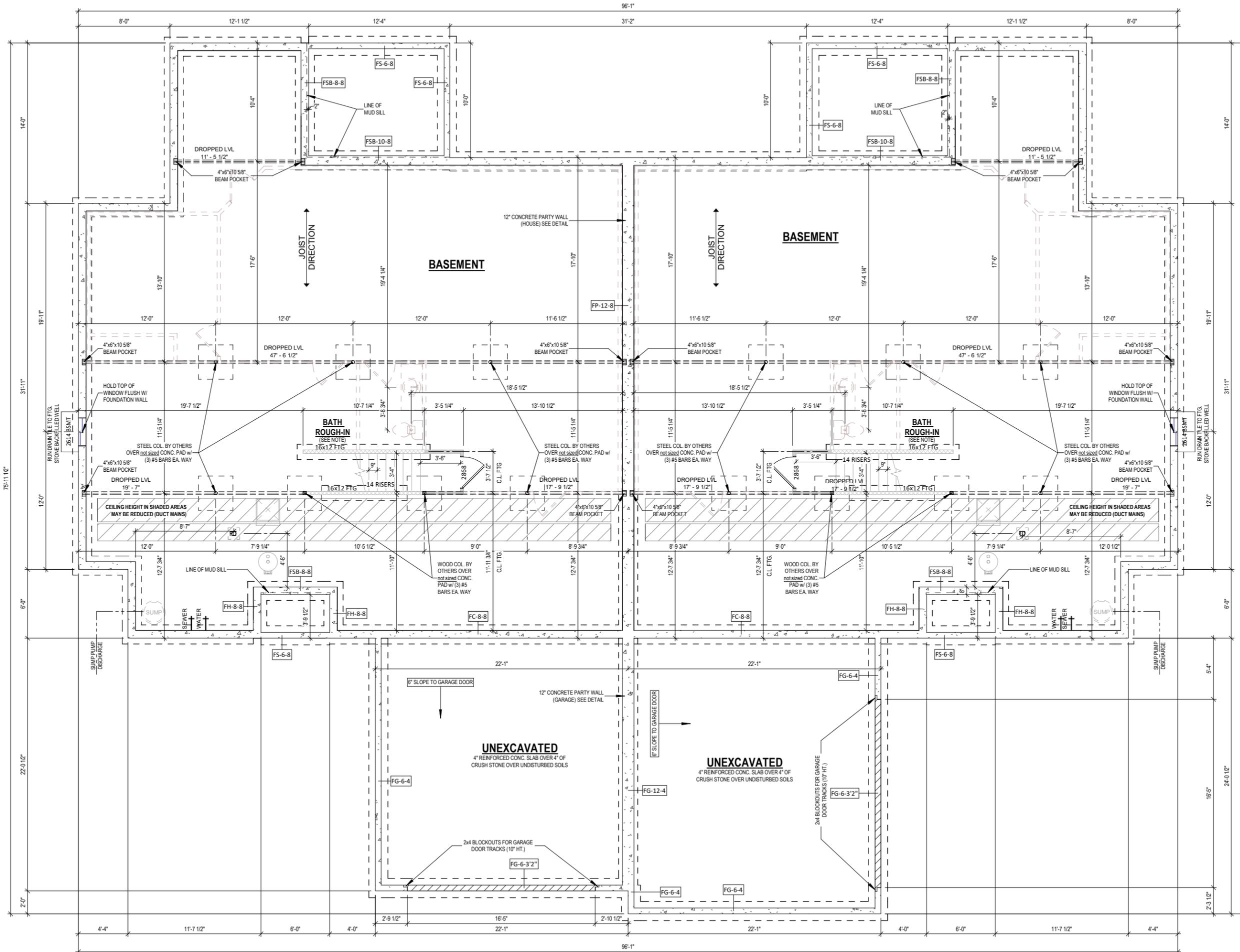
BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

SHEET NAME

General Notes

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.10	



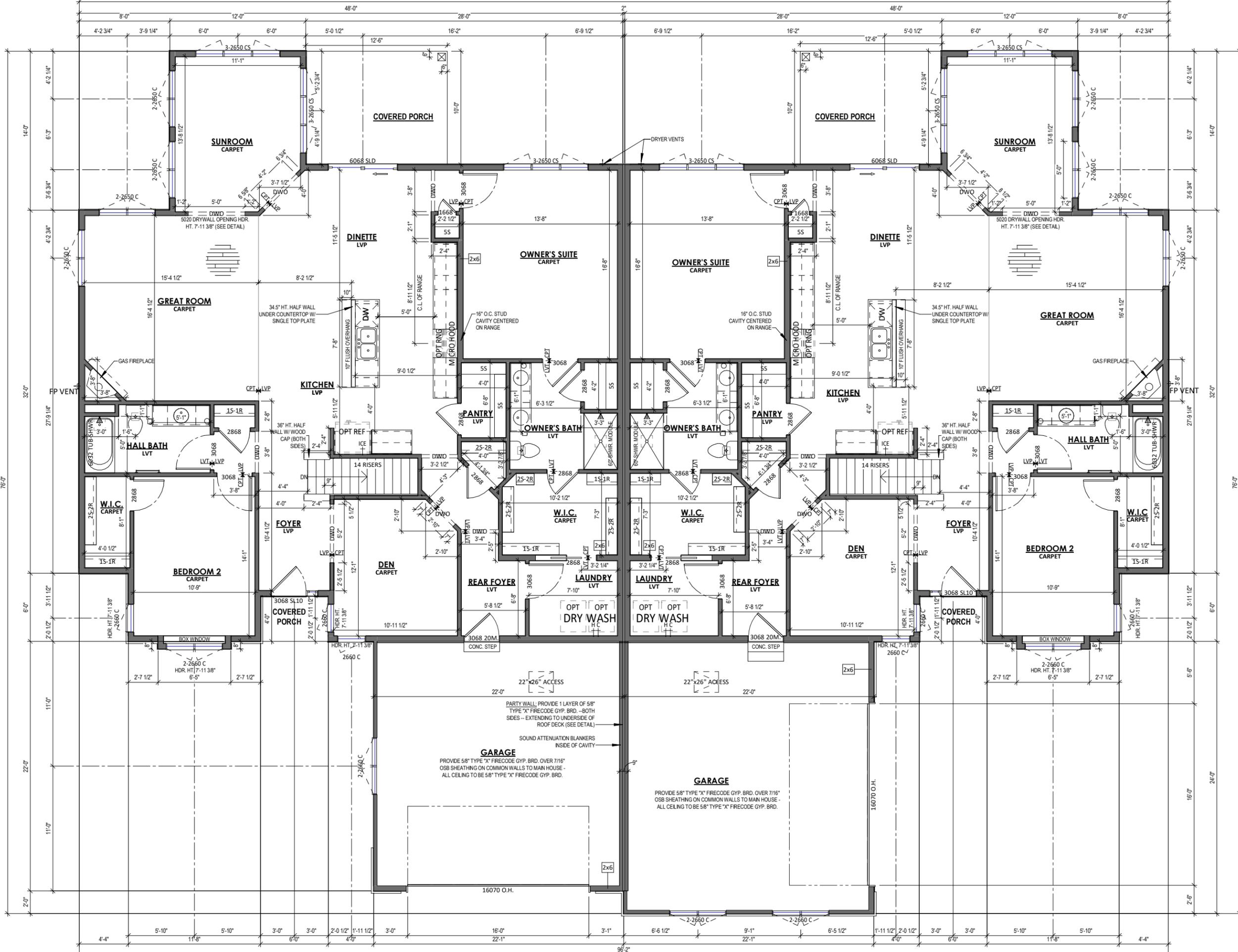
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME
**FOUNDATION
PLAN -
FARMHOUSE -
ELEVATION-1**

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-1.00	

1 FOUNDATION PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



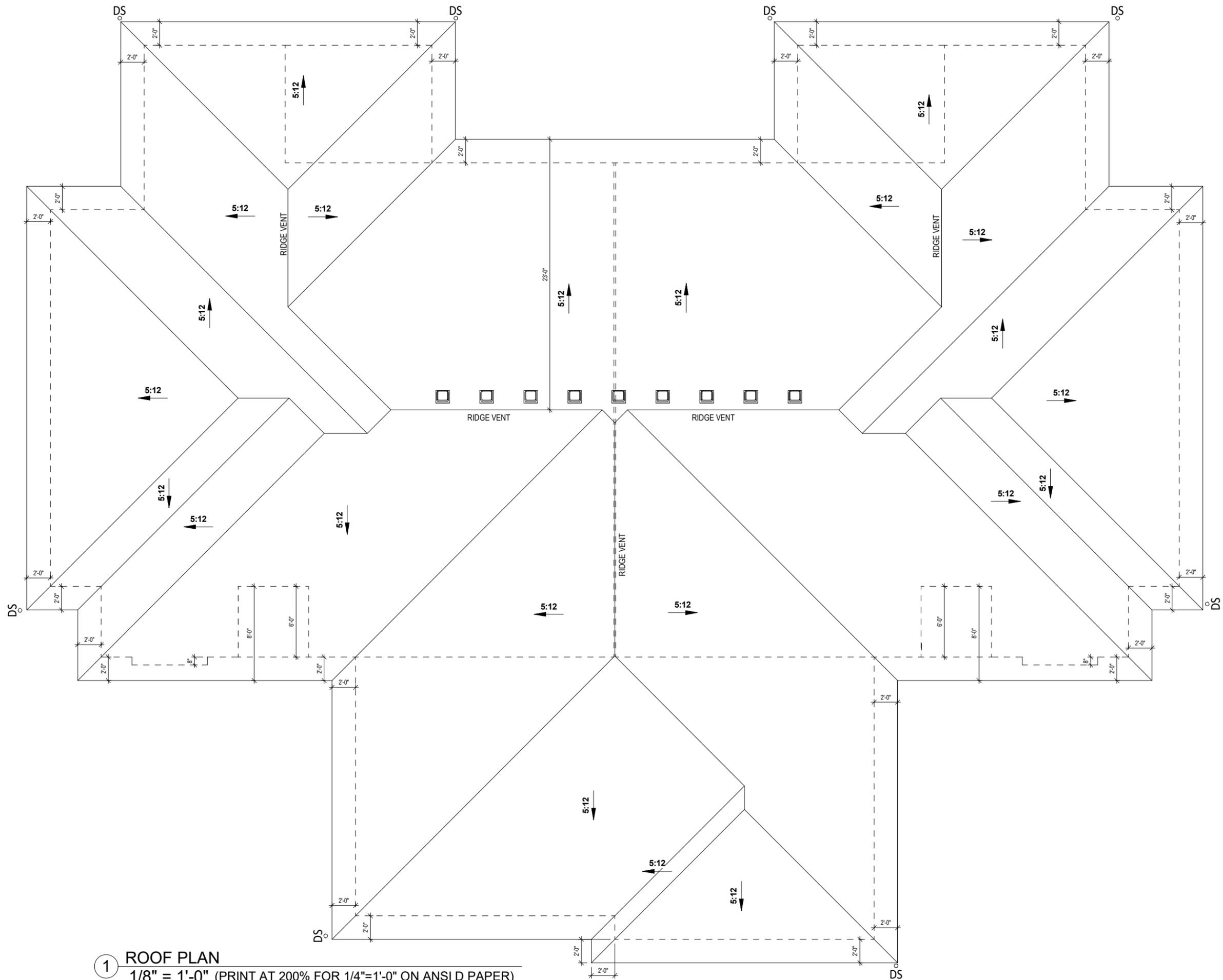
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME
**FIRST FLOOR PLAN -
FARMHOUSE -
ELEVATION-1**

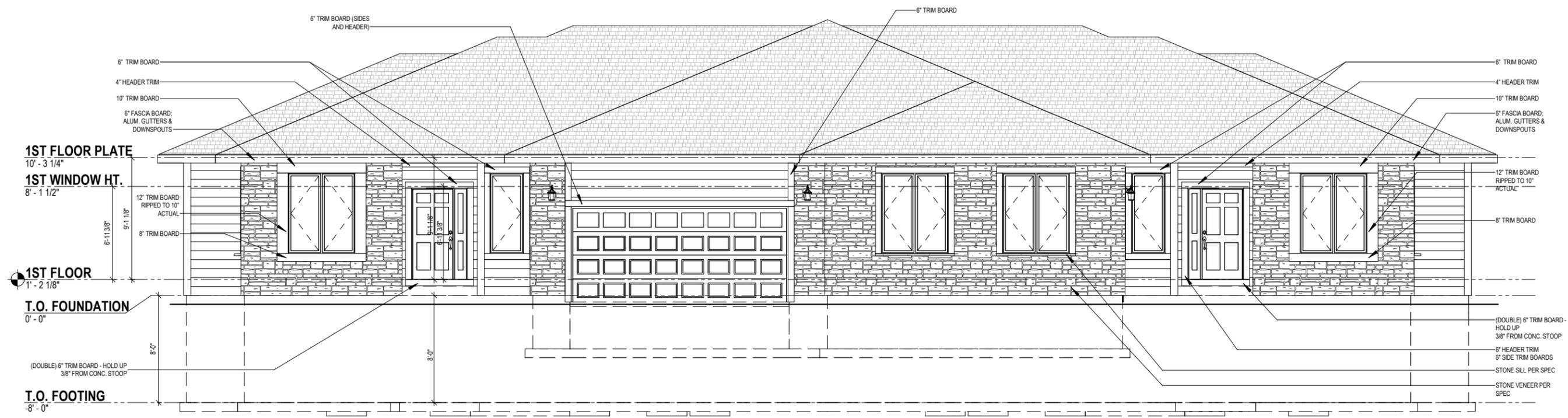
DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-2.00	

1 FIRST FLOOR PLAN
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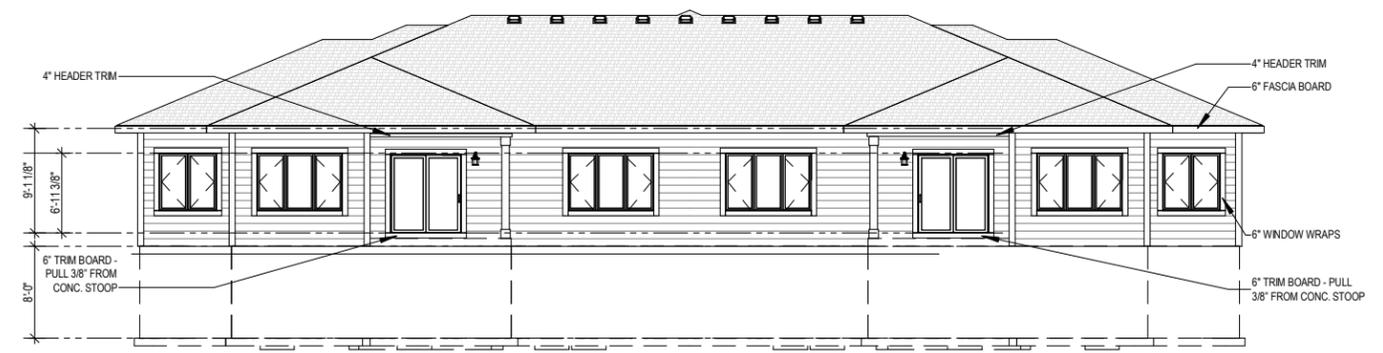
1 ROOF PLAN
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

	
BRISTLECONE	CLIENT NAME PROJECT ADDRESS
ROOF PLANS - FARMHOUSE - ELEVATION-1	
SHEET NAME	DATE 04/17/2020
JOB NUMBER Project Number	
SHEET NUMBER A-3.00	
DRAWN BY Author	



**FRONT VIEW - FARMHOUSE -
ELEVATION 1**

① $1/8" = 1'-0"$ (PRINT AT 200% FOR $1/4"=1'-0"$ ON ANSI D PAPER)



REAR VIEW - ELEVATION 1

③ $1/16" = 1'-0"$



LEFT VIEW - ELEVATION 1

② $1/16" = 1'-0"$



RIGHT VIEW - ELEVATION 1

④ $1/16" = 1'-0"$

BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

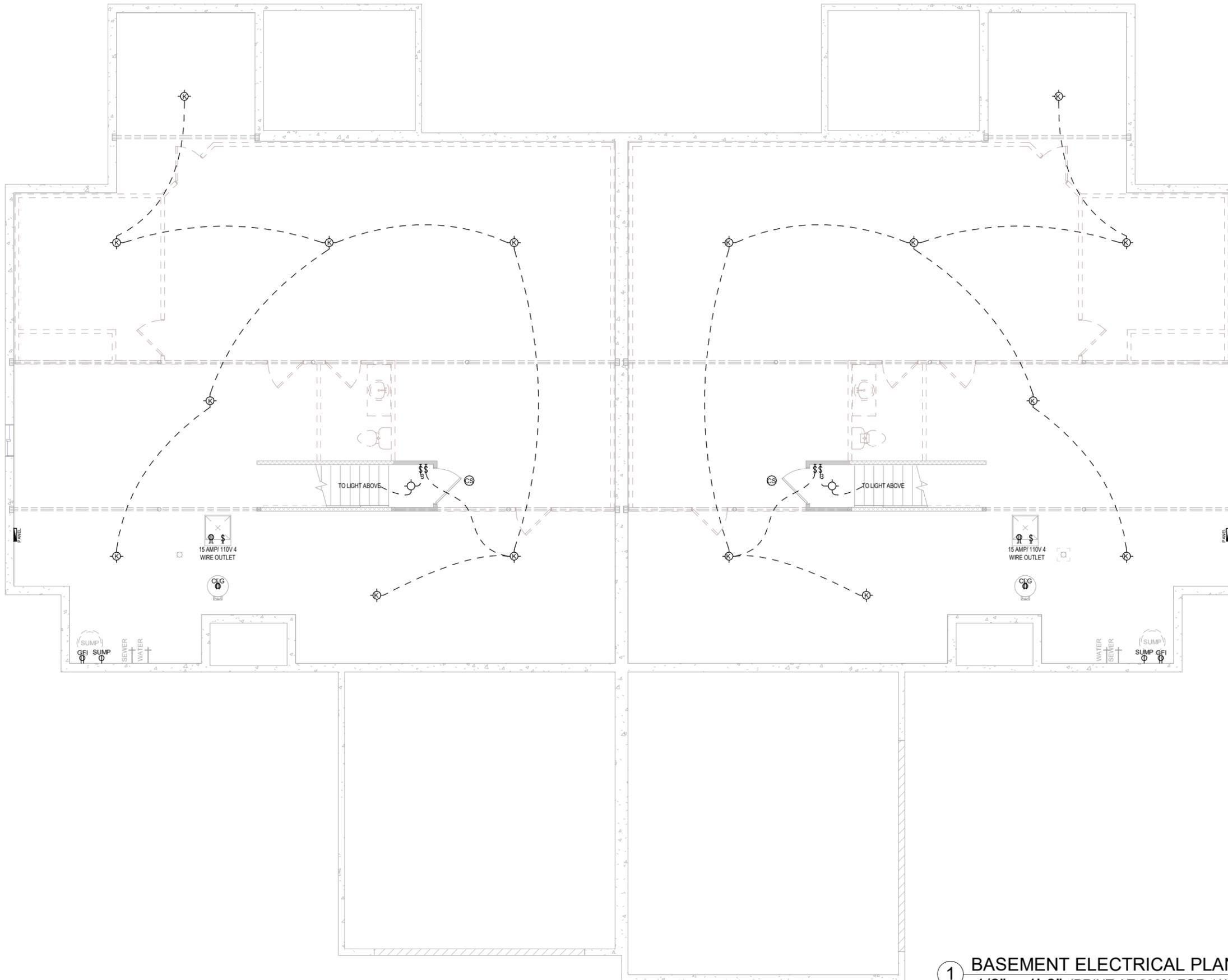
SHEET NAME

**ELEVATIONS -
FARMHOUSE -
ELEVATION-1**

DATE 04/17/2020 DRAWN BY Author

JOB NUMBER
Project Number

SHEET NUMBER
A-4.00



ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		DOOR BELL BUTTON
	3-WAY SWITCH		DOOR BELL CHIME
	4-WAY SWITCH		GARAGE KEYPAD
	DIMMER SWITCH		GARAGE DOOR OPENER
	UNDERCABINET SWITCH		WEATHERPROOF OUTLET
	220 VOLT OUTLET		CEILING OUTLET
	DUPLEX OUTLET		SWITCHED FLOOR OUTLET
	GROUND FAULT OUTLET		SWITCHED DUPLEX OUTLET
	SINGLE SUMP OUTLET		QUAD OUTLET
	SMOKE DETECTOR		CARBON MONOXIDE & SMOKE DETECTOR COMBO
	THERMOSTAT		NETWORK OUTLET
	TELEVISION OUTLET		TELEPHONE OUTLET
	ELECTRICAL SERVICE PANEL		GARBAGE DISPOSAL
	WALL MOUNT LIGHT		SINGLE SCONCE
	FLOOD LIGHT		VANITY LIGHT
	CLOSET CASTER LIGHT		STAR LIGHT
	BATH FAN & LIGHT COMBO		BATH FAN
	PULL CHAIN LIGHT		UNDER CABINET LIGHT
	FLUSH MOUNT LIGHT		KEYLESS LIGHT
	HANGING PENDANT LIGHT		HANGING LIGHT
	RECESSED CAN LIGHT		MINIATURE PUCK LIGHT
	WEATHERPROOF RECESSED CAN LIGHT		RECESSED EYEBALL LIGHT
	CEILING FAN		CEILING FAN ROUGH
	LIGHTED CEILING FAN		LOF ROUGH LIGHT & FAN ROUGH



BRISTLECONE

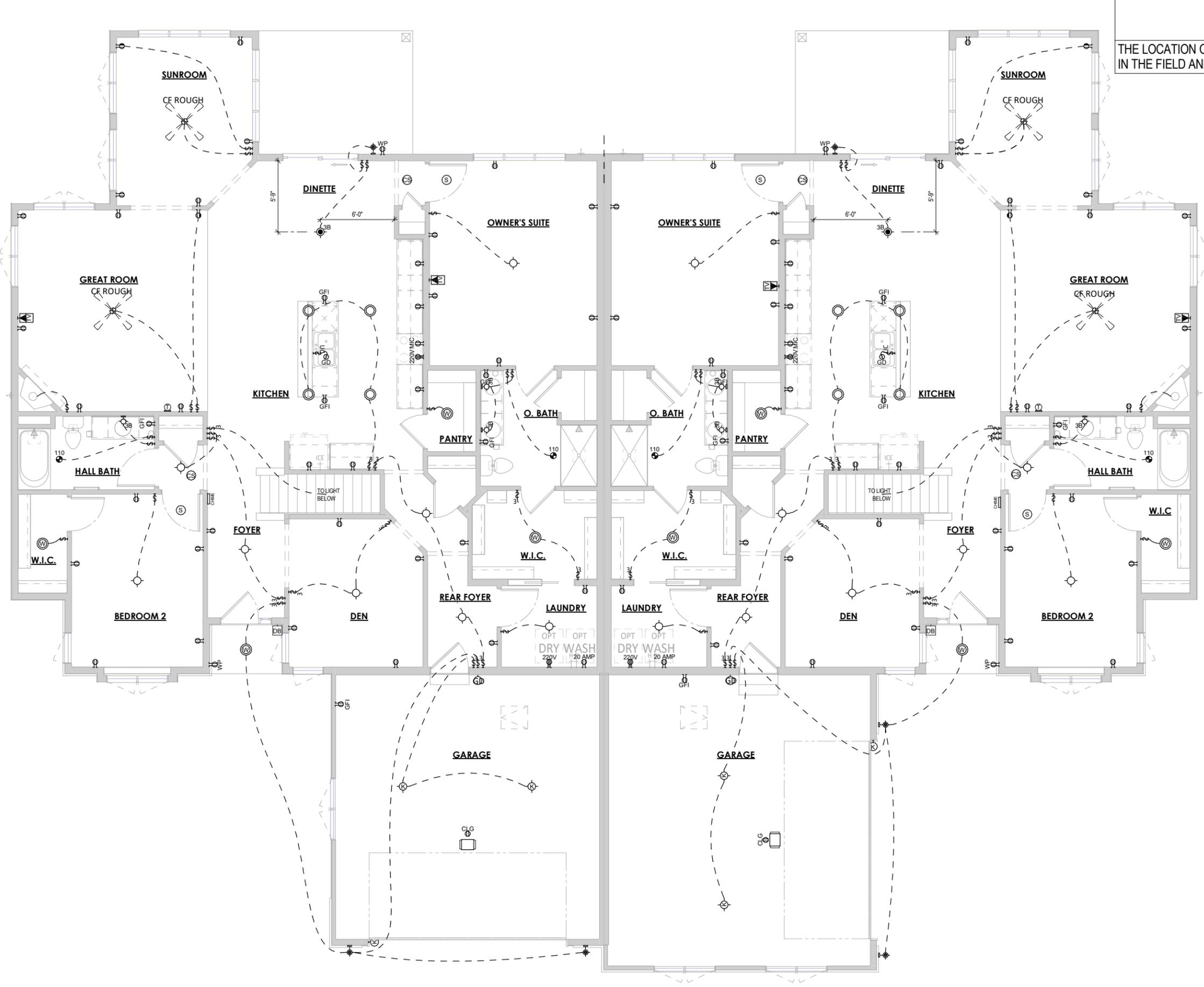
CLIENT NAME

PROJECT ADDRESS

FOUNDATION ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-1.00	

1 BASEMENT ELECTRICAL PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



ELECTRICAL PLAN NOTES
 THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE

ELECTRICAL LEGEND			
⊞	SINGLE POLE SWITCH	DB	DOOR BELL BUTTON
⊞	3-WAY SWITCH	CHIME	DOOR BELL CHIME
⊞	4-WAY SWITCH	⊞	GARAGE KEYPAD
⊞	DIMMER SWITCH	⊞	GARAGE DOOR OPENER
UC	UNDERCABINET SWITCH	WP	WEATHERPROOF OUTLET
220V	220 VOLT OUTLET	CLG	CEILING OUTLET
⊞	DUPLEX OUTLET	FLR	SWITCHED FLOOR OUTLET
GFI	GROUND FAULT OUTLET	⊞	SWITCHED DUPLEX OUTLET
SUMP	SINGLE SUMP OUTLET	⊞	QUAD OUTLET
⊞	SMOKE DETECTOR	⊞	CARBON MONOXIDE & SMOKE DETECTOR COMBO
⊞	THERMOSTAT	⊞	NETWORK OUTLET
⊞	TELEVISION OUTLET	⊞	TELEPHONE OUTLET
PANEL	ELECTRICAL SERVICE PANEL	GD	GARBAGE DISPOSAL
⊞	WALL MOUNT LIGHT	⊞	SINGLE SCONCE
⊞	FLOOD LIGHT	⊞	VANITY LIGHT
⊞	CLOSET CASTER LIGHT	⊞	STAIR LIGHT
110	BATH FAN & LIGHT COMBO	110	BATH FAN
⊞	PULL CHAIN LIGHT	UC	UNDER CABINET LIGHT
⊞	FLUSH MOUNT LIGHT	⊞	KEYLESS LIGHT
⊞	HANGING PENDANT LIGHT	⊞	HANGING LIGHT
⊞	RECESSED CAN LIGHT	⊞	MINIATURE PUCK LIGHT
⊞	WEATHERPROOF RECESSED CAN LIGHT	⊞	RECESSED EYEBALL LIGHT
⊞	CEILING FAN	⊞	CEILING FAN ROUGH
⊞	LIGHTED CEILING FAN	⊞	LCF ROUGH LIGHT & FAN ROUGH



BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-2.00	

1 **FIRST FLOOR ELECTRICAL PLAN**
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

SIXTEENTH AMENDMENT
TO
DECLARATION OF CONDOMINIUM

OF BRISTLECONE PINES CONDOMINIUM

This Sixteenth Amendment to the Declaration of Condominium of Bristlecone Pines Condominium (this “Amendment”) is made as of _____, 2020 by Bristlecone Pines Condominium Association, Inc. (the “Association”) on behalf of the Owners and their Mortgagees, and by Neumann Developments, Inc., a Wisconsin corporation, or its assigns (“Neumann”).

RECITALS

Reference is made to that certain Declaration of Condominium of Bristlecone Pines Condominium for the meaning of capitalized terms used in this Amendment and not otherwise defined in this Amendment. The Declaration was recorded on April 5, 1995 in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 2031446. It was most recently amended by a Fifteenth Amendment recorded on March 25, 2005 as Document No. 3260969. As so amended, it is referred to herein as the “Declaration”.

Concurrently with the original Declaration and many of the amendments thereto, a condominium plat was recorded, and addenda thereto. As so recorded, including addenda thereto, it is referred to as the “Plat”.

The Condominium was intended to be an expansion condominium, with the eventual potential expansion to include up to 44 units. The time period for automatic expansion has expired, and the Condominium was expanded to presently include only thirty-four (34) Units. Of those Units, only thirty-two (32) have been constructed and physically exist.

Neumann is acquiring certain land described on Exhibit A hereto (the “2020 Expansion Land”), and desires to complete the uncompleted Building located at 1205-1207 East Sweetbriar Lane (the “Incomplete Building”) and other additional buildings that will be harmonious with the existing Condominium, but only if certain issues are addressed. The Association believes that addressing these issues and completing the work proposed by Neumann is appropriate and beneficial to the Association and its members. As examples of the issues that need to be addressed:

- A. The remainder of the original expansion land is still vacant and represents unintended gaps in the architectural harmony of the Association.
- B. Since the Association already maintains the same infrastructure that is required in order to service the original expansion land, the inclusion of the original expansion land in the Condominium and the construction of new units thereon – which will join the Association and pay assessments – will serve to spread the costs of such

infrastructure over a greater number of Units supporting it, which would be a further benefit to the existing Condominium, its Owners, and their Mortgagees.

- C. The Owner of the two Units comprising the Incomplete Building, which were declared and never constructed, has not been charged and is not paying assessments to the Association.
- D. Certain water features are owned by the owner of the Golf Course but service the Condominium, and clarity over the use of these features is important.

Consequently, the Association desires to enter into this Amendment for the purpose of resolving these issues and making it possible for Neumann to assist the Condominium in expanding its operations for a more efficient future.

The Association has obtained consent from 75% of the Owners and their Mortgagees; copies of those consents are [select one: complete as attached hereto /are available from the offices of the Association].

Neumann is executing this Amendment for the purpose of making certain agreements with the Association and agreeing to the expansion of the Condominium to include the 2020 Expansion Land. The Golf Course Owner is executing this Amendment solely for the limited purposes indicated below, and not as a party to the Amendment. As a consequence, all of the Owners and Mortgagees of all of the land that is the subject of this Amendment are subscribed hereto and desire that this Amendment will have the effect on the Condominium and the 2020 Expansion Land as described below.

AGREEMENT

Now therefore, in consideration of the above and other value received, the parties agree as follows:

1. Expansion to Include the Expansion Land. The land subject to the Condominium is hereby expanded to include the 2020 Expansion Land. Concurrently with this Amendment, the Association is causing a Fifteenth Amendment to the Plat of Condominium of Bristlecone Pines to be recorded in the form attached hereto as Exhibit B.
2. Completion of Uncompleted Building. The Association accepts that Neumann will construct the Incomplete Building containing Units 15 and 16.
3. Construction of New Buildings on 2020 Expansion Land. The Association accepts that Neumann may construct buildings and associated improvements on the 2020 Expansion Land substantially as shown on the Fifteenth Amendment to the Plat of Condominium of Bristlecone Pines attached as Exhibit B (each such building, including the Incomplete Building, is known as a “New Building”). The final location of Units 29 and 30 will be reflected in a revised addendum or addenda to the

Plat that Neumann will cause to be recorded, and thereupon each new dwelling unit in such New Building will become a Unit within the Condominium, subject to the Declaration and other Condominium Instruments. As to construction matters, the following shall apply:

- a. Neumann shall be under no obligation to and makes no representation that it will in fact exercise its rights to construct all or any part of the improvements shown in Exhibit B as such rights are reserved herein. Further, there shall be no expiration on the rights reserved to Neumann herein and said rights shall inure to the benefit of Neumann's successors and assigns.
 - b. Each of the Association and Golf Course Owner, as applicable, grants to Neumann a non-exclusive easement, across, on and over any and all access routes and roads belonging to, benefiting or inuring to the benefit of the Condominium (whether part of the Condominium or otherwise); the unpaved General Common Elements that were, prior to the date of this Amendment, part of the 2020 Expansion Land; and any portion of the General Common Elements immediately adjacent thereto (collectively, the "Easement Property") for Neumann and its agents, contractors, employees, permittees, suppliers, and vendors to use the Easement Property for the purpose of access, marshalling of equipment, and storage purposes in connection with the construction of any New Building, provided, however, that (1) the easement is subject to the limitations on use set forth in this Section, and (2) Neumann will not use any General Common Elements within 10 feet of an existing Building for the purpose of storage or marshaling.
 - c. Neumann shall indemnify, defend and hold harmless the Association from and against any and all claims, action, damages, liabilities, demands, losses, costs and expenses (including reasonable attorneys' fees) for (i) any injuries to any persons or damage to any property to the extent arising out of any construction activity by Neumann or its agents, contractors, employees, permittees, suppliers, and vendors, which activity constitutes recklessness or willful misconduct of any of such persons; and (ii) its failure in any material respect to comply with the terms and conditions of this Amendment.
 - d. No construction vehicle or construction work shall be allowed or take place on the 2020 Expansion Land prior to 7am or after 6pm on any day unless (1) it is commercially reasonable to perform before or after such times and prior notice is given to the Association, or (2) the work is a response to an emergency which may occur at any time without prior notice.
4. Style of all New Buildings. The Association acknowledges that the accepted standards and building codes may be different than from the time when the Condominium was originally built.

- a. Duplex New Buildings – The final plans and specifications for New Buildings that will contain two Units each are included in this Amendment as Exhibit C. Notwithstanding such inclusion, during construction Neumann may make modifications to the exterior size, materials and location of such New Buildings so long as such modifications are not materially different from those of existing Buildings.
 - b. Single Family New Buildings – The two planned single-family Units 29 and 30 are located on a portion of the 2020 Expansion Land also known as Outlot 5 on the subdivision plat of Bristlecone Pines (“Outlot 5”). Prior to the commencement of construction of Units 29 and 30 on Outlot 5, Neumann will submit a written request to the Association for approval of final exterior location and plans and specification for such New Building, and the Association has the power to approve the same, but will not unreasonably withhold, condition or deny consent if a New Building is not unreasonably different in style from the existing Buildings in the Condominium. Notwithstanding such approval, during construction Neumann may make modifications to the exterior size, materials and location of such New Buildings so long as such modifications are not materially different from those of existing Buildings.
5. Association Liens Regarding Building Units 15 and 16. The Association acknowledges that Neumann would not acquire Units 15 and 16 and pursue the construction if such Units if the Association could claim liens on such Units for periods commencing from the time they were added to the Condominium on March 25, 2005; that it is beneficial for the Association to see these Units completed; and that the ability to recover assessments from parties that own these unbuilt Units is speculative. Accordingly, the Association hereby waives any and all assessments and fees in respect of these unbuilt Units from the date of addition to the Condominium to the date of issuance of the initial occupancy permit for each such Unit.
6. No Special Assessments on New Buildings. The Association shall not levy a special assessment against any Unit in a New Building for a period of five (5) years following said New Building’s inclusion into the Condominium, unless the work to be paid for by such special assessment is to be incorporated into such New Building.
7. Easements over Ponds. The remaining portion of the original Expansion Real Estate, on which are located existing surface detention ponds, is not included in the 2020 Expansion Land. Such land is owned by the Golf Course Owner and is described on Exhibit D (the “Remainder Land”). The Golf Course Owner hereby grants to the Association and Neumann, and their respective agents, contractors, employees, permittees, suppliers, and vendors, non-exclusive easements to allow them to access and connect to said detention ponds. The Association hereby grants to the Golf Course Owner a non-exclusive easement over certain paved portions of the General Common Elements to access such detention ponds for the purpose of conducting any and all necessary maintenance of the detention ponds. The Golf Course Owner shall

bear all costs and responsibility for the maintenance of the detention ponds except in the case the Association causes damage to the detention ponds, in which case the Association shall bear the costs of any necessary repairs.

8. Easement over Remainder Land. The Golf Course Owner hereby grants to Neumann a non-exclusive easement, across, on and over any and all access routes and roads belonging to, benefiting or inuring to the Remainder Land for the installation of paved driveways, and the use thereof for vehicular and pedestrian access, between Outlot 5 and Sweetbriar Lane (collectively, the “Driveway Easement”). The Driveway Easement will be located so as to not materially disturb the function of the detention ponds on the Remainder Land. Such drives will initially be installed by Neumann as part of the construction of New Buildings on Outlot 5, to the standards required by the Village of Hartland for construction of new homes and consistent with other driveways located on the Condominium, and will be repaired or replaced from time to time by the Association, which is designated as Neumann’s successor to the Driveway Easement rights.
9. Effect of Expansion on Existing Condominium. The 2020 Expansion Land is, with this Amendment, included as part of the General Common Elements of the Condominium, subject to the rights granted above to build the New Buildings that will contain Units. Upon commencement of construction of a Unit, the Unit will belong to Neumann or its successors and assigns. When fully built out as contemplated in this Amendment, the Condominium will consist of 44 Units with unit numbers as assigned in Exhibit B. As each Unit is issued the initial certificate of occupancy, the interests of the Units will be calculated as 1 divided by the number of Units and voting and assessments will be adjusted equitably based on such formula. The imposition and levy of assessments will commence with the issuance of the initial certificate of occupancy for each Unit in a New Building.
10. Successors and Assigns. Neumann may assign any one or more of its special rights and benefits in this Amendment to one or more persons from time to time. A person acquiring a Unit from Neumann in the absence of such a specific assignment will not be deemed to be an assignee or successor for purposes of the special rights and benefits set forth in this Agreement.
11. Severability. If any of the terms or conditions of this Agreement shall be deemed invalid, illegal, or unenforceable in any respect, the validity of the remainder of this Agreement shall in no way be affected and shall remain in full force and effect to the fullest extent permitted by law.
12. Counterparts. This Amendment may be executed in any number of counterparts with the same effect as if all parties hereto had signed the same document. All such counterparts shall be construed together and shall constitute one instrument, but in making proof hereof, it shall only be necessary to produce one such counterpart signature for each party.

13. No Implied Changes. Except as otherwise stated herein, the provisions of the Declaration shall remain unchanged and in full force and effect.

[Signatures on Following Pages]

Drafted by and return to:
Hal Karas and Keyon Brown
Husch Blackwell LLP
555 E Wells Street, Ste 1900
Milwaukee, WI 53202

Executed as of the date first set forth above.

**BRISTLEcone PINES
CONDOMINIUM ASSOCIATION, INC.**

By: _____

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

Personally came before me this _____, 2020, the above named _____ of _____, to me known to be the person who executed the foregoing instrument.

Name: _____
Notary Public, State of Wisconsin
My commission:

NEUMANN DEVELOPMENTS, INC.

By: _____

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

Personally came before me this _____, 2020, the above named _____ of Neumann Developments, Inc., to me known to be the person who executed the foregoing instrument.

Name: _____
Notary Public, State of Wisconsin
My commission:

**CONSENT TO AMENDMENT
OF DECLARATION OF CONDOMINIUM
OF BRISTLECONE PINES CONDOMINIUM**

The owner(s) of Unit _____ in Bristlecone Pines Condominium in the Village of Hartland, Waukesha County, Wisconsin (the "Condominium") consent(s) to the amendment of the Condominium's declaration of Condominium substantially on the terms of the exhibits attached to this Consent (the "Amendment"). Such owner(s) further appoint(s) the President of the association of unit owners in the Condominium his/her/their agent for purposes of the execution and delivery of any and all instruments of conveyance in favor of Neumann that may be necessary or desirable to effectuate the intent of this Amendment.

Dated _____, 2020

(print name)

(print name)

APPROVAL OF MORTGAGEE

The mortgagee of the Unit described above approves the foregoing Consent and the Amendment.

Dated _____, 2020

By: _____

(Print name and title)

Exhibits

- A – Site Plan and Legal Description of 2020 Expansion Land
- B –Fifteenth Amendment to the Plat of Condominium of Bristlecone Pines
- C – Plans and Specifications for Duplex New Buildings
- D – Legal Description of Remainder Land

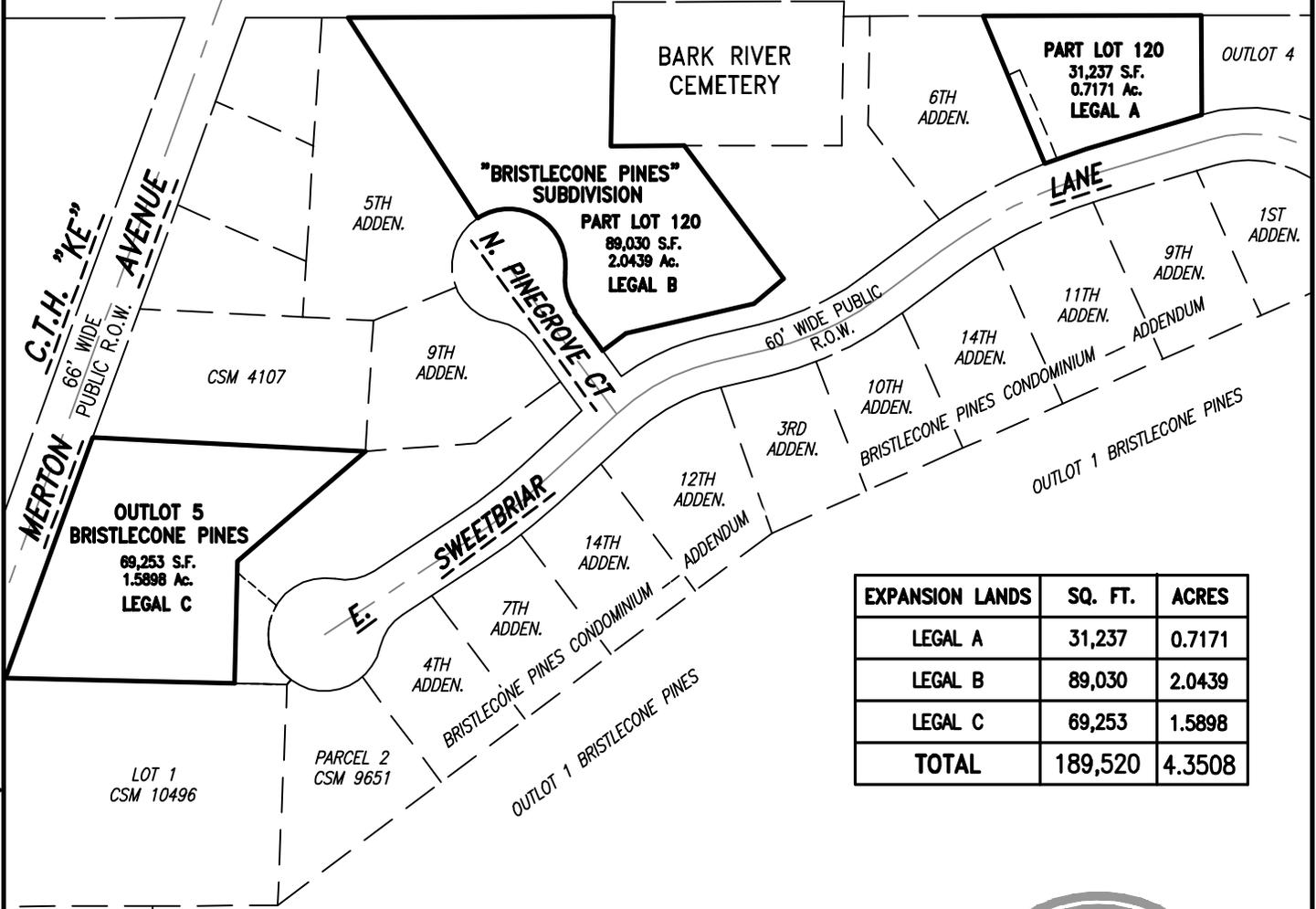
EXHIBIT "A"

2020 EXPANSION LANDS

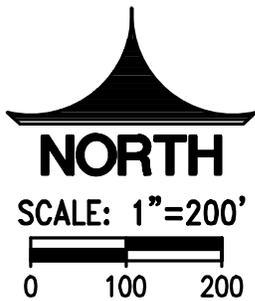
LISBON ROAD (C.T.H. "K")

N. LINE, N.E. 1/4, SEC. 35-8-18

PUBLIC R.O.W. WIDTH VARIES



EXPANSION LANDS	SQ. FT.	ACRES
LEGAL A	31,237	0.7171
LEGAL B	89,030	2.0439
LEGAL C	69,253	1.5898
TOTAL	189,520	4.3508



4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

EXHIBIT "A" CONTINUED

2020 EXPANSION LANDS

Legal Description A:

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest corner of said Northeast 1/4 Section; Thence North 89°51'42" East along the North line of said Northeast 1/4 Section, 1731.28 feet to a point; Thence South 00°08'18" East, 50.00 feet to a point on the South Right-of-Way line of "Lisbon Road" (C.T.H. "K") and the place of beginning of lands hereinafter described;

Thence continuing South 00°08'18" East, 113.86 feet to a point on the North Right-of-Way line of "East Sweetbriar Lane"; Thence South 73°20'00" West along said North Right-of-Way line, 138.10 feet to a point; Thence Southwesterly 50.00 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 590.00 feet, whose central angle is 04°51'21" and whose chord bears South 70°54'19.5" West, 49.99 feet to a point; Thence North 22°41'17" West, 183.40 feet to a point known as Point (A) on the South Right-of-Way line of said "Lisbon Road" (C.T.H. "K"); Thence North 89°51'42" East along said South Right-of-Way line, 250.00 feet to the point of beginning of this description.

Said Parcel contains 31,237 square feet or 0.7171 acres of land, more or less.

Legal Description B:

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at said Point (A); Thence South 89°51'42" West along a tie line and the said South Right-of-Way line of "Lisbon Road" (C.T.H. "K"), 159.99 feet to a point; Thence South 00°55'18" West along the East line of Bark River Cemetery, 148.02 feet to a point; Thence South 89°51'42" West along the South line of said Bark River Cemetery, 180.00 feet to the point of beginning of this description;

Thence South 36°50'00" East, 190.00 feet to a point; Thence South 50°07'24" West, 44.85 feet; Thence South 76°50'00" West, 150.10 feet to a point; Thence South 53°50'00" West, 33.39 feet to a point on the East Right-of-Way line of "North Pinegrove Court" known as Point (B); Thence North 36°10'00" West along said East Right-of-Way line, 55.00 feet to a point; Thence Northwesterly 46.31 feet along said East Right-of-Way line and the arc of a curve, whose center lies to the Northeast, whose radius is 60.50 feet, whose central angle is 43°51'12" and whose chord bears North 14°14'24" West, 45.18 feet to a point of reverse curve; Thence Northwesterly 148.03 feet along said East Right-of-Way line and the arc of a curve, whose center lies to the Southwest, whose radius is 65.00 feet, whose central angle is 130°29'12" and whose chord bears North 57°33'24" West, 118.05 feet to a point; Thence North 32°48'00" West along "Bristlecone Pines Condominium 5th Amendment", 273.94 feet to a point on the South Right-of-Way line of "Lisbon Road" (C.T.H. "K"); Thence North 89°51'42" East along said South Right-of-Way line, 303.56 feet to a point on the West line of the Bark River Cemetery; Thence South 00°55'18" West along said West line, 148.02 feet to a point; Thence North 89°51'42" East along the South line of said Bark River Cemetery, 84.04 feet to the point of beginning of this description.

Said Parcel contains 89,030 square feet or 2.0439 acres of land, more or less.

Legal Description C:

All of Outlot 5 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at said Point (B); Thence South 53°50'00" West, 180.00 feet to a point; Thence South 85°51'08" West, 127.01 feet to the point of beginning of this description;

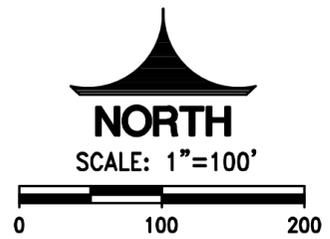
Thence South $49^{\circ}11'18''$ West, 193.10 feet to a point; Thence South $01^{\circ}23'15''$ West, 140.00 feet to a point on the North line of Lot 1 of Certified Survey Map No. 10496; Thence North $88^{\circ}36'45''$ West along said North line, 263.12 feet to the Easterly Right-of-Way line of "Merton Avenue" (C.T.H. "KE"); Thence North $20^{\circ}00'42''$ East along said Easterly line, 293.10 feet to the Northwest corner of Outlot 5 of "Bristlecone Pines" subdivision; Thence South $87^{\circ}08'17''$ East along the North line of said Outlot 5, 312.66 feet to the point of beginning of this description.

Said Parcel contains 69,253 square feet or 1.5898 acres of land, more or less.

Exhibit B

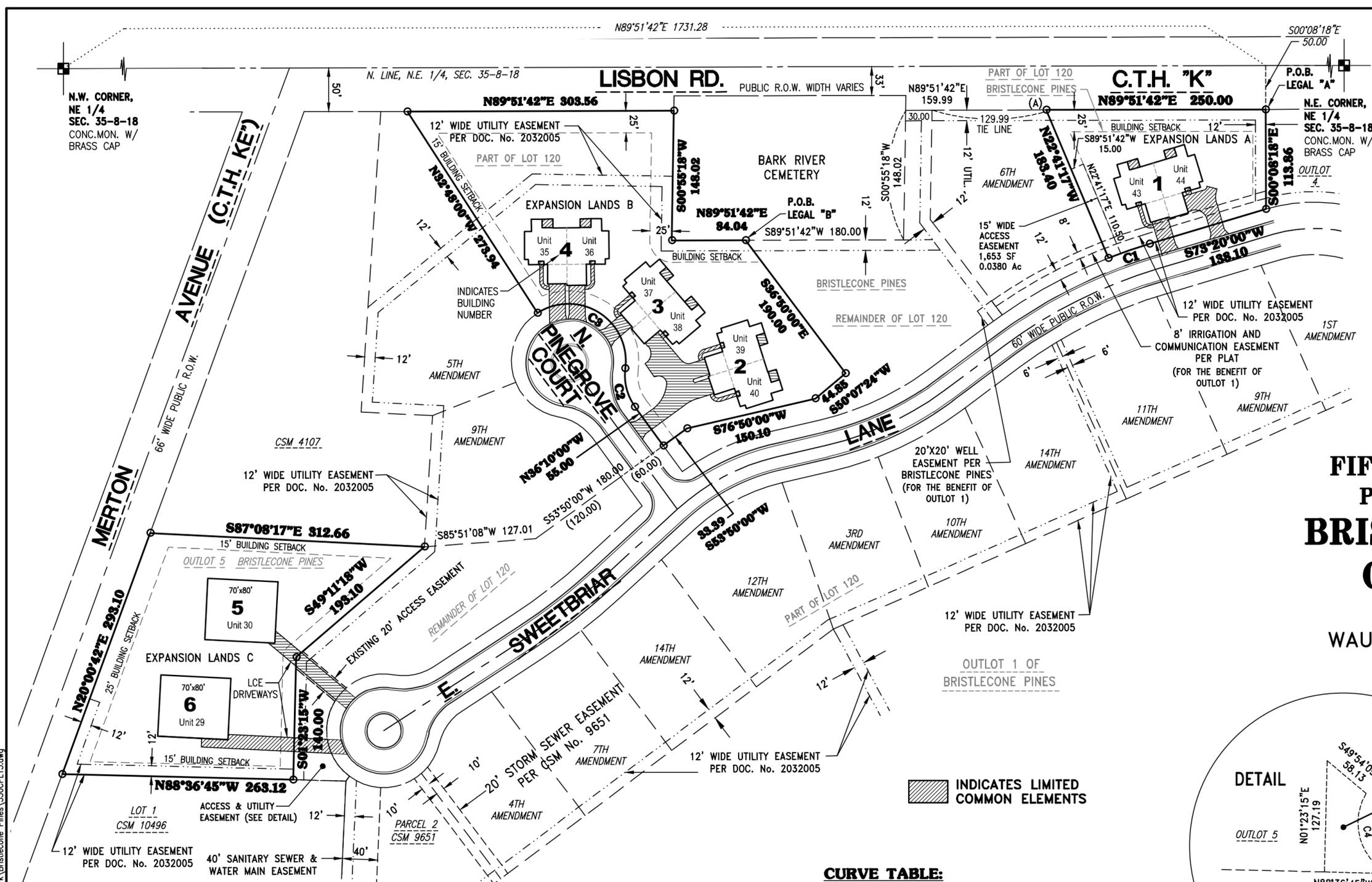


4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



FIFTEENTH AMENDMENT PLAT OF CONDOMINIUM **BRISTLECONE PINES** CONDOMINIUM VILLAGE OF HARTLAND WAUKESHA COUNTY, WISCONSIN

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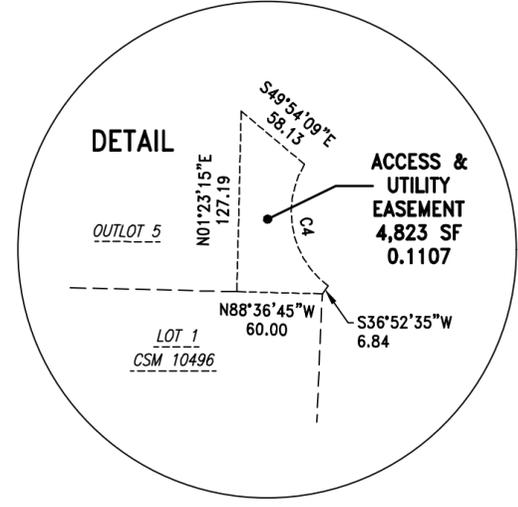


NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE N.E. 1/4 OF SECTION 35, TOWN 8 NORTH, RANGE 18 EAST, BEARS N89°51'42"E.
- ALL PORTIONS OF THE PROPERTY THAT ARE NOT SPECIFIED AS LIMITED COMMON ELEMENTS OR AS A UNIT SHALL BE CONSIDERED A COMMON ELEMENT.

CURVE TABLE:

NO.	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	590.00	4°51'21"	50.00	49.99	S70°54'19.5"W	S73°20'00"W	S68°28'39"W
C2	60.50	43°51'12"	46.31	45.18	N14°14'24"W	S07°41'12"W	S36°10'00"E
C3	65.00	130°29'12"	148.03	118.05	N57°33'24"W	N07°41'12"E	S57°12'00"W
C4	65.00	84°20'16"	95.68	87.27	S10°55'17"E	S31°14'51"W	S53°05'25"E



FIFTEENTH AMENDMENT PLAT OF CONDOMINIUM BRISTLECONE PINES CONDOMINIUM

VILLAGE OF HARTLAND
WAUKESHA COUNTY, WISCONSIN

BUILDINGS 1, 2, 3 & 4 FOUNDATION PLAN

SCALE: 1" = 20'

LEGAL DESCRIPTION A: (EXPANSION LANDS)

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest corner of said Northeast 1/4 Section; Thence North 89°51'42" East along the North line of said Northeast 1/4 Section, 1731.28 feet to a point; Thence South 00°08'18" East, 50.00 feet to a point on the South Right-of-Way line of "Lisbon Road" (C.T.H. "K") and the place of beginning of lands hereinafter described;

Thence continuing South 00°08'18" East, 113.86 feet to a point on the North Right-of-Way line of "East Sweetbriar Lane"; Thence South 73°20'00" West along said North Right-of-Way line, 138.10 feet to a point; Thence Southwesterly 50.00 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 590.00 feet, whose central angle is 04°51'21" and whose chord bears South 70°54'19.5" West, 49.99 feet to a point; Thence North 22°41'17" West, 183.40 feet to a point known as Point (A) on the South Right-of-Way line of said "Lisbon Road" (C.T.H. "K"); Thence North 89°51'42" East along said South Right-of-Way line, 250.00 feet to the point of beginning of this description.

Said Parcel contains 31,237 square feet or 0.7171 acres of land, more or less.

LEGAL DESCRIPTION B: (EXPANSION LANDS)

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at said Point (A); Thence South 89°51'42" West along a tie line and the said South Right-of-Way line of "Lisbon Road" (C.T.H. "K"), 159.99 feet to a point; Thence South 00°55'18" West along the East line of Bark River Cemetery, 148.02 feet to a point; Thence South 89°51'42" West along the South line of said Bark River Cemetery, 180.00 feet to the point of beginning of this description;

Thence South 36°50'00" East, 190.00 feet to a point; Thence South 50°07'24" West, 44.85 feet; Thence South 76°50'00" West, 150.10 feet to a point; Thence South 53°50'00" West, 33.39 feet to a point on the East Right-of-Way line of "North Pinegrove Court"; Thence North 36°10'00" West along said East Right-of-Way line, 55.00 feet to a point; Thence Northwesterly 46.31 feet along said East Right-of-Way line and the arc of a curve, whose center lies to the Northeast, whose radius is 60.50 feet, whose central angle is 43°51'12" and whose chord bears North 14°14'24" West, 45.18 feet to a point of reverse curve; Thence Northwesterly 148.03 feet along said East Right-of-Way line and the arc of a curve, whose center lies to the Southwest, whose radius is 65.00 feet, whose central angle is 130°29'12" and whose chord bears North 57°33'24" West, 118.05 feet to a point; Thence North 32°48'00" West along "Bristlecone Pines Condominium 5th Amendment", 273.94 feet to a point on the South Right-of-Way line of "Lisbon Road" (C.T.H. "K"); Thence North 89°51'42" East along said South Right-of-Way line, 303.56 feet to a point on the West line of the Bark River Cemetery; Thence South 00°55'18" West along said West line, 148.02 feet to a point; Thence North 89°51'42" East along the South line of said Bark River Cemetery, 84.04 feet to the point of beginning of this description.

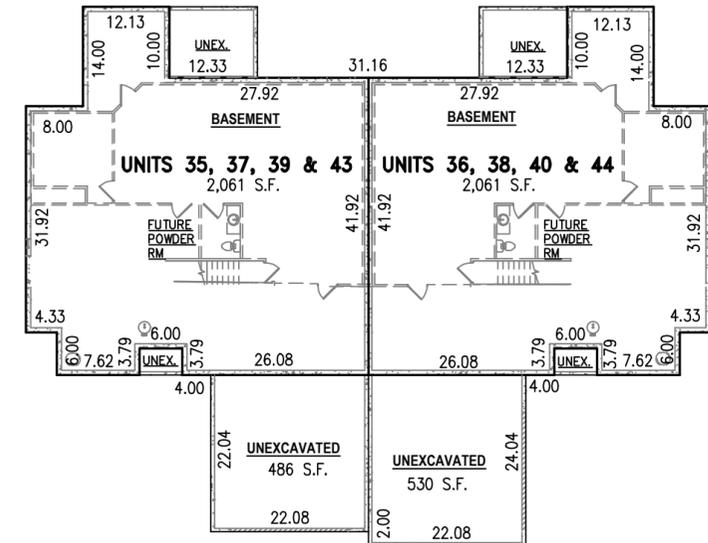
Said Parcel contains 89,030 square feet or 2.0439 acres of land, more or less.

LEGAL DESCRIPTION C: (EXPANSION LANDS)

All of Outlot 5 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin.

Said Parcel contains 69,253 square feet or 1.5898 acres of land, more or less.

- NOTES:**
- ALL AREAS NOT SPECIFIED AS LIMITED COMMON ELEMENTS OR AS A UNIT SHALL BE CONSIDERED A COMMON ELEMENT.
 - LENGTH OF LIMITED COMMON ELEMENT FROM GARAGE TO CURB VARIES AND IS INTENDED TO COVER THAT ENTIRE PORTION OF THE DRIVEWAY BETWEEN THE CURB AND THE GARAGE.
 - BUILDINGS AND IMPROVEMENTS SHOWN ON THIS EXHIBIT REPRESENT PROPOSED CONSTRUCTION. SQUARE FOOT AREAS ARE APPROXIMATE, TAKEN FROM ARCHITECTURAL PLANS OF RECORD AND NOT MEASURED AS-BUILT, AND DO NOT INCLUDE POSSIBLE CHANGES REQUESTED BY PURCHASER.



**4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1490
Fax: (262) 790-1481**

SURVEYOR'S CERTIFICATE:

I, DEBORAH L. JOERS, do hereby certify that I have surveyed the above described property and this survey is an accurate representation of the exterior boundary lines and the location of the buildings and improvements constructed or to be constructed upon the property.

This Condominium Plat is a correct representation of "FIFTEENTH AMENDMENT of BRISTLECONE PINES CONDOMINIUM" Condominium, and the identification and location of each unit and the common elements of the Condominium can be determined from this Plat. The common elements are defined to be all of the condominium property except the individual units described in the Plat and the Declaration.

The survey makes no certification as to the accuracy of the interior line dimensions set forth on the diagrammatic floor plans of condominium buildings and units contained herein.

Dated this 27th day of APRIL, 2020.



Deborah L. Joers, P.L.S.
Professional Land Surveyor S-2132

DATE: 4/30/20

PAGE 2 OF 2

EXHIBIT C



FRONT ELEVATION- FARMHOUSE

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-0.10	General Notes
A-1.00	FOUNDATION PLAN - FARMHOUSE - ELEVATION-1
A-2.00	FIRST FLOOR PLAN - FARMHOUSE - ELEVATION-1
A-2.10	FIRST FLOOR OPTIONS
A-3.00	ROOF PLANS - FARMHOUSE - ELEVATION-1
A-4.00	ELEVATIONS - FARMHOUSE - ELEVATION-1
E-1.00	FOUNDATION ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1
E-2.00	FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

LEFT UNIT AREAS	
Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	484 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2557 SF

RIGHT UNIT AREAS	
Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	528 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2601 SF



FIRST FLOOR PLAN

REVISION LOG			
REVISION #	DATE	DESCRIPTION	BY
1	03/05/2020	MASTER CREATION	AG
2	04/17/2020	ADDED WINDOW TO LEFT GARAGE	AG



BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

COVER

DATE 04/17/2020 DRAWN BY Author

JOB NUMBER
Project Number

SHEET NUMBER

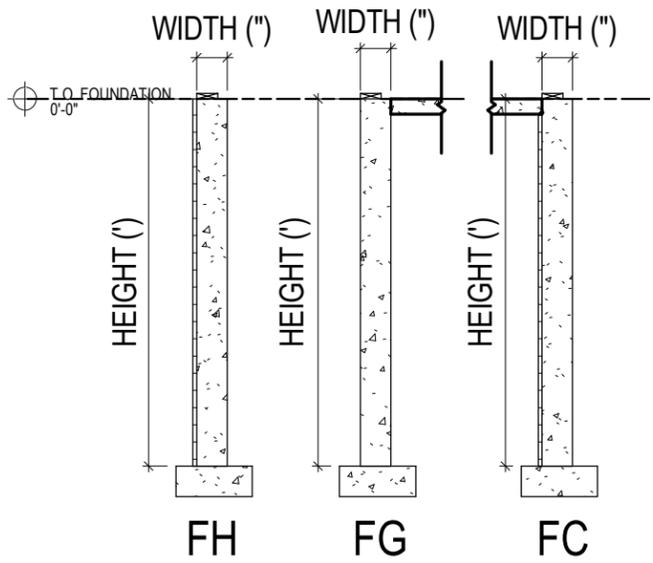
A-0.00

FOUNDATION PLAN NOTES
MAIN HOUSE CONCRETE WALLS: FH-8-8 UNLESS OTHERWISE NOTED
FURNACE TO BE MINIMUM 95% EFFICIENT
WATER HEATER IS POWER VENTED PER SPECIFICATION
POURED CONCRETE IS TO BE 3000 PSI
ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD OR FACE OF CONCRETE
3PC BATH ROUGH-IN TO INCLUDE WASTE & VENT TO RUN TO GENERAL VICINITY - FRAMING & FIXTURES NOT INCLUDED

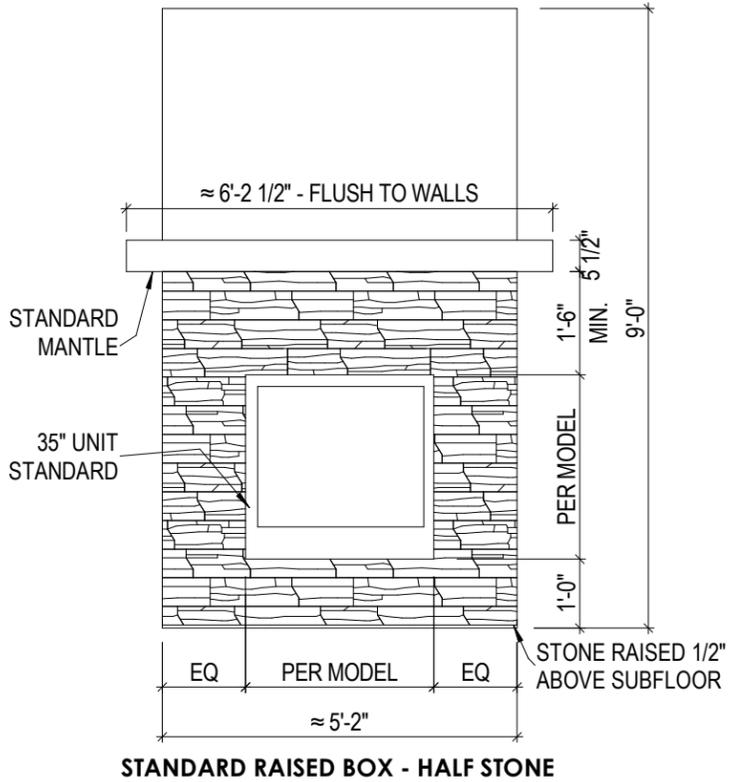
FIRST FLOOR PLAN NOTES
ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
EXTERIOR HOUSE WALLS ARE 2x6 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
INTERIOR HOUSE WALLS ARE 2x4 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
GARAGE WALLS ARE 2x4 STUD GRADE OR BETTER AT 16" O.C.
CEILING HEIGHT AT FIRST FLOOR IS 9'-0" UNLESS OTHERWISE NOTED
WINDOW HEADER HEIGHT AT FIRST FLOOR IS 6'-11 3/8" FROM TOP OF FLOOR UNLESS OTHERWISE NOTED

ROOF PLAN NOTES
ROOF TO BE COMPOSED OF PRE - ENGINEERED TRUSSES @ 24" O.C.
ALL TRUSS CLIPS AND HANGERS TO BE SUPPLIED BY TRUSS MANUFACTURER AND TO MEET OR EXCEED REQUIREMENTS OF THE WISCONSIN UNIFORM BUILDING CODE

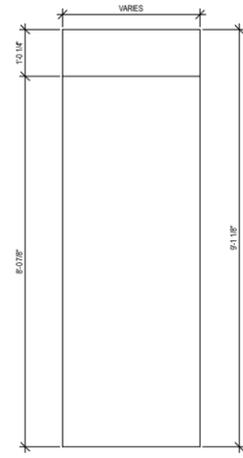
SCHEDULE S1
SIDING TYPE: HARDBOARD SIDING
SOFFIT TYPE: HARDBOARD SOFFIT
FASCIA TYPE: ALUMN. FASCIA
EXTERIOR CORNERS: 5/4"x6"
WINDOW WRAPS: 5/4"x
ATTIC INSULATION: R38
SHINGLES: DIMENSIONAL
EXTERIOR WALL INSULATION: R-19 BATT
EXTERIOR WALL SHEATHING - SEE PLAN & DETAIL FOR MORE INFORMATION: 7/16"



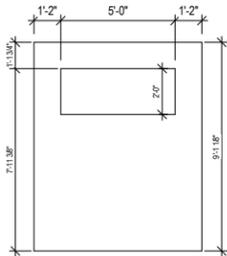
ROOM / FLOORING SCHEDULE		
Room	Floor Finish	Area
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
OWNER'S SUITE	CARPET	228 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S SUITE	CARPET	228 SF
CARPET		2014 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
PANTRY	LVP	27 SF
PANTRY	LVP	27 SF
LVP		1023 SF
HALL BATH	LVT	43 SF
HALL BATH	LVT	43 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
LVT		496 SF



FIREPLACE DETAIL



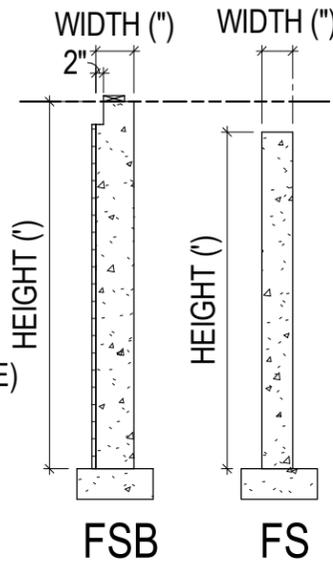
DRYWALL OPENING DETAIL (TYP.)



5020 DRYWALL OPENING

WALL TYPE WIDTH (") HEIGHT (")
FH - 8 - 12

- WALL TYPES**
 FH = HOUSE
 FC = COMMON (HOUSE/GARAGE)
 FSB = STOOP W/ BRICKLEDGE
 FS = STOOP
 FG = GARAGE



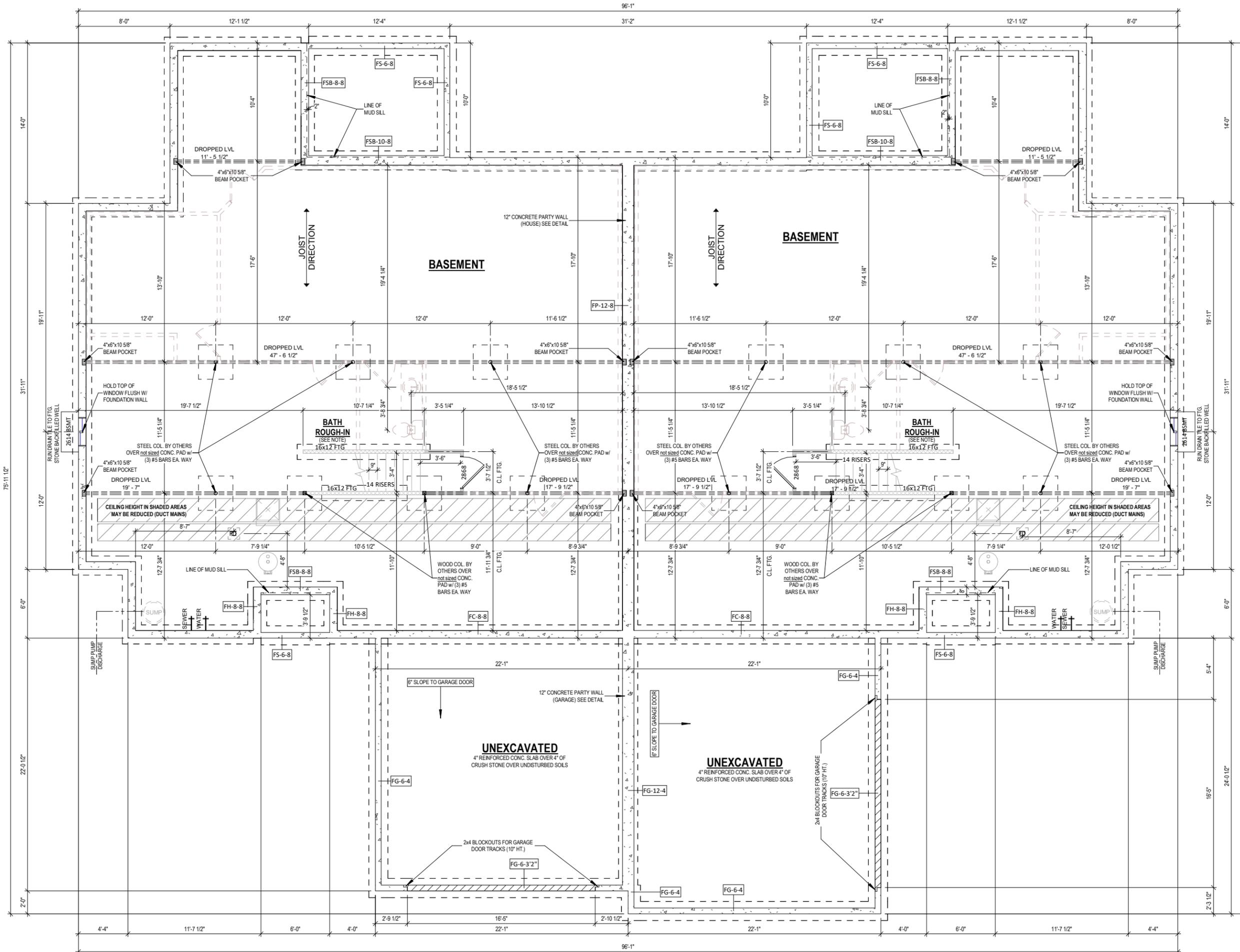
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

General Notes

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.10	



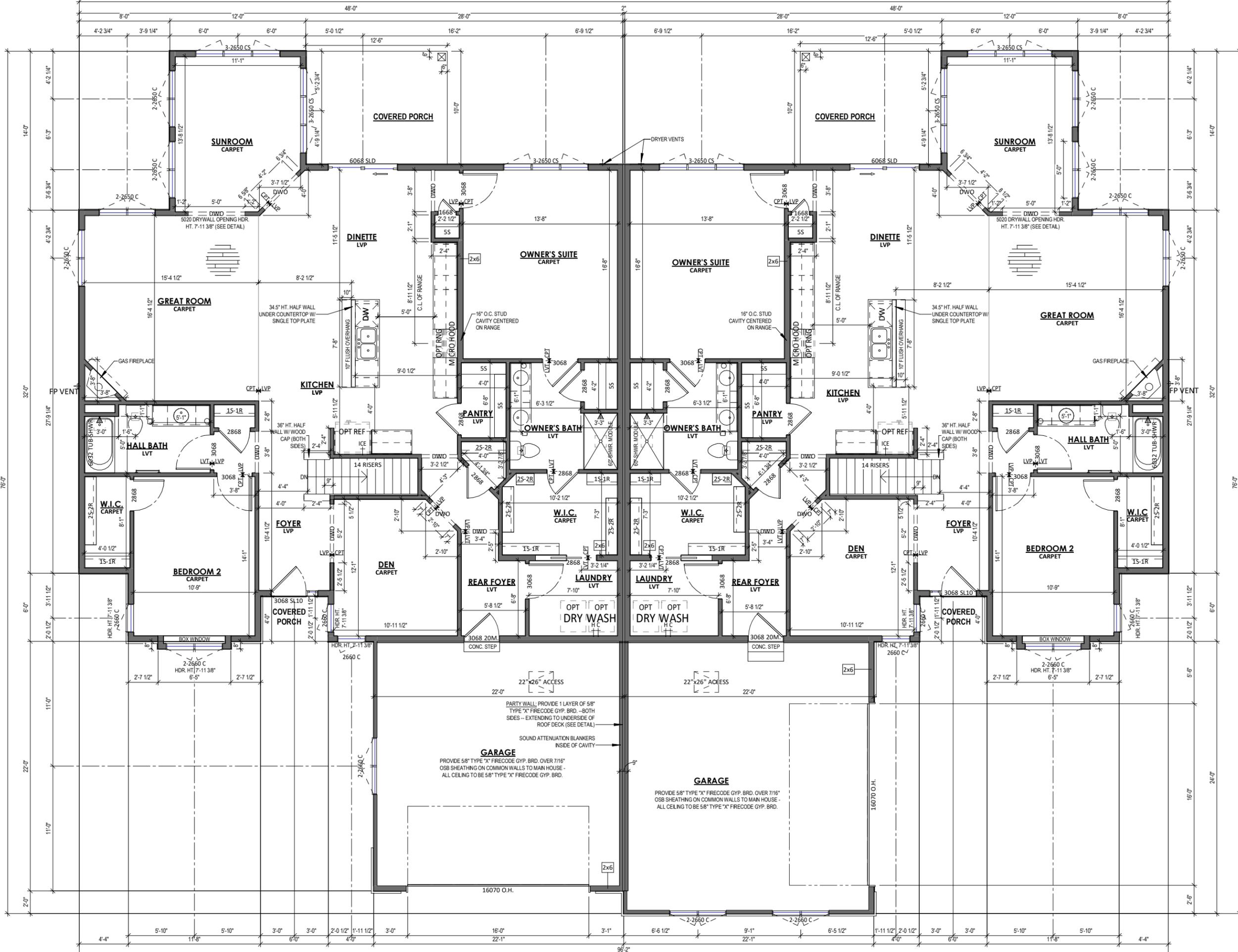
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME
FOUNDATION PLAN - FARMHOUSE - ELEVATION-1

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-1.00	

1 FOUNDATION PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



1 FIRST FLOOR PLAN
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

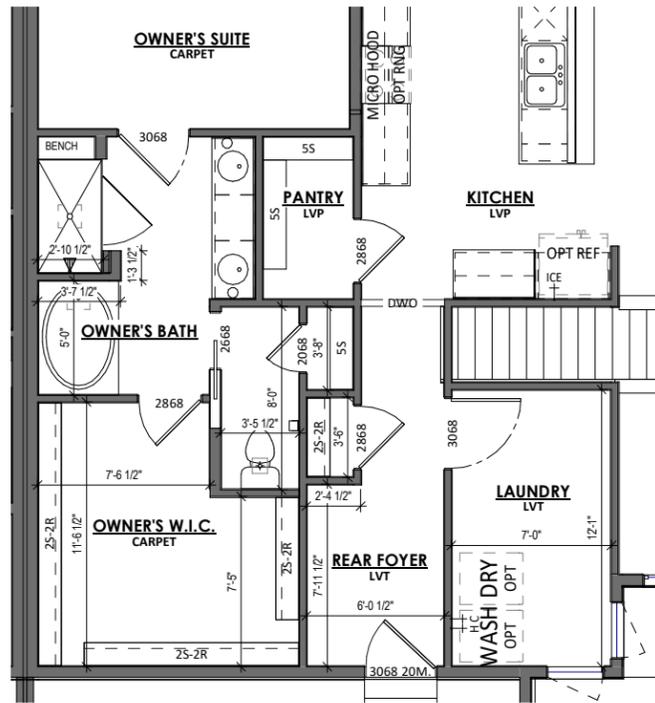


BRISTLECONE

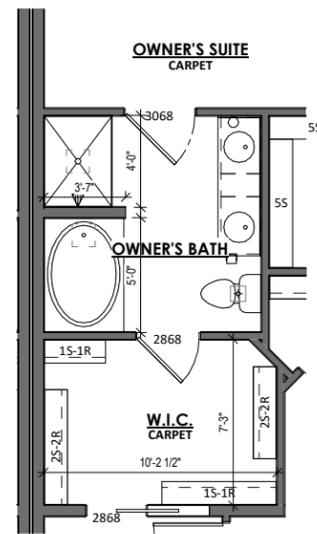
CLIENT NAME
 PROJECT ADDRESS

SHEET NAME
**FIRST FLOOR PLAN -
 FARMHOUSE -
 ELEVATION-1**

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-2.00	



1 OPT. DELUXE OWNER'S SUITE
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



2 OPT. LUXURY OWNER'S BATH
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

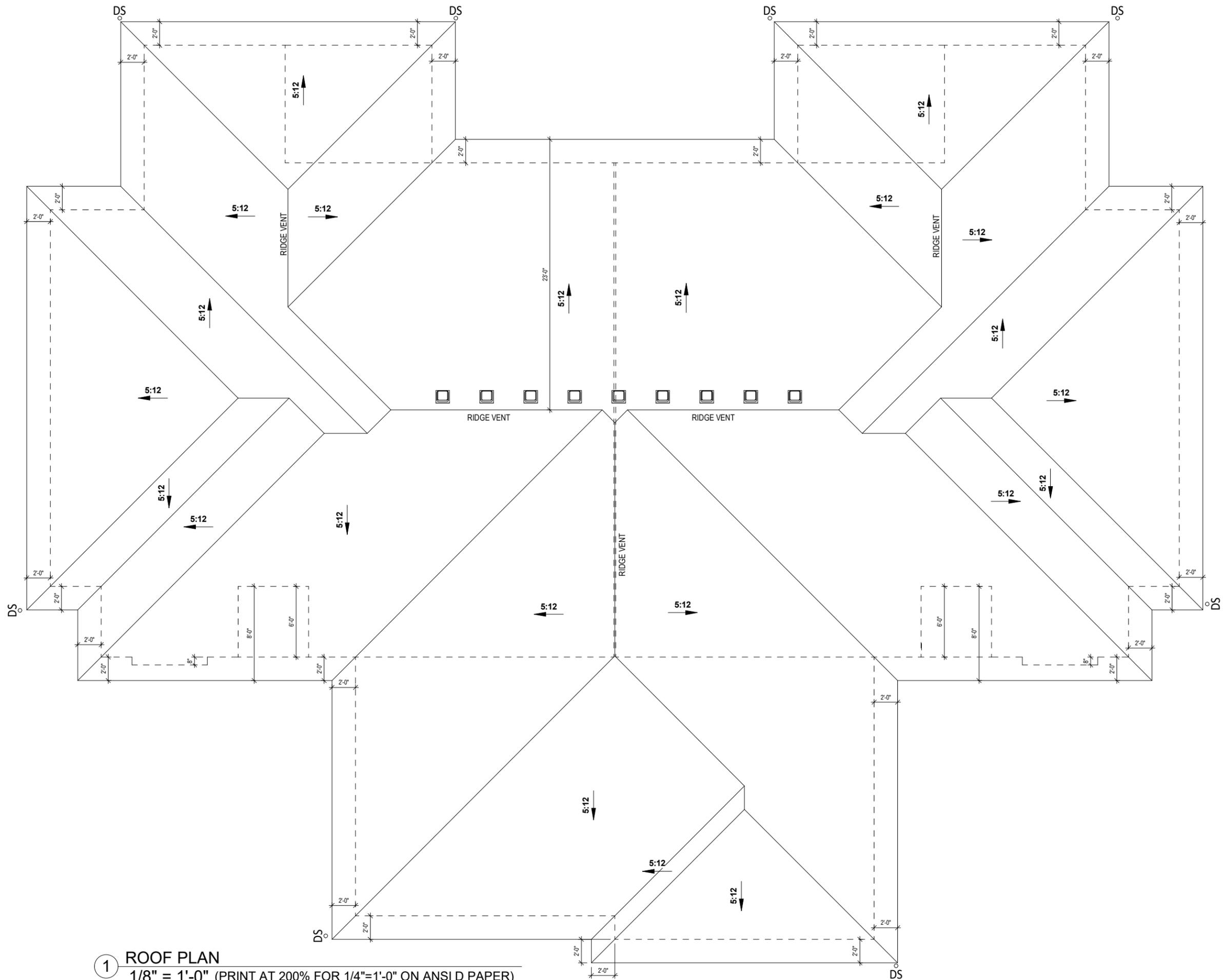
SHEET NAME

**FIRST FLOOR
 OPTIONS**

DATE 04/17/2020 DRAWN BY Author

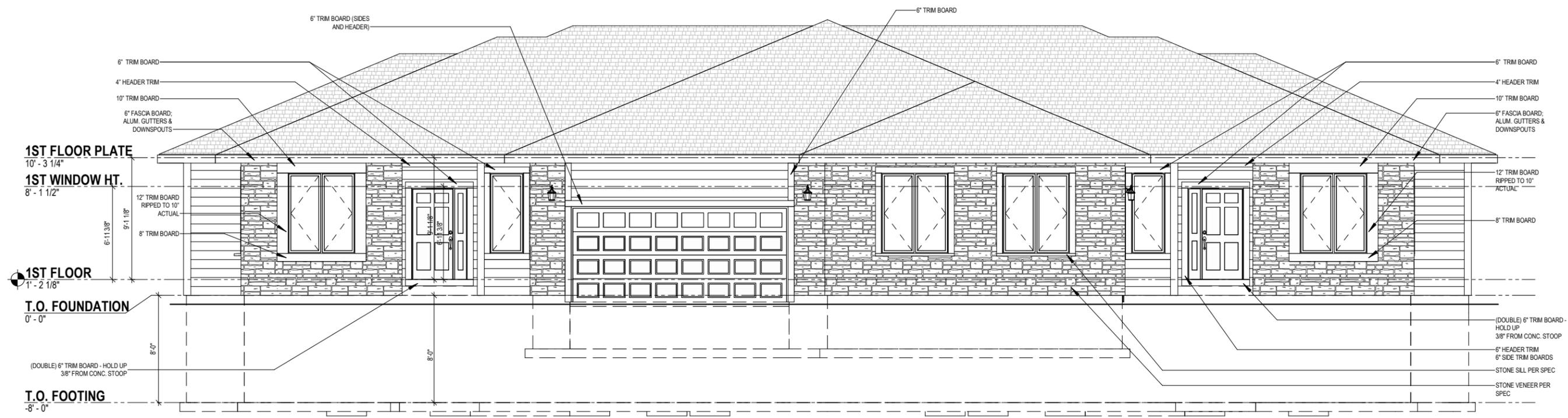
JOB NUMBER
 Project Number

SHEET NUMBER
A-2.10



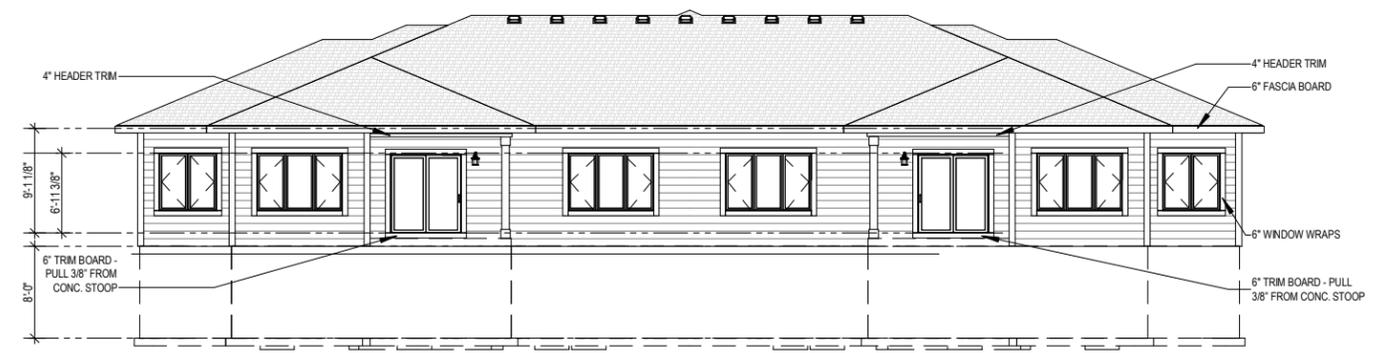
1 ROOF PLAN
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

	
BRISTLECONE	CLIENT NAME PROJECT ADDRESS
ROOF PLANS - FARMHOUSE - ELEVATION-1	
SHEET NAME	DATE 04/17/2020
JOB NUMBER Project Number	
SHEET NUMBER A-3.00	
DRAWN BY Author	



FRONT VIEW - FARMHOUSE - ELEVATION 1

① $1/8" = 1'-0"$ (PRINT AT 200% FOR $1/4"=1'-0"$ ON ANSI D PAPER)



REAR VIEW - ELEVATION 1

③ $1/16" = 1'-0"$



LEFT VIEW - ELEVATION 1

② $1/16" = 1'-0"$



RIGHT VIEW - ELEVATION 1

④ $1/16" = 1'-0"$

BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

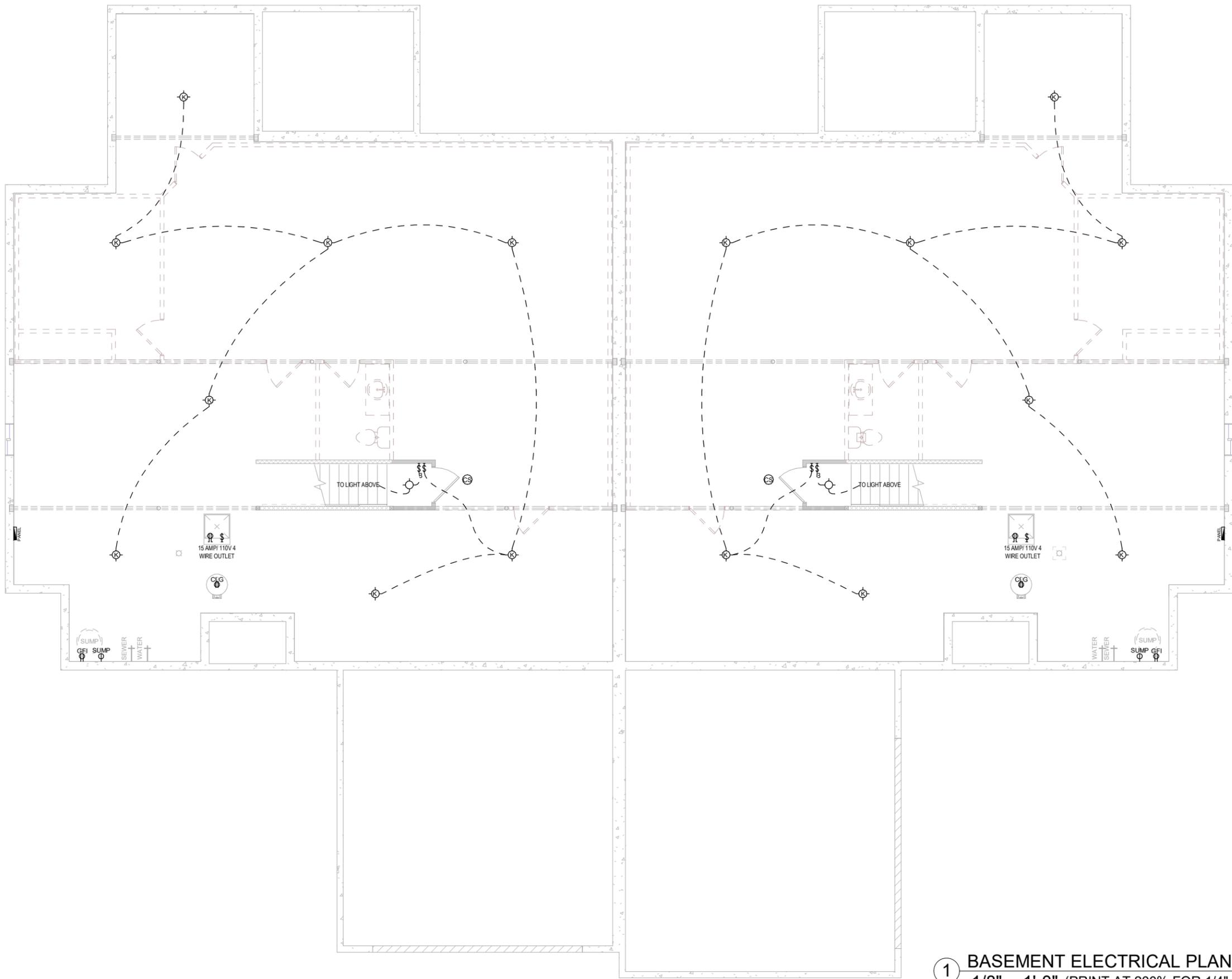
ELEVATIONS - FARMHOUSE - ELEVATION-1

DATE
04/17/2020

DRAWN BY
Author

JOB NUMBER
Project Number

SHEET NUMBER
A-4.00



ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		DOOR BELL BUTTON
	3-WAY SWITCH		DOOR BELL CHIME
	4-WAY SWITCH		GARAGE KEYPAD
	DIMMER SWITCH		GARAGE DOOR OPENER
	UNDERCABINET SWITCH		WEATHERPROOF OUTLET
	220 VOLT OUTLET		CEILING OUTLET
	DUPLEX OUTLET		SWITCHED FLOOR OUTLET
	GROUND FAULT OUTLET		SWITCHED DUPLEX OUTLET
	SINGLE SUMP OUTLET		QUAD OUTLET
	SMOKE DETECTOR		CARBON MONOXIDE & SMOKE DETECTOR COMBO
	THERMOSTAT		NETWORK OUTLET
	TELEVISION OUTLET		TELEPHONE OUTLET
	ELECTRICAL SERVICE PANEL		GARBAGE DISPOSAL
	WALL MOUNT LIGHT		SINGLE SCONCE
	FLOOD LIGHT		VANITY LIGHT
	CLOSET CASTER LIGHT		STAR LIGHT
	BATH FAN & LIGHT COMBO		BATH FAN
	PULL CHAIN LIGHT		UNDER CABINET LIGHT
	FLUSH MOUNT LIGHT		KEYLESS LIGHT
	HANGING PENDANT LIGHT		HANGING LIGHT
	RECESSED CAN LIGHT		MINIATURE PUCK LIGHT
	WEATHERPROOF RECESSED CAN LIGHT		RECESSED EYEBALL LIGHT
	CEILING FAN		CEILING FAN ROUGH
	LIGHTED CEILING FAN		LOF ROUGH LIGHT & FAN ROUGH



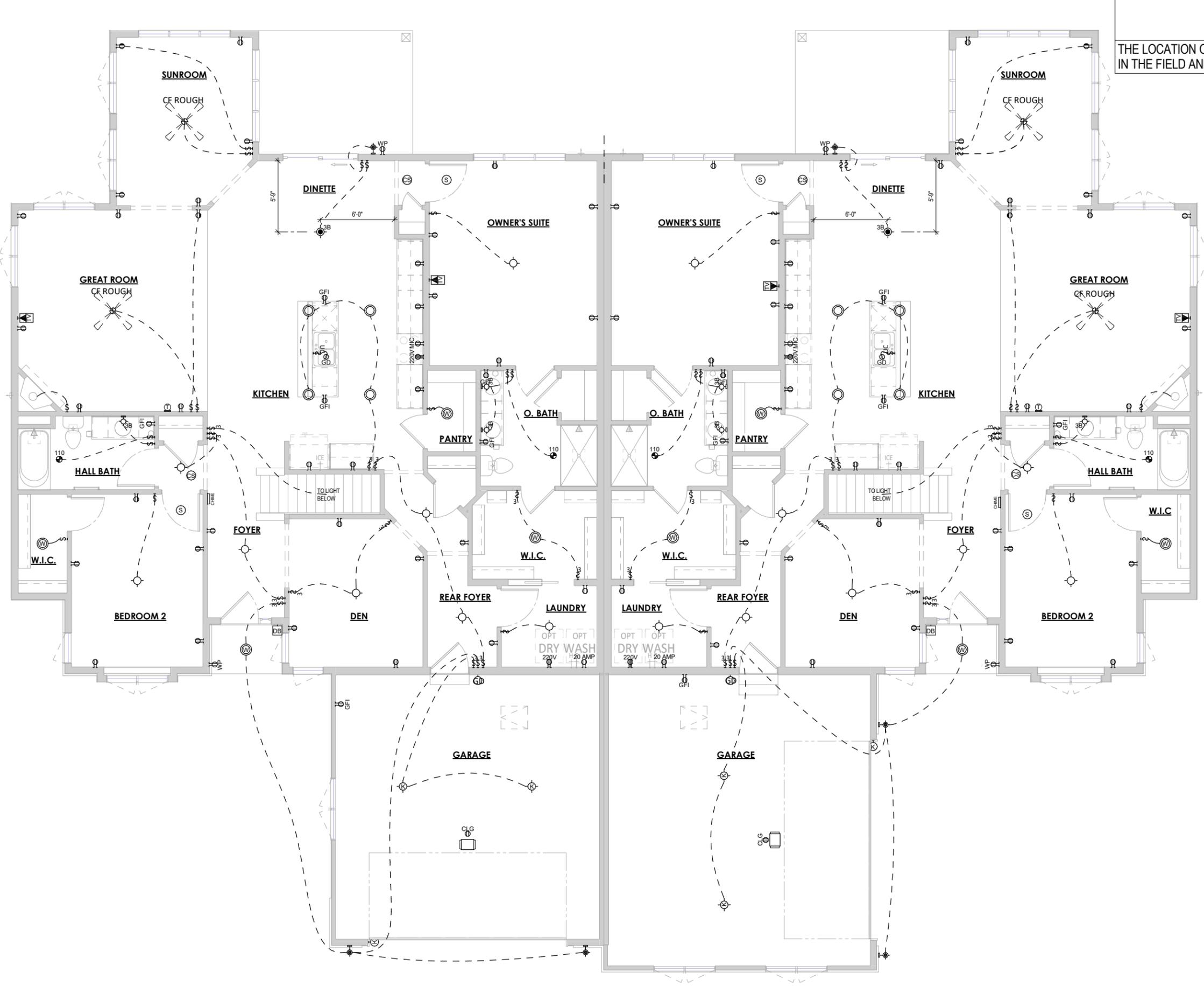
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

**FOUNDATION
ELECTRICAL
PLAN -
FARMHOUSE -
ELEVATION-1**

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-1.00	

1 BASEMENT ELECTRICAL PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



ELECTRICAL PLAN NOTES
 THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE

ELECTRICAL LEGEND			
⊞	SINGLE POLE SWITCH	DB	DOOR BELL BUTTON
⊞	3-WAY SWITCH	CHIME	DOOR BELL CHIME
⊞	4-WAY SWITCH	⊞	GARAGE KEYPAD
⊞	DIMMER SWITCH	⊞	GARAGE DOOR OPENER
UC	UNDERCABINET SWITCH	WP	WEATHERPROOF OUTLET
220V	220 VOLT OUTLET	⊞	CEILING OUTLET
⊞	DUPLEX OUTLET	⊞	SWITCHED FLOOR OUTLET
GFI	GROUND FAULT OUTLET	⊞	SWITCHED DUPLEX OUTLET
SUMP	SINGLE SUMP OUTLET	⊞	QUAD OUTLET
⊞	SMOKE DETECTOR	⊞	CARBON MONOXIDE & SMOKE DETECTOR COMBO
⊞	THERMOSTAT	⊞	NETWORK OUTLET
⊞	TELEVISION OUTLET	⊞	TELEPHONE OUTLET
PANEL	ELECTRICAL SERVICE PANEL	GD	GARBAGE DISPOSAL
⊞	WALL MOUNT LIGHT	⊞	SINGLE SCONCE
⊞	FLOOD LIGHT	⊞	VANITY LIGHT
⊞	CLOSET CASTER LIGHT	⊞	STAIR LIGHT
110	BATH FAN & LIGHT COMBO	110	BATH FAN
⊞	PULL CHAIN LIGHT	UC	UNDER CABINET LIGHT
⊞	FLUSH MOUNT LIGHT	⊞	KEYLESS LIGHT
⊞	HANGING PENDANT LIGHT	⊞	HANGING LIGHT
⊞	RECESSED CAN LIGHT	⊞	MINIATURE PUCK LIGHT
⊞	WEATHERPROOF RECESSED CAN LIGHT	⊞	RECESSED EYEBALL LIGHT
⊞	CEILING FAN	⊞	CEILING FAN ROUGH
⊞	LIGHTED CEILING FAN	⊞	LCF ROUGH LIGHT & FAN ROUGH



BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-2.00	

1 **FIRST FLOOR ELECTRICAL PLAN**
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

EXHIBIT "D"

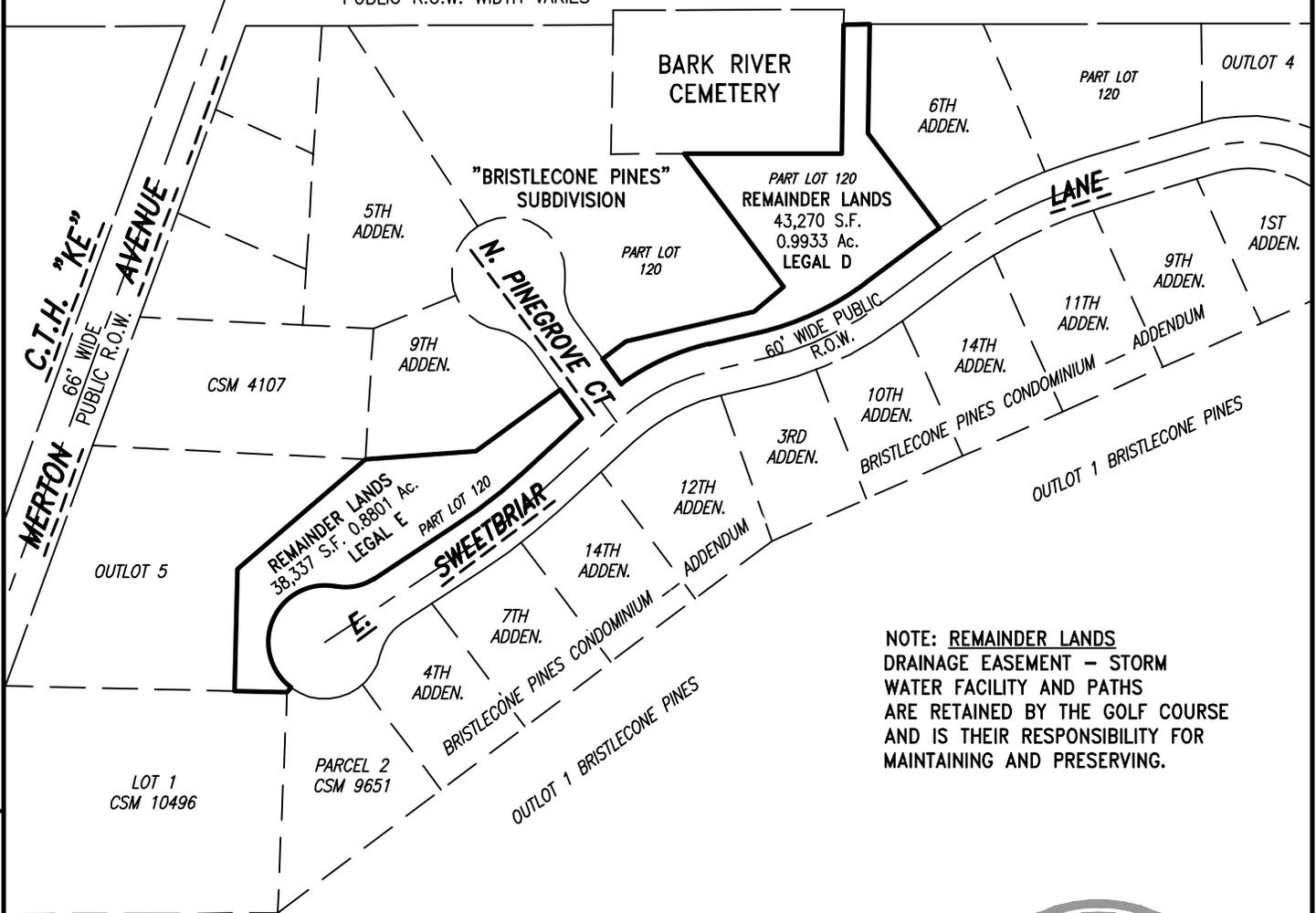
REMAINDER LANDS

(TO BE RETAINED BY GOLF COURSE)

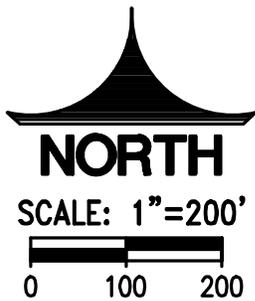
LISBON ROAD (C.T.H. "K")

N. LINE, N.E. 1/4, SEC. 35-8-18

PUBLIC R.O.W. WIDTH VARIES



NOTE: REMAINDER LANDS
DRAINAGE EASEMENT - STORM
WATER FACILITY AND PATHS
ARE RETAINED BY THE GOLF COURSE
AND IS THEIR RESPONSIBILITY FOR
MAINTAINING AND PRESERVING.



4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

EXHIBIT "D" CONTINUED

REMAINDER LANDS

Legal Description D:

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at said Point (A); Thence South $89^{\circ}51'42''$ West along a tie line and the said South Right-of-Way line of "Lisbon Road" (C.T.H. "K"), 129.99 feet to the place of beginning of lands hereinafter described;

Thence South $00^{\circ}55'18''$ West along the West line of "Bristlecone Pines Condominium 6th Amendment", 124.76 feet to a point; Thence South $36^{\circ}50'00''$ East continuing along said West line, 136.28 feet to a point on the North Right-of-Way line of "East Sweetbriar Lane"; Thence Southwesterly 20.00 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 590.00 feet, whose central angle is $01^{\circ}56'33''$ and whose chord bears South $54^{\circ}08'17''$ West, 20.00 feet to a point; Thence South $53^{\circ}10'00''$ West along said North Right-of-Way line, 84.99 feet to a point; Thence Southwesterly 136.31 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Northwest, whose radius is 330.00 feet, whose central angle is $23^{\circ}40'00''$ and whose chord bears South $65^{\circ}00'00''$ West, 135.34 feet to a point; Thence South $76^{\circ}50'00''$ West along said North Right-of-Way line, 58.75 feet to a point; Thence Southwesterly 110.70 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 280.00 feet, whose central angle is $22^{\circ}39'08''$ and whose chord bears South $65^{\circ}30'26''$ West, 109.98 feet to a point on the East Right-of-Way line of "North Pinegrove Court"; Thence North $36^{\circ}10'00''$ West along said East Right-of-Way line, 36.45 feet to a point known as Point (B); Thence North $53^{\circ}50'00''$ East, 33.39 feet to a point; Thence North $76^{\circ}50'00''$ East, 150.10 feet to a point; Thence North $50^{\circ}07'24''$ East, 44.85 feet to a point; Thence North $36^{\circ}50'00''$ West, 190.00 feet to a point on the South line of Park River Cemetery; Thence North $89^{\circ}51'42''$ East along said South line, 180.00 feet to the Southeast corner of Park River Cemetery; Thence North $00^{\circ}55'18''$ East along the East line of Park River Cemetery, 148.02 feet to the South Right-of-Way line of "Lisbon Road" (C.T.H. "K"); Thence North $89^{\circ}51'42''$ East along said South Right-of-Way line, 30.00 feet to the point of beginning of this description.

Said Parcel contains 43,270 square feet or 0.9933 acres of land, more or less.

Legal Description E:

All that part of Lot 120 of "BRISTLECONE PINES", being a subdivision of part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast 1/4, Northwest 1/4 and Southeast 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southeast 1/4 of Section 35, the Northeast 1/4, Northwest 1/4, Southwest 1/4 and Southeast 1/4 of the Northwest 1/4, and the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 36, Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at said Point (B); Thence South 53°50'00" West along a tie line, 60.00 feet to the West Right-of-Way line of "North Pinegrove Court" and the point of beginning of this description;

Thence South 36°10'00" East, 41.28 feet to a point on the North Right-of-Way line of "East Sweetbriar Lane"; Thence South 47°20'00" West along said North Right-of-Way line, 92.60 feet to a point; Thence Southwesterly 100.08 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Northwest, whose radius is 610.00 feet, whose central angle is 09°24'00" and whose chord bears South 52°02'00" West, 99.96 feet to a point; Thence South 56°44'00" West along said North Right-of-Way line, 109.05 feet to a point; Thence Southwesterly 46.31 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Northeast, whose radius is 60.50 feet, whose central angle is 43°51'12" and whose chord bears South 78°39'36" West, 45.18 feet to a point of reverse curve; Thence Southwesterly 174.34 feet along said North Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 65.00 feet, whose central angle is 153°40'37" and whose chord bears South 23°44'53.5" West, 126.59 feet to the Northwesterly corner of Parcel 2 of Certified Survey Map No. 9651; Thence South 36°54'35" West along the Northwesterly line of said Parcel 2, 6.84 feet to the Northeast corner of Lot 1 of Certified Survey Map No. 10496; Thence North 88°36'45" West along the North line of said Lot 1, 60.00 feet to the Southeast corner of Outlot 5 of "Bristlecone Pines" subdivision; Thence North 01°23'15" East along the East line of said Outlot 5, 140.00 feet to a point; Thence North 49°11'18" East continuing along said East line, 193.10 feet to a point; Thence North 85°51'08" East along the South line of "Bristlecone Pines Condominium 9th Amendment", 127.01 feet to a point; Thence North 53°50'00" East continuing along said South line, 120.00 feet to the point of beginning of this description.

Said Parcel contains 38,337 square feet or 0.8801 acres of land, more or less.

**SEVENTEENTH AMENDMENT
TO THE
DECLARATION OF
COVENANTS, CONDITIONS,
AND RESTRICTIONS OF
BRISTLECONE PINES**

Document Number

Document Title

This Seventeenth Amendment to the Declaration of Covenants, Conditions, and Restrictions of Bristlecone Pines Hartland, Wisconsin (the "Seventeenth Amendment") is made this 30th day of July, 2020, by The Legend at Bristlecone Pines, LLC ("Golf Course Owner"), a Wisconsin limited liability company.

Recording Area

RECITALS

A. Bristlecone Pines Community Association, Inc. (the "Association") recorded a Declaration of Covenants, Conditions, and Restrictions of Bristlecone Pines in the Office of the Register of Deeds for Waukesha County, Wisconsin, on April 5, 1995, as Document No. 203144 (the "Declaration"), which subjected certain property in the Village of Hartland, Wisconsin, legally described on Exhibit A (the "Property") to certain easements, rights, restrictions, and obligations with respect to the ownership, use and maintenance of such property. Terms not otherwise defined herein shall have the meanings ascribed thereto in the Declaration.

Name and Return Address:
BRISTLECONE, LLC
c/o Neumann Developments
N27 W24025 Paul Court,
Suite 100,
Pewaukee, WI 53072

PIN:

B. Article 10.1 of the Declaration provides, in pertinent part, that an amendment to the Declaration relating to the use of Outlot 5 "shall require only the written consent of the Golf Course Owner and the Village of Hartland, and shall not require the consent of any other Owner."

C. In connection with the conveyance of Outlot 5 by the Golf Course Owner to Bristlecone, LLC (the "Outlot Owner"), the Golf Course Owner and The Village wish to amend the Declaration concerning the use of Outlot 5.

Amendments

NOW THEREFORE, in consideration of the foregoing Recitals, the Golf Course Owner, pursuant to Article 10.2 of the Declaration hereby amends the Declaration as follows:

1. Section 5.1.e of the Declaration shall be stricken in its entirety.
2. Section 8.7 of the Declaration is hereby restated to read as follows:
Ownership of Golf Course. The Ownership of the Golf Course and Outlot 4 shall not be different.
3. Section 14.1 of the Declaration shall remove Outlot 5 from the exception from Right of Entry. Outlot 5 shall be subject to the same rights of entry reserved to the Association and the Village of Hartland as each other Unit, Lot or Outlot as described in Section 14.1 of the Declaration.
4. Section 14.7 of the Declaration shall be stricken in its entirety.

Except as expressly modified by this Seventeenth Amendment, all other terms of the Declarations shall remain in full force and effect and binding upon the parties hereto. In the event of any conflict or inconsistency between the terms and conditions of this Seventeenth Amendment and the Declarations, the terms and conditions of this Seventeenth Amendment shall control and govern. In all other respects, the terms and conditions of the Declarations are hereby ratified in their entirety and shall remain in full force and effect according to its terms.

Dated as of the date first written above.

Golf Course Owner:

Legend at Bristlecone Pines, LLC

By: _____

Name/Title: Jack Gaudion, President of Legend at Bristlecone Pines, LLC

Village of Hartland:

By: _____
Jeffrey Pfannerstill, Village President

Attest: _____
Darlene Igl, Village Clerk

ACKNOWLEDGMENT

STATE OF WISCONSIN,)
) ss.
WAUKESHA COUNTY)

Personally came before me this ____ day of _____, 2020, the above named Jack Gaudion, President of Legend at Bristlecone Pines, LLC. to me known to be the person who executed the foregoing instrument and acknowledge the same.

Name: _____
Notary Public, State of Wisconsin
My commission Expires: _____

STATE OF WISCONSIN,)
) ss.
WAUKESHA COUNTY)

Personally came before me this ____ day of _____, 2020, the above named Jeffrey Pfannerstill, President of the Village of Hartland to me known to be the person who executed the foregoing instrument and acknowledge the same.

Name: _____
Notary Public, State of Wisconsin
My commission Expires: _____

STATE OF WISCONSIN,)
) ss.
WAUKESHA COUNTY)

Personally came before me this ____ day of _____, 2020, the above named Darlene Igl, Clerk of the Village of Hartland to me known to be the person who executed the foregoing instrument and acknowledge the same.

Name: _____
Notary Public, State of Wisconsin
My commission Expires: _____

Drafted by:
Bryan Lindgren
Neumann Developments, LLC
N27 W24025 Paul Court, Suite 100
Pewaukee, WI 53072

EXHIBIT A

"Bristlecone Pines" being a subdivision part of Parcel A of Certified Survey Map No. 2245, Lot 2 of Certified Survey Map No. 6992 and a part of Parcel 3 of Certified Survey Map No. 4182 also being a part of the Northeast $\frac{1}{4}$, Northwest $\frac{1}{4}$ and Southeast $\frac{1}{4}$ of Section 35, the Northeast $\frac{1}{4}$, Northwest $\frac{1}{4}$, Southwest $\frac{1}{4}$ and Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ and the Northeast $\frac{1}{4}$, Northwest $\frac{1}{4}$ and Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36, Town 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin being more particularly bounded and described as follows:

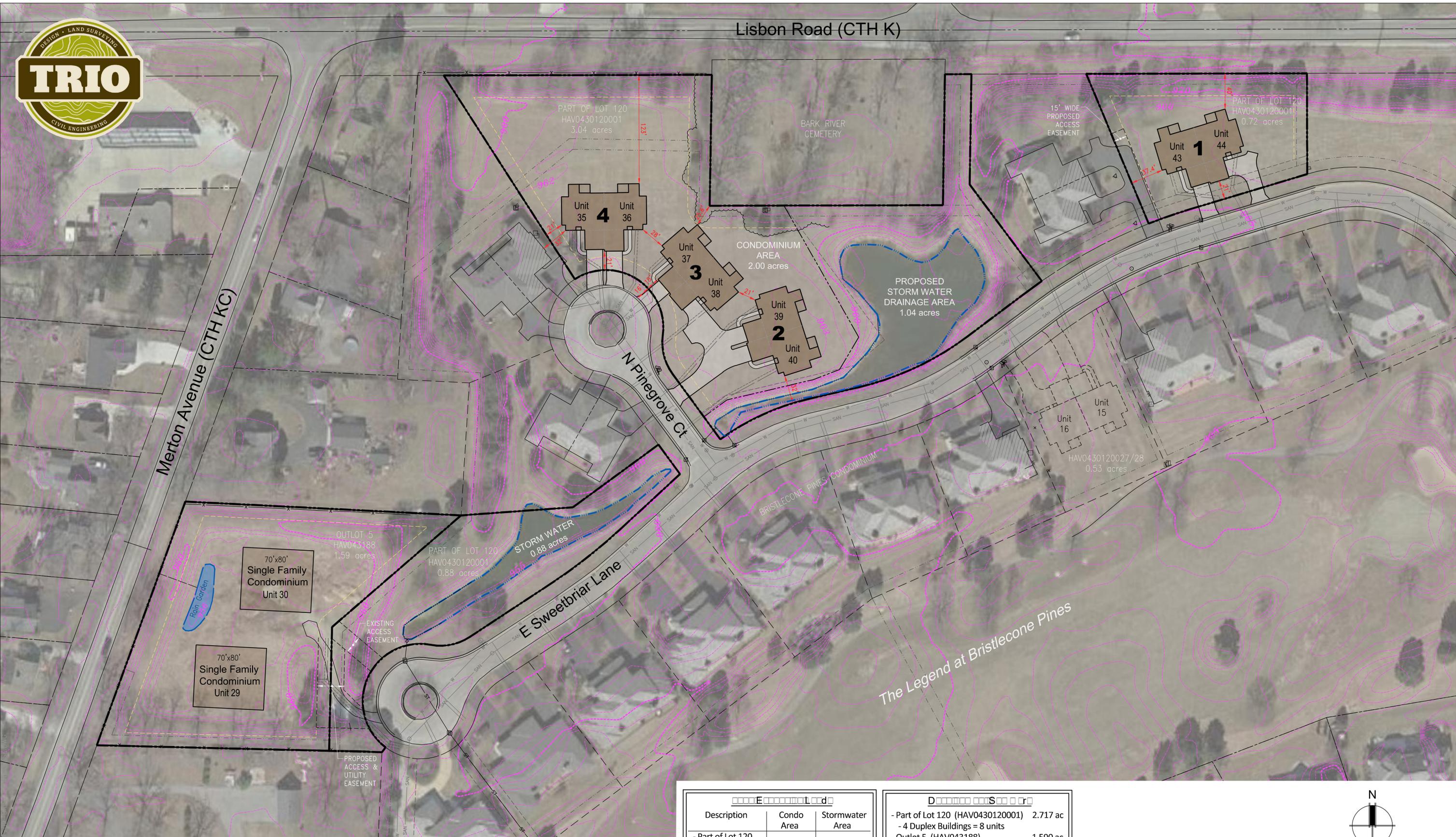
Commencing at the Northeast corner of the Northwest $\frac{1}{4}$ of Section 36, said point also being the place of beginning of lands hereinafter described:

Continuing thence South $00^{\circ}42'05''$ West along the East line of the said Northwest $\frac{1}{4}$ Section, 1651.69 feet to a point in the Southeast corner of the said Northwest $\frac{1}{4}$ Section; thence South $00^{\circ}42'05''$ West along the East line of the Southeast $\frac{1}{4}$ of Section 36, 1325.69 feet to a point in the North Line of "Stepford Heights Subdivision"; thence South $89^{\circ}24'57''$ West along the North line of the said subdivision, 1314.24 feet to a point in the Northwest corner of the said subdivision; thence South $00^{\circ}42'42''$ West along the West line of the said subdivision, 350.59 feet to a point in the Northerly right-of-way line of S.T.H. "16" and the arc of a curve; thence Northwesterly along the Northerly right-of-way line of S.T.H. "16", 672.24 feet along the arc of said curve, whose center lies to the Southwest, whose radius is 5,909.58 feet and whose chord bears North $63^{\circ}24'55''$ West 671.88 feet to a point; thence North $72^{\circ}50'31''$ West along the Northerly right-of-way line of S.T.H. "16", 412.53 feet to a point in a curve; thence Northwesterly along the Northerly right-of-way line of S.T.H. "16", 1,679.49 feet along the arc of said curve, whose center lies to the Southwest, whose radius is 5,879.58 feet and whose chord bears North $78^{\circ}51'26.5''$ West, 1,673.79 feet to a point in the East line of "Davis Heights Subdivision Add'n. No. 1"; thence North $00^{\circ}47'32''$ East along the East lines of "Davis Heights Subdivision Add'n No. 1" and "Davis Heights Subdivision", 907.05 feet to a point in the Northwest corner of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 35, thence North $00^{\circ}55'18''$ East along the East line of "Hilger Farms" 1,273.24 feet to the Northeast corner of "Hilger Farms"; thence South $89^{\circ}50'07''$ West, 769.47 feet to a point in the Southwest corner of Lot 2 of Certified Survey Map No. 6992; thence North $00^{\circ}09'53''$ West along the West line of said Lot 2, 305.88 feet to a point in the Northwest corner of said Lot; thence North

89°47'42" East along the North line of said Lot 2, 143.00 feet to a point in the West line of Parcel A of Certified Survey Map No. 2245; thence continuing along the Westerly and Northerly courses of said Parcel A, North 02°30'31" East, 253.23 feet to a point; thence North 88°36'45" West, 357.94 feet to a point; thence North 20°00'42" East, 294.04 feet to a point; thence South 87°08'17" East, 347.20 feet to a point; thence North 03°32'52" East, 150.01 feet to a point; thence North 87°08'17" West, 81.42 feet to a point; thence North 03°32'52" East, 63.96 feet to a point; thence North 03°45'56" East 330.23 feet to a point in the North line of the Northeast ¼ of Section 35, thence North 89°51'42" East along the said North line, 331.16 feet to a point; thence South 00°55'18" West, 198.03 feet to a point; thence North 89°51'42" East, 264.04 feet to a point in the Northeast corner of Parcel A of Certified Survey Map No. 2245; thence North 00°55'18" East, 198.03 feet to a point in the North line of the Northeast ¼ of Section 35; thence North 89°51'42" East along the said North line 1,322.21 feet to a point in the Northwest corner of the Northwest ¼ of Section 36 and the Northwest corner of Certified Survey Map No. 4181; thence South 00°43'34" West along the West line of the said Certified Survey Map, 724.57 feet to a point in the Southwest corner of the said Certified Survey Map; thence North 89°09'28" East along the South lines of Certified Survey Map No. 4181, 396.83 feet to a point in the southwest corner of Certified Survey Map No. 4182; thence North 00°50'32" West along the West line of Certified Survey Map No. 4182, 340.80 feet to a point in the Southwest corner of Lot 1 of Certified Survey Map No. 6200; thence North 89°09'28" East along the South line of said Lot 1, 392.00 feet to a point in the Southeast corner of Lot 1; thence North 00°50'32" West along the East line of said Lot 1, 383.50 feet to a point in the North line of the said Northwest ¼ Section; thence North 89°09'28" East along the said North line, 1858.43 feet to the place of beginning.

Containing 363.18 Acres more or less.

Excepting therefrom those parts heretofore dedicated for public street purposes.



Bristlecone Pines Condominium II

Conceptual Site Plan

Sweetbriar Lane, Village of Hartland Wisconsin

Legend

- Lisbon Road & Merton Ave =	25'
- Side Yard Setback =	15'
- Sweetbriar Lane =	20'
- Pinegrove Court =	15'

Description	Condo Area	Stormwater Area
- Part of Lot 120 HAV0430120001	0.717 ac 2.00 ac	1.037 ac 0.880 ac
- Outlot 5 HAV043188	1.590 ac	
- TOTAL AREA =	4.307 ac	1.917 ac

Description	Area
- Part of Lot 120 (HAV0430120001)	2.717 ac
- 4 Duplex Buildings = 8 units	
- Outlot 5 (HAV043188)	1.590 ac
- 2 Single Family Buildings = 2 units	
- TOTAL CONDOMINIUM AREA =	4.307 ac
- 10 Condominium Units	
- Net Density =	2.32 un/ac
- TOTAL EXPANSION LANDS =	6.224 ac
- (Condo = 4.307 ac + Stormwater = 1.917 ac)	
- Gross Density =	1.607 un/ac

NEUMANN DEVELOPMENTS, INC.

Scale: 1" = 22'x34" (North-South), 1" = 11'x17" (East-West)

D:\PROJECTS\2020-0



FRONT ELEVATION- FARMHOUSE

MASTER SHEET LIST

SHEET NO.	SHEET NAME
A-0.00	COVER
A-0.10	General Notes
A-1.00	FOUNDATION PLAN - FARMHOUSE - ELEVATION-1
A-2.00	FIRST FLOOR PLAN - FARMHOUSE - ELEVATION-1
A-2.10	FIRST FLOOR OPTIONS
A-3.00	ROOF PLANS - FARMHOUSE - ELEVATION-1
A-4.00	ELEVATIONS - FARMHOUSE - ELEVATION-1
E-1.00	FOUNDATION ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1
E-2.00	FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

LEFT UNIT AREAS

Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	484 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2557 SF

RIGHT UNIT AREAS

Livable Area	
First Floor Livable	2054 SF
	2054 SF
Non Livable Area	
Front Porch	24 SF
Garage	528 SF
Rear Porch	125 SF
Unfinished Basement	1924 SF
	2601 SF



FIRST FLOOR PLAN

REVISION LOG

REVISION #	DATE	DESCRIPTION	BY
1	03/05/2020	MASTER CREATION	AG
2	04/17/2020	ADDED WINDOW TO LEFT GARAGE	AG



BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

COVER

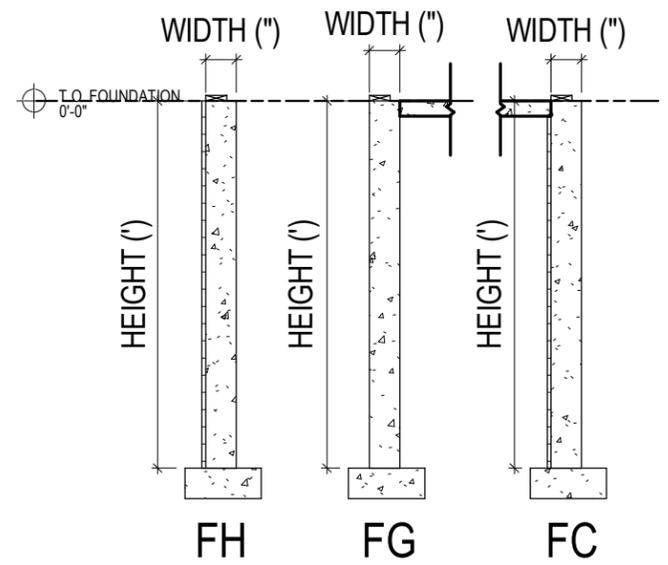
DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.00	

FOUNDATION PLAN NOTES
MAIN HOUSE CONCRETE WALLS: FH-8-8 UNLESS OTHERWISE NOTED
FURNACE TO BE MINIMUM 95% EFFICIENT
WATER HEATER IS POWER VENTED PER SPECIFICATION
POURED CONCRETE IS TO BE 3000 PSI
ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD OR FACE OF CONCRETE
3PC BATH ROUGH-IN TO INCLUDE WASTE & VENT TO RUN TO GENERAL VICINITY - FRAMING & FIXTURES NOT INCLUDED

FIRST FLOOR PLAN NOTES
ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
EXTERIOR HOUSE WALLS ARE 2x6 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
INTERIOR HOUSE WALLS ARE 2x4 STUD GRADE OR BETTER AT 24" O.C. UNLESS OTHERWISE NOTED
GARAGE WALLS ARE 2x4 STUD GRADE OR BETTER AT 16" O.C.
CEILING HEIGHT AT FIRST FLOOR IS 9'-0" UNLESS OTHERWISE NOTED
WINDOW HEADER HEIGHT AT FIRST FLOOR IS 6'-11 3/8" FROM TOP OF FLOOR UNLESS OTHERWISE NOTED

ROOF PLAN NOTES
ROOF TO BE COMPOSED OF PRE - ENGINEERED TRUSSES @ 24" O.C.
ALL TRUSS CLIPS AND HANGERS TO BE SUPPLIED BY TRUSS MANUFACTURER AND TO MEET OR EXCEED REQUIREMENTS OF THE WISCONSIN UNIFORM BUILDING CODE

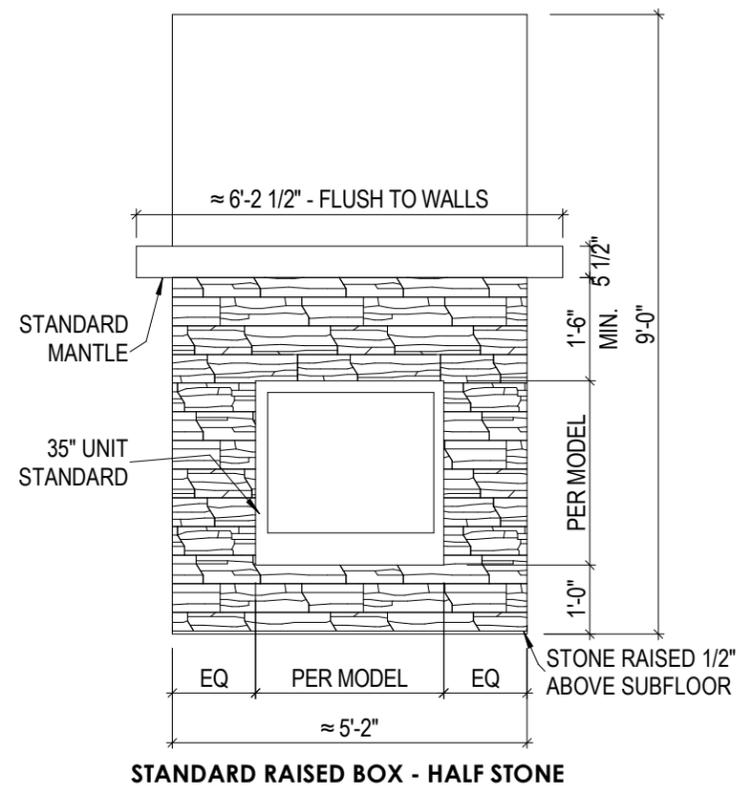
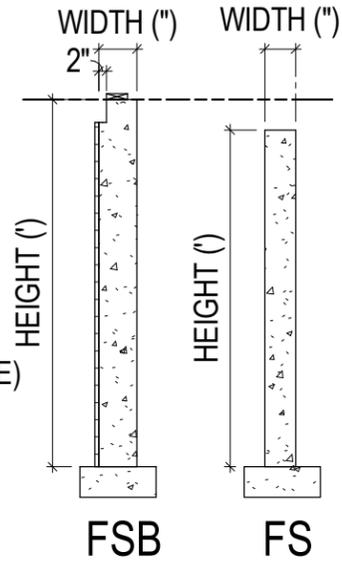
SCHEDULE S1
SIDING TYPE: HARDBOARD SIDING
SOFFIT TYPE: HARDBOARD SOFFIT
FASCIA TYPE: ALUMN. FASCIA
EXTERIOR CORNERS: 5/4"x6"
WINDOW WRAPS: 5/4"x
ATTIC INSULATION: R38
SHINGLES: DIMENSIONAL
EXTERIOR WALL INSULATION: R-19 BATT
EXTERIOR WALL SHEATHING - SEE PLAN & DETAIL FOR MORE INFORMATION: 7/16"



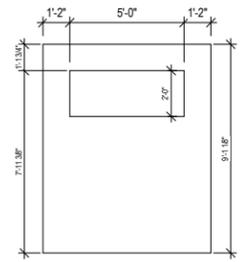
ROOM / FLOORING SCHEDULE		
Room	Floor Finish	Area
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
GREAT ROOM	CARPET	245 SF
BEDROOM 2	CARPET	155 SF
BEDROOM 2 CLOSET	CARPET	33 SF
SUNROOM	CARPET	145 SF
OWNER'S SUITE	CARPET	228 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S W.I.C.	CARPET	73 SF
DEN	CARPET	128 SF
OWNER'S SUITE	CARPET	228 SF
CARPET		2014 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
DINETTE	LVP	171 SF
FOYER	LVP	53 SF
KITCHEN	LVP	228 SF
FOYER CLOSET	LVP	8 SF
SECONDARY HALL	LVP	13 SF
OWNER'S HALL	LVP	8 SF
OWNER'S HALL CLOSET	LVP	5 SF
PANTRY	LVP	27 SF
PANTRY	LVP	27 SF
LVP		1023 SF
HALL BATH	LVT	43 SF
HALL BATH	LVT	43 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
REAR FOYER	LVT	46 SF
OWNER'S BATH	LVT	51 SF
LAUNDRY	LVT	52 SF
OWNER'S LINEN CLOSET	LVT	12 SF
REAR FOYER	LVT	30 SF
REAR FOYER CLOSET	LVT	12 SF
LVT		496 SF

WALL TYPE WIDTH (") HEIGHT (")
FH - 8 - 12

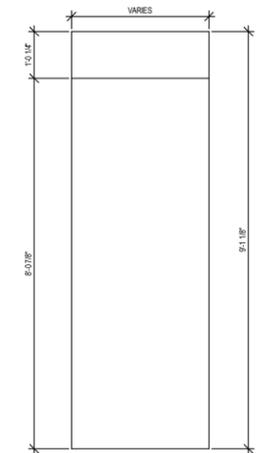
- WALL TYPES**
 FH = HOUSE
 FC = COMMON (HOUSE/GARAGE)
 FSB = STOOP W/ BRICKLEDGE
 FS = STOOP
 FG = GARAGE



FIREPLACE DETAIL



5020 DRYWALL OPENING



DRYWALL OPENING DETAIL (TYP.)



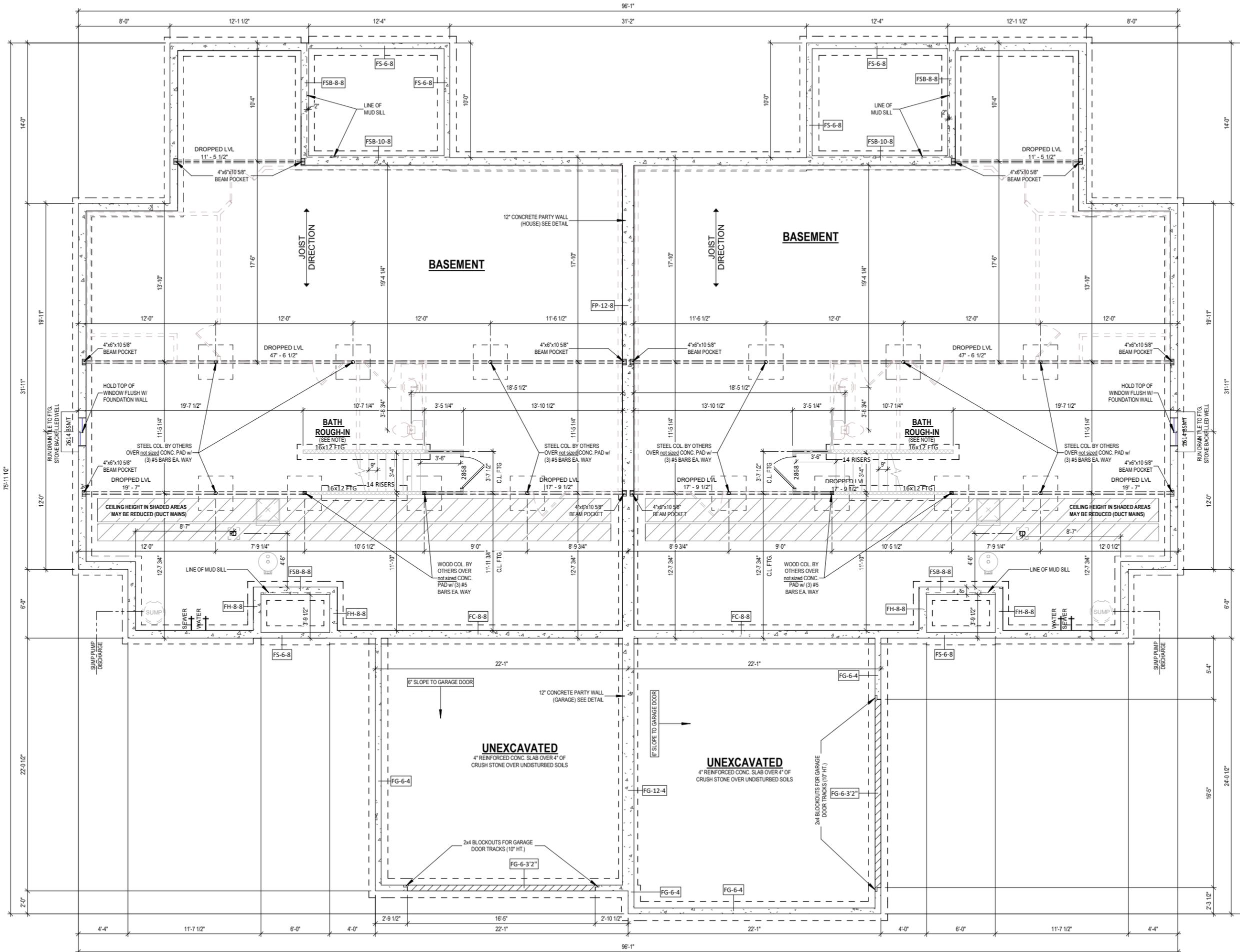
BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

SHEET NAME

General Notes

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-0.10	



BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME
FOUNDATION PLAN - FARMHOUSE - ELEVATION-1

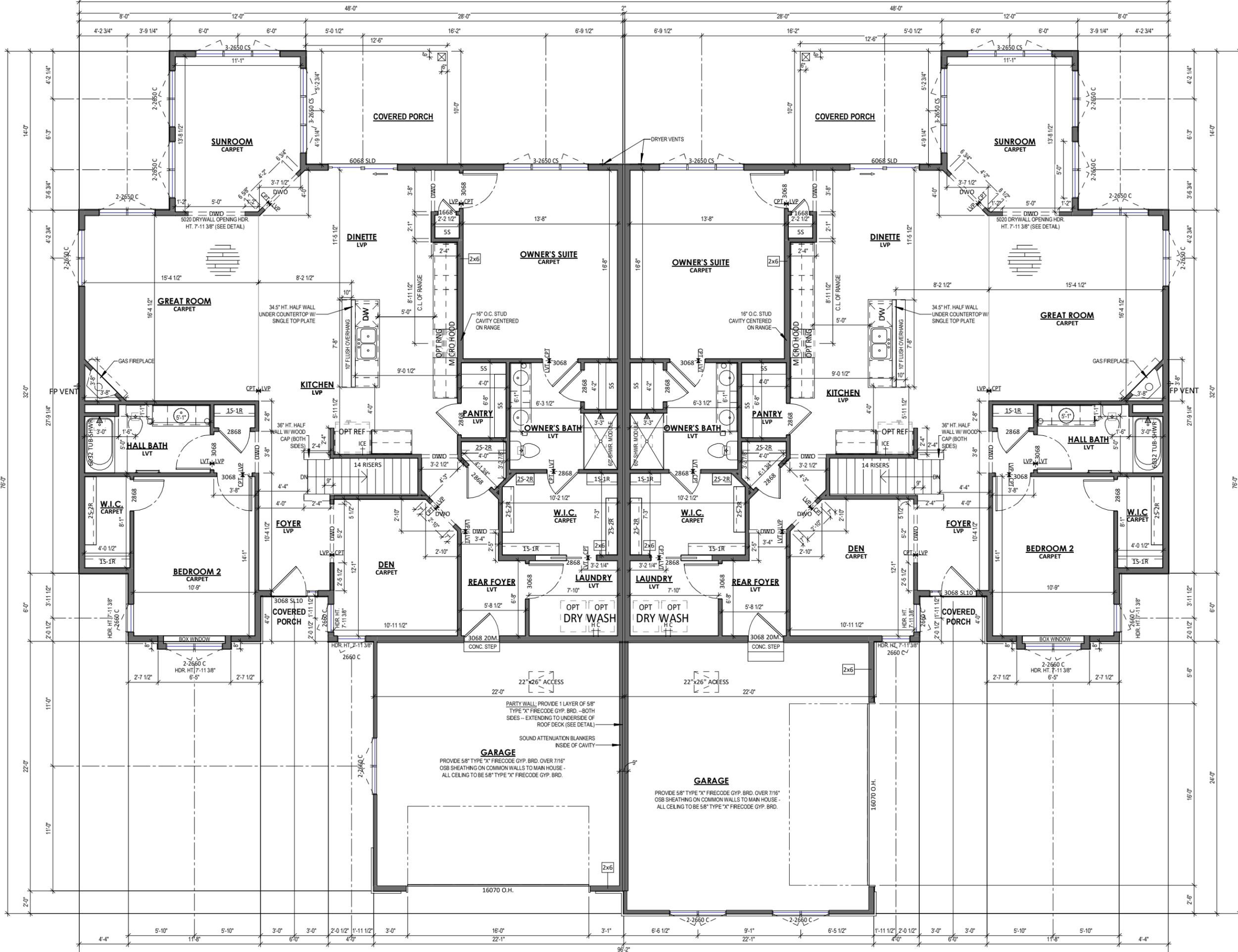
DATE
04/17/2020

DRAWN BY
Author

JOB NUMBER
Project Number

SHEET NUMBER
A-1.00

1 FOUNDATION PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



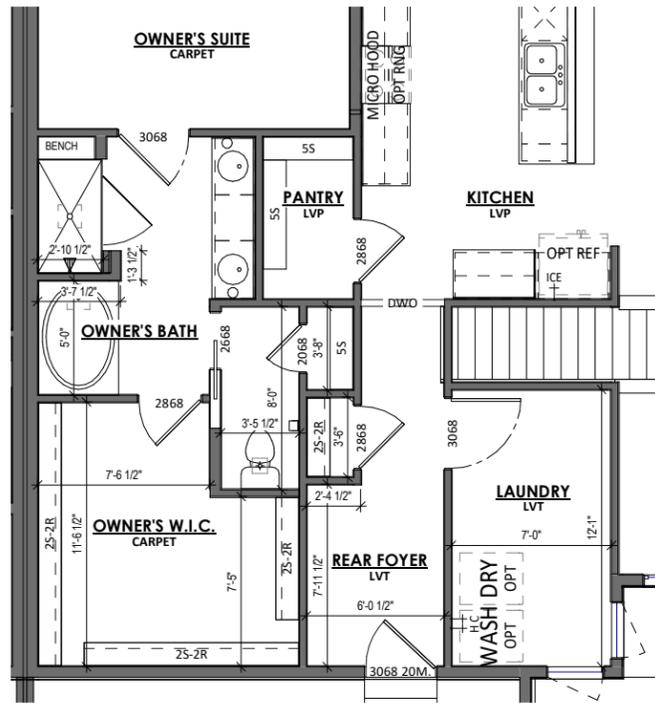
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CLIENT NAME
PROJECT ADDRESS

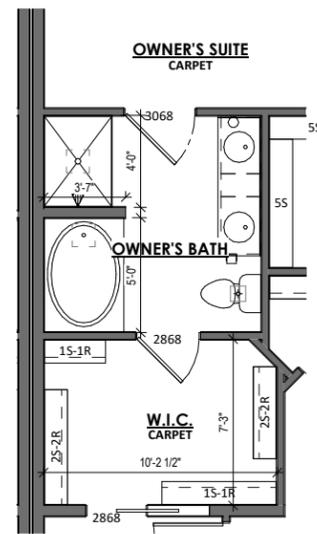
SHEET NAME
**FIRST FLOOR PLAN -
FARMHOUSE -
ELEVATION-1**

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER A-2.00	

1 FIRST FLOOR PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



1 OPT. DELUXE OWNER'S SUITE
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



2 OPT. LUXURY OWNER'S BATH
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

SHEET NAME

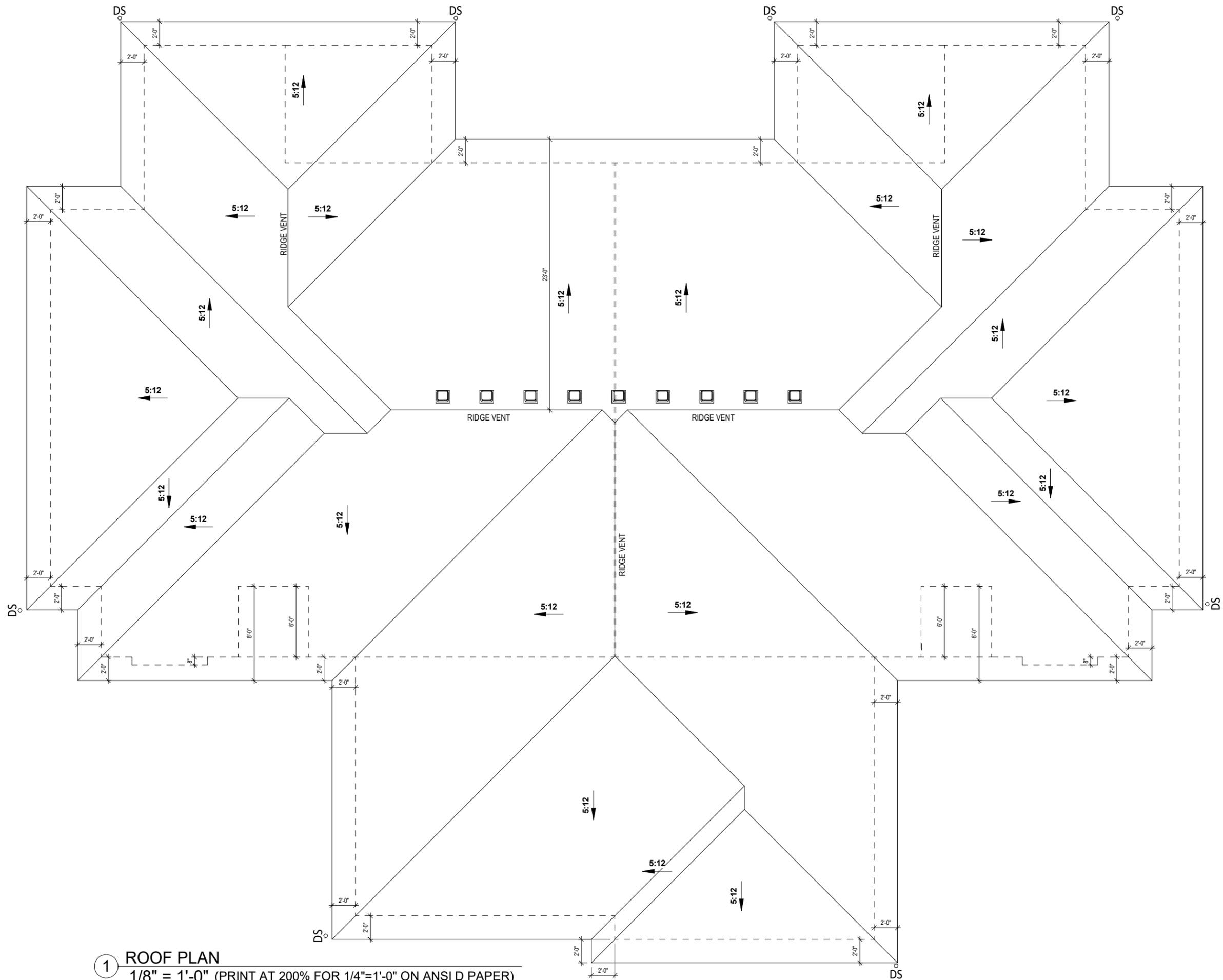
**FIRST FLOOR
 OPTIONS**

DATE
 04/17/2020

DRAWN BY
 Author

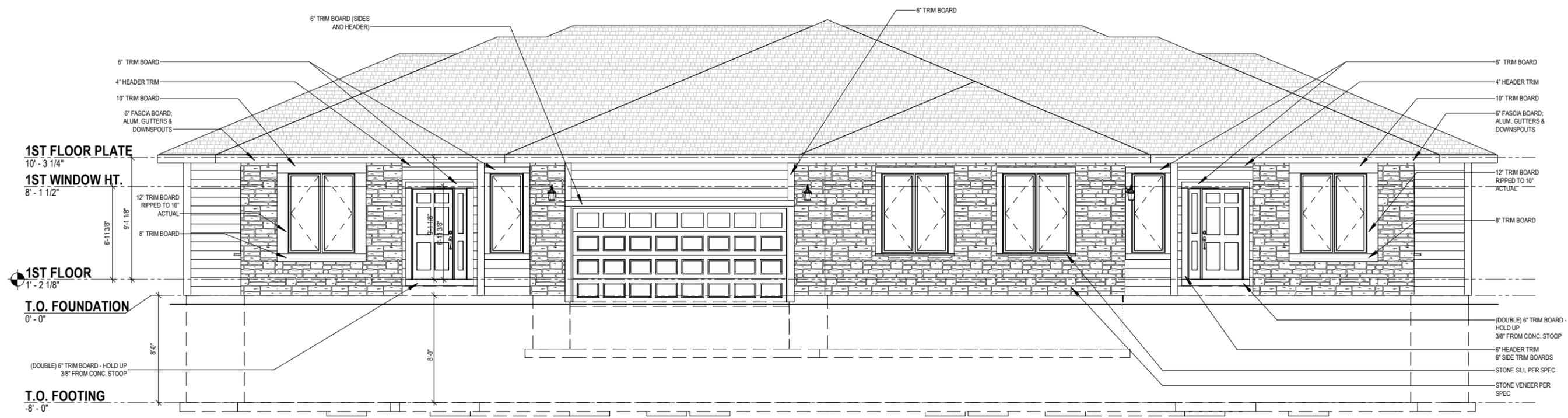
JOB NUMBER
 Project Number

SHEET NUMBER
A-2.10



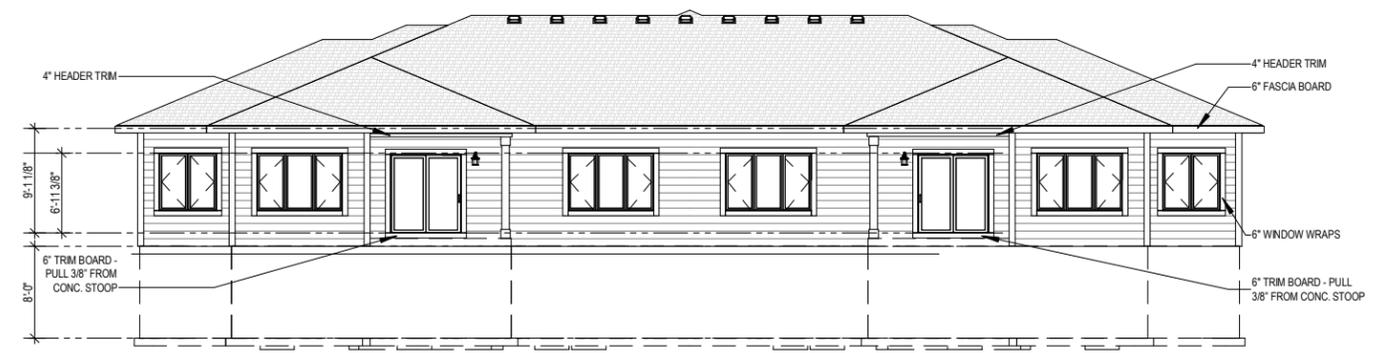
1 ROOF PLAN
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)

	
BRISTLECONE	CLIENT NAME PROJECT ADDRESS
ROOF PLANS - FARMHOUSE - ELEVATION-1	
SHEET NAME	DATE 04/17/2020
JOB NUMBER Project Number	
SHEET NUMBER A-3.00	
DRAWN BY Author	



FRONT VIEW - FARMHOUSE - ELEVATION 1

① $1/8" = 1'-0"$ (PRINT AT 200% FOR $1/4"=1'-0"$ ON ANSI D PAPER)



REAR VIEW - ELEVATION 1

③ $1/16" = 1'-0"$



LEFT VIEW - ELEVATION 1

② $1/16" = 1'-0"$



RIGHT VIEW - ELEVATION 1

④ $1/16" = 1'-0"$

BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

SHEET NAME

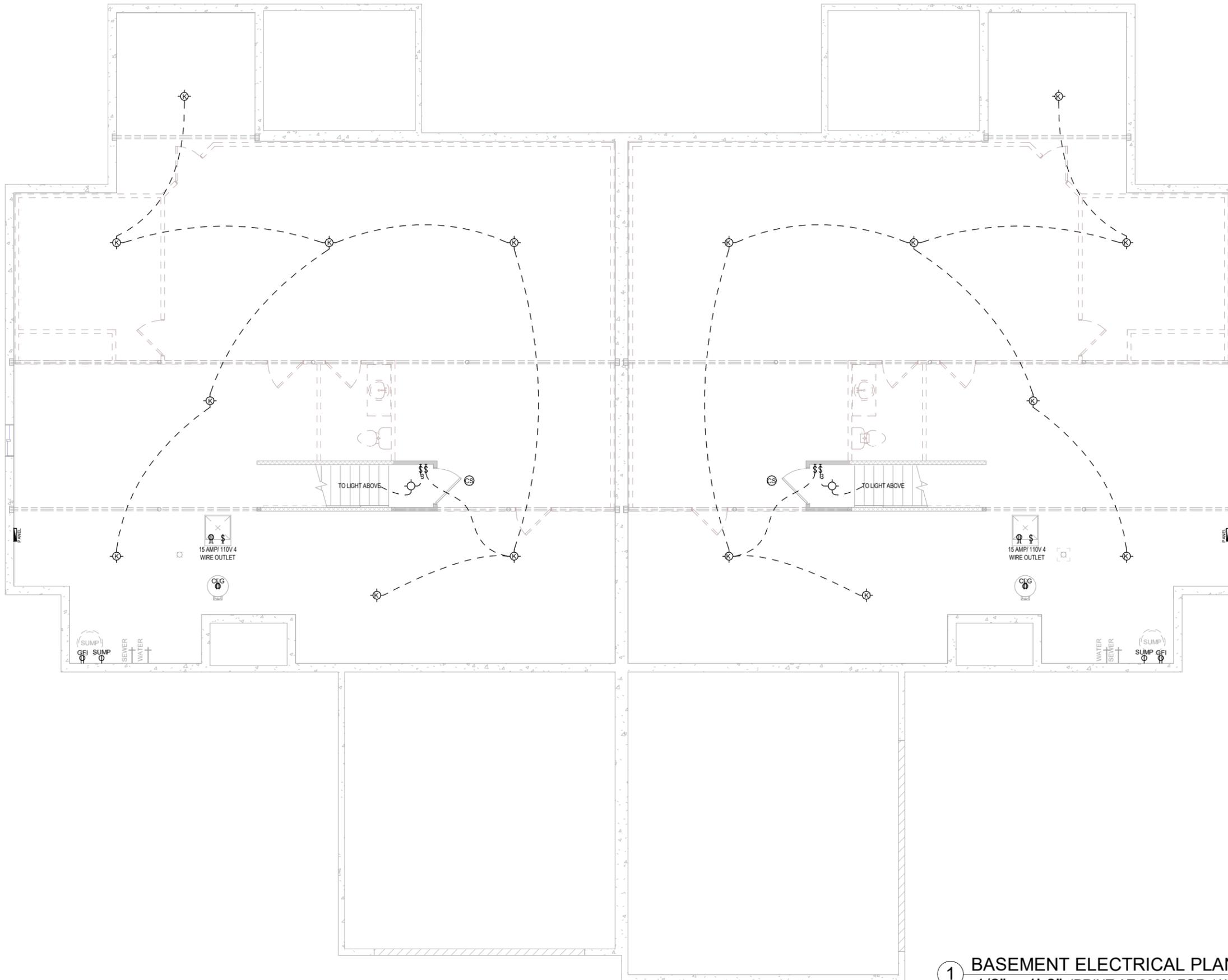
ELEVATIONS - FARMHOUSE - ELEVATION-1

DATE
04/17/2020

DRAWN BY
Author

JOB NUMBER
Project Number

SHEET NUMBER
A-4.00



ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		DOOR BELL BUTTON
	3-WAY SWITCH		DOOR BELL CHIME
	4-WAY SWITCH		GARAGE KEYPAD
	DIMMER SWITCH		GARAGE DOOR OPENER
	UNDERCABINET SWITCH		WEATHERPROOF OUTLET
	220 VOLT OUTLET		CEILING OUTLET
	DUPLEX OUTLET		SWITCHED FLOOR OUTLET
	GROUND FAULT OUTLET		SWITCHED DUPLEX OUTLET
	SINGLE SUMP OUTLET		QUAD OUTLET
	SMOKE DETECTOR		CARBON MONOXIDE & SMOKE DETECTOR COMBO
	THERMOSTAT		NETWORK OUTLET
	TELEVISION OUTLET		TELEPHONE OUTLET
	ELECTRICAL SERVICE PANEL		GARBAGE DISPOSAL
	WALL MOUNT LIGHT		SINGLE SCONCE
	FLOOD LIGHT		VANITY LIGHT
	CLOSET CASTER LIGHT		STAR LIGHT
	BATH FAN & LIGHT COMBO		BATH FAN
	PULL CHAIN LIGHT		UNDER CABINET LIGHT
	FLUSH MOUNT LIGHT		KEYLESS LIGHT
	HANGING PENDANT LIGHT		HANGING LIGHT
	RECESSED CAN LIGHT		MINIATURE PUCK LIGHT
	WEATHERPROOF RECESSED CAN LIGHT		RECESSED EYEBALL LIGHT
	CEILING FAN		CEILING FAN ROUGH
	LIGHTED CEILING FAN		LOF ROUGH LIGHT & FAN ROUGH



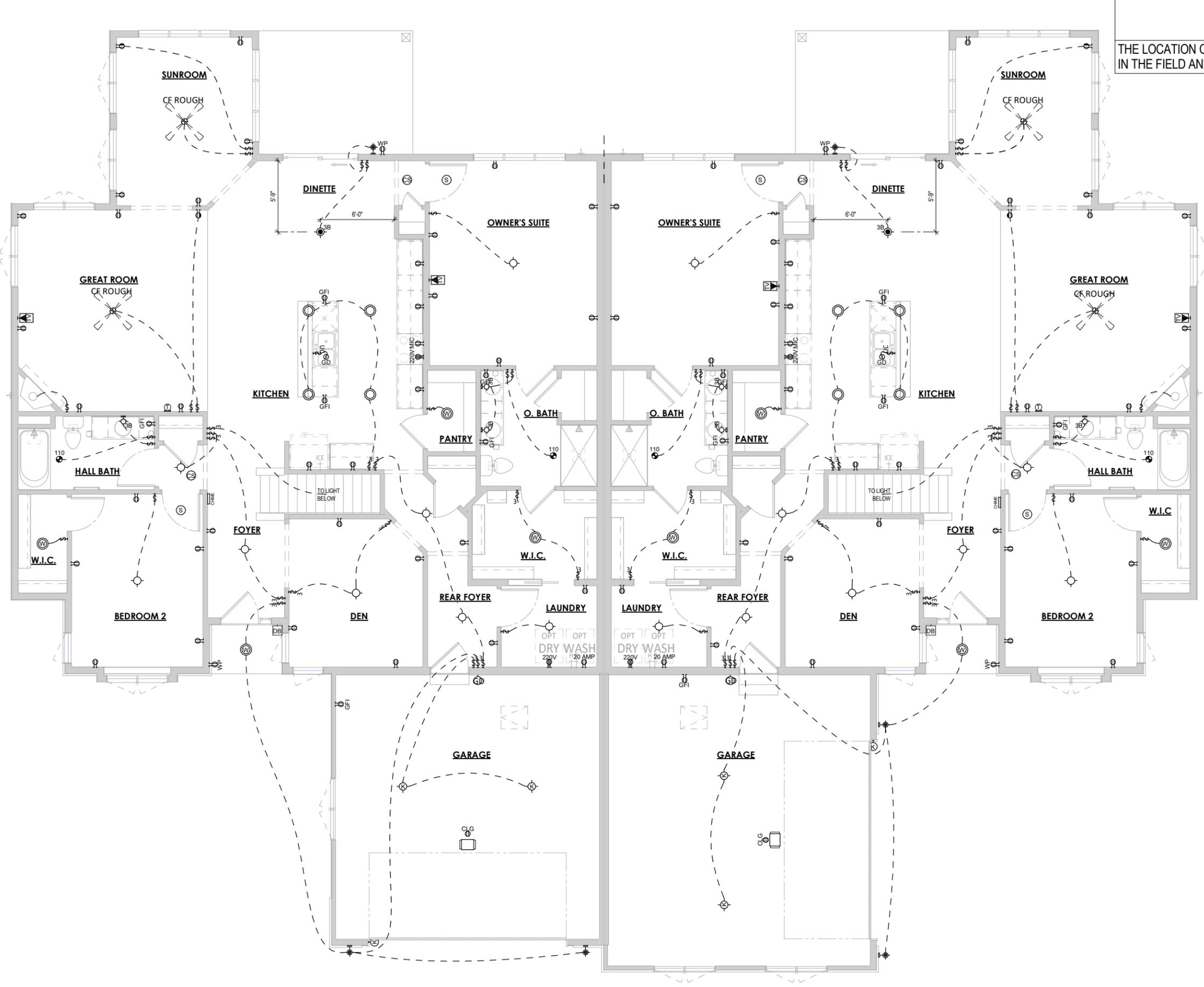
BRISTLECONE

CLIENT NAME
PROJECT ADDRESS

**FOUNDATION
ELECTRICAL
PLAN -
FARMHOUSE -
ELEVATION-1**

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-1.00	

1 BASEMENT ELECTRICAL PLAN
1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



ELECTRICAL PLAN NOTES
 THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE

ELECTRICAL LEGEND			
⊞	SINGLE POLE SWITCH	DB	DOOR BELL BUTTON
⊞	3-WAY SWITCH	CHIME	DOOR BELL CHIME
⊞	4-WAY SWITCH	⊞	GARAGE KEYPAD
⊞	DIMMER SWITCH	⊞	GARAGE DOOR OPENER
UC	UNDERCABINET SWITCH	WP	WEATHERPROOF OUTLET
220V	220 VOLT OUTLET	⊞	CEILING OUTLET
⊞	DUPLEX OUTLET	⊞	SWITCHED FLOOR OUTLET
GFI	GROUND FAULT OUTLET	⊞	SWITCHED DUPLEX OUTLET
SUMP	SINGLE SUMP OUTLET	⊞	QUAD OUTLET
⊞	SMOKE DETECTOR	⊞	CARBON MONOXIDE & SMOKE DETECTOR COMBO
⊞	THERMOSTAT	⊞	NETWORK OUTLET
⊞	TELEVISION OUTLET	⊞	TELEPHONE OUTLET
PANEL	ELECTRICAL SERVICE PANEL	GD	GARBAGE DISPOSAL
⊞	WALL MOUNT LIGHT	⊞	SINGLE SCONCE
⊞	FLOOD LIGHT	⊞	VANITY LIGHT
⊞	CLOSET CASTER LIGHT	⊞	STAIR LIGHT
110	BATH FAN & LIGHT COMBO	110	BATH FAN
⊞	PULL CHAIN LIGHT	UC	UNDER CABINET LIGHT
⊞	FLUSH MOUNT LIGHT	⊞	KEYLESS LIGHT
⊞	HANGING PENDANT LIGHT	⊞	HANGING LIGHT
⊞	RECESSED CAN LIGHT	⊞	MINIATURE PUCK LIGHT
⊞	WEATHERPROOF RECESSED CAN LIGHT	⊞	RECESSED EYEBALL LIGHT
⊞	CEILING FAN	⊞	CEILING FAN ROUGH
⊞	LIGHTED CEILING FAN	⊞	LCF ROUGH LIGHT & FAN ROUGH



BRISTLECONE

CLIENT NAME
 PROJECT ADDRESS

FIRST FLOOR ELECTRICAL PLAN - FARMHOUSE - ELEVATION-1

DATE 04/17/2020	DRAWN BY Author
JOB NUMBER Project Number	
SHEET NUMBER E-2.00	

1 **FIRST FLOOR ELECTRICAL PLAN**
 1/8" = 1'-0" (PRINT AT 200% FOR 1/4"=1'-0" ON ANSI D PAPER)



Bristlecone Pines - Exterior Color Palette



Shingles



Siding



Stone



Trim



Windows



Garage Door



Front Door



Materials

Shingles: GAF Timberline Natural Shadow – Weathered Wood

Siding: JamesHardie Fibercement – Khaki Brown

Trim/Cornerboards/Frieze/Soffit/Fascia: Hardboard - Khaki Brown

Gutters: Terratone Bronze

Masonry: Halquist Natural Stone Veneer – Cascade Ledge

Front Door: SW7048 - Urbane Bronze

Windows: Lindsay Earthwise - Clay

Garage Door: Haas Recessed Short Panel – Sandstone



AKA PAMELA E HALL & DANIEL D HALL
W292N5719 DORN RD
HARTLAND WI 53029-9203

ANGELO & GLORIA PORCHETTA
REVOCABLE LIVING TRUST
1107 E SWEETBRIAR LN
HARTLAND WI 53029

ANN E FREDRICKSON-LORENZ 2009
LIVING TRUST
N56W29156 COUNTY ROAD K
HARTLAND WI 53029-9108

BARK RIVER CEMETERY
PO BOX 128
NORTH LAKE WI 53064

B-P GOLF INVESTMENTS LLC
1 LEGEND WAY
WALES WI 53183

B-P GOLF INVESTMENTS LLC
1 LEGEND WAY
WALES WI 53183

BRANDON HILL
W293N5564 MERTON AVE
HARTLAND WI 53029-1250

BRUCE NICHOLS AND SUSAN NICHOLS
N56W29328 WESTVIEW RD
HARTLAND WI 53029

CHAD WEITNER & CANDACE WEITNER
W293N5588 MERTON AVE
HARTLAND WI 53029

CICATELLO REVOCABLE TRUST
1219 E SWEETBRIAR LN
HARTLAND WI 53029-8635

DANIEL D SCHWARZ
W292N5649 DORN RD
HARTLAND WI 53029

DAVID K & KATHY J GODGLUCK
REVOCABLE LIVING TRUST
W294N5553 MERTON AVE
HARTLAND WI 53029-1249

DAVID M ROELKE & KARYN A ROELKE
907 N EVERGREEN CIR
HARTLAND WI 53029-8636

DAVID S JUNG AND MARY J JUNG
1208 E SWEETBRIAR LN
HARTLAND WI 53029-8631

DEBORAH L LANCOUR AND DAVID J
LANCOUR
N56W29400 WESTVIEW RD
HARTLAND WI 53029-9202

DONALD TUSHAUS & GWEN TUSHAUS
1209 E SWEETBRIAR LN
HARTLAND WI 53029

DUSTEN HATFIELD
W294N5505 MERTON AVE
HARTLAND WI 53029-1249

EDWARD J LUMP AND SUSAN A LUMP
1105 E SWEETBRIAR LN
HARTLAND WI 53029

ERIC MATUSHINEC
N56W29320 CTH K
HARTLAND WI 53029-1102

ERLING C ANTONY JR AND PATRICIA W
ANTONY
1113 E SWEETBRIAR LN
HARTLAND WI 53029-8633

ERNESTO VILLARREAL
916 S CESAR E CHAVEZ DR
MILWAUKEE WI 53204-2129

GARRETT R HERNING AND LAURA A
HERNING
N56W29128 COUNTY ROAD K
HARTLAND WI 53029-9108

GARY PEPPEL AND JULIE PEPPEL
1121 COLONIAL DR
HARTLAND WI 53029

GEORGE ZAFEROS & CARRIE ZAFEROS
1506 DAKOTA ST
WATERTOWN WI 53094

GRAFTON MANOR LLC
PO BOX 512
HARTLAND WI 53029

HALEN HOMES LLC
N27W24025 PAUL CT STE 200
PEWAUKEE WI 53072-6239

HALEN HOMES LLC
N27W24025 PAUL CT STE 200
PEWAUKEE WI 53072-6239

JAMES E HEGGE AND CRYSTAL D HEGGE
1211 E SWEETBRIAR LN
HARTLAND WI 53029

JAMES V DEPPOLETO
911 N EVERGREEN CIR
HARTLAND WI 53029-8636

JASON D JANUSZ
N56W29336 COUNTY ROAD K
HARTLAND WI 53029-1102

JASON VAUGHAN AND JERRICA
VAUGHAN
1115 COLONIAL DR
HARTLAND WI 53029-8017

JEAN L BERG
N56W29318 WESTVIEW RD
HARTLAND WI 53029-9202

JEAN M SCHNEIDER AND JUDITH L CARR
PO BOX 101
HARTLAND WI 53029

JEFFREY ERBACH & YNONNE ERBACH
N56W29364 COUNTY ROAD K
HARTLAND WI 53029

JEFFREY MINOR AND SUSAN MINOR
1030 ANTON RD
HARTLAND WI 53029-1206

JESSICA N GOLDSCHMIDT
W294N5493 MERTON AVE
HARTLAND WI 53029-1247

JOHN DANIEL WALLEN AND DESTINY
MARIE WALLEN
1106 ANTON RD
HARTLAND WI 53029-1208

JOHN DIBB AND PATTI DIBB
W293N5538 MERTON AVE
HARTLAND WI 53029

JOHN M STAHL
1235 MARY HILL CIR
HARTLAND WI 53029

JOYCE M DIBB
W294N5429 MERTON AVE
HARTLAND WI 53029-1247

JUDITH KOPPELMAN SURVIVOR'S TRUST
1203 E SWEETBRIAR LN
HARTLAND WI 53029-8635

KENNETH SCHNEIDER AND KATHRYN
SCHNEIDER
W294N5471 MERTON AVE
HARTLAND WI 53029

KENNETH SCHNEIDER AND KATHRYN
SCHNEIDER
W294N5471 MERTON AVE
HARTLAND WI 53029

KYLE BANKS AND KRISTIN BANKS
N56W29446 COUNTY ROAD K
HARTLAND WI 53029-1104

LARRY K AND AMY J WEISS JOINT
REVOCABLE TRUST
10035 E REFLECTING MOUNTAIN WAY
SCOTTSDALE AZ 85262

WINKELMAN REVOCABLE TRUST
N56W29216 COUNTY ROAD K
HARTLAND WI 53029-9108

MANDR INVESTMENTS LLC
N56W29422 WESTVIEW RD
HARTLAND WI 53029-9202

MARGARET M LAYO REVOCABLE TRUST
1123 E SWEETBRIAR LN
HARTLAND WI 53029

MARGUERITE M BROWN
N56W29316 COUNTY ROAD K
HARTLAND WI 53029-1102

MARK ADAMS AND MARY ADAMS
N56W29327 WESTVIEW RD
HARTLAND WI 53029

MARK MANTHEY AND JEAN MANTHEY
1000 ANTON RD
HARTLAND WI 53029

MARK MORENO & GABRIELA MORENO
1109 E SWEETBRIAR LN
HARTLAND WI 53029-8633

MARK SIZER AND LAURIE SIZER
W294N5443 MERTON AVE
HARTLAND WI 53029

MARY A TURNER
N67W30587 RED FOX RUN
HARTLAND WI 53029-9187

MATTHEW B CHOJNACKI AND LYNN M
HUST
W294N5472 MERTON AVE
HARTLAND WI 53029

MATTHEW SCHNEIDER
W296N7113 TAMRON CT
HARTLAND WI 53029

MAYNARD REAL ESTATE LLC
W1250 FILMORE RD
RUBICON WI 53078-9717

MAYNARD REAL ESTATE LLC
W1250 FILMORE RD
RUBICON WI 53078

MICHAEL D RASMUSSEN AND BRIANNA
M RASMUSSEN
W294N5519 MERTON AVE
HARTLAND WI 53029-1249

MICHAEL J FISCHER AND KAREN A
FISCHER
W294N5448 MERTON AVE
HARTLAND WI 53029

MICHAEL SCHRANK & DIANE SCHRANK
W294N5457 MERTON AVE
HARTLAND WI 53029

MID-CITY PROPERTIES LLC
N68W34240 COUNTY ROAD K
OCONOMOWOC WI 53066-1314

NANCY MASSART
1121 E SWEETBRIAR LN
HARTLAND WI 53029-8633

NORMAN M MERZ AND MARY J MERZ
1001 N PINEGROVE CT
HARTLAND WI 53029-8634

P KENNETH SERVI AND JOYCE SERVI
1007 N PINEGROVE CT VILLA 34
HARTLAND WI 53029

PATRICK ENDTER AND JACLYN ENDTER
N56W29416 COUNTY ROAD K
HARTLAND WI 53029-1104

PETER KACHERIS & SYLVIA KACHERIS
W292N5624 DORN RD
HARTLAND WI 53029

REUTEMAN-JENTGES PROPERTIES LLC
AND RUTH GEHRING
N68W34240 COUNTY ROAD K
OCONOMOWOC WI 53066-1314

RICHARD A MANUEL & KAREN M GEIS
1119 E SWEETBRIAR LN UNIT 21
HARTLAND WI 53029-8633

RICHARD F WINKELMAN
N56W29422 WESTVIEW RD
HARTLAND WI 53029

RICHARD N BAUCH TRUST
1215 SWEETBRIAR LN
HARTLAND WI 53029

RICHARD WINKELMAN
N56W29422 WESTVIEW RD
HARTLAND WI 53029

ROBERT M KARIUS AND KATHLEEN M
KARIUS
915 N EVERGREEN CIR
HARTLAND WI 53029-8636

ROBERT ROWE AND DIANE ROWE
1024 ANTON RD
HARTLAND WI 53029

ROBERT T JOHNSON AND CECILIA A
JOHNSON
909 N EVERGREEN CIR
HARTLAND WI 53029

ROSS M ROSOLEK AND MARLEEN G
ROSOLEK
N56W29357 WESTVIEW RD
HARTLAND WI 53029-9202

RYAN KLOTH AND PAMELA KLOTH
1114 ANTON RD
HARTLAND WI 53029

SCOTT M BUSCHICK
17675 W SADDLE CT
GURNEE IL 60031-4221

SCOTT R CHRISTMAN & CHELLY C GEER
N56W29364 WESTVIEW RD
HARTLAND WI 53029

STEVE GEHRING AND NICOLE GEHRING
N56W29426 COUNTY ROAD K
HARTLAND WI 53029-1104

STEVEN B LESCH AND JILL C LESCH
1010 ANTON RD
HARTLAND WI 53029

STEVEN F MAYER AND SUSAN S MAYER
1201 E SWEETBRIAR LN
HARTLAND WI 53029-8635

TERRELL S SCHLUNDT AND JEAN K
SCHLUNDT
1005 N PINEGROVE CT
HARTLAND WI 53029-8634

THE LEGEND AT BRISTLECONE PINES LLC
1 LEGEND WAY
WALES WI 53183

YVONNE STANSBERRY
1213 E SWEETBRIAR LN
HARTLAND WI 53029

THOMAS A DETLING AND JULIE DETLING
1210 E SWEETBRIAR LN
HARTLAND WI 53029-8631

THOMAS CANNON AND MARY CANNON
913 ANTON RD
HARTLAND WI 53029-1204

THOMAS J PIPP
W294N5533 MERTON AVE
HARTLAND WI 53029

THOMAS P LYONS & CATHERINE M
LYONS
1111 E SWEETBRIAR LN
HARTLAND WI 53029-8633

TODD WILDRICK AND BRENDA WILDRICK
N56W29321 WESTVIEW RD
HARTLAND WI 53029

TOM GABLER AND CAROL GABLER
W294N5543 MERTON AVE
HARTLAND WI 53029

VICKI L AYRES AND VALERIE J HENSE
N56W29184 COUNTY ROAD K
HARTLAND WI 53029-9108

VICTOR E HERRADA AND CYNTHIA
HERRADA
4360 DEODAR DR
YORBA LINDA CA 92886-3155

WILLIAM REICHARD & LORI REICHARD
W355N4971 LAKEVIEW CT
OCONOMOWOC WI 53066

WALLSCHLAGER TRUST DATED JANUARY
21 2002
W292N5672 DORN RD
HARTLAND WI 53029

WARREN J SEIB JR AND KIMBERLY D SEIB
W292N5613 DORN RD
HARTLAND WI 53029-9201

WILLIAM J STRUBE
W293N5574 MERTON AVE
HARTLAND WI 53029-1250

WILLIAM LUTERBACH AND LISA
LUTERBACH
1101 SWEETBRIAR LN
HARTLAND WI 53029-8633

WILLIAM REICHARD & LORI REICHARD
W355N4971 LAKEVIEW CT
OCONOMOWOC WI 53066

CHAD WEITNER AND CANDACE
WEITNER
W293N5588 MERTON AVE
HARTLAND WI 53029

ANDREW T WARE AND KATHLEEN K
WARE
958 GREENWAY TER
HARTLAND WI 53029

DAVID K & KATHY J GODGLUCK
REVOCABLE LIVING TRUST
W294N5553 MERTON AVE
HARTLAND WI 53029-1249

IAN S LINDNER AND BRIDGET L
CALDWELL
W294N5407 MERTON AVE
HARTLAND WI 53029-1247

JASON D JANUSZ
N56W29336 COUNTY ROAD K
HARTLAND WI 53029-1102

LSA IN GOD WE TRUST
N46W29096 CAPITOL DR
HARTLAND WI 53029-2243

LUCA DELLOMODARME AND JULIE
DELLOMODARME
952 GREENWAY TER
HARTLAND WI 53029-1170

REUTEMAN-JENTGES PROPERTIES LLC
AND RUTH GEHRING
N68W34240 COUNTY ROAD K
OCONOMOWOC WI 53066-1314

RAYMOND MOHR AND LOIS MO
910 MERTON AVE
HARTLAND WI 53029

RICHARD A MANUEL AND KAREN M
GEIS
1119 E SWEETBRIAR LN UNIT 21
HARTLAND WI 53029-8633

RICHARD & CHRISTINE DIFRANCES
946 GREENWAY TER
HARTLAND WI 53029

NANCY MASSART
1121 E SWEETBRIAR LN
HARTLAND WI 53029-8633

P KENNETH SERVI AND JOYCE SERVI
1007 N PINEGROVE CT VILLA 34
HARTLAND WI 53029

MEMO

TO: Tim Rhode, Village Administrator
 FROM: Ryan Amtmann, Village Engineer
 DATE: August 13, 2020
 SUBJECT: LCL Catalyst Multi-family – Rezone and PUD Petition

BASIC INFORMATION	
Project Name	Lake Country Lutheran Catalyst Multi-family
Applicant Name	Catalyst
Consulting Planner and/or Engineer	TRIO
Existing Zoning	Public/Institutional
Requested Zoning	Rm-1 PUD Multiple-Family Res
Address/Abbreviated Legal	Tax Key HAV0423981
Comprehensive Land Map Designation	High Density Res 8 to 18 u/a

ADJACENT LAND USE/ZONING MATRIX		
<i>Direction</i>	<i>Land Use</i>	<i>Zoning</i>
North	Single Family Res	Rs-5
South	Fallow	I - Institutional
East	Single Family Res	Rs-5
West	Public/Institutional	C-1

Background

Neumann Development, Inc. on behalf of the Lake County Lutheran Association submitted/gained approval for a Rezoning Petition and PUD Petition for the land to the north of Scenic Road for their development of 47 single family condominiums. This occurred at a joint ABPC/VB meeting on July 20, 2020.

Catalyst Construction, on behalf of the Lake County Lutheran Association had previously submitted to the Architectural Board building/architectural plans and a general sight layout for the concept development of 138 multi-family units in 6 buildings on the 16.92 acres of land south of Scenic Road. Their concept plan was submitted to the Architectural Board at the April 20, 2020 meeting and previously to the Village Board. At this meeting the Architectural Board provided a general verbal concurrence that the proposed multi-family development aligned with the envisioned land use for this land in the Comprehensive Smart Growth Plan and that the quality of the buildings/architecture and general layout of the site was a good fit for the Village of Hartland. Neumann Development, Inc. was acting as the broker for the Rezoning and PUD petition of both the single family and multi-family projects. Shortly after the April 20, 2020 meeting Catalyst Construction withdrew its project for consideration.

Catalyst Construction, on behalf of the Lake County Lutheran Association has resurrected its multi-family development project and has submitted a Rezoning Application and PUD Petition dated July 31, 2020 for 16.92 acres south of Scenic Road for the purposes of developing 150 multi-family units in 6 buildings.

Submittal Materials

Catalyst Construction has submitted a rezoning application and PUD petition (dated 7/31/2020), that includes a proposed 150 multi-family development on the south side of Scenic Road on the 16.92 acres of land referred to as Lot 2 of the recently approved CSM. Catalyst has submitted the following information via an email/share file site dated August 12, 2020. The following are the documents that were included:

1. PUD Petition – dated 7/31/20
2. Catalyst PUD Request Letter & Supplement to the Petition for Campus Dr. Apartments PUD – dated 8/11/20
3. Exhibit A – Legal Description – dated 8/11/20
4. Exhibit B – Preliminary Civil Plans Hartland Apts – dated 8/11/20
5. Exhibit C - Rezoning Exhibit – dated 8/11/20
6. Exhibit D – Hartland East Apartments Landscape Plan – dated 8/11/20
7. Exhibit E – Hartland LCL East Apartments Architectural Elevations/Renderings – dated 8/10/20
8. Exhibit F – Paradise Trails Joint Stormwater Easement Exhibit – dated 7/31/20
9. Exhibit G – Soils Report – dated 6/8/20
10. Exhibit H – Heartland Tree Survey Memo – dated 1/16/20
11. Exhibit I – INRA delineation report – dated 3/3/20
12. Exhibit J – Stormwater Management Plan LCL – dated 7/2/20

Village Staff Comments

Village staff has met to review the applicant's submittal. The applicant is at the Pre-Petition stage of the PUD process, whereby they have assembled the appropriate information to allow for them to present the concept plan to the Plan Commission.

1. Rezoning Application
 - a. Subject property is a portion of previously identified tax key HAV0423981; 16.92 acres in size; and currently zoned I-1.
 - b. As this parcel has recently had a CSM recorded for the single-family condo development, the tax key will change and be updated throughout the approval process of this rezoning application.
 - c. The PUD petition states that the design intent is to create the development around the INRA and preserve it in an Upland Conservancy Overlay (UCO) District
 - d. The Rezoning Exhibit "A" shows Area-B as the 16.92-acre parcel to be rezoned to RM-1 with the easterly 3.49 acres being in an Upland Conservancy Overlay (UCO) District and the entire Area-B to have a PUD overlay.
 - e. Lands to Remain I-1 – the southerly 8.9096 acres of land will remain as I-1. The rezoning petition states that this area could allow for future institutional or commercial use.
2. PUD Petition
 - a. Catalyst's PUD petition narrative states that they are proposing a PUD Overlay for Area B – proposed Rm-1 zoning with PUD overlay and UCO. Proposed development is 150-unit multi-family in 6 buildings. Narrative states that PUD will allow for design of urban style cluster community that will preserve a significant portion of the wooded areas along east of the lot.

3. Density – The Rm-1 zoning district allows for 10.9 units per net acre. There are 13.43 net acres for development which results in an allowable density of 146 dwelling units. The proposal is for 150 dwelling units. In accordance with Sec. 46-804, the PUD overlay district may allow an increase of 10% density above the residential basic use district average density, only after the Plan Commission has determined that the proposed planned unit development satisfies the review criteria set forth in Section 46.
4. The architectural nature of the proposed buildings has changed “slightly” from what the Village Board and Plan Commission has seen from the applicant in the past. The applicant should highlight the differences. The prior proposal proposed 138 units, this current submittal proposes 150 units.
5. The traffic study previously prepared for the Neumann development group should be included in the PUD Petition. It is our understanding that the previously generated traffic study contemplated the multi-use project at a density of 138 units.
6. Sanitary sewer and water main will be privately owned. The existing sanitary sewer and water main can support the proposed 150 units.
7. Stormwater Management – the overall sight stormwater management plan is being coordinated with the single-family condo project and is regional in nature. There will be a Joint Stormwater Management Easement and Maintenance Agreement for the area shown on Exhibit F of the PUD Petition.
8. The future development of the remaining lot to the south should be considered from a conceptual standpoint with the multi-family project as it relates to sewer/water service, emergency access, pedestrian path location, stormwater management, grading and landscaping along the southerly property line.
9. Permitted Accessory Use – the proposed club house and amenity areas should be more fully detailed on the subsequent submittal.
10. Parking – the applicant should confirm that the resident and guest parking is accommodated.
11. The applicant has offered to identify a comparable development that they have accomplished for PC/VB or other stakeholders to review.

RTA:rt



VILLAGE OF HARTLAND
PETITION FOR:



[X] NEW PLANNED UNIT DEVELOPMENT OVERLAY PETITION
(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

OR

[] AMENDMENT TO EXISTING PLANNED UNIT DEVELOPMENT
(REQUIRES 2 PLAN COMMISSION MEETINGS AND MAY INCLUDE UP TO 3 VILLAGE BOARD MEETINGS. DURING ONE OF THE VILLAGE BOARD MEETINGS A PUBLIC HEARING SHALL BE HELD)

FEE: \$150.00 + \$1,000 Professional Fee Deposit

Table with 2 columns: Date, Fee Paid, Date Filed, Receipt No.

- 1. Name: Catalyst Construction
Address of Owner/Agent: 833 E Michigan St, Suite 1000 Milwaukee, WI 53202
Phone Number of Owner/Agent: 414-436-7361
FAX No. E-mail matt@catalystbuilds.com
2. Give complete legal description of property to be considered.
3. State present use of property and intended use. See Attachments

Signature of Petitioner: Jessica Timmer, RINKA
756 N Milwaukee St, Milwaukee, WI 53202
Address: 734-612-8080
Phone



NOTE:

- a. Upon receipt of the petition for a PUD Overlay or PUD Amendment, the Plan Commission shall consider the request after the second meeting and make a recommendation to the Village Board. If the Village Board, upon reviewing the Plan Commission's recommendation, determines the request to have merit, it may order publication for a public hearing. After the public hearing held by the Village Board, it will take any action deemed necessary.
- b. Petition, Approval of Location and Plan of Operation may be made to the Village Plan Commission by filing such petition with the Village Clerk, accompanied by an operation description and a site plan showing the property boundaries, proposed and existing structures, a sketch of the building exterior and floor plan, and indicating uses on abutting property within 25 feet. Plans for landscaping and indication of parking facilities should be attached. Be as detailed as possible in order to fully inform the Plan Commission of your exact purpose and intention.
- c. Include a Plat Map in triplicate, drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and direction of each boundary thereof, the location of existing buildings and uses of same on such lands. Also, show the proposed building and the plat plans and indicate setbacks and offsets from the lot line. Parking area should also be shown.
- d. Ask for a copy of the Village Ordinance relating to zoning changes or Planned Unit Development districts (PUD), as required.
- e. Include fee payable to **The Village of Hartland**

\$150 for PUD Petition + \$1,000 PROFESSIONAL FEE DEPOSIT
- f. Mail or deliver request, in triplicate, to:

**Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029**



August 11, 2020

Village of Hartland
210 Cottonwood Avenue
Hartland, WI 53029

Dear Plan Commission,

Introduction

Thank you for reviewing our submission of a rezone request and PUD petition for the lands east of Campus Drive in Hartland for the purposes of a multi-family development. Catalyst has been developing and building multi-family properties since 2004 in South-Eastern and South-Central Wisconsin. Since the year 2004, Catalyst has completed more than \$1 billion of construction value, including more than 1,000 units of multi-family housing. We look forward to the opportunity to bring another great multi-family development to the Village of Hartland.

Land Parcel Description

The land we are proposing for development includes the south-central portion of tax key HAV0423981 and is located north of STH 16, East of Campus Drive and Lake Country Lutheran High School, West of residential development on Willow Drive, and south of proposed residential lands on the same tax key. Historically, these lands have been used for agriculture and for the past several decades have been left fallow. Currently, sewer and water extensions have been run through the center of the lands connecting Campus Drive to Willow Drive. Additionally, there is a trail system that runs around the area that the current owner has allowed neighbors as well as the various nearby school districts to use. Our proposed development would re-route some of these trails and permanently preserve them through easements for the benefit of the public use.

Comprehensive Plan

In 2019, the Village revised and approved a new comprehensive plan and Smart Growth map. The included exhibits and proposed zoning changes are consistent with the vision laid out for this area in the Comprehensive Plan for the Village of Hartland. The proposed development respects the boundary of the Isolated Natural Resource Area (INRA) on the property as previously discussed and agreed upon by SEWRPC and the Village. Through the rezoning process, this boundary can be protected by including it in an Upland Conservancy Overlay (UCO) as is described in the Village's zoning ordinance.

Wetland Delineation

At the time of this re-zoning request wetlands have been delineated and confirmed by the DNR. The limited wetland areas included on the site will be avoided with this proposed development. Additionally, per the Village's ordinance a tree inventory survey was conducted of species with a DBH greater than 6". Exhibits showing the full inventory of trees as well as those intended to be preserved accompanies this submittal.



Proposed Zoning

The southern portion of the site identified as Area B on the attached Rezoning Exhibit is currently identified as high Density Residential on the Village of Hartland Comprehensive Plan’s Future Land Use map. We are proposing two story multi-unit buildings of multiple-family residential with RM-1 PUD zoning on this parcel. The RM-1 zoning is consistent with the 2019 Comprehensive Plan future land use. We are proposing a PUD overlay to develop this parcel with design concepts consistent with urban style clustered community preserving more adjacent open space. Clustering the buildings will allow us to preserve green space to the north and south of the primary buildings

Zoning details include:

Proposed Zoning: RM-1 PUD
Total Area: 16.92 acres
INRA (UCO) Area: 3.49 acres
R.O.W. Dedication: Not included
Net Area: 13.43 acres
Maximum Density: 160 units includes 10% increase per 46-804
Proposed Density: 150 units

Setbacks: 30 feet street yard setback on Campus Drive
40 feet street yard setback on Scenic Road
40 feet rear yard setback
15 feet side yard setback

Proposed Unit Mix: 78 1 Bedroom
72 2 Bedroom
150 Total (Distributed across 6 Buildings)

Proposed Parking: 108 Attached Garages (Distributed across 6 Buildings)
42 Detached Garages (Distributed across 6 Buildings)

Proposed Amenities: A clubhouse building will be constructed central to the development with community room, fitness room, management office, outdoor patio & pool.

We are proposing the streets and utilities in Area B to be private infrastructure. We envision the multifamily buildings and garages to be designed with a neo-traditional urban style feel appealing to affluent renters and downsizers. An additional amenity area with club house and pool is proposed for the development. The development will be managed by a professional property management company and will be responsible for architectural oversight, enforcement, budget, and management of neighborhood common and private elements.



The total area to be included in the PUD is the full 16.92 acres included in Area B as proposed the project preserves 3.49 acres of open space. This development would connect to municipal sewer and water service currently located adjacent to the property.

The proposed development costs are estimated at more than \$15 million dollars to include necessary road improvements, neighborhood amenities, walking trails, community landscaping, and necessary infrastructure improvements. It is estimated that individual units will rent between \$1,200 and \$1,800, monthly. Upon completion the development will add an estimated \$15 million dollars in tax base to the Village of Hartland.

If approved the commencement of development work is anticipated to be Fall of 2020. We anticipate an approximate 1 – 2, year time frame for full completion of all the buildings.

This petition is being made after careful consideration regarding the market supply and demand of different residential product types in the Hartland area and we feel it provides a housing option that will benefit the Village for many years to come.

Thank you for your consideration of this proposed project.

Sincerely,

A handwritten signature in black ink, appearing to read 'MB', with a long horizontal flourish extending to the right.

Matt Burow
Chief Executive Officer
Catalyst Construction



Supplement to the Petition for Campus Dr. Apartments PUD

The Purpose of this Supplement to the Petition for Paradise Trails Planned Unit Development is to summarize the justification for the use of a planned development overlay for this development and provide the necessary details for a proposed PUD Agreement.

46-807 (2)a.

Does the area of the proposed PUD conform with the Village’s Smart Growth Plan?

- Yes, the requested zoning and use matches the uses proposed in the 2035 Smart Growth Plan.

46-807 (2)a.1.

- Total area of PUD = 16.92 acres
- Total area of UCO = 3.49
- Area B Development Summary

Currently Zoned	I-1	
Proposed Zoning	RM-1	
Comprehensive Land Use Plan	High density residential	8 to 18 units/acre

DENSITY		
Total Area of PUD	16.92	Acres
Total Area of UCO	3.49	Acres
Net Area	13.43	Acres
Allowed Density per Net Acre with 10% allowed increase per 46-804	160.97	Units
Proposed Density	150	Units
Proposed Density	11.17	Units/acre

UNIT SUMMARY		
1 Bedroom	78	Units
2 Bedroom	72	Units
TOTAL UNITS	150	Units

- Utilities located within East-West central “Public Road” are to be public utilities with full ROW dedication to the Village of Hartland.
- Utilities North of the central “Public Road” are proposed to be Privately owned and maintained with connection to Public utilities as approved by the Village Engineer and DPW.



46-807 (2)a.2.

- The proposed development costs for the multi-family buildings and central East-West public road are estimated around \$15 million dollars to include necessary road improvements, neighborhood amenities, walking trails, community landscaping, and necessary infrastructure improvements. It is estimated that multi-family units will rent between \$1,200 and \$1,800, monthly. Upon completion the development will add an estimated \$15 million dollars in tax base to the Village of Hartland.

46-807 (2)a.3.

- The multi-family development will be managed by a professional property management company responsible for architectural oversight, enforcement, budget, and management of neighborhood common and private elements.

46-807 (2)a.4.

- There are no requested departures from Village Standard of Development for any work proposed in public rights of way.
- It is proposed that in the multi-family setbacks be defined as the following:
 - 30 feet street yard setback on Campus Drive
 - 40 feet street yard setback on Scenic Road
 - 40 feet rear yard setback
 - 15 feet side yard setback

46-807 (2)a.5.

- The expected commencement of the project is to be late Fall 2020
- It is anticipated that the public infrastructure improvements would be complete within one year of commencement.
- It is anticipated that the storm water improvements would be complete within one year of commencement.
- It is anticipated that the multi-family private improvements will be completed within one year.
- It is anticipated that full build out of the multi-family buildings and improvements will take 1 - 2 years.



46-807 (2)b.

General development plans and ultimately specific plans and exhibits should include but are not limited to:

- Ex – A Legal Description
- Ex – B Site Plan
- Ex – C Zoning Exhibit
- Ex – B Preliminary Plat – There will be the creation of a new CSM after the recording of the original CSM of the entire parcel.
- Ex – D Landscape Plan
- Ex – E Multi-family Architectural Plans & Renderings
- Ex – F Storm Water Management Facility Maintenance Agreement – Development agreement in process jointly with the parcel to the north.
- Public Utilities Easement – No public utilities easement in this parcel.
- Temporary Access Easement – No temporary access easement in this parcel.
- Public Access Easement – A 20' wide pedestrian access previously indicated on the CSM
- Ex – F Permanent Access/Maintenance Easement – Part of the shared stormwater agreement with the parcel to the north.
- Ex – G Soil Report
- Staging Plan – The construction will be continuous until completion.
- Ex – H Parcel Tree Survey
- Ex – I Isolated Natural Resource Area Delineation Report
- Ex – J Preliminary Storm Water Management Plan

This petition is being made after careful consideration regarding the market supply and demand of different residential product types in the Hartland area and we feel it provides a housing option that will benefit the Village for many years to come.

We look forward to discussing these proposed changes and bringing another great neighborhood to the Village of Hartland.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Burow", with a long horizontal flourish extending to the right.

Matt Burow
Chief Executive Officer
Catalyst Construction

CATALYST HARTLAND APARTMENTS

PRELIMINARY DEVELOPMENT PLANS CAMPUS DRIVE VILLAGE OF HARTLAND, WISCONSIN

GENERAL NOTES

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWC)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
- WSDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF HARTLAND STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.

THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.

EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.

THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.

THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY

EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.

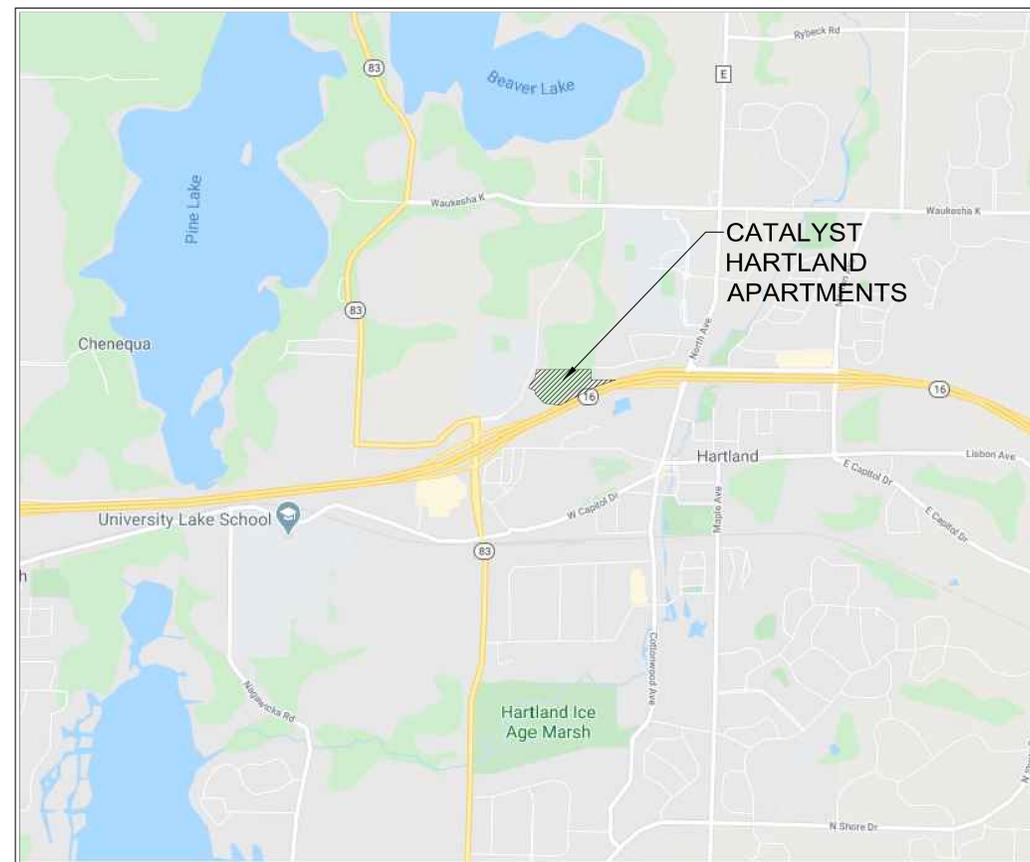
PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.

ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.

ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.

THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.



VICINITY MAP
NOT TO SCALE



LOCALITY MAP:
S.W. 1/4 & S.E. 1/4,
SEC. 32, T. 8 N., R. 20 E.
SCALE: 1"=2000'

DEVELOPER:
CATALYST CONSTRUCTION
833 E. MICHIGAN ST. #1000
MILWAUKEE, WI 53202
PHONE: (414) 727-6840

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C1.2	- GRADING PLAN
C1.3	- EROSION CONTROL PLAN
C1.4	- SANITARY SEWER AND WATER MAIN PLAN
C1.5	- STORM SEWER PLAN
C1.6	- CONSTRUCTION DETAILS
C1.7	- CONSTRUCTION SPECIFICATIONS



4100 N. CALHAN ROAD
BROOKFIELD, WI 53005
PHONE: (262) 750-1400
FAX: (262) 750-1441
EMAIL: info@trioeng.com

△ Revisions

SCHEMATIC
DESIGN DRAWING
SET

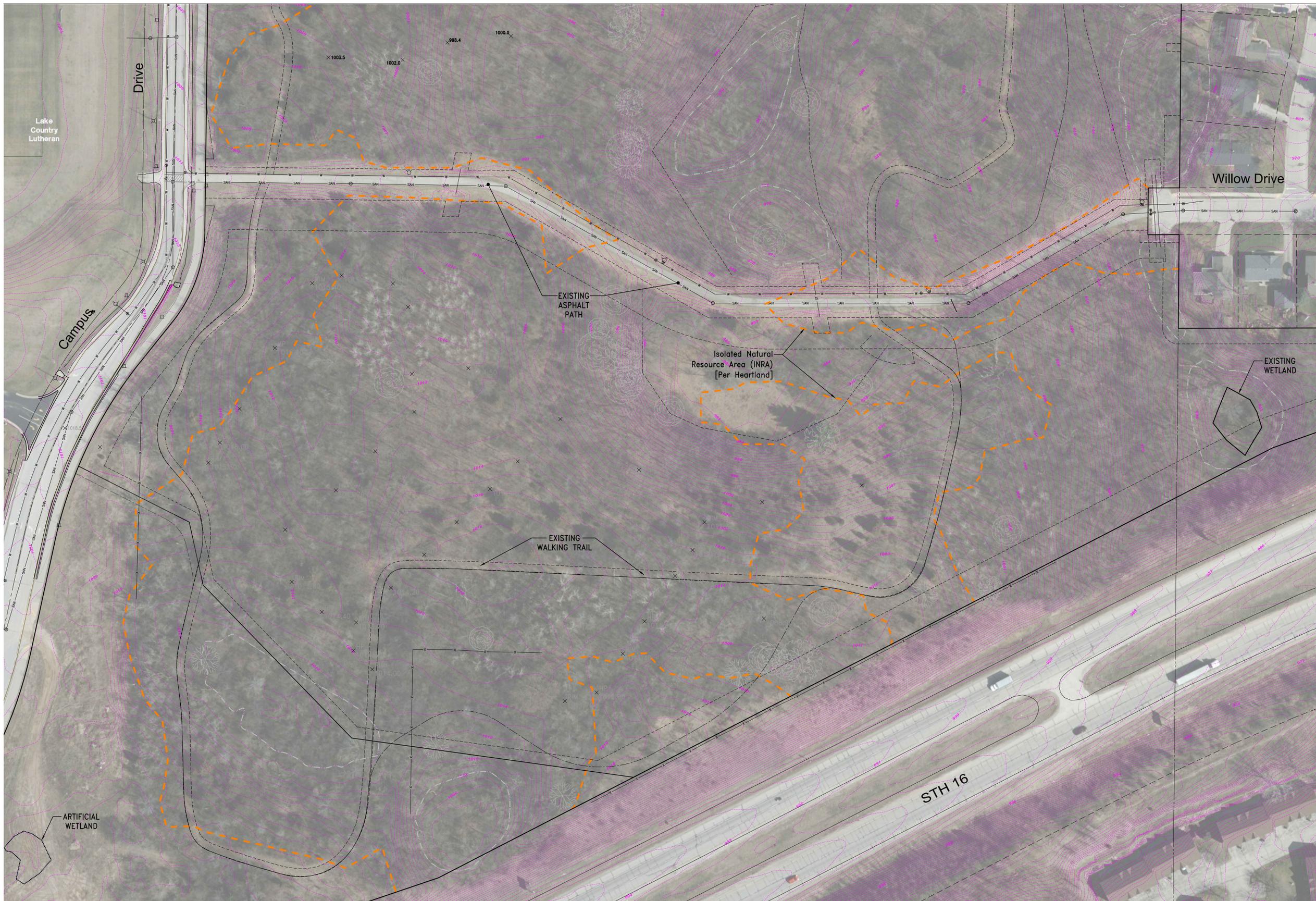
CATALYST
HARTLAND
APARTMENTS

CAMPUS DRIVE
HARTLAND, WI 53029
Date Issued: 08/11/2020
RINKA project #: 191010
Sheet Title

**COVER
SHEET**

Sheet # **T1**

NOT FOR CONSTRUCTION



4100 N. CALHOUN ROAD
 BROOKFIELD, WI 53005
 PHONE: (262) 750-1480
 FAX: (262) 750-1481
 EMAIL: info@trioeng.com

△ Revisions

SCHEMATIC
 DESIGN DRAWING
 SET

CATALYST
 HARTLAND
 APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
 RINKA project #: 191010
 Sheet Title

**EXISTING
 SITE PLAN**

Sheet # **C1.0**

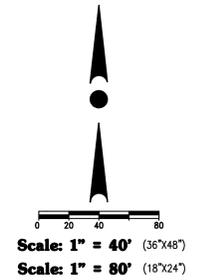
ISOLATED NATURAL RESOURCE AREA NOTE:
 Isolated Natural Resource Area boundary shown (in orange) hereon was delineated by Heartland Ecological Group Inc. in February 2020.

HORIZONTAL DATUM PLANE:
 ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE S.W. 1/4 OF SECTION 34, TOWN 8 NORTH, RANGE 18 EAST, BEARS N89°54'10"E.

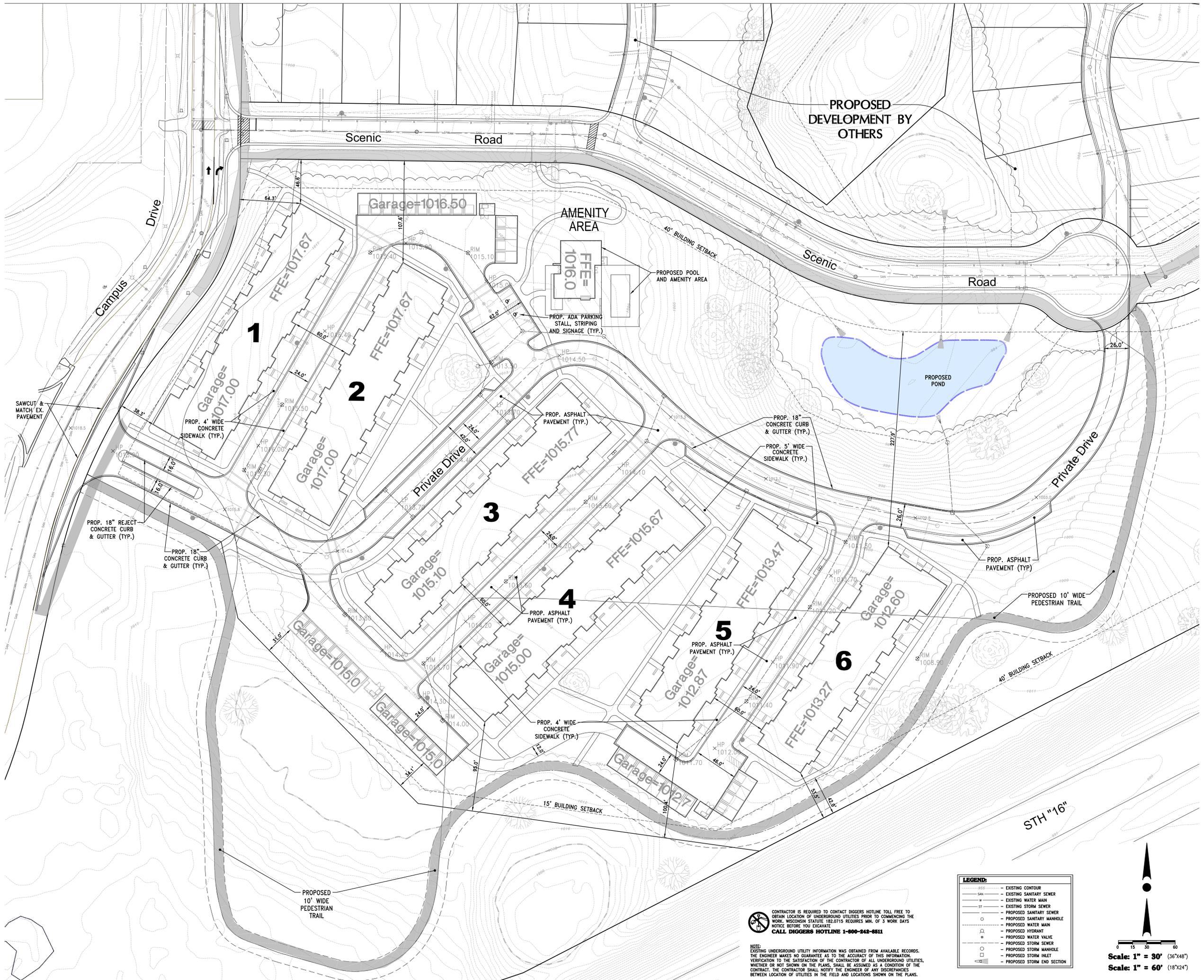
VERTICAL DATUM PLANE:
 All elevations are referenced to the National Geodetic Vertical Datum of 1929 via a ground survey by Trio Engineering, LLC. and Waukesha County GIS topographic data.

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



NOT FOR CONSTRUCTION



4100 N. CAHOHAN ROAD
 BROOKFIELD, WI 53005
 PHONE: (262) 750-1400
 FAX: (262) 750-1401
 EMAIL: info@trioeng.com

△ Revisions

SCHEMATIC
 DESIGN DRAWING
 SET

CATALYST
 HARTLAND
 APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
 RINKA project #: 191010
 Sheet Title

**PROPOSED
 SITE PLAN**

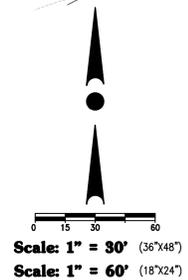
Sheet # **C1.1**

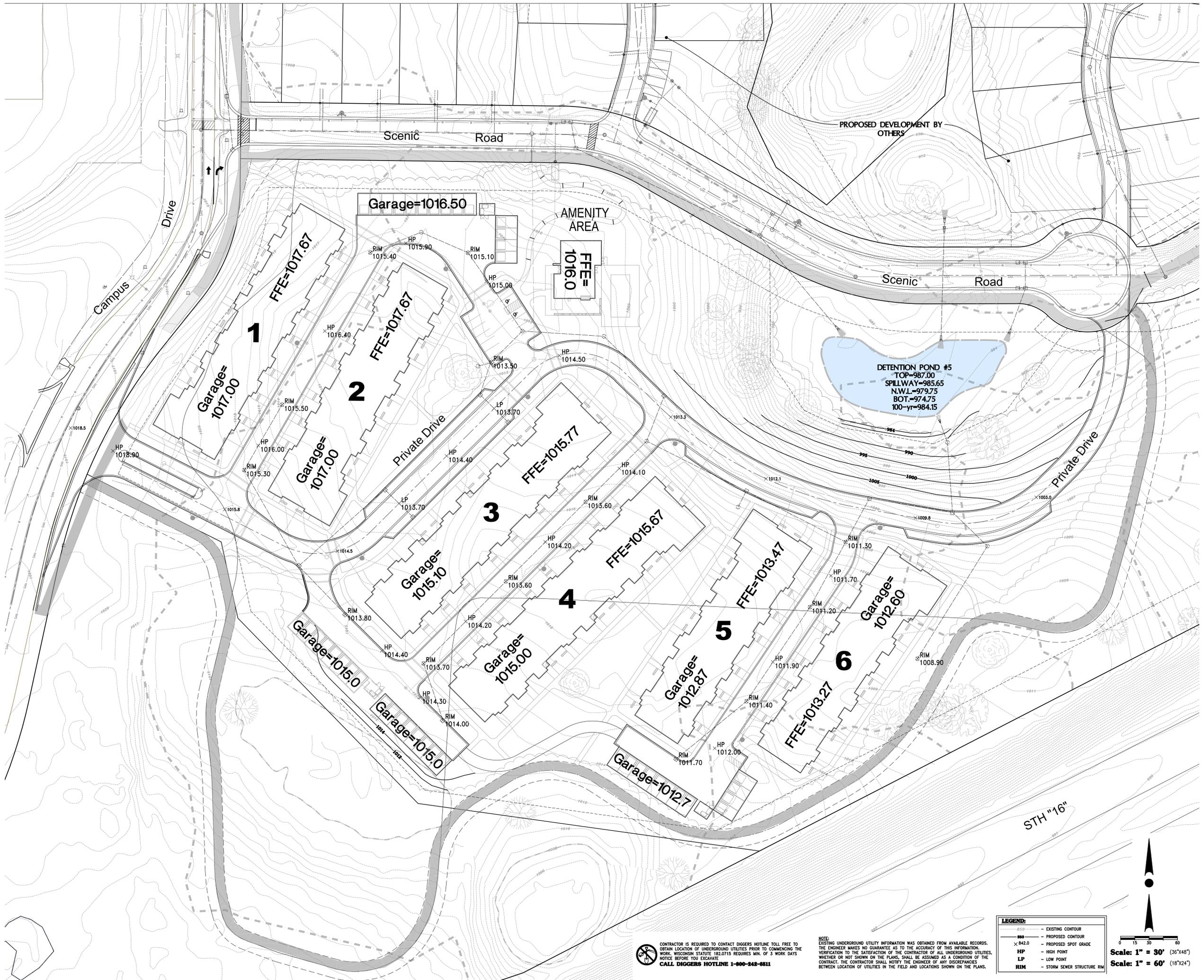
NOT FOR CONSTRUCTION

LEGEND	
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.





DETENTION POND #5
 TOP=987.00
 SPILLWAY=985.65
 N.W.L.=979.75
 BOT.=974.75
 100-yr=984.15



4100 N. CAHILLAN ROAD
 BROOKFIELD, WI 53005
 PHONE: (262) 750-1400
 FAX: (262) 750-1401
 EMAIL: info@trioeng.com

△ Revisions

SCHEMATIC
 DESIGN DRAWING
 SET
 CATALYST
 HARTLAND
 APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
 RINKA project #: 191010
 Sheet Title

**GRADING
 PLAN**

Sheet # **C1.2**

NOT FOR CONSTRUCTION

LEGEND:

850	EXISTING CONTOUR
860	PROPOSED CONTOUR
X 842.0	PROPOSED SPOT GRADE
HP	HIGH POINT
LP	LOW POINT
RIM	STORM SEWER STRUCTURE RIM

Scale: 1" = 30' (36"x48")
 Scale: 1" = 60' (18"x24")

NOTE: CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-248-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

CONSTRUCTION SEQUENCE PLAN

1. INSTALL PERIMETER SILT FENCE AND TRACKING PAD. PROVIDE APPROPRIATE DITCH CHECK AND TEMPORARY STABILIZATION AS NECESSARY. PROVIDE INLET PROTECTION TO EXISTING STRUCTURES. PROVIDE ADDITIONAL INLET PROTECTION TO PROPOSED STRUCTURES AS THEY ARE INSTALLED.
2. CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH STEP 1. STRIP TOPSOIL AND STOCKPILE AS INDICATED ON PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH PERIMETER SILT FENCE AND TEMPORARY SEEDING.
3. ROUGH GRADE SITE. ALL DISTURBED SOIL THAT IS TO GRADE AND OR IS TO BE LEFT DORMANT FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH SEED AND MULCH AND/OR BLANKET.
- 4.1. CONSTRUCT PROPOSED SEDIMENT TRAP (FUTURE POND) AND TEMPORARY STONE WEIR OUTLET CONCURRENT WITH STEP 4.
- 4.2. WITH FINAL GRADING OF POND INSTALL PROPOSED POND OUTLET STRUCTURE. REMOVE TEMPORARY STONE WEIR AND RESTORE SPILLWAY TO FINAL GRADE.
5. CONSTRUCT BUILDINGS
- 5.1. BUILDING CONSTRUCTION MAY COMMENCE AS ALLOWED BY CITY BUILDING PERMIT (NON-SEQUENTIAL).
6. INSTALL SANITARY SEWER AND WATER SERVICE LATERALS.

7. INSTALL STORM SEWER PIPING.

- 7.1. NOTE THAT UTILITY INSTALLATION MAY COMMENCE CONCURRENT WITH SITE GRADING.
8. FINISH GRADE SITE. RESPERD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING AS INDICATED ON PLAN AND/OR AS NECESSARY TO STABILIZE SITE.
9. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. (SCHEDULE TO BE DETERMINED BY OWNER)
10. INSTALL STONE BASE, SIDEWALK, CURB AND PAVEMENT. PAVING, SIDEWALK AND CURB MAY BE PHASED TO COINCIDE WITH THE BUILDING CONSTRUCTION SCHEDULE.
11. COMPLETE LANDSCAPING AND FINAL STABILIZATION AROUND BUILDINGS CONCURRENT WITH BUILDING CONSTRUCTION.
12. REMOVE ALL ACCUMULATED SILT FROM SEDIMENT TRAP. RESTORE POND TO PROPOSED DESIGN GRADES.
13. IF FINALIZATION OF THE SITE DOES NOT OCCUR PRIOR TO OCTOBER 15TH, REFER TO WINTER STABILIZATION NOTES AND SPECIFICATIONS.
14. REMOVE PERIMETER SILT FENCE AND CLOSE OUT CONSTRUCTION SITE PERMITS ONCE THE SITE IS SUBSTANTIALLY VEGETATED (>70% GROUND COVER).

EROSION CONTROL NOTES:

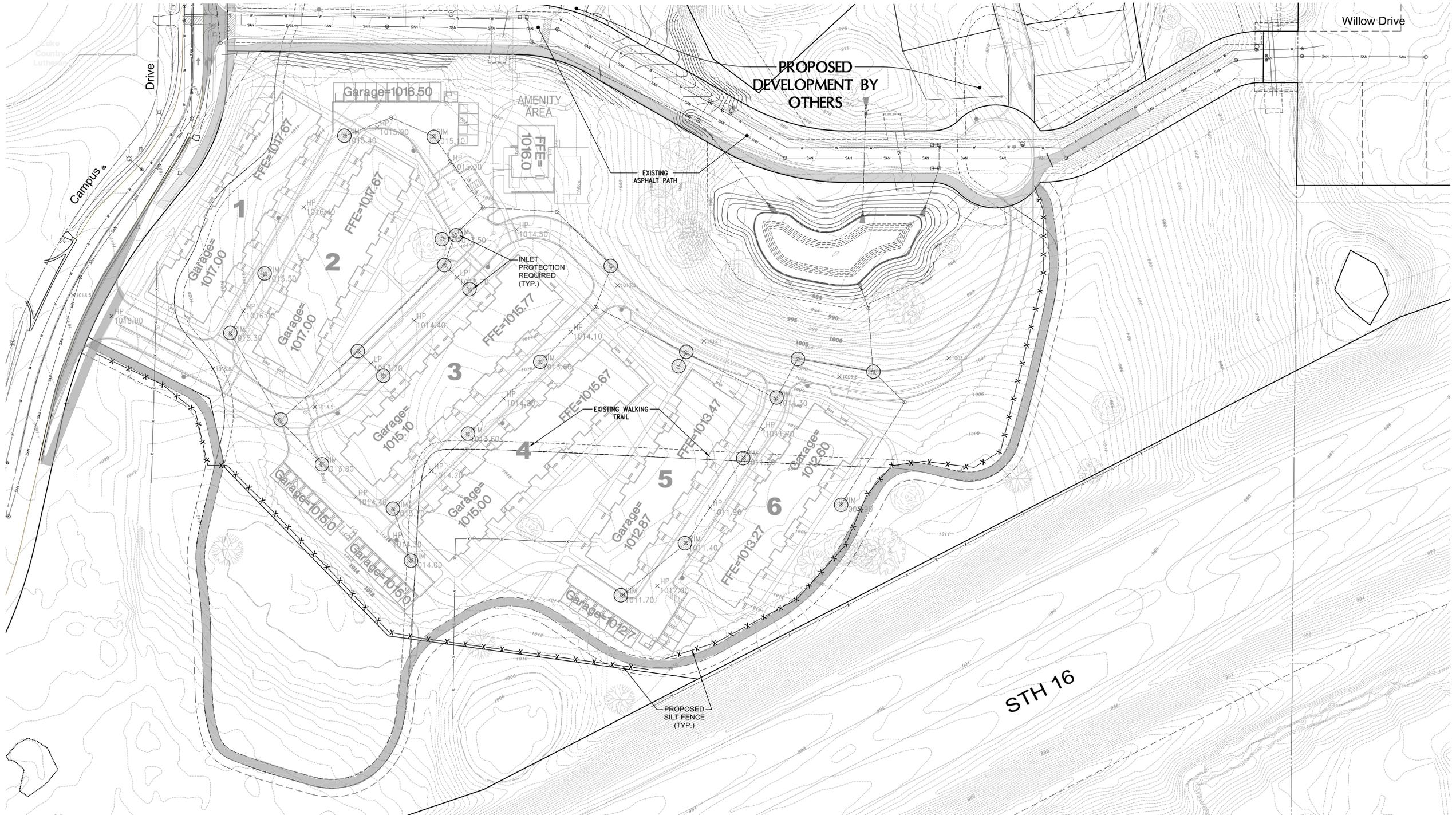
1. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
2. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
3. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
4. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - B. PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - D. PLACE SILT SOCKS/STRAW WATTLES OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - E. MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - F. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.

G. PROMPT REMOVAL OF EXCAVATED MATERIAL.

- H. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWN-SLOPE SIDES OF SPILL PILES.
- I. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
- J. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
- K. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
- L. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEEDING AS OF THAT DATE.
5. TEMPORARY EROSION CONTROL MEASURES.
 - A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SOODING, HAS BEEN ESTABLISHED.
 - B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
6. ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.

7. TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDRN TECHNICAL STANDARDS.

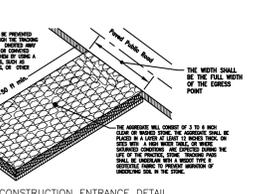
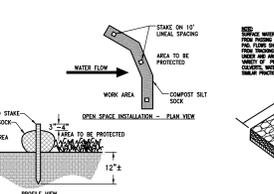
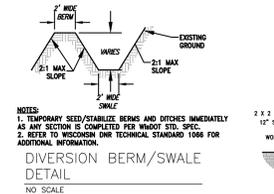
8. INSTALL SILT FENCE IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DETAILS
9. ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
10. EROSION CONTROL INSPECTION AND MAINTENANCE
 - A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
11. ALL AREAS TO BE SEEDING AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.



TEMPORARY DEWATERING GEOTEXTILE BAG

1. IF DEWATERING IS REQUIRED, A GEOTEXTILE DEWATERING BAG MEETING THE SPECIFICATIONS IN THE TABLE TO THE RIGHT SHALL BE UTILIZED AS STATED ON THE EROSION CONTROL PLAN.
2. REFER TO WDRN TECHNICAL STANDARDS 1061 AND MANUFACTURERS REQUIREMENTS FOR INSTALLATION AND MAINTENANCE REQUIREMENTS.
3. CONTRACTOR MAY USE THRACE-LINO, INC 275EX GEOTEXTILE BAG, OR FUNCTIONAL EQUIVALENT TO MEET TECHNICAL STANDARD REQUIREMENTS.
4. CONTRACTOR MAY INSTALL HAY BALES AROUND DEWATERING BAG FOR STABILIZATION AS DICTATED BY SITE CONDITIONS.
5. MAX FLOW RATE SHALL NOT EXCEED 100GPM

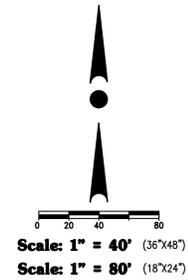
Property	Test Method	Type I Value
Maximum Apparent Opening Sizes	ASTM D-4751	0.212 mm
Cord Tensile Strength	ASTM D-4632	200 lbs.
Mullen Burst	ASTM D-3786	350 psi
Tensarability	ASTM D-4491	0.28 cm/sec
Fabric Reprecusitative Weight	Nominal	5 oz



ISOLATED NATURAL RESOURCE AREA NOTE:
Isolated Natural Resource Area boundary shown (in orange) hereon was delineated by Heartland Ecological Group Inc. in February 2020.

HORIZONTAL DATUM PLANE:
ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE S.W. 1/4 OF SECTION 34, TOWN 8 NORTH, RANGE 18 EAST, BEARS N89°54'10"E.

VERTICAL DATUM PLANE:
All elevations are referenced to the National Geodetic Vertical Datum of 1929 via a ground survey by Trio Engineering, LLC, and Waukesha County GIS topographic data.



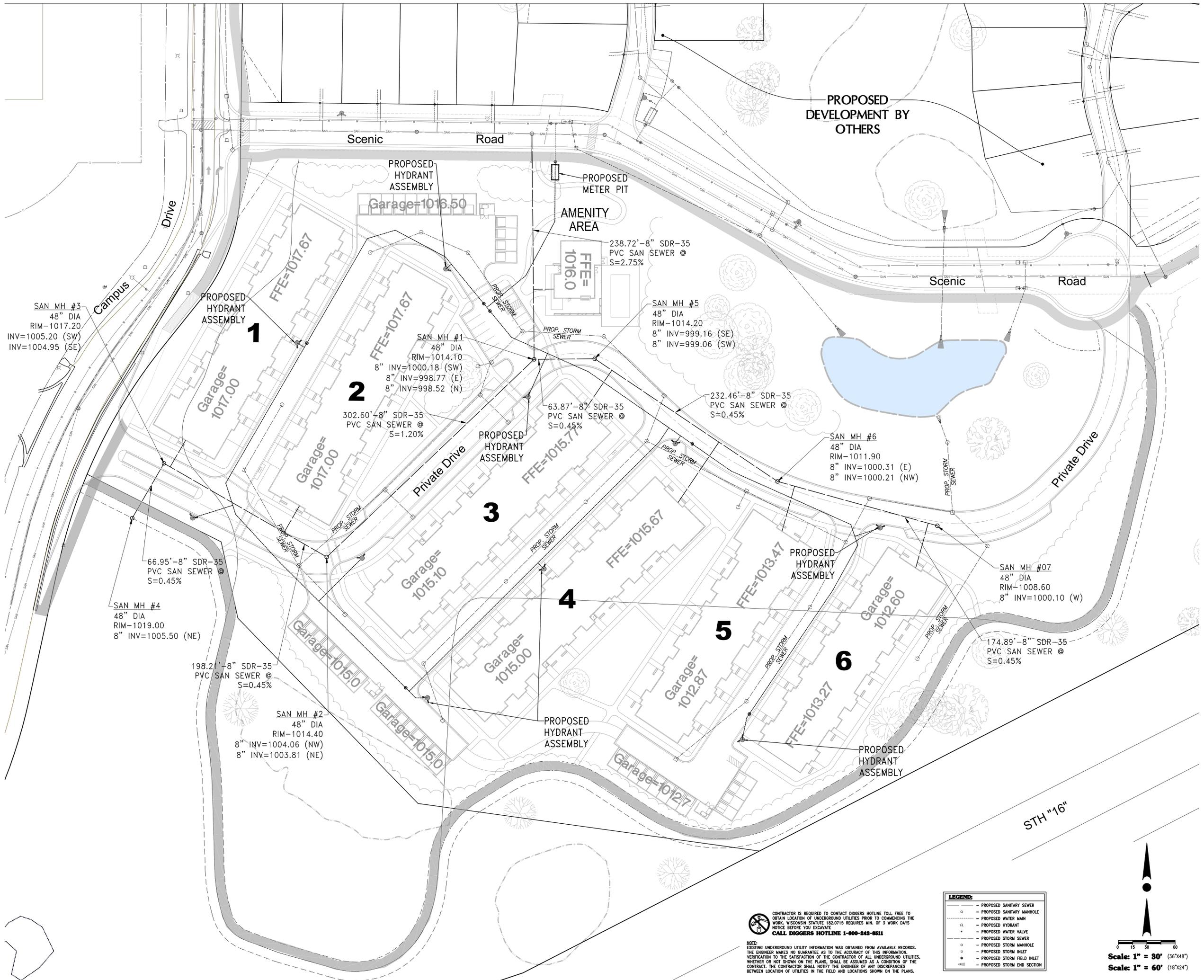
△ Revisions

SCHEMATIC DESIGN DRAWING SET
CATALYST HARTLAND APARTMENTS

CAMPUS DRIVE
HARTLAND, WI 53029
Date Issued: 08/11/2020
RINKA project #: 191010
Sheet Title

EROSION CONTROL PLAN
Sheet # **C1.3**

NOT FOR CONSTRUCTION



△ Revisions

SCHEMATIC
 DESIGN DRAWING
 SET
 CATALYST
 HARTLAND
 APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
 RINKA project #: 191010
 Sheet Title

**SANITARY
 SEWER AND
 WATER MAIN
 PLAN**
 Sheet # **C1.4**

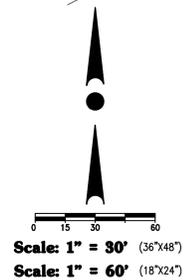
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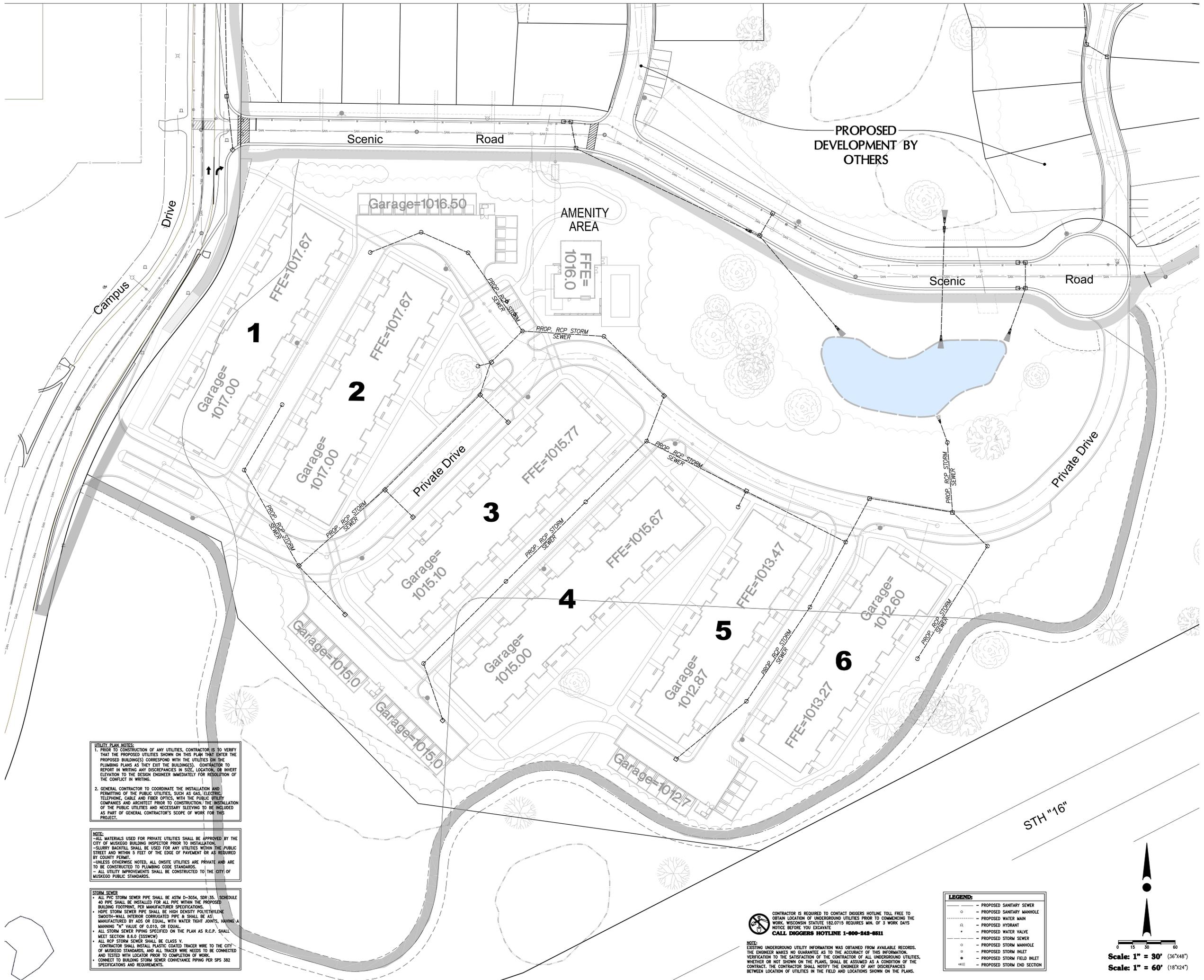
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED STORM FIELD INLET
- PROPOSED STORM END SECTION





UTILITY PLAN NOTES:
 1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
 2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

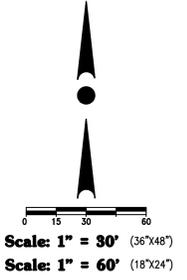
NOTE:
 -ALL MATERIALS USED FOR PRIVATE UTILITIES SHALL BE APPROVED BY THE CITY OF MUSKEGO BUILDING INSPECTOR PRIOR TO INSTALLATION.
 -SLURRY BACKFILL SHALL BE USED FOR ANY UTILITIES WITHIN THE PUBLIC STREET AND WITHIN 5 FEET OF THE EDGE OF PAVEMENT OR AS REQUIRED BY COUNTY PERMIT.
 -UNLESS OTHERWISE NOTED, ALL ONSITE UTILITIES ARE PRIVATE AND ARE TO BE CONSTRUCTED TO PLUMBING CODE STANDARDS.
 -ALL UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF MUSKEGO PUBLIC STANDARDS.

STORM SEWER
 • ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3034, SDR 35, SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
 • HOPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE SMOOTH-WALL INTERIOR CORRUGATED PIPE & SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.010, OR EQUAL.
 • ALL STORM SEWER PIPING SPECIFIED ON THE PLAN AS R.C.P. SHALL MEET SECTION 8.6.0 (SSSW)
 • ALL RCP STORM SEWER SHALL BE CLASS V.
 • CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE TO THE CITY OF MUSKEGO STANDARDS, AND ALL TRACER WIRE NEEDS TO BE CONNECTED AND TESTED WITH LOCATOR PRIOR TO COMPLETION OF WORK.
 • CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER SPS 382 SPECIFICATIONS AND REQUIREMENTS.

NOTICE:
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511
 NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

—	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
—	PROPOSED WATER MAIN
□	PROPOSED HYDRANT
•	PROPOSED WATER VALVE
—	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
○	PROPOSED STORM INLET
○	PROPOSED STORM FIELD INLET
—	PROPOSED STORM END SECTION

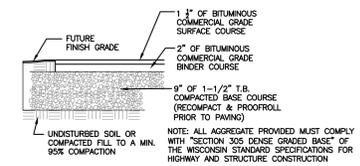


△ Revisions

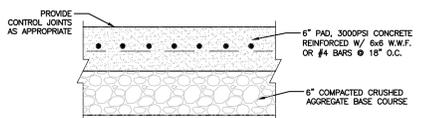
SCHEMATIC DESIGN DRAWING SET
 CATALYST HARTLAND APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
 RINKA project #: 191010
 Sheet Title
STORM SEWER PLAN
 Sheet # **C1.5**

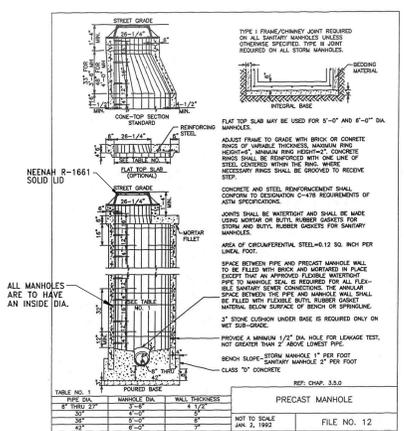
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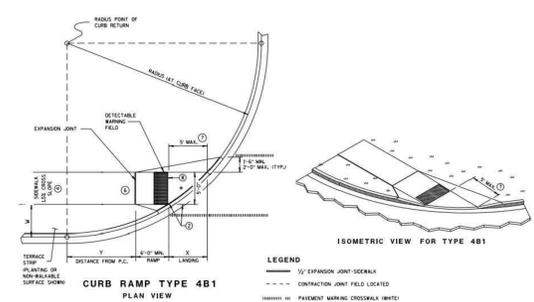
STANDARD DUTY ASPHALT PAVING SECTION
 NO SCALE
 NOTE:
 1. UNLESS OTHERWISE NOTED, STANDARD DUTY PAVEMENT SHALL BE USED IN AREAS CONTAINING PARKING STALLS.
 2. PROOFROLL BASE PER GEOTECHNICAL REPORT RECOMMENDATIONS.



CONCRETE DUMPSTER PAD REQUIREMENT
 NO SCALE



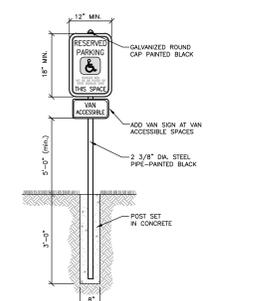
SANITARY MANHOLE DETAIL
 NO SCALE
 NOTES:
 1. ALL SANITARY SEWER NEEDS TO BE SET TO FINISHED GRADE FOR ALL PUBLIC SANITARY SEWER IMPROVEMENTS AND HAVE ASPHALT WEDGE TO FINISHED RIM GRADE.
 2. DESIGN AND CONSTRUCT TO CITY OF MUSKOGEE STANDARDS.
 3. CHIMNEY SEALS SHALL BE EXTERNAL.



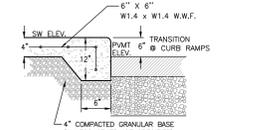
CURB RAMP TYPE 4B1
 NO SCALE



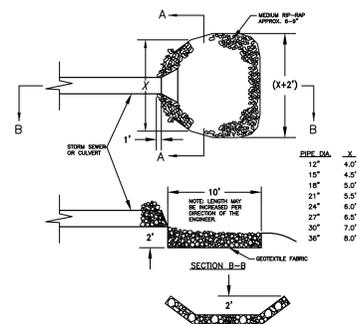
HANDICAP RAMP DETAIL
 NO SCALE



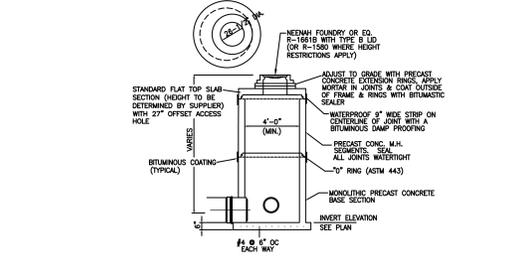
HANDICAP SIGNAGE DETAIL
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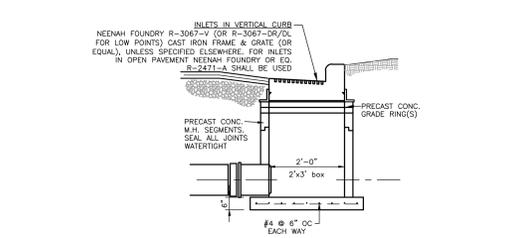
INTEGRAL SIDEWALK & BARRIER CURB
 (WHERE SIDEWALK ADJACENT DRIVEWAYS/PARKING AREAS) NO SCALE



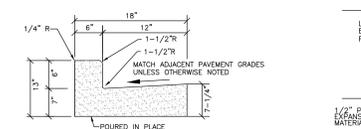
RIP-RAP DETAIL
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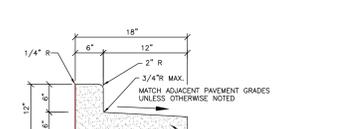
STORM MH DETAIL
 NO SCALE



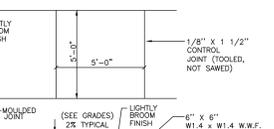
STORM SEWER INLET
 NO SCALE



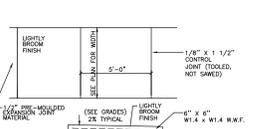
**18\"/>
 NO SCALE
 NOTE: ALL PROPOSED CURB & GUTTER SHALL BE 18\"/>**



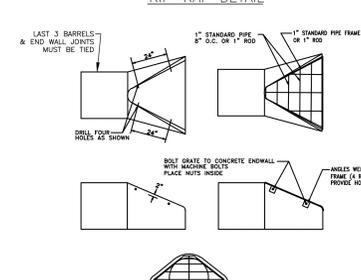
**18\"/>
 NO SCALE
 NOTE: SEE PROPOSED SITE PLAN FOR LIMITS OF PROPOSED REJECT CURB & GUTTER.**



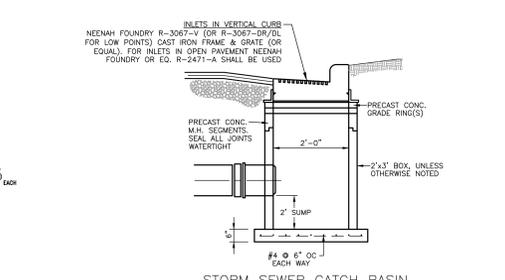
CONCRETE SIDEWALK
 NO SCALE



CONCRETE SIDEWALK AT DRIVEWAY APRON
 NO SCALE



PIPE GRATE DETAIL
 NO SCALE



STORM SEWER CATCH BASIN
 NO SCALE
 NOTE:
 PROVIDE 6\"/>



△ Revisions

SCHEMATIC DESIGN DRAWING SET
CATALYTIC HARTLAND APARTMENTS

CAMPUS DRIVE
 HARTLAND, WI 53029
 Date Issued: 08/11/2020
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CONSTRUCTION DETAILS

NOT FOR CONSTRUCTION

VILLAGE OF HARTLAND STANDARD SPECIFICATIONS AND DETAIL DRAWINGS (HARTLAND STANDARDS)
 CURRENT EDITION: MARCH 1, 2017

SECTION 33 05 00 HARTLAND COMMON WORK RESULTS FOR UTILITIES

PART 2 – PRODUCTS

2.03 BACKFILL

- A. GRANULAR: LIMESTONE SCREENING NOT ALLOWED.
- B. SPOIL: MAXIMUM PARTICLE SIZE 3-INCHES.

2.04 LOCATION AIDS

- A. TRACER WIRE:
 - 1. FOR OPEN-CUT: DIRECT-BURIAL-RATED INSULATED #10 AWG SOLID COPPER CONDUCTOR.
 - 2. SPLICED: COPPERHEAD INDUSTRIES DRYCONNS3-WAY DIRECT BURY LUG CONNECTOR 3WB-01 OR APPROVED EQUAL.
 - 3. COLOR:
 - a. WATER: BLUE.
 - b. SANITARY: GREEN.
- B. LOCATION BOXES FOR TRACER WIRE ACCESS.
 - 1. BURIED:
 - a. SNAKEPIT TEST STATION, BY COPPERHEAD INDUSTRIES, OR APPROVED EQUAL.
- C. GROUNDING ANODE ROD TO HAVE A MINIMUM OF 1 POUND OF MAGNESIUM AND #10 AWG WIRE.
- D. MARKER FLAG:
 - 1. "HYDRAFINDER".
 - 2. 5 FEET LONG.
 - 3. FIBERGLASS, RED AND WHITE.
 - 4. SPRING LOAD ACTION.

PART 3 – EXECUTION

3.04 LOCATION AIDS

- A. DETECTOR WIRE:
 - 1. PLACE MAXIMUM 3 INCHES DIRECTLY ABOVE PIPE. (NO NEED TO TAPE TO PIPE)
 - 2. TEST DETECTOR WIRE CONTINUITY PRIOR TO ACCEPTANCE OF PIPE INSTALLATION.
- B. INSTALL DETECTOR WIRE AT:
 - 1. WATER MAINS.
 - a. EVERY HYDRANT, EXTEND DETECTOR WIRE THROUGH A TEST STATION BOX THAT IS TO BE LOCATED ADJACENT TO THE HYDRANT.
 - b. EVERY CURB STOP, EXTEND DETECTOR WIRE UP CURB STOP BOX AND CONNECT TO CURB STOP LID.
 - 2. SEWERS, LATERALS.
 - a. EVERY MANHOLE.
 - b. SANITARY WIRES CAN BE PLACED INTO THE MANHOLE BELOW THE FRAME.
 - c. EVERY LATERAL, EXTEND DETECTOR WIRE TO TOP OF HARDWOOD MARKER AT END OF LATERAL.
- C. GROUNDING ANODE ROD:
 - 1. INSTALL AT EVERY HYDRANT USING WIRE CONNECTOR EXTENDED FROM MAIN.
 - 2. INSTALL AT EVERY CURB STOP BOX USING WIRE CONNECTOR EXTENDED FROM MAIN.
- D. DEMONSTRATE CONTINUITY OF DETECTOR WIRES TO ENGINEER. CONNECT OHM METER IN A SERIES LOOP WITH DETECTOR WIRE AND ABOVE-GROUND WIRE. CIRCUIT RESISTANCE SHALL NOT EXCEED 5 OHMS.
- E. TEST LOCATING, CONTACT OWNER AT (262) 367-2714 TO LOCATE ALL UTILITIES.
 - 1. AFTER COMPLETION OF CONTINUITY TEST.
 - 2. BEFORE ACCEPTANCE FOR USE.
- 3.06 INSULATION
 - A. WHERE STORM SEWER CROSS OVER WATER MAIN OR LATERALS.
- 3.07 BEDDING AND COVER
- 3.08 TRENCH BACKFILLING AND CONSOLIDATION
 - A. MATERIAL:
 - 1. FOR NEW DEVELOPMENTS.
 - a. GRANULAR, UTILIZE SPOIL IF IT MEETS THE GRADATION OF GRANULAR, MAXIMUM PARTICLE SIZE ALLOWED IS 3-INCHES. SCREEN EXISTING MATERIAL, OTHERWISE PROVIDE HAULED IN GRANULAR.
 - b. AGGREGATE SLURRY, USE WHERE PERMANENT ASPHALT PATCHES ARE BEING USED OR AS DIRECTED BY ENGINEER.
 - 3. OTHER AREAS: SPOIL.
 - 4. AROUND AND OVER UNDERGROUND FACILITIES; FOLLOW RESPECTIVE OWNER'S REQUIREMENTS.
 - B. CONSOLIDATION: EITHER OF THE FOLLOWING METHODS MAY BE USED FOR NEW DEVELOPMENTS OR VILLAGE PROJECTS.
 - 1. FLOODING, FOLLOWING SWS 2.6.14(A), INSERTIONS SHALL BE MADE IN A GRID PATTERN WITH 3-FOOT MAXIMUM SPACING BOTH LONGITUDINALLY AND Laterally.
 - 2. MECHANICAL COMPACTION, FOLLOW SWS 2.6.14(B) EXCEPT CONTRACTOR SHALL FURNISH AND PAY FOR COMPACTION TESTING SERVICES FROM A GEOTECHNICAL TESTING FIRM APPROVED BY THE VILLAGE.
 - a. IN ADDITION, ALL UTILITY STRUCTURES WITHIN THE VILLAGE RIGHT-OF-WAY OR UNDER OTHER PAVED AREAS SHALL BE FURTHER CONSOLIDATED BY FLOODING, FOLLOW SWS 2.6.12(A). INSERTIONS SHALL BE MADE IN A GRID PATTERN WITH 3-FOOT MAXIMUM SPACING BOTH LONGITUDINALLY AND Laterally TO A MINIMUM RADIUS OF 6 FEET FROM THE STRUCTURE.
 - 3. REPAIR ANY TRENCH THAT SETTLES WITHIN ONE YEAR AFTER FINAL COMPLETION.

SECTION 33 11 00 HARTLAND WATER UTILITY DISTRIBUTION PIPING

PART 2 – PRODUCTS

2.02 WATER MAIN PIPE AND APPURTENANCES

- A. PIPE, 3-INCH AND LARGER.
- 2. PVC:
 - a. FOR 3 THROUGH 12-INCH DIAMETER: AWWA C-900, CLASS 150, AND HAVE A MINIMUM PRESSURE CLASS OF 235 PSI AND A THICKNESS OF DR 18.
- B. RESILIENT SEATED GATE VALVES:
 - h. ALL BOLTS SHALL BE 300 SERIES (18-8) STAINLESS STEEL.
 - i. AFC 2500 SERIES OR CLOW C2640.
- C. VALVE ENCLOSURES:
 - 1. BOXES:
 - b. MANUFACTURERS: TYLER 6860 OR EAST JORDAN.
 - d. VALVE BOX ADAPTERS: ADAPTOR, INC.
 - e. POLYETHYLENE FILM WRAP AROUND ALL VALVE BOXES.
- D. HYDRANT ASSEMBLY:
 - 1. FOLLOW AWWA C502 AND SWS 8.26.0:
 - a. BURY DEPTHS: 7'-6" MINIMUM.
 - d. 5-1/4 INCH MINIMUM MAIN VALVE OPENING, NATIONAL STANDARD 2-1/2 INCH HOSE NOZZLE AND A 5-INCH STRAP NOZZLE-FACTORY INSTALLED. NOZZLES SHALL BE MECHANICALLY ATTACHED.
 - e. FACTORY PAINTED RED, WITH ALL CAPS PAINTED WHITE.
 - g. HYDRANTS SHALL BE FACTORY INSTALLED WITH 304 STAINLESS STEEL BOLTS BETWEEN BARREL AND SHOE.
 - h. UPPER STAND PIPE DIMENSION OF 16 INCHES.
 - 2. AMERICAN FLOW CONTROL INC. (FORMERLY WATEROUS) WB-67 PACER.
 - 4. MARKER FLAG:
 - a. "HYDRAFINDER".
 - b. 5 FEET LONG.
 - c. FIBERGLASS, RED AND WHITE.
 - d. SPRINGLOAD ACTION.
- E. FITTINGS:
 - 1. JOINTS:
 - a. BURIED: MECHANICAL
 - 2. PRESSURE RATING
 - a. FULLY BODY: 250 PSI.
 - b. COMPACT: 350 PSI.
 - 3. MATERIAL
 - a. DUCTILE IRON:
 - 1.) CLASS 52 WALL THICKNESS.
 - 4.) COR-BLUE TEE BOLTS.

F. SERVICE LINES, VALVES AND FITTINGS.

- 1. LINES:
 - a. 2 INCH AND SMALLER SHALL FOLLOW SWS 8.24.0 AND:
 - 2.) POLYETHYLENE (HDPE) SDR 9 CTS. STAINLESS STEEL STIFFENERS SHALL BE USED.
 - b. CORPORATION VALVES FOR COPPER OR HDPE.
 - c. COMPRESSION FITTINGS: MUELLER B-25008 (1, 1 1/2, OR 2 INCH), FORD FB1000-5Q FULL PORT (1 1/4 INCH ONLY).
 - d. USE COMPRESSION FITTINGS WITH STAINLESS STEEL STIFFENERS FOR HDPE.
- 2. CURB VALVES FOR COPPER OR HDPE:
 - b. MUELLER H-10300 WITH TRACER WIRE LID OR A.Y. MCDONALD 5610TW.
- 3. CURB BOXES:
 - a. SCREW-ON STYLE.
 - b. MUELLER H-10300 WITH TRACER WIRE LID OR A.Y. MCDONALD 5610TW.
 - c. LID PENTAGONAL BRASS PLUG.
- 4. VALVE STEM EXTENSION TO WITHIN 18 INCHES OF SURFACE ON 1 AND 1-1/4-INCH CURB STOPS.
 - 6. NO SPLICES WILL BE ALLOWED BETWEEN THE MAIN AND THE CURB STOP.
- 5. RESTRAINED JOINTS FOR PVC PIPE:
 - 1. EBBA IRON SERIES 2000 PVC MEGALIG.
 - 2. IN ADDITION TO MEGALIGS, HARDWOOD OR SOLID CONCRETE BLOCK BUTTRESSES MAY BE USED.

PART 3 – EXECUTION

3.01 WATER MAIN INSTALLATION

- D. SET VALVE BOXES TO 1/2 BELOW FINISH GRADE AFTER CURB AND GUTTER PLACEMENT AND BEFORE ASPHALT PLACEMENT.
- F. HYDRANTS:
 - 1. LOCATE HYDRANT VALVES BEHIND CURB AS SHOWN ON DETAIL DRAWING WM-01. ALL JOINTS ALONG HYDRANT LEAD SHALL BE RESTRAINED.
 - b. RESTRAINED JOINTS FOR PVC PIPE:
 - 1.) EBBA IRON SERIES 2000 PVC MEGALIG
 - 3.) POSITION CENTERLINE OF LOWEST HYDRANT OUTLET NOZZLE 20 INCHES (PLUS-OR-MINUS) ABOVE FINISH GRADE.
- G. BUTTRESSES: NO POURED BUTTRESSES WILL BE ALLOWED. HARDWOOD OR SOLID CONCRETE BLOCK BUTTRESSES MAY SUPPLEMENT MECHANICAL RESTRAINTS.
- H. PRESSURE TEST PIPELINES FOLLOWING SWS 4.15.0. COMBINATION LEAK/PRESSURE TEST AT 150 PSI FOR TWO HOURS IS ALLOWED.
- I. DISINTEST PIPELINES FOLLOWING SWS 4.3.12 AND 4.16.0 UTILIZING GRANULAR CHLORINE NOT TABLETS. AFTER SUCCESSFUL PRESSURE TEST, VILLAGE SHALL TAKE TWO SUCCESSIVE SAFE WATER SAMPLES PRIOR TO APPROVAL OF INSTALLED PIPE FIRST AFTER FLUSHING CHLORINE AND SECOND IN 24 HOURS. ALL CHLORINATED, CHEMICALLY TREATED OR CONTAMINATED FLUSHING WATER SHALL BE DISCHARGED TO THE VILLAGE SANITARY SEWER VIA FLEXIBLE HOSE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER PRIOR TO DISCHARGING TO SANITARY SEWER AND SHALL MONITOR/QUANTIFY AND REPORT THE TOTAL FLOWS TO THE OWNER, METER AVAILABLE FROM DPW OPERATIONS SUPERVISOR BY CALLING (414) 630-8167. ALL OTHER FLUSHING WATER MAY BE DISCHARGED TO GRASSSED AREAS, PROVIDED THAT THERE IS NO CHANCE FOR NEGATIVE IMPACT TO PRIVATE PROPERTY. WATER WASTED FROM PIPELINE THAT MAY REACH BODIES OF SURFACE WATER MAY NOT CONTAIN ANY SUBSTANCES IN CONCENTRATIONS THAT ADVERSELY AFFECT THE WATER AS DETERMINED BY THE WISCONSIN ADMINISTRATIVE CODE NR 105 AND 106. FOR CHLORINE, NO TOTAL RESIDUAL CHLORINE MAY BE MEASURED IN WATER BEING DISCHARGED TO A SURFACE WATER. ADVISE THE VILLAGE OF PROPOSED DISCHARGE SCHEDULE TO ARRANGE DNR-REQUIRED MEASUREMENTS. CONTRACTOR SHALL REVIEW FLUSHING PLAN WITH VILLAGE AND RECEIVE APPROVAL PRIOR TO CHLORINATING AND FLUSHING ANY WATER MAIN.
- K. SERVICES:
 - 5. FOR 2 INCH AND SMALLER FOLLOW SWS PART V AND:
 - A. PROVIDE CURB VALVE AND BOX AT 1 FOOT INSIDE RIGHT-OF-WAY LINE OR AS DIRECTED BY ENGINEER.
 - B. PROVIDE 2 BY 6-INCH HARDWOOD MARKER AT CURB BOX LOCATION FROM INVERT OF SERVICE TO 2 FEET ABOVE FINISHED GRADE.
 - C. PROVIDE TALKPICE, FOLLOW SWS DRAWING FILE NO. 51 DRAWING.
- L. CONNECTIONS TO EXISTING MAINS AND SERVICES:
 - 1. CONTRACTOR SHALL COORDINATE HIS WORK SCHEDULE WITH THE OWNER WHEN CONNECTING INTERSECTING STREETS TO THE NEW WATER MAIN IN ORDER TO MINIMIZE INCONVENIENCE AND DISRUPTION CAUSED BY THE TEMPORARY DISCONTINUANCE OF WATER SERVICE. THE CONTRACTOR SHALL NOTIFY THE VILLAGE AT LEAST 72 HOURS PRIOR TO SHUTTING OFF ANY WATER SERVICE. WATER SERVICE TO RESIDENCES SHALL NOT BE SHUT DOWN FOR A PERIOD LONGER THAN EIGHT (8) HOURS, NOR AFTER 4:00 P.M. OR ON WEEKENDS; WITHOUT APPROVAL OF THE OWNER. RESIDENTIAL WATER SERVICE MAY BE SHUT DOWN BETWEEN THE HOURS OF 7:30 A.M. TO 4:00 P.M., EXCEPT THAT RESIDENTIAL WATER SERVICES MAY BE SHUT DOWN OUTSIDE OF THESE HOURS WITH THE OWNER'S PERMISSION. WATER SERVICE TO BUSINESSES OR OTHER ENTITIES SHALL NOT BE SHUT DOWN FOR A PERIOD LONGER THAN TWO (2) HOURS UNLESS SATISFACTORY ARRANGEMENTS ARE MADE WITH THE BUSINESS OR OTHER ENTITIES AFFECTED. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO RETURN SERVICE AT THE END OF EACH WORKING DAY, INCLUDING THE USE OF TEMPORARY VALVES OR PLUGS.

SECTION 33 30 00 HARTLAND SANITARY SEWERAGE

PART 2 – PRODUCTS

2.01 GRAVITY SANITARY SEWER

- A. PIPE, IF NOT SHOWN ON DRAWINGS, USE ONE TYPE FROM FOLLOWING:
 - 1. POLYVINYL CHLORIDE AND FITTINGS SOLID WALL
 - a. 4 THROUGH 15 INCH: TYPE PSM, FOLLOW ASTM D3034, SDR 35.
 - B. C900 PVC PIPE WITH DUCTILE IRON FITTINGS TO BE USED FOR EXTRA DEPTH SEWER, AS SHOWN ON THE DRAWINGS.
- D. STRUCTURES:
 - 1. MANHOLES:
 - a. FOLLOW SWS 3.5.0. AND SWS 8.39.0. NO STEPS ALLOWED IN TOP FIVE FEET OF STRUCTURE, MEASURED DOWN FROM RIM ELEVATION.
 - 2. FRAME:
 - a. NEENAH R-1661-B (NON-MODERNIZED)
 - 3. COVER: SELF SEALING, CONGEALED PICK HOLE, NO VENTS. FOLLOW SWS DRAWING FILE NO. 14B, APPROXIMATE WEIGHT 108 POUNDS.
 - 4. PIPE TO MANHOLE CONNECTION: FOLLOW SWS 3.5.7.
 - 5. FRAME AND CHIMNEY SEALANTS: FOLLOW SWS 8.42.0. BETWEEN GRADE RINGS AND CASTING. BUTYL RUBBER ROPE JOINT SEALANT (MASTIC) AND BACK PLASTER GROUT ON THE EXTERIOR OF THE STRUCTURE, NO BACK PLASTER INSIDE STRUCTURE, NO CHIMNEY SEALS.
 - 6. GROUT: IPATOP PENNGROUT, NON-SHRINK CEMENTITIOUS GROUT BY IPA SYSTEMS.
 - 9. EXTERNAL JOINT WRAP IF GROUND WATER IS ABOVE BOTTOM OF MANHOLE:
 - a. CADOLLOC, INC.
 - b. ESKY – WRAP.
 - c. MAC WRAP.
- PART 3 – EXECUTION
- 3.01 GRAVITY SANITARY SEWER INSTALLATION
 - A. BEFORE STARTING, BULKHEAD AND/OR PLUG THE CONNECTION TO EXISTING SEWER. LEAVE IN PLACE UNTIL NEW SEWER HAS BEEN CLEANED AND ACCEPTED.
 - C. SET MANHOLE FRAMES TO 1/4 TO 1/2-INCH BELOW FINISH GRADE AFTER PLACEMENT OF CURB AND GUTTER AND BEFORE ASPHALT PLACEMENT. PROVIDE ASPHALT RAMPING IF ONLY BINDER IS BEING PAVED. SET GRADE RINGS AND CASTING FLANGES ONTO A BUTYL RUBBER ROPE JOINT SEALANT (MASTIC).
 - 1. CONTRACTOR SHALL INSTALL CONCRETE COLLAR AT THEIR COST AROUND MANHOLE IF 1/4 TO 1/2-INCH TOLERANCE CANNOT BE ACHIEVED.
 - D. CHIMNEY:
 - 2. NO STEPS ALLOWED.
 - 3. USE SINGLE MONOLITHIC PRECAST CONCRETE RING AND TWO 2-INCH PRECAST CONCRETE ADJUSTING RINGS FOR MANHOLE CHIMNEY.
 - E. LATERALS, FOLLOW SWS PART V AND:
 - 2. PROVIDE 2 BY 6-INCH HARDWOOD MARKER AT END OF LATERAL FROM INVERT TO LATERAL TO 2 FEET ABOVE FINISH GRADE.
 - G. AIR TEST: FOLLOW SWS 3.7.3.
 - H. GO-NO-GO TEST: FOLLOW SWS 3.2.6(i),4.

I. MANHOLE VACUUM TEST:

- a. FOLLOW SWS 3.7.6.
- b. TEST AFTER BACKFILLING.
- J. USE EXTERNAL JOINT WRAP ON MANHOLE JOINTS BELOW THE GROUND WATER LEVEL.
- K. TELEWISE MAINS AND RECORD VIDEO. USE SELF-PROPELLED CRAWLER CAMERA. DO NOT USE JETTER-PROPELLED CAMERA. FOLLOW SWS 7.1.2. PERFORM AFTER:
 - 1. MANHOLE BENCHES INSTALLED.
- L. CONVEY COPY OF VIDEO RECORD TO OWNER. FURNISH DVD.

SECTION 33 40 00 HARTLAND STORM DRAINAGE

PART 2 – PRODUCTS

2.01 STORM SEWER

- B. STRUCTURES:
 - 1. MANHOLES: NO STEPS ALLOWED IN TOP FIVE FEET OF STRUCTURE, MEASURED DOWN FROM RIM ELEVATION.
 - 2. CATCH BASIN FRAME AND COVER: NEENAH R-3067-L FOR CURB SECTION AND NEENAH R-3290-C FOR DRIVEWAY SECTION.
 - 3. CATCH BASIN: FOLLOW SWS 3.6.0 FOR PRECAST.
 - 4. MANHOLE FRAME AND COVER: NEENAH R-1661 OPEN GRATE, APPROXIMATE WEIGHT 500 POUNDS.
 - 6. INLET AND CATCH BASIN GROUT: IPATOP PENNGROUT, NON-SHRINK CEMENTITIOUS GROUT BY IPA SYSTEMS. BACKPLASTER ALLOWED ON EXTERIOR OF STRUCTURE ONLY.
 - 7. BUTYL RUBBER (MASTIC) SHALL BE USED BETWEEN SECTIONS, ADJUSTING RINGS, AND FRAME. BACKPLASTER GROUT ON EXTERIOR OF STRUCTURE ONLY.
 - D. PIPE GRATES: FOLLOW SWS 8.16.0. 15-INCH ENDWALLS AND LARGER. WAUSAU CONCRETE PLATE A20 OR APPROVED EQUAL.

PART 3 – EXECUTION

3.01 STORM SEWER INSTALLATION

- B. SET MANHOLE FRAMES TO 1/4 TO 1/2-INCH BELOW FINISH GRADE AFTER PLACEMENT OF CURB AND GUTTER AND BEFORE ASPHALT PLACEMENT. PROVIDE ASPHALT RAMPING IF ONLY BINDER IS BEING PAVED. SET CASTING FLANGES ONTO A CONTINUOUS LAYER OF MASTIC ROPE.
 - 1. CONTRACTOR SHALL INSTALL CONCRETE COLLAR AT THEIR COST AROUND MANHOLE IF 1/4 TO 1/2-INCH TOLERANCE CANNOT BE ACHIEVED.
- C. SET INLET FRAMES TO FINISH GRADE, UNLESS INTERM INLETS ARE CALLED FOR ON THE DRAWINGS. SET CASTING FLANGES ONTO A CONTINUOUS LAYER OF MASTIC ROPE.

SECTION 34 71 00 HARTLAND ROADWAY CONSTRUCTION

PART 1 – GENERAL

1.01 SUBMITTALS

- A. ACTION:
 - 1. FOLLOW 01 33 00 FOR:
 - a. PRODUCT DATA.
 - b. SIEVE ANALYSES FROM STATE-CERTIFIED LABORATORY.
 - c. MIX DESIGN. SUBMIT AT LEAST 7 DAYS BEFORE PAVING:
 - 1) ASPHALTIC CONCRETE PAVEMENT, FOLLOW STATE SPECIFICATION 460.2.7.
 - 2) PORTLAND CEMENT CONCRETE CURB AND GUTTER, DRIVEWAY, SIDEWALK.
 - 3) HIGH-EARLY-STRENGTH CONCRETE, FOLLOW STATE SPECIFICATION 415.2.1.
 - d. WISCONSIN DOT-VERIFIED HOT MIX ASPHALT (HMA) PAVEMENT MIX DESIGN FOR EACH PAVEMENT CLASSIFICATION SPECIFIED. SUBMIT AT LEAST 7 DAYS BEFORE PAVING.
- B. INFORMATIONAL:
 - 1. BASE COMPACTION TEST REPORTS: FOLLOW 01 43 26.
 - 2. SUBBASE COMPACTION TEST REPORTS: FOLLOW 01 43 26.
 - 3. PAVING MIX DELIVERY TICKETS.
 - a. ASPHALTIC MATERIALS:
 - 1) FURNISH TICKET BEFORE PLACING MATERIAL.
 - 2) DISPLAY ON TICKET:
 - a) PROJECT.
 - b) DATE.
 - c) TIME.
 - d) TICKET NUMBER.
 - e) TYPE OF MIX.
 - f) GROSS WEIGHT.
 - g) TARE WEIGHT.
 - h) NET WEIGHT.
 - i) JOB TOTAL.
 - b. CONCRETE:
 - 1) FURNISH TICKETS AFTER DELIVERY.
 - 2) DISPLAY ON TICKET:
 - a) PROJECT.
 - b) DATE.
 - c) TIME.
 - d) TICKET NUMBER.
 - e) CLASS OF CONCRETE.
 - f) GRADE OF CONCRETE.
 - g) CEMENT WEIGHT.
 - h) FLY ASH TYPE AND WEIGHT.
 - i) FINE AGGREGATE WEIGHT.
 - j) COARSE AGGREGATE WEIGHT.
 - k) GALLONS OF WATER.
 - l) TIME WATER WAS ADDED.
 - m) ADDITIVES.
 - 4. BASE COURSE DELIVERY TICKETS THAT DISPLAY:
 - a. PROJECT.
 - b. DATE.
 - c. TICKET NUMBER.
 - d. TYPE OF MATERIAL.
 - e. GROSS WEIGHT.
 - f. TARE WEIGHT.
 - g. NET WEIGHT.
 - h. JOB TOTAL.
 - 5. WRITTEN CONCRETE CYLINDER COMPRESSION TEST RESULTS. SUBMIT TO ENGINEER.
 - 6. PROVIDE QUALITY MANAGEMENT PROGRAM FOLLOWING STATE SPECIFICATIONS 460.2.8.1. GENERAL AND 460.2.8.2. CONTRACTOR TESTING CONTROL PLAN INCLUDING:
 - a. DO NOT USE 460.2.8.3. DEPARTMENT TESTING.
- 1.07 QUALITY MANAGEMENT PROGRAM
 - A. AS A CONDITION OF ACCEPTANCE, ARRANGE, CONDUCT, AND PAY FOR TESTS NECESSARY TO DEMONSTRATE SATISFACTORY COMPLIANCE WITH CONTRACT DOCUMENTS. MAKE ADJUSTMENTS AT THE PLANT NECESSARY TO MEET REQUIREMENTS OF SPECIFICATIONS INCLUDING THE INSTRUCTIONS.
 - B. LAB TESTING:
 - 1. TEST MATERIAL FROM THE PLANT AT LEAST ONCE A DAY.
 - 2. MEET THE FOLLOWING PARAMETERS:
 - a. AIR Voids (VA): FOLLOW STATE SPECIFICATIONS 460.2.8.3.1.6 AND FOLLOW STATE SPECIFICATION-ADDITIONAL SPECIAL PROVISION 460.2.1 ISSUED UNDER ASP-6.
 - b. Voids IN THE MINERAL AGGREGATE (VMA): FOLLOW STATE SPECIFICATIONS TABLE 460-1.
 - c. GRADATIONS: JOB MIX FORMULA (JMF): FOLLOW PARAGRAPH 1 OF STATE SPECIFICATION-ADDITIONAL SPECIAL PROVISION 460.2.8.2.1.5 ISSUED UNDER ASP-6.
 - C. DENSITY TESTING:
 - 1. TAKE A MINIMUM ONE TEST PER LOCATION AND ONE TEST PER 250 TONS.
 - a. USE NUCLEAR METHOD.
 - b. TARGETS SPECIFIED HEREINAFTER.
 - 2. LOCATIONS WILL BE AT ENGINEER'S REQUEST.
 - D. RESULTS AND REPORTS:
 - 1. MAKE FIELD ADJUSTMENTS TO KEEP MATERIAL WITHIN SPECIFIED TOLERANCES. IF TEST RESULTS FALL OUT OF TOLERANCE, INCREASE TESTING FREQUENCY UNTIL MATERIAL IS WITHIN SPECIFICATION.
 - 2. SUBMIT TEST REPORTS WITHIN 48 HOURS TO ENGINEER.

PART 2 – PRODUCTS

- 2.01 EMBANKMENTS OR SUBGRADE FILL
 - A. FOLLOW STATE SPECIFICATIONS 207. DO NOT USE LOGS, STUMPS, BRUSH, PERISHABLE MATERIAL, FROZEN MATERIALS OR HUMUS-BEARING MATERIALS. NO STONES LARGER THAN 3-INCHES OR LIMPS ALLOWED WITHIN ENTIRE SUBGRADE OF ROADWAY, APPROACHES, CURB AND GUTTER, SIDEWALK OR PATHWAYS.
- 2.02 EXCAVATION OF SUBGRADE CUT.
 - A. FOLLOW STATE SPECIFICATIONS 205. NO ORGANIC MATERIAL OR STONES LARGER THAN 3-INCHES ALLOWED WITHIN UPPER 12-INCHES OF SUBGRADE OF ROADWAY, APPROACHES, CURB AND GUTTER, OR SIDEWALK OR PATHWAYS. SCARIFYING IS REQUIRED.
- 2.03 EXCAVATION BELOW SUBGRADE (EBS) BACKFILL
 - A. BREAKER RUN: STATE SPECIFICATION 311, MAXIMUM PARTICLE SIZE 3 INCHES.
 - B. GEOTEXTILE SUBGRADE STABILIZATION MATERIAL: FOLLOW STATE SPECIFICATION 645, TYPE SAS.
- 2.04 BASE COURSE
 - A. USE CRUSHED LIMESTONE TRAFFIC BOND. SEE HARTLAND DETAILS DRAWINGS FOR THICKNESS AND GRADATION.
- 2.05 ASPHALTIC CONCRETE PAVEMENT (HMA)
 - A. BINDER COURSE (LOWER AND INTERMEDIATE LAYERS): FOLLOW STATE SPECIFICATION 460.2 AND:
 - 1. TYPE: SEE HARTLAND DETAIL DRAWINGS.
 - 2. BINDER GRADATION: SEE HARTLAND DETAIL DRAWINGS.
 - 3. MAXIMUM RECYCLED CONTENT: FOLLOW STATE SPECIFICATIONS 460.2.5.
 - B. SURFACE COURSE (UPPER LAYER): FOLLOW STATE SPECIFICATION 460.2 AND:
 - 1. TYPE: SEE HARTLAND DETAIL DRAWINGS.
 - 2. SURFACE GRADATION: SEE HARTLAND DETAIL DRAWINGS.
 - 3. MAXIMUM RECYCLED MATERIAL CONTENT: FOLLOW STATE SPECIFICATIONS 460.2.5.
 - C. TACK COAT: FOLLOW STATE SPECIFICATION 455.2.5 ASPHALTIC MATERIAL CSS-1H.

2.06 INCIDENTAL CONSTRUCTION

- A. CONCRETE CURB AND GUTTER:
 - 1. FOLLOW STATE SPECIFICATIONS 601. MAXIMUM PARTICLE SIZE 3-INCHES, WITHIN SUBGRADE. FOLLOW 2.04 OF THIS SECTION FOR BASE COURSE.
 - 2. DO NOT ADD CALCIUM CHLORIDE.
- B. CONCRETE SIDEWALKS AND RAMPS:
 - 1. FOLLOW STATE SPECIFICATIONS 602.2. MAXIMUM PARTICLE SIZE 3-INCHES, WITHIN SUBGRADE. FOLLOW 2.04 OF THIS SECTION FOR BASE COURSE.
 - 2. DO NOT ADD CALCIUM CHLORIDE.
- C. CURB RAMPS.
 - 1. DETECTABLE WARNING FIELD COLOR: YELLOW.
 - 2. FOLLOW STATE SPECIFICATIONS 602.2. FURNISH METAL DETECTABLE WARNING FIELD FROM THE DOT APPROVED PRODUCTS LIST FOR THE COLOR DEFINED ABOVE.
 - 3. MAXIMUM PARTICLE SIZE 3-INCHES, WITHIN SUBGRADE. FOLLOW 2.04 OF THIS SECTION FOR BASE COURSE.
- E. PAVEMENT MARKING: FOLLOW STATE SPECIFICATIONS 646:
 - 1. EPOXY.
- F. DRAINAGE FACILITIES:
 - 1. CULVERT PIPE.
 - b. ROP IN VALLAGE RIGHT-OF-WAY
 - 2. BEDDING: 3/8-INCH CLEAR STONE CHIPS.
- PART 3 – EXECUTION
- 3.01 EARTHWORK
 - B. ROADWAY AND DRAINAGE EXCAVATION.
 - 1. NO ORGANIC MATERIAL OR STONES LARGER THAN 3-INCHES ALLOWED WITHIN UPPER 12-INCHES OF SUBGRADE IN A CUT SECTION. NO ORGANIC MATERIAL OR STONES LARGER THAN 3-INCHES ALLOWED WITHIN ENTIRE SUBGRADE LAYER IN A FILL SECTION.
 - D. SUBGRADE PROOF ROLL: ALLOW ENGINEER TO INSPECT PREPARED SUBGRADE AND TO WITNESS PROOF ROLL TEST BY A FULLY LOADED QUAD AXLE DUMP TRUCK. RECONSTRUCT WHERE DEFLECTION IS GREATER THAN 1/2 INCH. ADDITIONAL PROOF ROLL TESTS WILL BE PERFORMED UNTIL ENTIRE SUBGRADE PASSES.
- 3.02 BASE COURSE
 - A. CRUSHED AGGREGATE BASE COURSE:
 - 1. COMPACTION: STANDARD COMPACTION.
 - b. ALLOW ENGINEER TO INSPECT PREPARED BASE COURSE AND TO WITNESS PROOF ROLL TEST BY A FULLY LOADED QUAD AXLE DUMP TRUCK.
 - RECONSTRUCT WHERE DEFLECTION IS GREATER THAN 1/2 INCH. ADDITIONAL PROOF ROLL TESTS WILL BE PERFORMED UNTIL ENTIRE BASE COURSE PASSES.
 - 2. ALLOWABLE DEVIATION FROM DESIGN GRADE: 1/2 INCH.
- 3.05 INCIDENTAL CONSTRUCTION
 - A. CONCRETE CURB AND GUTTER:
 - 1. JOINTS.
 - a. CONSTRUCT EXPANSION JOINTS AT:
 - 1) 5 FEET FROM INLETS OR CATCH BASINS.
 - 2) END OF CURVES.
 - 3) 100 FEET MAXIMUM INTERVALS.
 - 4) AT ONE END OF ALL CURB AND GUTTER REMOVED AND REPLACED.
 - 5) SINGLE LAYER 1/2-INCH THICK EXPANSIVE MATERIAL.
 - b. CONSTRUCT CONTRACTION JOINTS AT 10 FEET SPACING.
 - 1) MINIMUM SPACING: 6 FEET.
 - 2) MAXIMUM SPACING: 12 FEET.
 - 3) MATCH ABUTTING CONCRETE JOINTS.
 - 4) DEPTH: MINIMUM 2 INCHES.
 - 2. CURING:
 - a. APPLY IMPERVIOUS COATING WITHIN ONE HOUR OF PLACEMENT. COAT ALL SIDES OF CURB
 - B. SIDEWALKS
 - 2. CURB RAMPS: FOLLOW STATE SPECIFICATIONS 602.3.
 - 3. CURING:
 - a. FOLLOW STATE SPECIFICATIONS 415.3.12.
 - b. APPLY IMPERVIOUS COATING WITHIN ONE HOUR OF PLACEMENT. COAT ALL SIDES OF SIDEWALK INCLUDING EXPOSED SURFACE AFTER FORMS REMOVED.
 - c. APPLY TWO COATS IN PERPENDICULAR DIRECTIONS.
- C. CONCRETE DRIVE APPROACHES:
 - 1. JOINTS.
 - a. EXPANSION JOINTS ABUTTING CURB OR WALK: USE 1/2-INCH EXPANSION JOINT FILLER.
 - 2. CURING:
 - a. APPLY TWO COATS IN PERPENDICULAR DIRECTIONS.
- F. DRAINAGE FACILITIES:
 - 3. BACKFILL WITH:
 - a. EXCAVATED MATERIAL-WHEN GRANULAR GRADATION IS MET. MAXIMUM PARTICLE SIZE 3-INCHES.
 - b. GRANULAR BACKFILL.
 - 4. CONSOLIDATE BACKFILL BY: FLOODING.



△ Revisions

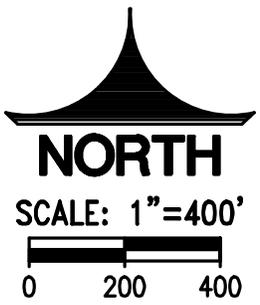
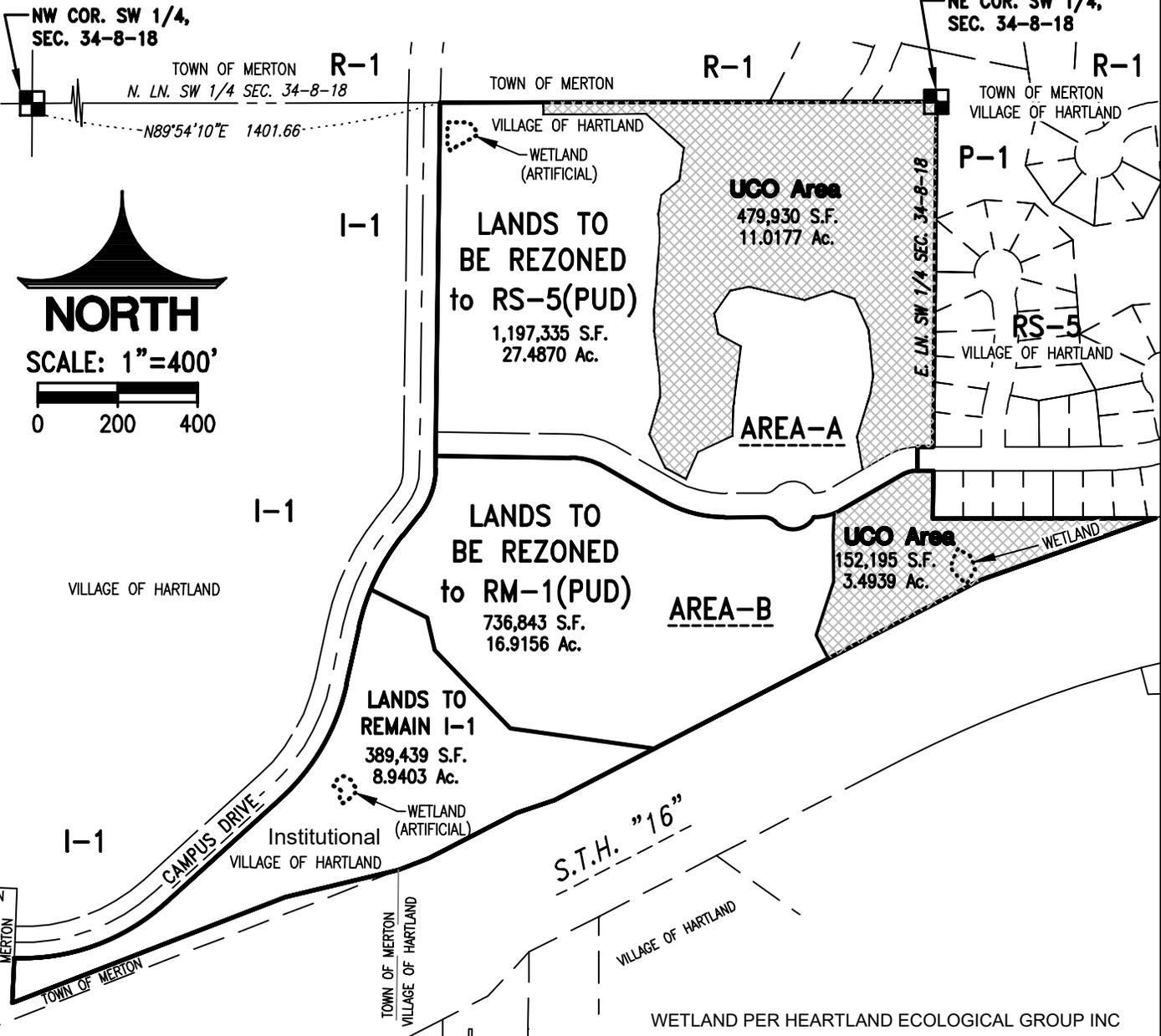
SCHEMATIC DESIGN DRAWING SET

CATALYST HARTLAND APARTMENTS

CAMP

REZONING EXHIBIT "A"

BEING A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF SECTION 34, TOWN 8 NORTH,
RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



WETLAND PER HEARTLAND ECOLOGICAL GROUP INC

LAND AREA SUMMARY	
AREA-A	RS-5 (PUD)
TOTAL AREA=	1,197,335 S.F. (27.4870 Ac.)
UCO AREA=	479,930 S.F. (11.0177 Ac.)
NET AREA=	717,405 S.F. (16.4694 Ac.)
AREA-B	RM-1 (PUD)
TOTAL AREA=	736,843 S.F. (16.9156 Ac.)
UCO AREA=	152,195 S.F. (3.4939 Ac.)
NET AREA=	584,648 S.F. (13.4217 Ac.)

H:\C900\953\19023-01\Survey\ESMT-EXHIBITS\Not in Use\REZONING EXH-081120.dwg



4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1490
Fax: (262) 790-1481

REZONING EXHIBIT "A"

LEGAL DESCRIPTION of lands to be REZONED to RS-5 (PUD):

AREA-A

Being a part of Lot 2 of Certified Survey Map No. 10497, located in a part of the Northeast 1/4 of the Southwest 1/4 of Section 34 Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Beginning at the Northeast Corner of the said Southwest 1/4 of said Section 34; Thence South 00°30'48" West and along the East line of the said Southwest 1/4 Section, 865.02 feet to a point; Thence South 89°53'13" West, 40.00 feet to a point; Thence South 00°30'48" West, 60.00 feet to a point; Thence South 89°53'13" West, 2.23 feet to a point of curvature; Thence Southwesterly 36.65 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 70.00 feet, whose central angle is 30°00'04", and whose chord bears South 74°53'11" West, 36.24 feet to a point of tangency; Thence South 59°53'09" West, 177.43 feet to a point of curvature; Thence Southwesterly 68.07 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 130.00 feet, whose central angle is 30°00'00", and whose chord bears South 74°53'09" West, 67.29 feet to a point of tangency; Thence South 89°53'09" West, 3.54 feet to a point of curvature; Thence Southwesterly 109.34 feet along the arc of a curve, whose center lies to the North, whose radius is 60.00 feet, whose central angle is 104°24'55", and whose chord bears South 82°05'37" West, 94.83 feet to a point of reverse curve; Thence Northwesterly 34.88 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 45.00 feet, whose central angle is 44°24'55", and whose chord bears North 67°54'23" West, 34.02 feet to a point of tangency; Thence South 89°53'09" West, 97.36 feet to a point of curvature; Thence Northwesterly 159.70 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 305.00 feet, whose central angle is 30°00'00", and whose chord bears North 75°06'51" West, 157.88 feet to a point of tangency; Thence North 60°06'51" West, 172.81 feet to a point of curvature; Thence Northwesterly 86.50 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 170.00 feet, whose central angle is 29°09'11", and whose chord bears North 74°41'26" West, 85.57 feet to a point of tangency; Thence North 89°16'02" West, 337.64 feet to a point on the said East Right-of-Way line of "Campus Drive"; Thence North 00°43'57" East and along said East Right-of-Way line, 885.92 feet to a point on the North line of said Southwest 1/4 Section; Thence North 89°54'10" East along said North line, 1241.53 feet to the point of beginning of this description.

Said Parcel contains 1,197,335 Square Feet (or 27.4870 Acres) of land, more or less.

LEGAL DESCRIPTION of lands to be REZONED to RM-1 (PUD):

AREA-B

All that part of the Northwest 1/4, Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 34 Town 8 North, Range 18 East, in the Village of Hartland, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northwest Corner of the said Southwest 1/4 of said Section 34, Thence North 89°54'10" East and along the North line of the said Southwest 1/4 Section, 1401.66 feet to a point on the East Right-of-Way line of "Campus Drive"; Thence South 00°43'57" West and along the said East Right-of-Way line, 885.92 feet to the place of beginning of lands hereinafter described;

Thence South 89°16'02" East, 337.64 feet to a point of curvature; Thence Southeasterly 86.50 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 170.00 feet, whose central angle is 29°09'11", and whose chord bears South 74°41'26" East, 85.57 feet to a point of tangency; Thence South 60°06'51" East, 172.81 feet to a point of curvature; Thence Southeasterly 159.70 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 305.00 feet, whose central angle is 30°00'00", and whose chord bears South 75°06'51" East, 157.88 feet to a point of tangency; Thence North 89°53'09" East, 226.34 feet to a point of curvature; Thence Northeasterly 68.07 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 130.00 feet, whose central angle is 30°00'00", and whose chord bears North 74°53'09" East, 67.29 feet to a point of tangency; Thence North 59°53'09" East, 177.43 feet to a point of curvature; Thence Northeasterly 36.65 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 70.00 feet, whose central angle is 30°00'04", and whose chord bears North 74°53'11" East, 36.24 feet to a point of tangency; Thence North 89°53'13" East, 42.23 feet to a point on the East line of the said Southwest 1/4 Section; Thence South 00°30'48" West and along the said East line, 120.01 feet to a point; Thence North 89°53'13" East, 557.01 feet to a point on the Northwesterly Right-of-Way line of S.T.H. "16"; Thence South 70°31'26" West and along the said Northwesterly Right-of-Way line, 462.77 feet to a point; Thence South 62°39'50" West and along the said Northwesterly Right-of-Way line, 919.58 feet to a point; Thence North 82°02'10" West, 363.51 feet to a point; Thence North 44°05'55" West, 273.03 feet to a point; Thence North 12°19'27" West, 82.57 feet to a point; Thence North 63°08'36" West, 158.46 feet to a point on the said East Right-of-Way line of said "Campus Drive"; Thence Northeasterly 155.89 feet along the said East Right-of-Way line and the arc of a curve, whose center lies to the Southeast, whose radius is 560.00 feet, whose central angle is 15°57'00", and whose chord bears North 30°36'10" East, 155.39 feet to a point; Thence North 38°34'11" East and along the said East Right-of-Way line, 65.30 feet to a point of curvature; Thence Northeasterly 125.47 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 190.00 feet, whose central angle is 37°50'14", and whose chord bears North 19°39'04" East, 123.21 feet to a point of tangency; Thence North 00°43'57" East and along the said East Right-of-Way line, 32.99 feet to the point of beginning of this description.

Said Parcel contains 736,843 Square Feet (or 16.9156 Acres) of land, more or less.

Date: 8/11/2020

Deborah L. Joers, P.L.S.
Professional Land Surveyor, S-2132
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481



HARTLAND EAST APARTMENTS- HARTLAND, WI

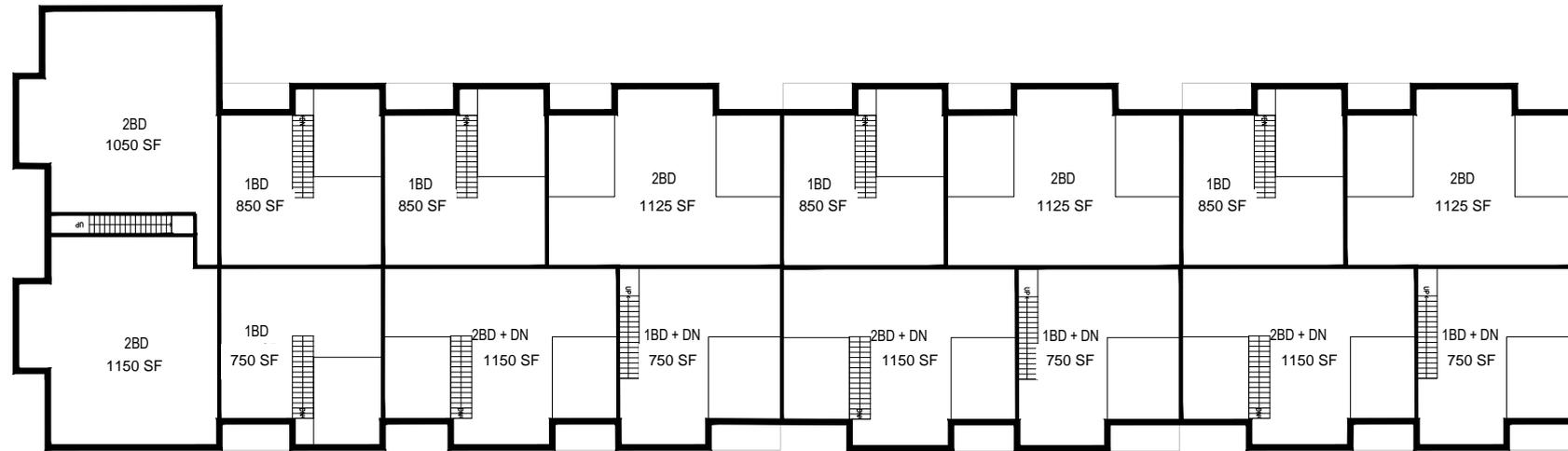
Proposed Preliminary Master Landscape Plan



HARTLAND LCL APARTMENTS

RINKA+

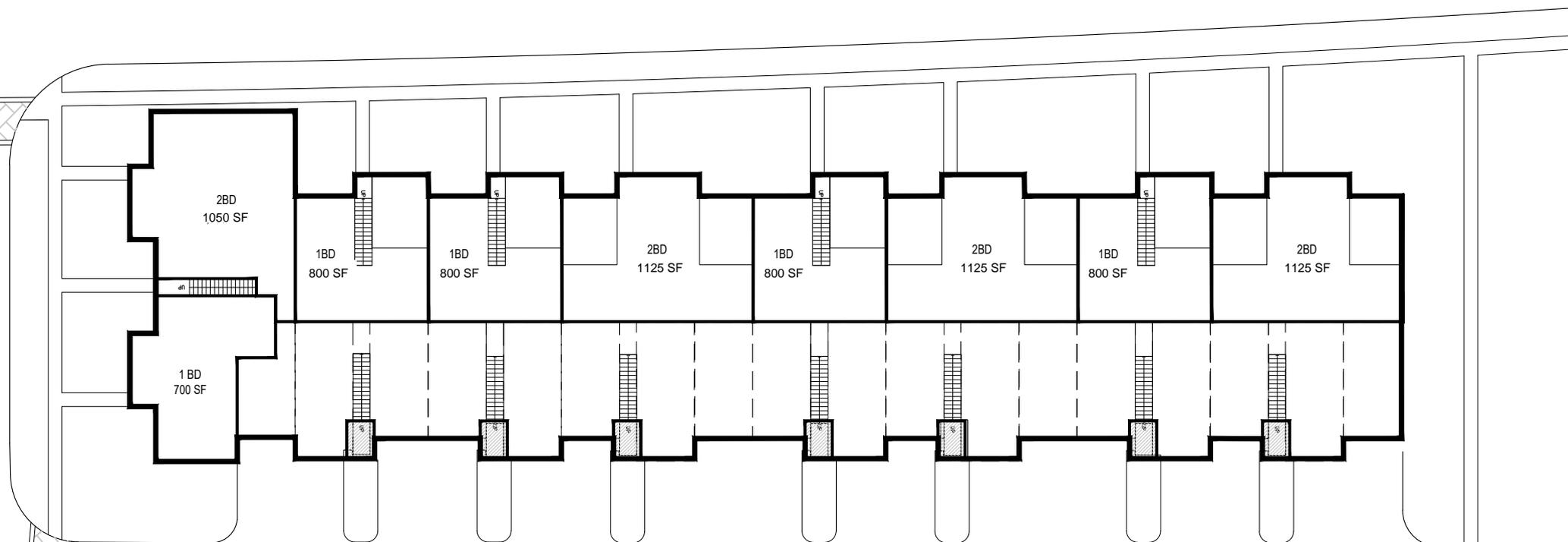
AUGUST 11, 2020



SECOND FLOOR PLAN

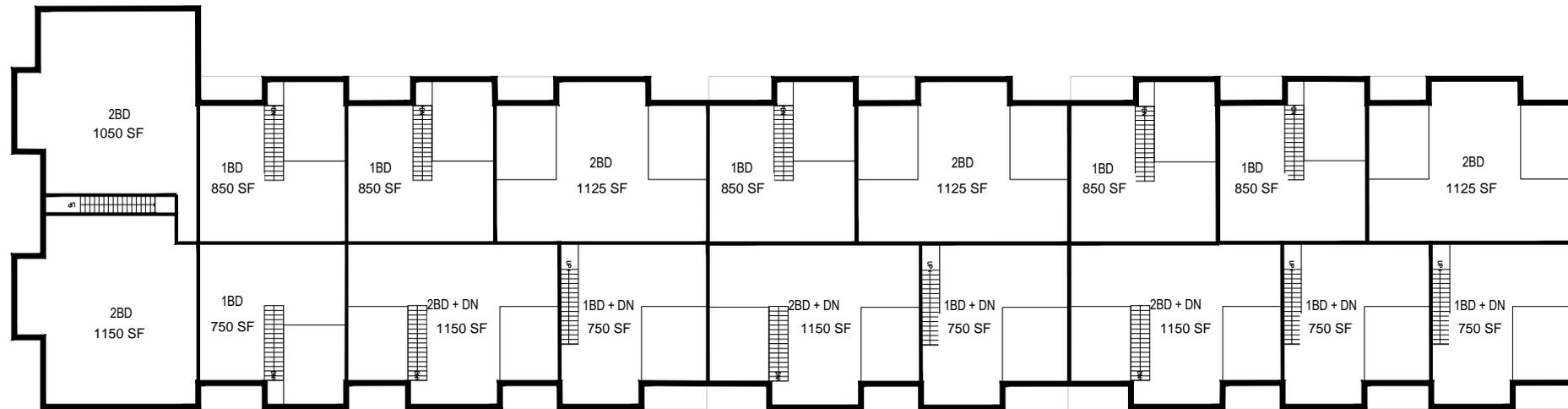
25 UNITS OVERALL
 (10) 1 BEDS (40%)
 (3) 1 BED + DEN (12%)
 (6) 2 BEDS (24%)
 (6) 2 BED + DEN (24%)

GARAGE STALLS:
 18 ATTACHED
 7 DETACHED



FIRST FLOOR PLAN

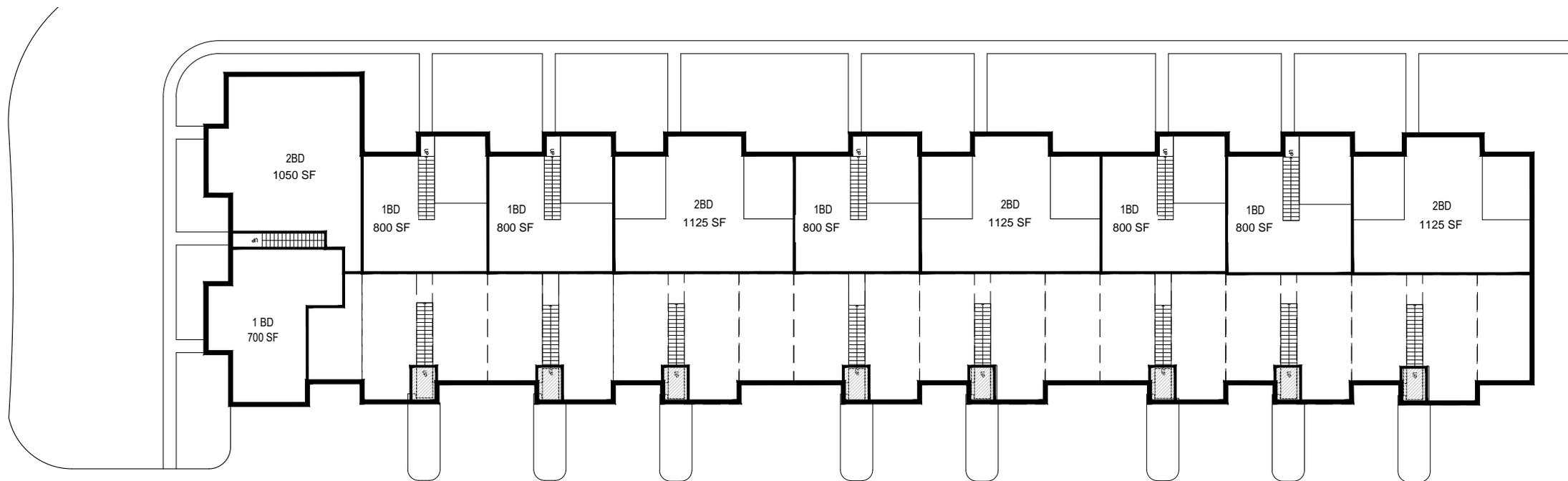
SCALE: 1" = 32'-0"
 BUILDINGS 1 & 2 CONCEPT PLANS



SECOND FLOOR PLAN

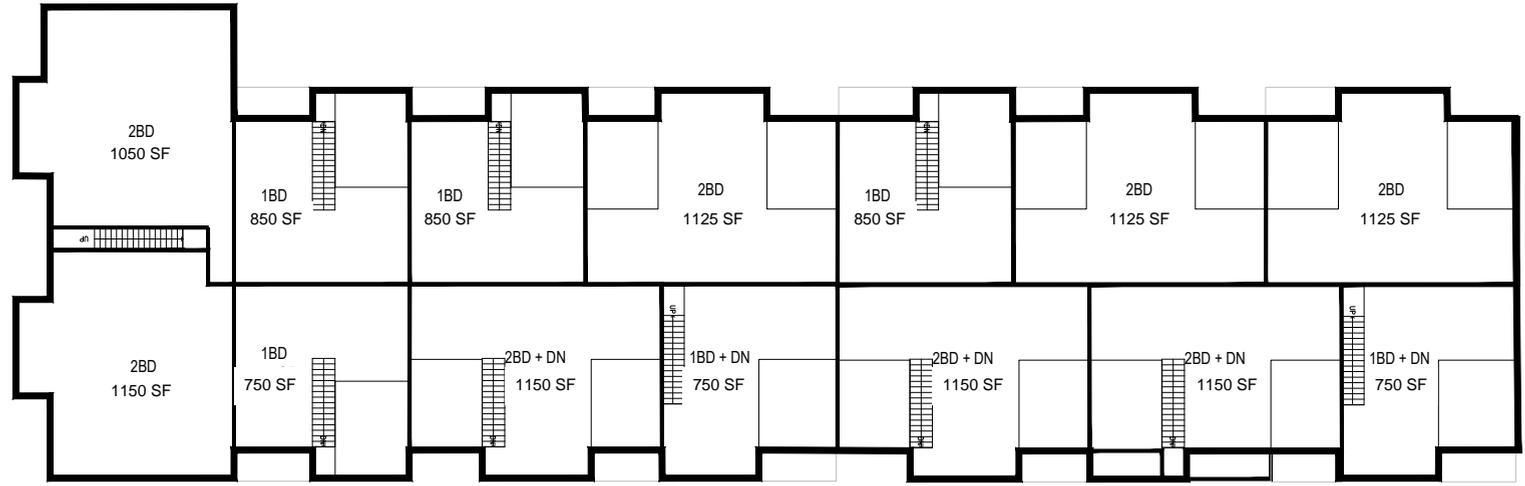
28 UNITS OVERALL
 (12) 1 BEDS (39%)
 (4) 1 BED + DEN (18%)
 (6) 2 BEDS (11%)
 (6) 2 BED + DEN (32%)

GARAGE STALLS:
 20 ATTACHED
 8 DETACHED



FIRST FLOOR PLAN

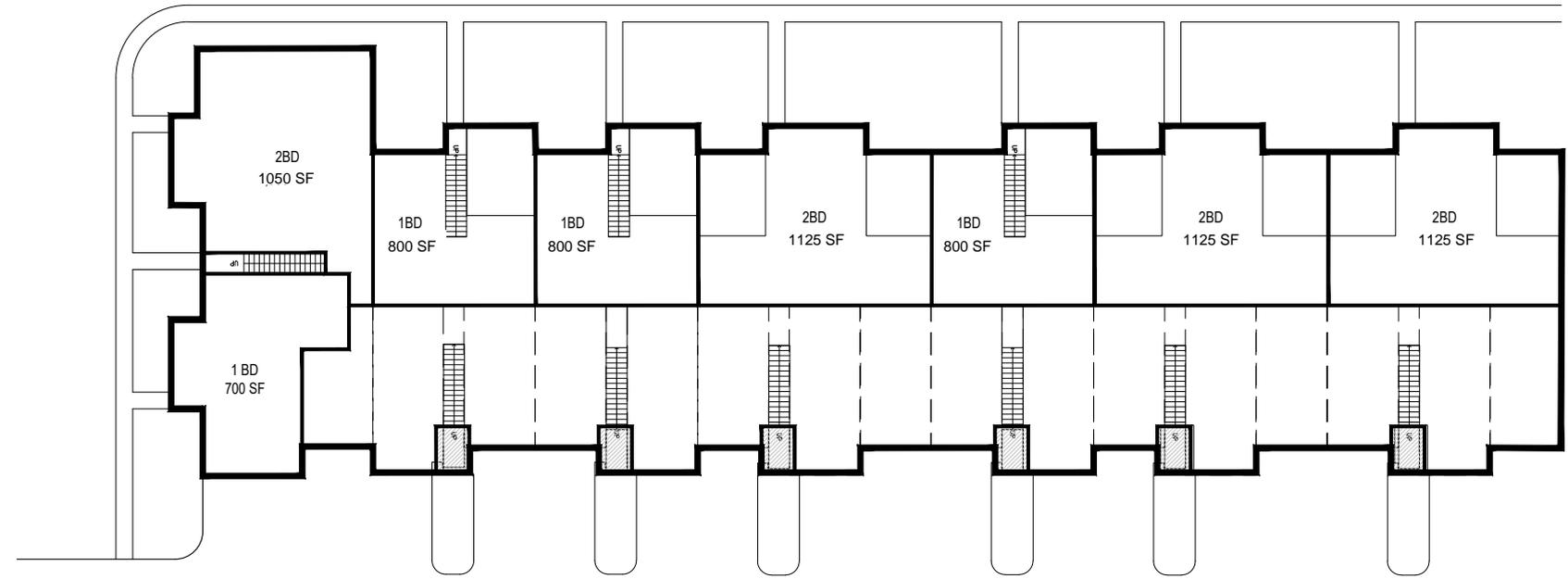
SCALE: 1" = 32'-0"
 BUILDINGS 3 & 4 CONCEPT PLANS



SECOND FLOOR PLAN

22 UNITS OVERALL
 (8) 1 BEDS (31%)
 (2) 1 BED + DEN (14%)
 (6) 2 BEDS (14%)
 (6) 2 BED + DEN (41%)

GARAGE STALLS:
 16 ATTACHED
 6 DETACHED



FIRST FLOOR PLAN

SCALE: 1" = 32'-0"
 BUILDINGS 5 & 6 CONCEPT PLANS

SIDING:

FIBER CEMENT - BOARD AND BATTEN
-WHITE

FIBER CEMENT - BOARD
-STEEL GRAY

FIBER CEMENT - LAP SIDING
-WHITE

MASONRY UNITS - STONE VENEER
- MINIMAL VARIATION

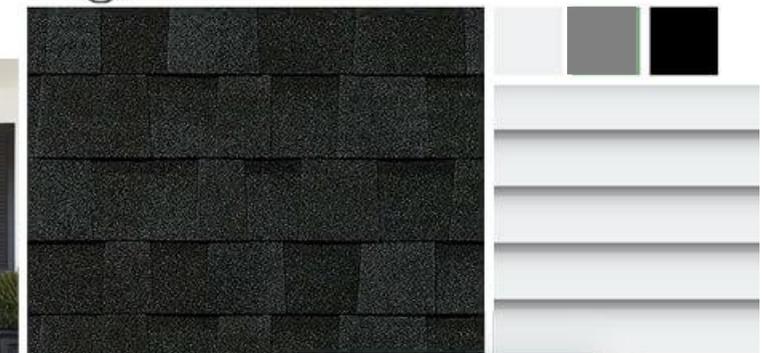
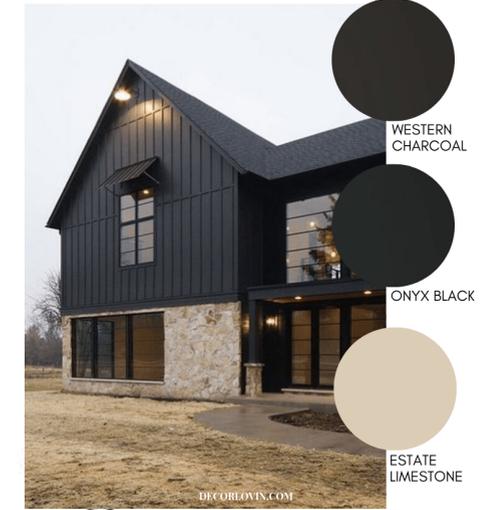
WOOD ACCENTS

ROOFING:

BLACK SHINGLES
- MINIMAL VARIATION

WINDOWS SYSTEM:

BLACK EXTERIOR FRAME, WHITE INTERIOR



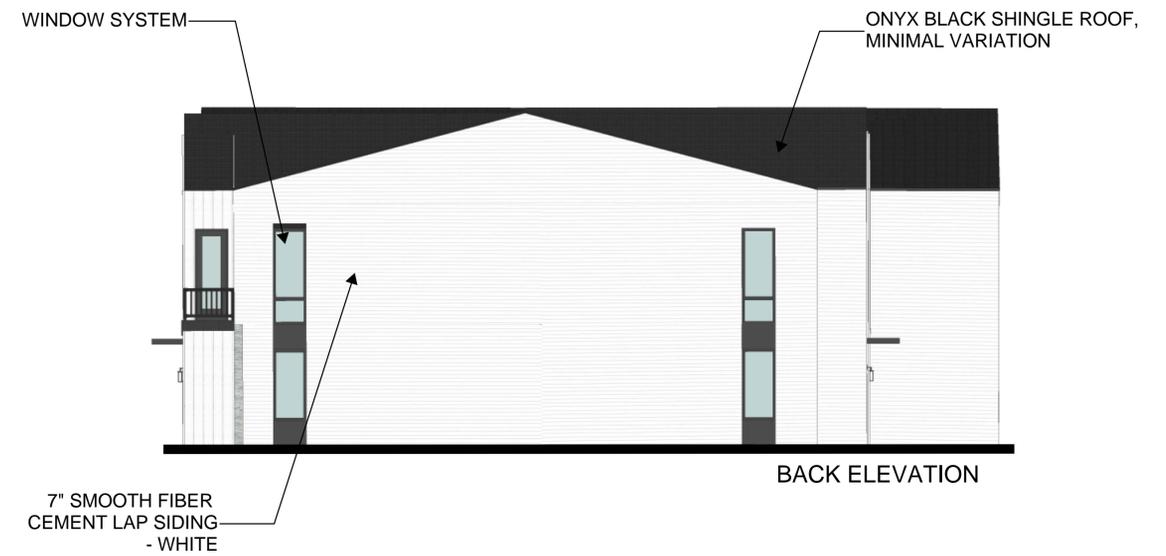
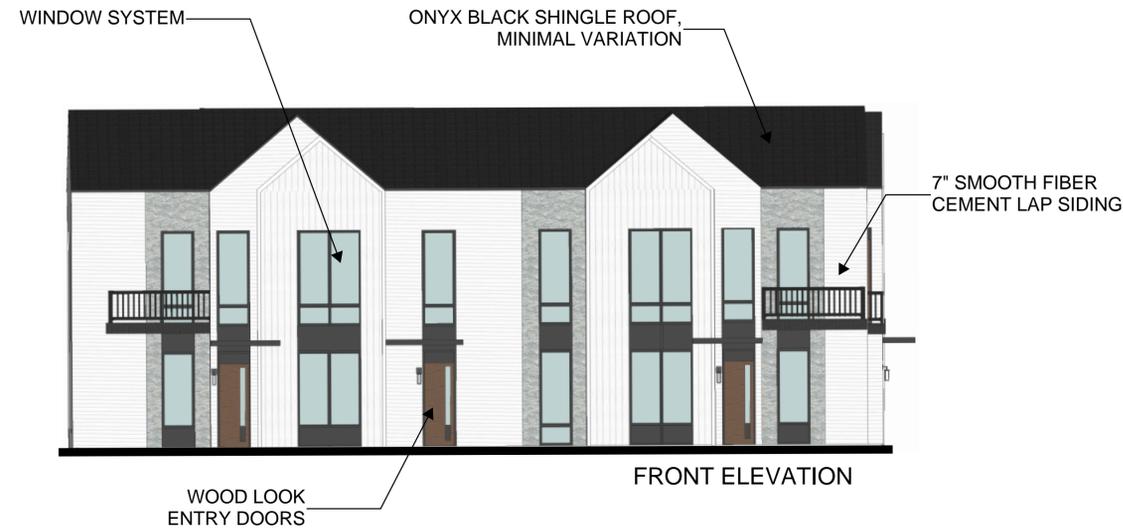
MATERIAL PALETTE

HARTLAND APARTMENTS

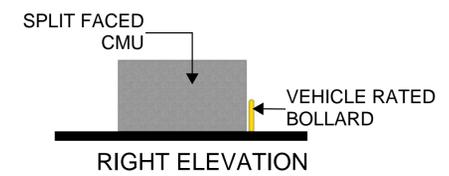
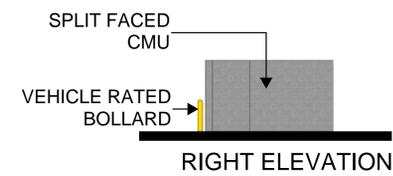
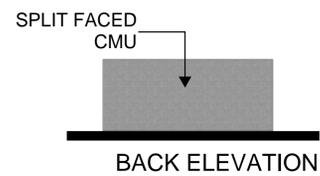
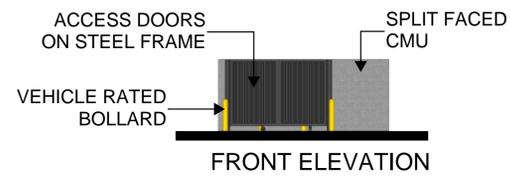
AUGUST 11, 2020



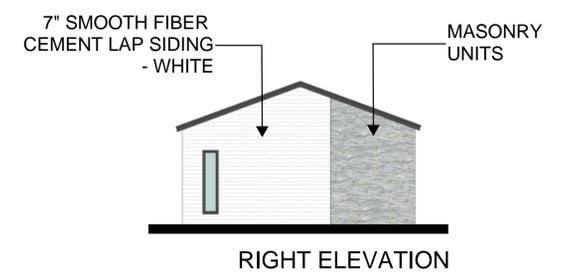
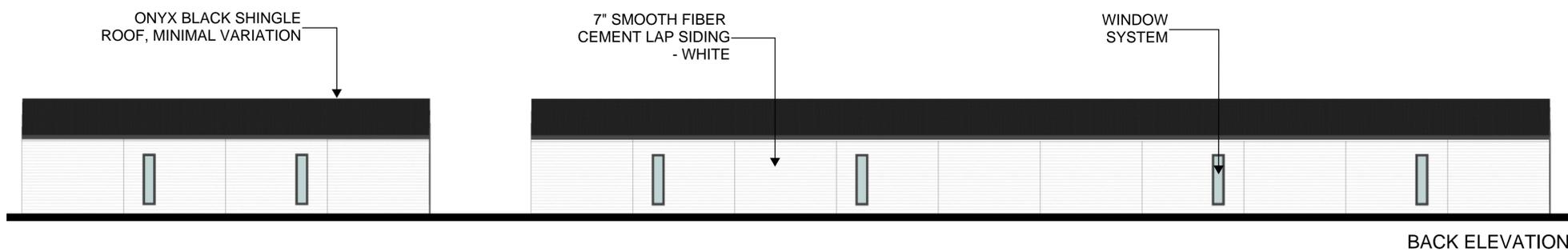
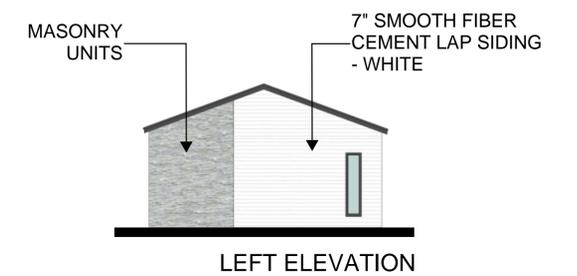
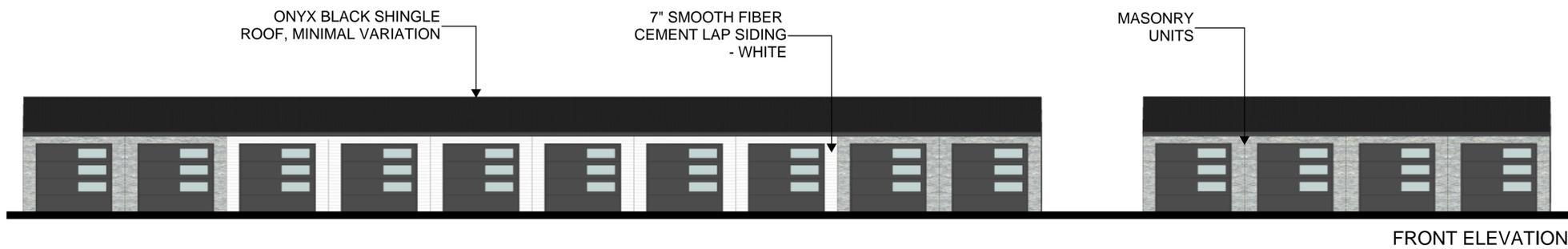
SCALE: 1/8" = 1'-0" BUILDING ELEVATIONS



TRASH ENCLOSURE ELEVATIONS



DETACHED GARAGE ELEVATIONS



SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS







RENDERINGS

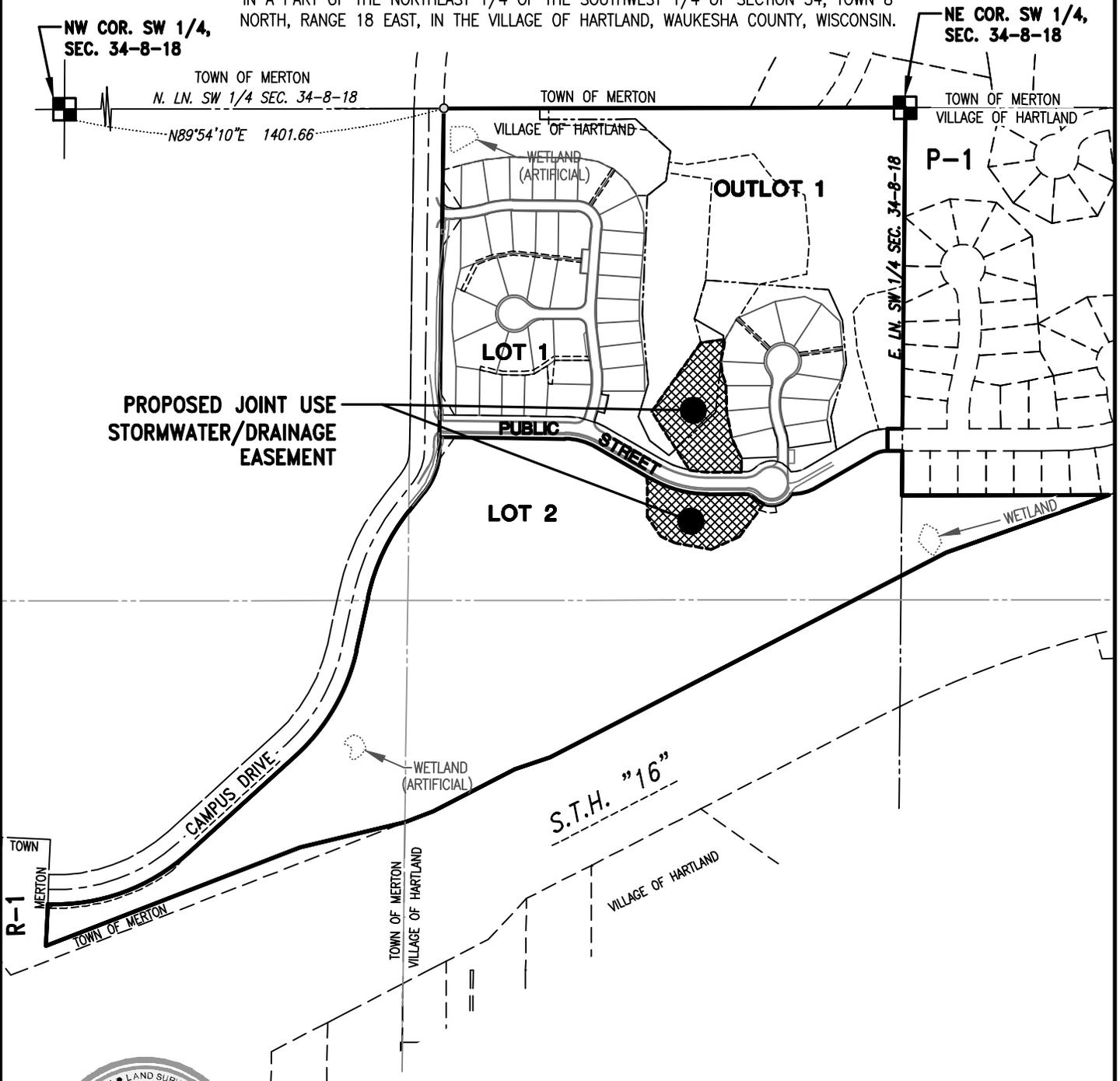
HARTLAND APARTMENTS

AUGUST 11, 2020

RINKA+

EXHIBIT "B"

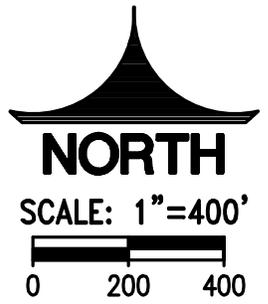
BEING A PART LOT 1, LOT 2 AND OUTLOT 1 OF CERTIFIED SURVEY MAP No. 10497, LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34, TOWN 8 NORTH, RANGE 18 EAST, IN THE VILLAGE OF HARTLAND, WAUKESHA COUNTY, WISCONSIN.



H:\C900\953\19023-01\Survey\ESMT-EXHIBITS\STORMWATER EASEMENT.dwg



4100 N. CALHOUN ROAD
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1490
Fax: (262) 790-1481



THIS EXHIBIT WAS PREPARED BY DEBORAH L. JOERS, P.L.S. (S-2132)

DATE: 7-31-20

ALAN G STANWICK 2008 LIVING TRUST
W305N5205 GAIL LN
HARTLAND WI 53029

ALEXANDER ALLISTER
4887 EASY ST UNIT 10
HARTLAND WI 53029-1942

ALLEN KOGLIN AND PATRICIA KOGLIN
231 WILLOW DR
HARTLAND WI 53029

ALLEN M AND ROBIN R WEISS
REVOCABLE TRUST
273 WILLOW DR
HARTLAND WI 53029-1324

ALYCIA J WARD
4875 EASY ST UNIT 5
HARTLAND WI 53029-1943

AMOL NANDKISHOR AGASHE
4887 EASY ST UNIT 2
HARTLAND WI 53029-1942

AMY JO BENSON
530 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1657

ANDREW J FARRELL
4875 EASY ST UNIT 9
HARTLAND WI 53029-1943

ANDREW J RUSSELL AND AMANDA M
RUSSELL
N49W31057 OLD STEEPLE RD
HARTLAND WI 53029-8533

ANDREW KOPCZYK AND ANNA KOPCZYK
14130 SHEFFIELD DR APT 301
HOMER GLEN IL 60491-7891

ANDREW SISK
520 WINDSTONE DR UNIT 103
HARTLAND WI 53029-1653

ANNE M HUDZINSKI
520 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1654

ANTHONY J KLOTZ AND KARRIE L KLOTZ
4887 EASY ST UNIT 14
HARTLAND WI 53029

ANTON MOLLGAARD AND CHRISTINE
MOLLGAARD
705 CENTERVILLE RD
ANDERSON SC 29625-2529

ARLENE A MAYES
4875 EASY ST UNIT 8
HARTLAND WI 53029-1943

ASHLEY E PEIRICK
4887 EASY ST UNIT 6
HARTLAND WI 53029-1942

BARBARA BAKER
530 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1658

BARBARA E SAMUELSON
530 WINDSTONE DR UNIT 109
HARTLAND WI 53029

BONNIE IZYDOR
530 WINDSTONE DR UNIT 103
HARTLAND WI 53029-1657

BONNIE SUEDBECK
530 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1659

BOYD STAPLETON AND ELIZABETH
STAPLETON
W304N5309 EVELYN CT
HARTLAND WI 53029

BRANDON ORDWAY
520 WINDSTONE DR UNIT 204
HARTLAND WI 53029

BRENT W YUNK
4821 EASY ST UNIT 14
HARTLAND WI 53029

BRIAN J BORKENHAGEN
4835 EASY ST UNIT 2
HARTLAND WI 53029-1954

BRIAN M AND PATRICIA A STIPPICH 2011
LIVING TRUST
4887 EASY ST UNIT 3
HARTLAND WI 53029-1942

BRIAN NAHEY
5661 HIGHWAY 83
HARTLAND WI 53029-8502

BRIAN W MONTAG 2017 TRUST
PO BOX 180336
DELAFIELD WI 53018-0336

BRIANA V DENEVAN
530 WINDSTONE DR UNIT 212
HARTLAND WI 53029

BRUCE SINOTTE AND KATHLEEN SINOTTE
302 WILLOW DR
HARTLAND WI 53029-1316

BRYAN E BAUMAN
1420 BLAZING STAR DM
OCONOMOWOC WI 53066-3552

CALVIN M AKIN
19105 W CAPITOL DR #200
BROOKFIELD WI 53045

CARRIE HAANSTAD
4863 EASY ST UNIT 3
HARTLAND WI 53029

CASEY JOSEPH JOHNSTON AND
KATRINA ANN JOHNSTON
4821 EASY ST UNIT 3
HARTLAND WI 53029-1941

CECELIA FAUSEL
4887 EASY ST UNIT 16
HARTLAND WI 53029-1942

CHAD D TORKELESON
4821 EASY ST UNIT 6
HARTLAND WI 53029

CHRISTOPHER KLUSS
2701 BRIGHTON DR
WAUKESHA WI 53188-5974

CLIFFORD R LOKER
4875 EASY ST UNIT 7
HARTLAND WI 53029-1943

COLIN AUMUELLER
520 WINDSTONE DR UNIT 312
HARTLAND WI 53029-1655

COLLEEN K CONDON
4875 EASY ST UNIT 13
HARTLAND WI 53029

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DAN AND KIM SCHLISE INC
269 KILLARNEY RD
HARTFORD WI 53027-9739

DANIEL E SHEPHERD
4887 EASY ST UNIT 1
HARTLAND WI 53029-1942

DANIEL FOGLE AND KATHLEEN FOGLE
292 HICKORY CT
HARTLAND WI 53029

DANIEL QUIGLEY AND PATRICIA
QUIGLEY
255 WILLOW DR
HARTLAND WI 53029

DANIELLE NICOLE HENRY
4875 EASY ST UNIT 6
HARTLAND WI 53029-1943

DARRELL R NULAND AND JUDITH L
NULAND
530 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1658

DAVID A ZUEGE AND KAREN M ZUEGE
N74W28831 COLDSTREAM DR
HARTLAND WI 53029-8486

DAVID BAHR AND JANET BAHR
261 WILLOW DR
HARTLAND WI 53029

DAVID C PANAWASH
530 WINDSTONE DR UNIT 104
HARTLAND WI 53029

DAVID E COX AND CHRISTINE M COX
297 WILLOW DR
HARTLAND WI 53029

DAVID G LASKA
N77W22305 WOODED HILLS DR
SUSSEX WI 53089-2149

DAVID HADDIX
4887 EASY ST UNIT 9
HARTLAND WI 53029-1942

DAVID ROESSLER AND JEAN ROESSLER
243 WILLOW DR
HARTLAND WI 53029

DEGROTHY TRUST DATED SEPTEMBER 11
2006
4835 EASY ST UNIT 15
HARTLAND WI 53029-1954

DENNIS A & DARLENE F SISCO
REVOCABLE LIVING TRUST
296 HICKORY CT
HARTLAND WI 53029

DEREK J REINKE AND STEPHANIE L
REINKE
W334N6905 REYNOLDS DR
OCONOMOWOC WI 53066-1429

DONALD PAUL MCDOWELL
530 WINDSTONE DR UNIT 205
HARTLAND WI 53029-1658

DONALD R PORTER
4835 EASY ST UNIT 10
HARTLAND WI 53029

DUKE PLOENSE
250 WILLOW DR
HARTLAND WI 53029-1321

DUNKER TRUST
3761 NAGAWICKA SHORE DR
HARTLAND WI 53029

ELLEN J UMENTUM
4863 EASY ST UNIT 2
HARTLAND WI 53029-1953

ELLEN LOUISE BECKER
4821 EASY ST UNIT 5
HARTLAND WI 53029-1941

EMIL & RUTH MEINDL FAMILY TRUST
228 WILLOW CT
HARTLAND WI 53029-1312

ERIN J O'BOYLE
4887 EASY ST UNIT 5
HARTLAND WI 53029

FRED SCHWEINERT AND LESLIE
SCHWEINERT
4835 EASY ST UNIT 16
HARTLAND WI 53029

FREDERICK A & LINDA A KUHN 2007
LIVING TRUST
260 BIRCH CT
HARTLAND WI 53029

GABRIELA VAZQUES AND JESUS GARCIA
272 HICKORY CT
HARTLAND WI 53029-1306

GARY WITTER AND MARY WITTER
222 WILLOW CT
HARTLAND WI 53029

GEOFFREY A YOUNG
664 HILL ST
HARTLAND WI 53029

GEOFFREY C ACKLEY AND RUSSELL C
ACKLEY
4863 EASY ST UNIT 6
HARTLAND WI 53029

GEORGE URBAN AND MARGARET
URBAN
258 BIRCH CT
HARTLAND WI 53029

GRAFTON MANOR 5 LLC
PO BOX 512
HARTLAND WI 53029-0512

GREGORY BURICH
520 WINDSTONE DR UNIT 307
HARTLAND WI 53029-1655

GREGORY F FAAS AND REBEKAH J FAAS
285 WILLOW DR
HARTLAND WI 53029-1324

GREGORY L WARREN AND JANET E
WARREN
4875 EASY ST UNIT 16
HARTLAND WI 53029-1943

HADDIX TRUST
W282N4288 SOMERSET LN
PEWAUKEE WI 53072

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

HAO LI
17320 BARD LN
BROOKFIELD WI 53045-1251

HAYLIE HAMPTON
520 WINDSTONE DR UNIT 302
HARTLAND WI 53029-1655

J SWEET TOWNE LLC
1127 HAWTHORNE PL APT E
PEWAUKEE WI 53072-6575

JACK VACCARO
520 WINDSTONE DR UNIT 301
HARTLAND WI 53029-1655

JACOB M CATAROZZOLI AND DANIELLE L
CATAROZZOLI
284 HICKORY CT
HARTLAND WI 53029-1306

JACOB W BOLYARD AND KATELYN A
KOTAJARVI
264 BIRCH CT
HARTLAND WI 53029-1320

JAMES & LINDA HOLMBERG TRUST
W310N4958 OLD STEEPLE RD
HARTLAND WI 53029

J
AMES STRECHER AND LISA STRECHER
267 WILLOW DR
HARTLAND WI 53029

JAMES TERONDE AND TERESA
TERONDE
W304N5293 EVELYN CT
HARTLAND WI 53029

JANE LAITSCH
4835 EASY ST UNIT 6
HARTLAND WI 53029-1954

JANET K ADLER
520 WINDSTONE DR UNIT 104
HARTLAND WI 53029-1653

JANET L STAHNKE
530 WINDSTONE DR #107
HARTLAND WI 53029

JAYNE WEYER TRUST
13716 W WHITE WOOD DR
SUN CITY WEST AZ 85375-5845

JEAN A LARSEN
642 HILL ST
HARTLAND WI 53029

JEAN M LYONS
4863 EASY ST UNIT 1
HARTLAND WI 53029

JEANINE LUND
4875 EASY ST UNIT 1
HARTLAND WI 53029-1943

JEANNE A HOPPE
520 WINDSTONE DR UNIT 207
HARTLAND WI 53029

JEFFERY SCHUBERT AND JUDITH
SCHUBERT
W310N4932 OLD STEEPLE RD
HARTLAND WI 53029

JEFFREY C SAATKAMP
280 HICKORY CT
HARTLAND WI 53029-1306

JENNIFER R KLEMME
256 BIRCH CT
HARTLAND WI 53029

JEREMY H KONTNEY
4821 EASY ST UNIT 4
HARTLAND WI 53029-1941

JOAN P GLEASER
520 WINDSTONE DR UNIT 311
HARTLAND WI 53029-1655

JOANN PAPA IRREVOCABLE TRUST
520 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1655

JOANNA M VANDERHOEF
520 WINDSTONE DR UNIT 107
HARTLAND WI 53029-1653

JOHN BAKER AND PATRICIA BAKER
230 WILLOW CT
HARTLAND WI 53029

JOHN GRUBA AND BETSY GRUBA
214 WILLOW CT
HARTLAND WI 53029

JOHN L KOSAK AND MARY A KOSAK
530 WINDSTONE DR UNIT 108
HARTLAND WI 53029

JOHN M GOSA AND WANDA E GOSA
530 WINDSTONE DR UNIT 111
HARTLAND WI 53029-1657

JOHN MALONEY AND CHERYL MALONEY
290 HICKORY CT
HARTLAND WI 53029

JOHN P LYNE
530 WINDSTONE DR UNIT 201
HARTLAND WI 53029

JOSHUA D BUEGE
530 WINDSTONE DR #207
HARTLAND WI 53029

JOSHUA ENGEL AND LORA ENGEL
N49W31079 OLD STEEPLE RD
HARTLAND WI 53029-8533

JUDITH SCHNEIDER
520 WINDSTONE DR UNIT 208
HARTLAND WI 53029-1654

JUSTIN CULL
530 WINDSTONE DR UNIT 303
HARTLAND WI 53029-1659

JUSTIN J LEWANDOWSKI
520 WINDSTONE DR UNIT 112
HARTLAND WI 53029-1653

KAREN E LAWLOR
216 WILLOW CT
HARTLAND WI 53029

KAREN K KOTTKE
520 WINDSTONE DR UNIT 212
HARTLAND WI 53029

KAREN M WAGNER
4863 EASY ST
HARTLAND WI 53029-1953

KATHLEEN A ORLIKOWSKI
520 WINDSTONE DR UNIT 205
HARTLAND WI 53029

KATHLEEN MULLEN
520 WINDSTONE DR UNIT 304
HARTLAND WI 53029-1655

KATIE L EGGERS
213 WILLOW DR
HARTLAND WI 53029-1324

KELLY M BLACKBURN AND MARK R
BLACKBURN
248 WILLOW DR
HARTLAND WI 53029

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

KIEFER FARMS LLC
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DELAFIELD WI 53018-0621

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DELAFIELD WI 53018-0621

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PO BOX 180621
DELAFIELD WI 53018-0621

KIEFER FARMS LLC
PO BOX 180621
DELAFIELD WI 53018-0621

KIMBERLY A TESSMAN
4875 EASY ST UNIT 11
HARTLAND WI 53029-1943

KRISTIN M SLOANE
226 WILLOW CT
HARTLAND WI 53029

KRISTIN ROGACZEWSKI
520 WINDSTONE DR UNIT 108
HARTLAND WI 53029-1653

KURT D ASHBRENNER
220 WILLOW CT
HARTLAND WI 53029

KURT PRANGE AND CONSTANCE
PRANGE
244 WILLOW CT
HARTLAND WI 53029

KYLE A NIGL
4821 EASY ST UNIT 10
HARTLAND WI 53029-1941

LARRY C COMPTON JR
530 WINDSTONE DR #305
HARTLAND WI 53029

LAURIE HILL
4835 EASY ST UNIT 12
HARTLAND WI 53029-1954

LINDA C BEASTER
4835 EASY ST UNIT 5
HARTLAND WI 53029

LINDA D LEMEROND
254 BIRCH CT
HARTLAND WI 53029

LINDSEY BROWN
4821 EASY ST UNIT 12
HARTLAND WI 53029-1941

LISA M WEATHERBEE
266 WILLOW DR
HARTLAND WI 53029-1325

LOLA M VANHIERDEN
13750 W NATIONAL AVE APT 2320
NEW BERLIN WI 53151-9547

LOT OWNERS OF CHESTNUT RIDGE AND
CHESTNUT RIDGE HOMEOWNERS
ASSOCIATION
Not Available
Not Available WI 00000

LOT OWNERS OF KIEFER FARMS
Not Available
HARTLAND WI 53029

LUKE W BAAR
520 WINDSTONE DR UNIT 105
HARTLAND WI 53029-1653

LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILW
10427 W LINCOLN AVE STE 1300
MILWAUKEE WI 53227-1263

MADELINE L DUERO
4835 EASY ST UNIT 3
HARTLAND WI 53029-1954

MAHVASH SHAKER
600 THAMES PKWY APT 2C
PARKRIDGE IL 60068-3679

MARGARET BURRUS TRUST DATED
AUGUST 9 2006
300 HICKORY CT
HARTLAND WI 53029

MARGIT TROMPLER
530 WINDSTONE DR UNIT 110
HARTLAND WI 53029

MARK A KRAUS JR
520 WINDSTONE DR UNIT 102
HARTLAND WI 53029

MARK J GIMLA AND FRANCINE J DEMLER-
GIMLA
W305N5220 GAIL LN
HARTLAND WI 53029

MARVIN KATH AND JOAN KATH
530 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1659

MARY ELLEN THOSS
530 WINDSTONE DR UNIT 309
HARTLAND WI 53029-1659

MARY L BUELOW
4835 EASY ST UNIT 9
HARTLAND WI 53029-1954

MARY S MUTH
520 WINDSTONE DR UNIT 106
HARTLAND WI 53029-1653

MATTHEW DALE DANIEL AND LYNN
CHERYL HARTZEL
400 E CAPITOL DR
HARTLAND WI 53029-2202

MATTHEW J FRANCOIS
4875 EASY ST UNIT 15
HARTLAND WI 53029

MATTHEW W KLEWER
2252 LADDIE TRL
DE PERE WI 54115-8472

MELANIE M KRAAK
291 WILLOW DR
HARTLAND WI 53029

MELVIN L KIRSCH AND ANDREW D
KIRSCH
1424 WILDERNESS TRL
DELAFIELD WI 53018

MICHAEL A ZUNIGA AND MELISSA A
ZUNIGA
249 WILLOW DR
HARTLAND WI 53029-1324

MICHAEL BELLAND AND RAELE
BELLAND
S12W31280 RUCCI DR
WALES WI 53183-9722

MICHAEL H SYLVESTER AND BARBARA J
SYLVESTER
4821 EASY ST UNIT 8
HARTLAND WI 53029-1941

MICHAEL J & RAYNELLE A CHYCINSKI
JOINT REV TRUST
1000 SW 5TH AVE
BOYNTON BEACH FL 33426-4734

MICHAEL J PASSINO AND DEBRA M
PASSINO
530 WINDSTONE DR UNIT 203
HARTLAND WI 53029-1658

MICHAEL J PASSINO AND DEBRA M
PASSINO
520 WINDSTONE DR UNIT 110
HARTLAND WI 53029-1653

MICHAEL L SCHMIDT
4821 EASY ST UNIT 7
HARTLAND WI 53029

MILWAUKEE INVESTMENTS VIII LLC
2626 DELMAR PL
FORT LAUDERDALE FL 33301-1576

MYRON W COONS SR AND SUSAN J
COONS
4863 EASY ST UNIT 5
HARTLAND WI 53029

NATHAN LEROY
4887 EASY ST UNIT 7
HARTLAND WI 53029-1942

NATHAN S STRAYER AND CYNTHIA K
STRAYER
262 BIRCH CT
HARTLAND WI 53029

NATHAN T GROTH
4835 EASY ST UNIT 4
HARTLAND WI 53029

NELSON-ZIRZOW REVOCABLE TRUST
225 WILLOW DR
HARTLAND WI 53029-1324

NICHOLAS L MASTROCOLA
4875 EASY ST UNIT 10
HARTLAND WI 53029-1943

NICOLE R KULAS
282 HICKORY ST
HARTLAND WI 53029

NIYARA WOODWARD
520 WINDSTONE DR UNIT 201
HARTLAND WI 53029-1654

PAMELA L GROSS
24159 HARBORVIEW RD
PUNTE GORDA FL 33980

PATRICK HENZE AND MARY HENZE
W305N5235 GAIL LN
HARTLAND WI 53029

PATRICK J BALISTRERI AND DONNA W
BALISTRERI
W305N5240 GAIL LN
HARTLAND WI 53029-1025

PAUL A RADDATZ
520 WINDSTONE DR UNIT 109
HARTLAND WI 53029

PAUL BRANDES
520 WINDSTONE DR UNIT 310
HARTLAND WI 53029

PAUL STAPLETON
W305N5247 GAIL LN
HARTLAND WI 53029

PENNY L NEULRICH
4835 EASY ST UNIT 1
HARTLAND WI 53029-1954

PETER MIHOJEVICH AND SUSAN
MIHOJEVICH
N52W30555 MORaine DR
HARTLAND WI 53029

PETER PURVIS AND SHARON PURVIS
W305N5260 GAIL LN
HARTLAND WI 53029

PETER PURVIS JR AND JILL PURVIS
W305N5250 GAIL LN
HARTLAND WI 53029

PUSHING THE LIMIT ENTERPRISES LLC
PO BOX 621
PEWAUKEE WI 53072

QI 13 LLC
1600 PARAMOUNT DR
WAUKESHA WI 53186-3965

RIC J PANELLA AND DANA A NEARY
PANELLA
298 HICKORY CT
HARTLAND WI 53029

RICHARD D DURANSO AND STACY
DURANSO
W304N5290 EVELYN CT
HARTLAND WI 53029

RICHARD D HANSON
4835 EASY ST UNIT 13
HARTLAND WI 53029

RICHARD J GOEPEL AND RITA L GOEPEL
10331 VIA ANACAPRI CT
MIROMAR LAKES FL 33913-7783

RICKY A WINTER AND SANDRA D RICHTER
279 WILLOW DR
HARTLAND WI 53029

ROBERT BABEL AND LINDA BABEL
238 WILLOW CT
HARTLAND WI 53029

ROBERT D LITTLE
278 HICKORY CT
HARTLAND WI 53029

ROBERT FREIBOTH AND KATHLEEN
FREIBOTH
276 HICKORY CT
HARTLAND WI 53029

ROBERT J DOOME AND LISA L GIEG-
DOOME
N63W27388 SCHOLL CT
SUSSEX WI 53089-3394

RONALD BYCZEK CUSTODIAN FOR
OLIVIA BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

RONALD BYCZEK CUSTODIAN FOR OLIVIA
BYCZEK
333 BISHOPS WAY STE 141
BROOKFIELD WI 53005-6209

RONALD CHOLIP AND LISA MARIE CHOLIP
270 WILLOW DR
HARTLAND WI 53029

RONALD E FLANAGAN
226 WILLOW DR
HARTLAND WI 53029

RONALD W NUNN JR AND DIANE L NUNN
530 WINDSTONE DR UNIT 102
HARTLAND WI 53029

ROY D TANNER AND ANNE T TANNER
520 WINDSTONE DR UNIT 209
HARTLAND WI 53029-1654

RYAN J STANCL
4821 EASY ST UNIT 11
HARTLAND WI 53029-1941

SALLY DOYLE
4875 EASY ST UNIT 4
HARTLAND WI 53029-1943

SAMANTHA R TIETGEN
4875 EASY ST UNIT 3
HARTLAND WI 53029-1943

SAMUEL EICKMEYER
4821 EASY ST UNIT 16
HARTLAND WI 53029-1941

SANDRA C MATUSHINEC
530 WINDSTONE DR UNIT 301
HARTLAND WI 53029

SARA ELIZABETH CARTER
520 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1653

SARA J BRISK
530 WINDSTONE DR UNIT 202
HARTLAND WI 53029-1658

SARAH J HANSEN
4821 EASY ST UNIT 9
HARTLAND WI 53029

SCOTT BRLECIC AND DENISE BRLECIC
242 WILLOW CT
HARTLAND WI 53029

SCOTT HOSEID AND MARY HOSEID
294 HICKORY CT
HARTLAND WI 53029-1306

SHANNON ROBBINS AND CHRISTINE
JANSSEN
4863 EASY ST UNIT 4
HARTLAND WI 53029-1953

SHARON K SIME
4887 EASY ST UNIT 8
HARTLAND WI 53029

SHAWN A MORTENSEN
218 WILLOW CT
HARTLAND WI 53029-1312

STACEY A BITTMAN
W305N5200 GAIL LN
HARTLAND WI 53029

STATE OF WISCONSIN AND DEPARTMENT
OF TRANSPORTATION
PO BOX 798
WAUKESHA WI 53187-0798

STEVEN G HANSON AND DANIELLE R
HANSON
745 SPRING WATERS DR
OCONOMOWOC WI 53066-4178

STEVEN KELLER
4821 EASY ST UNIT 13
HARTLAND WI 53029-1941

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

SUMMIT LAKES APARTMENTS LLC
19105 W CAPITOL DR STE 200
BROOKFIELD WI 53045

SURVIVOR'S TRUST
W307N5276 ANDERSON RD
HARTLAND WI 53029-1032

SUSAN M HUBATCH
4863 EASY ST UNIT 8
HARTLAND WI 53029-1953

TERENCE J FELLABAUM AND ELIZABETH
A FELLABAUM
W305N5270 GAIL LN
HARTLAND WI 53029

TERESA T GNEWUCH
530 WINDSTONE DR UNIT 101
HARTLAND WI 53029-1657

TERRY L AUDLEY
224 WILLOW CT
HARTLAND WI 53029

THOMAS A WRIGHT
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

THOMAS D ACKERMAN
4875 EASY ST UNIT 12
HARTLAND WI 53029-1943

THOMAS J GUSTAVSON JR
4875 EASY ST UNIT 14
HARTLAND WI 53029

THOMAS PETRI AND DARLENE PETRI
286 HICKORY CT
HARTLAND WI 53029

TINA M BARSCH
288 HICKORY CT
HARTLAND WI 53029

TODD JORGENSEN AND PAMELA
JORGENSEN
225 WILLOW CT
HARTLAND WI 53029

TRAVIS F TANNIS
4887 EASY ST UNIT 4
HARTLAND WI 53029-1942

TW COUNTRY AIRE DELAFIELD LLC AND
DELAFIELD COUNTRY AIRE ASSOCIATES LLC
W229N1433 WESTWOOD DR STE 204
WAUKESHA WI 53186-1183

VICTOR AND ISABELLE ANDERSON
207 WILLOW DR
HARTLAND WI 53029

VILLAGE OF HARTLAND
210 W COTTONWOOD AVE
HARTLAND WI 53029

VINOD ASHOK RAJE AND JULIE ALMEIDA
4821 EASY ST UNIT 15
HARTLAND WI 53029-1941

VIOLA FLEMING
520 WINDSTONE DR UNIT 206
HARTLAND WI 53029-1654

WALTER KIRCHHOFF AND NATALIE M
KIRCHHOFF
520 WINDSTONE DR UNIT 210
HARTLAND WI 53029-1654

WESLEY T BURNAM AND LAURA L
BURNAM
520 WINDSTONE DR UNIT 305
HARTLAND WI 53029-1655

WILLIAM D SMITH AND STEPHANIE J
SMITH
240 WILLOW CT
HARTLAND WI 53029

WILLIAM E KOEHN JR
274 HICKORY CT
HARTLAND WI 53029-1306

WILLIAM J BEIMLING
4821 EASY ST UNIT 1
HARTLAND WI 53029

WISCONSIN ELECTRIC POWER CO
231 W MICHIGAN
MILWAUKEE WI 53203

WONG LIVING TRUST
520 WINDSTONE DR UNIT 211
HARTLAND WI 53029

YEVGENY LANDAU
520 WINDSTONE DR UNIT 308
HARTLAND WI 53029-1655

1 **Sec. 46-808. - Basis for approval of the petition.**

2 The plan commission, in making its recommendation, and the village board, in making its determination,
3 shall consider the following:

4 (1)

5 The petitioners for the proposed planned unit development overlay district have indicated that they
6 intend to begin the physical development of the PUD within one year following the approval of the
7 petition; the development will be carried out according to a reasonable construction schedule and
8 staging plan satisfactory to the village; and the proponents of the proposed PUD have the financial
9 capacity to carry out the project as proposed.

10 (2)

11 The proposed planned unit development overlay district is consistent in all respects to the purpose of
12 this division and to the spirit and intent of this chapter; is in conformity with the adopted
13 comprehensive plan, master plan, neighborhood plan or any adopted component thereof, including the
14 Hartland Village Center Revitalization Plan, and the development would not be contrary to the general
15 welfare and economic prosperity of the community.

16 (3)

17 The plan commission in making its recommendations and the village board in making its determination,
18 shall further find that:

19 a.

20 The proposed site shall be provided with adequate drainage facilities for surface water and stormwater.

21 b.

22 The proposed site shall be accessible from public roads that are adequate to carry the traffic that can be
23 expected to be generated by the proposed development.

24 c.

25 No undue constraint or burden will be imposed on public services and facilities, such as fire and police
26 protection, street maintenance, water, sanitary sewer and storm drainage, and maintenance of public
27 areas by the proposed development.

28 d.

29 The streets and driveways on the site of the proposed development shall be adequate to serve the
30 residents of the proposed development and shall meet the minimum standards of all applicable
31 ordinances or administrative regulations of the village.

32 e.

33 Centralized public water and sewer facilities shall be provided.

34 f.

35 The entire tract or parcel of land to be included in a planned unit development overlay district shall be
36 held under single ownership, or if there is more than one owner, the petition for such planned unit
37 development overlay district shall be considered as one tract, lot or parcel, and the legal description
38 must define such PUD as a single parcel, lot or tract and be so recorded with the county register of
39 deeds.

40 g.

41 The locations of entrances and exits have been designated to prevent unnecessary interference with the
42 safe and efficient movement of traffic on surrounding streets, and that the development will not create
43 an unreasonable adverse effect upon the general traffic pattern of the surrounding neighborhood.
44 Insofar as is practicable, consolidation of driveways, parking, and curb cuts and connection driveways
45 between properties, where appropriate, shall be provided to enhance safety and provide more efficient
46 and economical access and parking.

47 h.

48 The size, quality and design of all buildings, landscaping and other site development features in the
49 project will be compatible with the general character of the village and specifically to the surrounding
50 neighborhood, and the design of the development will result in an attractive and harmonious
51 development compatible with and not adversely affecting the property values of the surrounding
52 neighborhood.

53 (4)

54 In the case of a proposed residential planned unit development overlay district:

55 a.

56 Such development will create an attractive residential environment of sustained desirability and
57 economic stability, including structures in relation to terrain, consideration of safe pedestrian flow,
58 ready access to recreation space, and coordination with overall plans for the community.

59 b.

60 The total net residential density within the planned unit development overlay district will be compatible
61 with the village master plan, neighborhood plan, or components thereof. The total net density shall also
62 be consistent with and not exceed the density of development permitted in the underlying basic use
63 zoning district, unless section 48-804 applies. When the underlying basic zoning district includes more
64 than one residential district, the density for the land occupied by each district shall be calculated and the
65 final maximum density for the PUD shall be the sum total of the number of units calculated for each
66 district.

67 c.

68 Structure types shall be generally compatible with other structural types permitted in the underlying
69 basic use district.

70 d.

71 Provision has been made for the installation of adequate public facilities and the continuing
72 maintenance and operation of such facilities.

73 e.

74 Provision has been made for adequate, continuing fire and police protection.

75 f.

76 The population density of the development will not have an adverse effect upon the community's
77 capacity to provide needed school or other municipal service facilities.

78 g.

79 Adequate guarantee is provided for permanent preservation of open space areas as shown on the
80 approved site plan either by private reservation and maintenance or by dedication to the public.

81 h.

82 The care and maintenance of private open space shall be ensured either by establishment of an
83 appropriate management organization for the project or by agreement with the village for
84 establishment of a special service district for the project area on the basis of which the village shall
85 provide the necessary maintenance service and levy the cost as a special assessment on the tax bills of
86 properties within the project area. In any case, the village shall have the right to carry out and levy an
87 assessment for the cost of any maintenance which it feels necessary if it is not otherwise taken care of
88 to the satisfaction of the village. The manner of ensuring maintenance and assessing such cost to the
89 individual properties shall be determined prior to the approval of the final project plans and shall be
90 included in the title to each property.

91 i.

92 Ownership and tax liability of private open space reservation areas shall be established in a manner
93 acceptable to the village and made a part of the conditions of the PUD approval.

94 j.

95 Clustering of residential development is permitted provided that permanent common open space is set
96 aside so that the overall density of development permitted in the underlying basic zoning district is
97 complied with.

98 (5)

99 In the case of a proposed commercial planned unit development overlay district:

100 a.

101 The economic practicality of the proposed development can be justified.

102 b.

103 The proposed development will be adequately served by off-street parking and truck service facilities.

104 c.

105 The proposed development shall be adequately provided with and shall not impose any undue burden
106 on public services and facilities, such as fire and police protection, street maintenance, water, sanitary
107 sewer and stormwater drainage and maintenance of public areas.

108 (6)

109 In the case of a proposed industrial planned unit development overlay district:

110 a.

111 The operational character and physical plant arrangement of buildings will be compatible with the latest
112 in performance standards and industrial development design and will not result in adverse effect upon
113 the property values of the surrounding neighborhood.

114 b.

115 The proposed development shall be adequately provided with and shall not impose any undue burden
116 on public services and facilities, such as fire and police protection, street maintenance, water, sanitary
117 sewer and stormwater drainage and maintenance of public areas.

118 c.

119 The proposed development will include adequate provision for off-street parking and truck service areas
120 and will be adequately served by rail and/or arterial highway facilities.

121 d.

122 The proposed development is properly related to the total transportation system of the community and
123 will not result in an adverse effect on the safety and efficiency of the public streets.

124 (7)

125 In the case of a mixed use planned unit development overlay district:

126 a.

127 The proposed mixture of residential, office, retail, recreational, governmental, or institutional uses,
128 including such mixed uses for traditional neighborhood developments, produces a unified development
129 of various compatible uses which is also compatible with the underlying districts and, as a total
130 development entity, with the surrounding neighborhood character.

131 b.

132 The various types of uses conform to the general requirements as set forth in this section, applicable to
133 projects of such use and character.

134 c.

135 The proposed development shall be adequately provided with and shall not impose any undue burden
136 on public services and facilities, such as fire and police protection, street maintenance, water, sanitary
137 sewer and stormwater drainage and maintenance of public areas.

138 **Sec. 46-809. - Determination of disposition of the application.**

139 (a)

140 *Generally.* The village board, after due consideration, shall either deny the application, approve the
141 application as submitted, or approve the application subject to additional conditions and restrictions.

142 (b)

143 *Approval.* The general and detailed approval of a planned unit development overlay district shall be
144 based on and include as conditions thereto the building, site and operational plans for the development
145 as approved by the village board.

146 (1)

147 *General approval.* Plans submitted with the PUD application need not necessarily be completely detailed
148 at the time of rezoning, provided that they are of sufficient detail to satisfy the village board as to the
149 general character, scope and appearance of the proposed development. Such preliminary plan shall
150 designate the pattern of proposed streets, and the size and arrangement of individual buildings and
151 building sites. The approval of such preliminary plan shall be conditioned upon the subsequent submittal
152 and approval of more specific and detailed plans as each stage of development progresses.

153 (2)

154 *Detailed approval.* Plans submitted for detailed approval shall be sufficiently precise, and all items that
155 are required to be identified by the village board are presented. A letter of credit for all improvements
156 shall be submitted before final approval is given.

157 (c)

158 *Guarantees.* The developer shall enter into an appropriate contract with the village to guarantee the
159 implementation of the development according to the terms of the conditions established as part of the
160 approved PUD.

161 (d)

162 *Changes and additions.* Any subsequent change or addition to approved plans or uses shall first be
163 submitted for approval to the plan commission, and if, in the plan commission's opinion, such change or
164 addition is not substantial, it may recommend approval to the village board without public hearing. If
165 such change or addition is construed to be substantial, a public hearing shall be held by the village
166 board, pursuant to article II, division 1, of this chapter. Without limitation to the plan commission's right
167 to determine any other change substantial, a change in any of the following respects shall be
168 automatically construed to be substantial:

169 (1)

170 An increase in the number of dwelling units from that shown in the approved comprehensive project
171 plan.

172 (2)

173 A significant change in the size, value or type of structure from that indicated in the approved
174 comprehensive project plan.

175 (3)

176 The addition of any principal uses or an increase in the intensity or frequency of use(s) not included in
177 the approved comprehensive project plan.

178 (4)

179 A change in the basic concept of site development which would significantly alter the relationship or
180 intensity of land use within the development or to adjoining properties.

181 (e)

182 *Subsequent land division.* The division of any land within a planned unit development overlay district for
183 the purpose of change or conveyance of ownership shall be accomplished pursuant to the land division
184 regulations of the village and when such division is contemplated, a preliminary plat of the lands to be
185 divided shall accompany the petition for PUD approval.

186